



**City of White Bear Lake**  
**Community Development Department**  
**4701 Highway 61 N.**  
**White Bear Lake, Minnesota 55110**  
**651-429-8561 | [www.whitebearlake.org](http://www.whitebearlake.org)**

## **DRIVEWAYS**

This handout is a summary of the permit & inspection process as well as standard requirements based on City Regulations regarding Driveway installment. Information contained herein does not contain all of the specific codes for construction, and shall only be used as a guide.

### **Permit Submission Requirements:**

- Completed zoning permit application.
- Two copies of a site Plan (which includes lot lines, location of principle structure & garage, location of proposed driveway, dimensions of driveway, distance from driveway to property line(s), type of driveway material and any other additional information which may be required). See Site Plan Example.
- If any portion of the driveway is located in the rear yard, the rear yard coverage worksheet is required.
- If located in the shoreland overlay district, the impervious area calculation worksheet is required.
- During busy times, permit approval may take approximately 7 to 10 business days. Please plan accordingly.

**Driveway Permit Fee:** The permit fee is \$50.00

**Inspection Requirements:** The inspection card and approved plans must be on site upon the start of work until the final inspection has been performed and passed. All construction work shall remain accessible and exposed for inspection until approved by the Building Inspection Department.

All required inspections will be listed on the permit card. A final inspection is required upon completion of project and approvals for all other inspections have been complete; please call 651-429-8518 to schedule an inspection. A 24-hour notice is required for all inspections (period may lengthen during busy times). *\*A lot line inspection may be required prior to driveway material install. Once the driveway location has been staked-out/formed & property pins exposed, please call for this inspection prior to pouring.*

### **Information and Guidelines:**

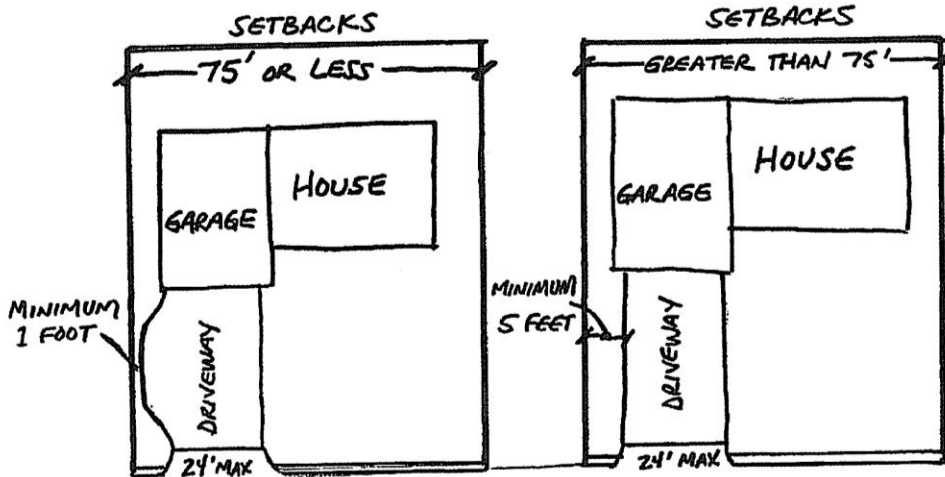
#### **Setbacks for single-family, two-family, townhomes and quadraminiums:**

1. Residential lots platted prior to the effective date of the Code (12/13/83), and having a lot width of 75 feet or less, shall maintain a minimum side yard driveway setback of 1 foot in all districts.
2. Residential lots platted after the effective date of the Code (12/13/83), or having a lot width greater than 75 feet shall maintain a minimum side yard driveway setback of 5 feet in all districts.
3. Required setbacks may be reduced by written consent from the affected neighbor. The City provides a neighbor agreement form for the neighbor to sign, which should be submitted along with the zoning permit. Both neighbors signing the form for each other is how shared driveways are achieved.
4. There shall be no off-street parking within 15 feet of any street curb line or pavement edge and no off-street parking within a 5-foot setback from the nearest street right-of-way line, whichever is the greatest setback from the pavement edge.

## General Provisions:

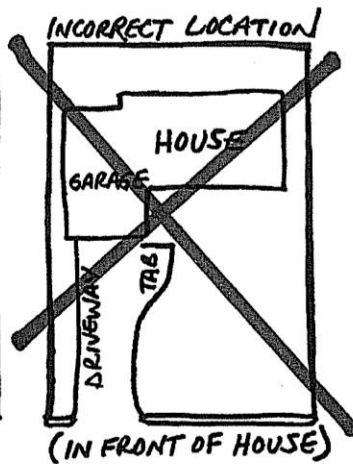
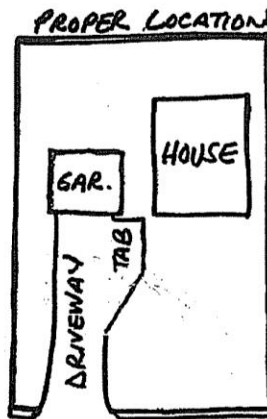
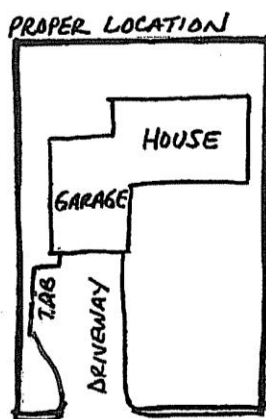
1. Single family uses shall be limited to one (1) curb cut access per property, unless a Conditional Use Permit is reviewed by the Planning Commission and approved by the City Council. The process for a Conditional Use Permit is roughly two months, and the application fee is \$400. Contact City Associate Planner 651-429-8534.)
2. All areas intended to be utilized for parking areas, driveways, and loading areas shall be surfaced with blacktop, concrete or another hard surface material. The City Engineer shall approve the design and materials used.
3. If the property is located within the Shoreland Overlay District and the driveway is being expanded, impervious area calculations must accompany the permit.
4. Parking shall be prohibited in any portion of the front or side yard except designated driveways leading directly into a garage, or one (1) open, hard surfaced space located on the side of a driveway or garage. See Appendix A. Such hard surface space shall not be located in front of the principal living area. Said space shall be surfaced with blacktop, concrete or other hard surface material approved by the City Engineer.
5. A hard surface space may be allowed in front of the principal living area through the Administrative Variance process, provided that such space is needed for turning around a vehicle so as not to have to back onto a roadway designated as a local collector or greater, and that conditions such as the lot width and/or placement of structure(s) on the property, or other factors, would preclude the placement of a similar space not located in front of the principal living area. Such parking spaces shall be a maximum of 10 feet wide and 20 feet long. Said parking space shall adhere to the side yard setbacks established for the lot's driveway and shall be set back from the front right-of-way line a minimum of 15 feet. Parking on parking spaces located in front of living area of a dwelling shall be limited to passenger vehicles. Administrative variances have an application fee of \$25, are reviewed by City staff and require approval by all adjacent neighbors. Please contact the City Associate Planner at 651-429-8534 to receive administrative variance forms.
6. A driveway is considered an accessory use. No combination of accessory structures or uses may cover more than the following percent of the available rear yard (rear wall of house to rear lot line).
  - Properties less than 10,000 sq. ft. in size: 35% (42% with Administrative Variance).
  - Properties 10,000 sq. ft. in size or greater: 25% (33% with Administrative Variance).If the driveway is located in the rear yard, cover calculations must accompany the permit.
7. No curb cut shall exceed 24 feet in width in single and two family developments unless approved by the City Engineer. Please refer to Appendix B for Residential Curb Opening Standards.
8. Off-street parking shall be provided for all vehicles concerned with any use on the lot.
9. The boulevard portion of the street right-of-way shall not be used for parking.
10. Driveways shall be graded to drain such that they do not adversely affect adjacent parcels.
11. No curb cut access shall be located less than 40 feet from the intersection of 2 or more street rights-of-way. This distance shall be measured from the intersection of lot lines.
12. Only in cases of lots platted prior to the effective date of the Code (12/13/83) and having a lot width of 75 feet or less, the required parking spaces serving one and two family dwellings may be designed for parking not more than 2 vehicles in tandem arrangement for each dwelling unit in order to comply with requirements of the Code.

### RESIDENTIAL DRIVEWAY GUIDELINES

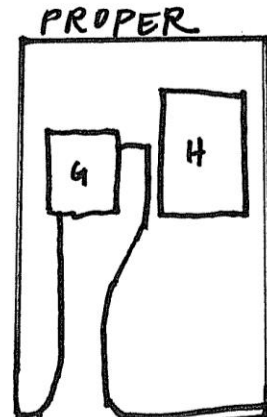
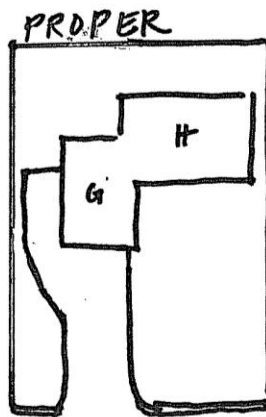


### PARKING TAB LOCATIONS

NEXT TO DRIVE



NEXT TO GARAGE



Parking Tab maximum size = 8' wide by 20' long with 20' long taper.

APPENDIX B

NOTE:

ALL CONCRETE MATCH POINTS SHALL BE SAWED AND HAVE EXPANSION PAD.

ALL CONCRETE SHALL HAVE A 7-DAY STRENGTH OF AT LEAST 2,000 P.S.I. AND A 28 DAY STRENGTH OF 3,900 P.S.I.

ALL CONCRETE SHALL HAVE A SLUMP OF LESS THAN 2".

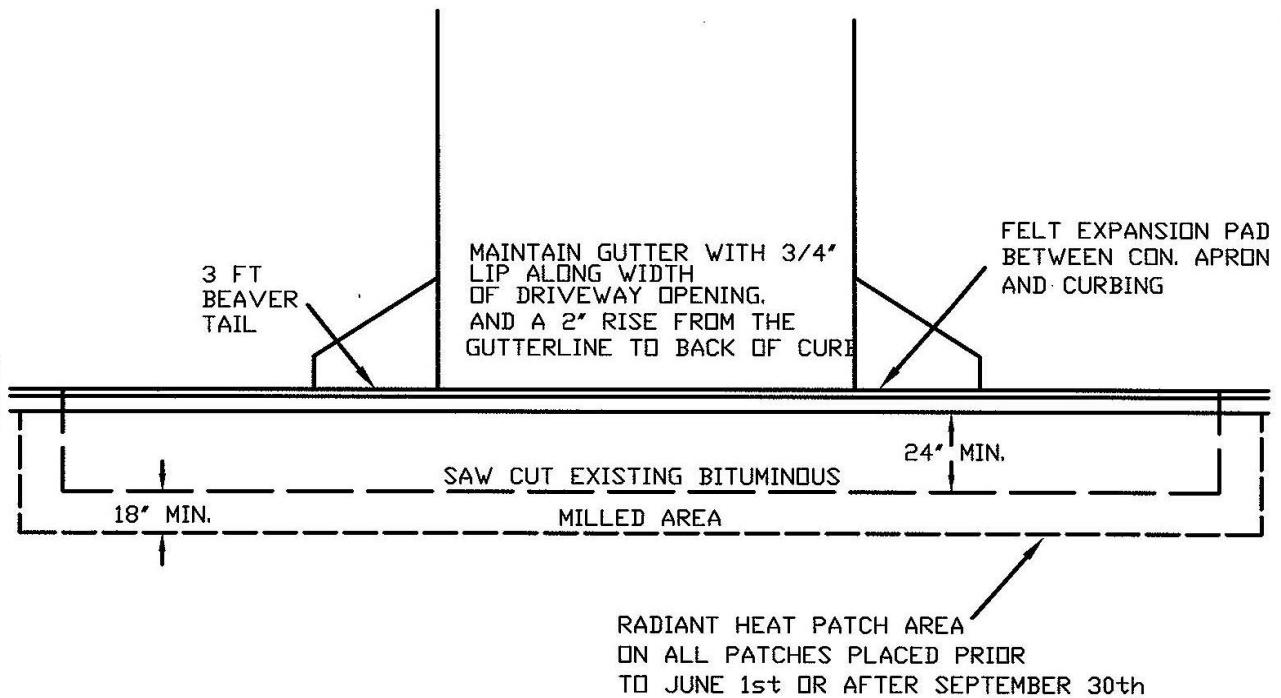
ALL BITUMINOUS MATCH POINTS SHALL BE SAWED / OR MILLED AND TACKED BEFORE PATCHING.

ON ROADS WHERE BITUMINOUS IS 3" THICK OR GREATER THE TOP 1.5" SHALL BE MILLED A MINIMUM OF 18" BEYOND THE SAW CUT AS A MATCH POINT.

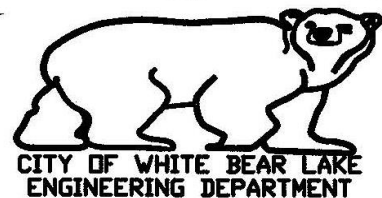
GRAVEL AND BITUMINOUS IN ROADWAY SHALL BE REPAIRED TO A NEW CONDITION MATCHING EXISTING THICKNESSES.

BITUMINOUS PATCH WORK DONE PRIOR TO JUNE 1st AND AFTER SEPTEMBER 30th SHALL BE HEATED WITH A RADIANT HEATER TO SEAL EDGES.

CONTRACTOR TO CALL CITY ENGINEERING DEPT (651-429-8531) FOR INSPECTION PRIOR TO CONSTRUCTION.



RESIDENTAL CURB  
OPENING



X:\ENGIN\PLATES\Plates\ENGLISH\RESIDENTAL CURB CUT.dwg

EFFECTIVE NOVEMBER, 1999