



**City of White Bear Lake  
Community Development Department  
4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8561 | [www.whitebearlake.org](http://www.whitebearlake.org)**

## **Fences**

This handout is a summary of the permit & inspection process as well as standard requirements based on City Regulations and State Building Code regarding Fences. Plans are subject to review and approval by the City Zoning Administrator and Building Inspector for compliance with Code Requirements. Information contained herein does not contain all of the specific codes for construction, and shall only be used as a guide.

**NOTE:** A fence permit is required for any fence four (4) feet and over in height. Fences under 48" in height, do not require a permit but are required to follow the same guidelines listed below.

### **Permit Submission Requirements:**

- Completed zoning permit application.
- Two copies of a Site Plan (which includes lot lines and dimensions, the location and dimensions of the principle structure and any other relevant structure(s), location and dimensions of proposed fence, fence detail (height, style and material of fence) and any additional information that may be required). See Site Plan Example.
- During busy times, permit approval may take approximately 7 to 10 business days. Please plan accordingly.

**Fence Permit Fee:** The permit fee is \$50.00

**Inspection Requirements:** The inspection card and approved plans must be on site upon the start of work until the final inspection has been performed and passed. All construction work shall remain accessible and exposed for inspection until approved by the Building Inspection Department.

All required inspections will be listed on the permit card. A final inspection is required upon completion of project and approvals for all other inspections have been complete; please call 651-429-8518 to schedule an inspection. A minimum of 24-hour notice is required for all inspections (period may lengthen during busy times).

***\*A fence footing & property pin exposure inspection may be required prior to pouring concrete.***

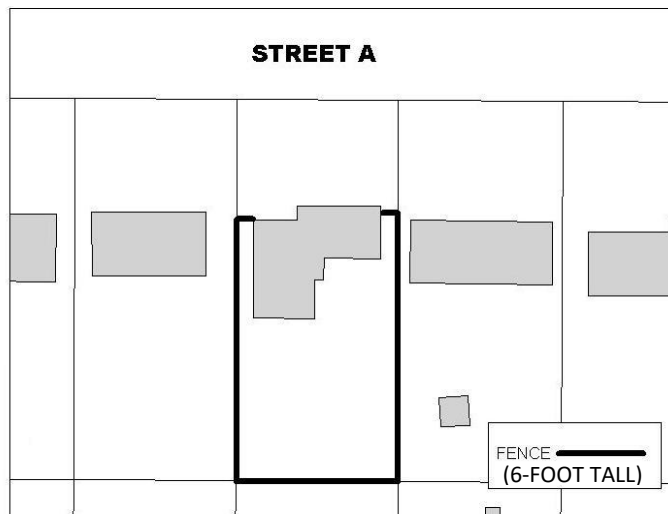
### **Information and Guidelines:**

- a) Solid walls in excess of four (4) feet above adjacent ground grades shall be prohibited. The term "solid wall" refers to retaining walls or above grade walls constructed of stone, boulders, concrete, modular block or other similar materials.
- b) Fences shall be at least thirty (30) percent open through the structure to allow for passage of light, air, and wind or have an approved foundation. Fences that are less than 30% open require a substantial footing to support the fence during windy conditions. A substantial footing shall be a footing with a depth below grade equal to or greater than 50% of the fence height.
- c) Fences located within the buildable area of a lot may be up to eight (8) feet in height. (Principal structure setbacks, not accessory structure setbacks.) No fences shall be permitted on public right-of-ways.

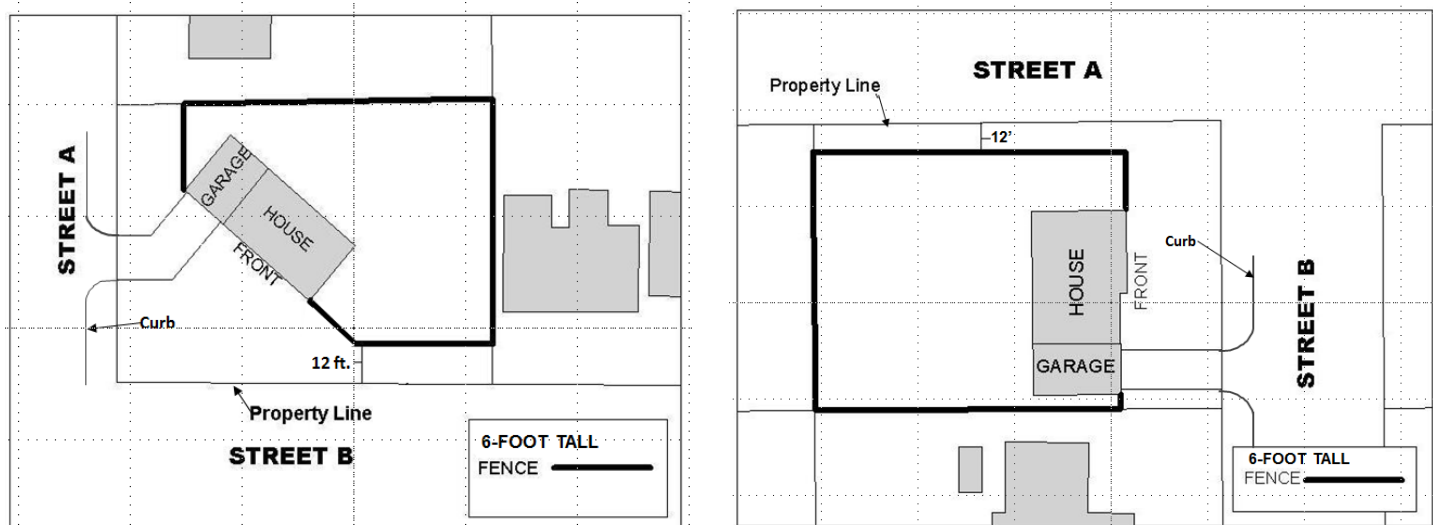
- d) Fences may be permitted along property lines & within required non-buildable setback areas, subject to the following:
- e) Fences may be placed along (not on, but just inside of) property lines, provided no construction, grading, or drainage damage results to abutting property.
- f) Fences in commercial and industrial districts may be erected along the side and rear lot lines to a height of eight (8) feet with or without a security arm for barbed wire. In no case shall a fence or security arm extension encroach over the property line.
- g) In residential districts, no fences or wall more than forty-eight (48) inches in height shall be constructed within any required front yard. Near street intersections, visibility triangles may limit fence height to 36 inches (see Municipal Code Section 904.010).
- h) On corner lots, in residential districts, a fence up to six (6) feet in height may be allowed within a front yard which qualifies as an equivalent side yard abutting a public right-of-way, provided that it is set back at least 12 feet from the property line and does not impede safety by obstructing vision for pedestrians or motor vehicle operators.
- i) Chain link is not allowed in the front yards of residential property – it is allowed in rear and side yards only.
- j) The property owner is responsible for providing proof of property line location. Existing survey stakes exposed at grade level with a string pulled between the stakes to define the line is considered acceptable proof of property line. Where property lines are not clearly defined, a certificate of survey may be required by the Zoning Administrator to establish location of the property line. See “How to Find Your Property Pins” handout.
- k) In those instances where a boundary line fence exists as an enclosure that restricts access from the front yard, a gate, identifiable, collapsible section, or other such means of recognizable ingress shall be provided for emergency vehicles. Such ingress points shall be unobstructed and a minimum of ten (10) feet in width. The location of such ingress points shall be positioned at any point paralleling the front lot line, between the side lot property line and the principle structure.
- l) Chain link fences (without slat screens) used for the enclosure of tennis courts or other such recreational purposes shall not exceed ten (10) feet in height and shall be located in a rear yard only.
- m) Pool safety fencing for in-ground or above-ground pools shall meet the pool safety barrier requirements. See pool handout.
- n) Every fence shall be constructed in a substantial skillful manner and of substantial material reasonably suited for the purpose for which the fence is proposed to be used. For example, temporary fences, such as wire mesh, are not appropriate as permanent boundary line fences. Every fence shall be maintained in a condition of reasonable repair and shall not, by reason of age, decay, accident or otherwise, be allowed to become and remain in a state of disrepair to be or tend to be a nuisance to the injury of the public or any abutting property. Any fence that is dangerous due to of its construction or state of disrepair or is otherwise injurious to the public safety, health, or welfare is a nuisance, and any such fence that has become or tends to be a nuisance shall upon order of a competent court be repaired or removed as necessary to abate the nuisance caused.

*This document is for informational purposes only and is not intended to address every situation for the permitting and plan review process.*

## INTERIOR LOT



## CORNER LOTS



- On a corner lot, the shorter of two sides abutting a street is considered the front.
- Fences may be located on any side or rear lot line to a height of six (6) feet above finished grade, beginning at the front building line of principle structure
- Chain link allowed in rear and side yards only.
- Electric and barbed wire fences are prohibited in residential districts.
- Fence supports must be placed on owner's property – a 6" setback is recommended.
- Supports to be installed on inside of fence – finished side of fence must face abutting property.
- Maximum fence height of fence in side and rear yard is 6 ft.
- Maximum fence height of fence in front yard is 4 ft.
- Fences erected within yards that abut any navigable lake, channel or stream shall not exceed forty-eight (48) inches in height.
- Fences less than 48" do not require a fence permit, but must still meet all the requirements of the code.

2022