

**PLANNING COMMISSION MEETING
AGENDA
CITY OF WHITE BEAR LAKE, MINNESOTA**

The City of White Bear Lake Planning Commission will hold a meeting on Monday, March 29, 2021 beginning at 7:00 p.m. Pursuant to a statement issued by the Mayor under Minnesota Statutes, section 13D.021 as a result of the COVID-19 pandemic, the meeting will be conducted electronically via WebEx. The meeting room at City Hall will not be open to the public.

1. Call to order and roll call.
2. Approval of the March 29, 2021 agenda.
3. Approval of the February 22, 2021 Planning Commission meeting minutes.
4. **CASE ITEMS:**
Unless continued, these cases will go to the City Council meeting on Tuesday, April 13, 2021.
 - A. **North Campus EAW: Case No. 21-1-EAW:** A request by the **City of White Bear Lake** for review and acceptance of the Findings of Fact and Conclusions of the Environmental Assessment Worksheet (EAW) prepared for the North Campus High School Expansion Project at the property located at 5045 Division Avenue.
 - B. **Case No. 21-3-CUP:** A request by **Independent School District #624** for a Conditional Use Permit, per Code Section 1303.245, to allow expansion of the existing North Campus public high school located in the P – Public zoning district at the property located at 5045 Division Avenue.
 - C. **Case No. 21-4-CUP & 21-5-V:** A request by **Jacob & Chandler Ommen** for a Conditional Use Permit for a home accessory apartment, per Code Section 1302.125, and the following five variances,
 - A 13 foot variance from the 35 foot front yard setback from the principal structure, per Code Section 1303.040, Subd.5.c.1, in order to expand an existing line of non-conformity for a mudroom addition;
 - A 2.7 foot variance from the 20 foot front yard setback for an accessory structure, per 1302.030, Subd.4.d;
 - A one-story variance from the one-story maximum for an attached accessory structure, per 1302.030, Subd.4.i.1.a;
 - A 321 square foot variance from the 1,000 gross square foot maximum size for an attached accessory structure, per 1302.030, Subd.4.i.1.a;
 - A 71 square foot variance from the 1,250 square foot maximum for all accessory structures combined, per 1302.030, Subd.4.i.2.b;All in order to construct a new attached garage with an accessory dwelling unit (ADU) above at the property located at 4320 Cottage Park Road.

D. Case No. 21-6-V: A request by **Jack Tamble** for a four foot variance from the five foot rear yard setback for a detached garage, per Code Section 1303.030, Subd.4.e., and a 7.7 foot variance from the 25 foot setback from a side abutting a public right-of-way, per Code Section 1302.030, Subd.4.d, in order to construct a new two-car garage one foot from the east property line at the property located at 4860 Stewart Avenue.

5. DISCUSSION ITEMS:

- A.** City Council Meeting Summary from March 9, 2021.
- B.** Park Advisory Commission Meeting Minutes from March 18, 2021 – Not Available.

6. ADJOURNMENT

Next Regular City Council Meeting April 13, 2021
Next Regular Planning Commission Meeting..... April 26, 2021

**MINUTES
PLANNING COMMISSION MEETING
CITY OF WHITE BEAR LAKE
FEBRUARY 22, 2021**

The regular monthly meeting of the White Bear Lake Planning Commission was called to order on Monday, February 22, 2021, beginning at 7:00 p.m. via WebEx, pursuant to a statement issued by the Mayor under Minnesota Statutes, section 13D.021 as a result of the COVID-19 pandemic, by Chair Ken Baltzer.

1. CALL TO ORDER/ROLL CALL:

MEMBERS PRESENT: Michael Amundsen, Ken Baltzer, Jim Berry (7:05 pm), Pamela Enz, Mark Lynch, and Erich Reinhardt.

MEMBERS EXCUSED: Peter Reis.

MEMBERS UNEXCUSED: None.

STAFF PRESENT: Anne Kane, Community Development Director, Samantha Crosby, Planning & Zoning Coordinator, and Ashton Miller, Planning Technician.

OTHERS PRESENT: Stephanie & Dave Herington, Melissa & Brent Peacock, Troy Kampa, Pat Egan, Greg Moore, Brian Kroonblawd, Kathy Morri, Jason Asmus, Bill Walsh, J. Ritter, John Shardlow, and Mark Smith.

2. APPROVAL OF THE FEBRUARY 22, 2021 AGENDA:

Member Lynch moved for approval of the agenda. Member Enz seconded the motion, and the agenda was approved (5-0).

3. APPROVAL OF THE JANUARY 25, 2021 PLANNING COMMISSION MEETING MINUTES:

Member Reinhardt moved for approval of the minutes. Member Enz seconded the motion, and the minutes were approved (5-0).

4. CASE ITEMS:

A. **Case No. 21-1-CUP:** A request by **Brent & Melissa Peacock** for a Conditional Use Permit for a second curb cut, per Code Section 1302.050, Subd.4.h.9, in order to install a u-shaped driveway in front of the home at the property located at 2532 Manitou Island.

Miller discussed the case. Staff recommended approval.

Member Baltzer opened the public hearing. As no one spoke on the matter, Member Baltzer closed the public hearing.

Member Enz moved to recommend approval of Case No. 21-1-CUP. Member Amundsen seconded the motion. The motion passed by a vote of 6-0 (Berry arrived at 7:05 pm).

- B. **Case No. 21-2-V:** A request by **Dave & Stephanie Herington** for an eleven foot variance from the 15 foot setback from a side property line, per Code Section 1303.040, Subd.5.c.2, in order to construct a living room addition four feet from the east property line at the property located at 2216 2nd Street.

Miller discussed the case. Staff recommended approval subject to the conditions listed in the report.

Member Amundsen wondered if the back portion of the addition would be used as recreational space since the elevations showed a railing and if that would require further variances. Kane replied as long as it is clear what is being proposed, the Planning Commission could approve the variance as requested.

Member Baltzer opened the public hearing.

Stephanie Herington, 2216 2nd Street, Applicant, confirmed that the flat roof would be used as a deck. Her neighbors are aware of the request and have signaled support for the design. In response to a question from Kane, Ms. Herington stated that they are still deciding on how to access the roof, but it will not be on the eastern side.

Member Baltzer closed the public hearing.

Member Amundsen moved to recommend approval of Case No. 21-2-V. Member Berry seconded the motion. The motion passed by a vote of 6-0.

- C. **Case No. 21-2-CUP & 21-4-V:** A request by **Heartland TC Gun Club & Range** for a Conditional Use Permit for 2,200 square feet of enclosed retail sales in the BW zoning district, per Code Section 1303.180, Subd.4.c, in order to sell sporting goods out of the proposed indoor commercial recreation facility, and a ten foot variance from the 15 foot setback required from a street right-of-way, per Code Section 1302.050, Subd.4.h.17.c, in order to locate parking five feet from the east property line at the property located at 4350 Centerville Road.

Crosby discussed the case. Staff recommended approval subject to the conditions listed in the report.

Member Baltzer opened the public hearing.

Pat Egan, 4350 Centerville Rd, Applicant, expressed appreciation for the Commissioners time and the efforts of staff. He stated that he believes they are proposing an attractive building that will draw many people to the area. The applicants agree with the conditions that have been proposed. He noted that he just learned of an issue with the neighbor to the north concerning an easement over the driveway.

Mark Smith, 4444 Centerville Rd, stated that he has been the owner of the property directly north of the subject site for the last fifteen years and he has kept the area looking nice through the years. He raised several concerns regarding the proposal, which he finds incomplete. His first concern was the six to seven foot retaining wall, which does not fit and is not allowed by code.

Member Baltzer asked staff about the retaining wall. Crosby explained there is at least one proposed retaining wall on the east side of the property because the grades are so steep in the area. She confirmed that retaining walls are limited to four feet in height and that as of right now, the applicants are proposing a six foot wall. She stated that they have the option of putting two 3 foot tall retaining walls in to meet code.

Mr. Smith interjected that two retaining walls would not fit because the applicants are requesting a five foot variance for parking. The variance should not be granted because the applicants cannot do what they are showing on the plan.

Member Enz requested feedback from staff on the retaining wall. Crosby agreed that they may not be able to fit the wall, but suspects that the applicants erred on the side of caution when making the variance request. In response to Mr. Smith, Crosby pointed out that there are many changes that will need to be made before a permit is issued and the City will ensure code is met.

Mr. Smith's second concern pertained to parking and access. He is afraid that patrons of the gun club will use his parking lot, which is closer to the entrance than most of parking stalls on the subject site. He does not want the tenants in his building to see people in the lot pulling guns out of their cars. He continued that there is an easement on the property that requires the owner of the subject site to maintain and remove snow from the access. The current owner is aware of the easement, yet has never taken care of the easement area. Lastly, he asked if there will be garage doors on the storage area, which may impact parking.

Member Lynch sought clarification on the easement. Crosby confirmed that there is an access easement. There is a curb cut at 4444 Centerville Road to the easement area, which is the entrance delivery trucks use, so it is an important easement agreement.

Member Berry asked if there is some way to verify that the owner neglected care. Mr. Smith stated he has receipts showing he has spent \$30,000 on maintenance.

Crosby explained that maintenance of the easement issue is a civil matter that the property owners would need to work out in a court of law.

Mr. Egan, applicant, responded that if needed, they will put signs up to inform customers not to park in the neighboring lot and will make sure their guests are informed on where to park. He stated that if the easement agreement says they need to do x, y and z, then they will comply. In response to a question from Member Lynch, Mr. Egan confirmed that there are two entrances to the building, one on the southwest side and one on the east. Mr. Egan explained that the overhead doors facing south will be for deliveries. The west to east doors will not have traffic coming through them like in the past, so parking will not be impacted.

Mr. Smith asked what recourse the City has if the retail portion of the business exceeds 2,200 square feet. He is doubtful that the business requires 4,000 square feet of office space. Kane replied that the retail is limited to the highlighted area on the submitted plans. If they want to expand, the applicants would need to seek an amendment to the Conditional Use Permit. If they expanded without going through the proper channels, the City could terminate the CUP.

Member Baltzer closed the public hearing.

Member Lynch summarized the two requests – the retail CUP and the variance. He believes that this is an appropriate location and as long as the proposal is revised to meet the building code, he is okay with the variance.

Member Enz stated that she is excited for the jobs the new business will bring to the city and finds the aesthetic of the building attractive.

Member Reinhardt asked the applicants what the capacity of the shooting range will be. Mr. Egan replied that typically there are 1 to 2 people per stall. He anticipates roughly 20 people at any given time on the weekends.

Member Lynch moved to recommend approval of Case No. 21-2-CUP & 21-4-V with all of staff's recommendations. Member Berry seconded the motion. The motion passed by a vote of 6-0.

5. DISCUSSION ITEMS:

A. City Council Meeting Summary of February 9, 2021.

Member Amundsen asked about the proposed project at 3rd Street and Cook Avenue. Kane provided a brief overview, stating that the developer recently hosted a neighborhood meeting where residents voiced concerns regarding the design and impacts on parking. The City has not received an application as of yet.

B. Park Advisory Commission Meeting Minutes of February 18, 2021 – Meeting Canceled.

No Discussion.

6. ADJOURNMENT:

Member Enz moved to adjourn, seconded by Member Lynch. The motion passed unanimously (6-0), and the February 22, 2021 Planning Commission meeting was adjourned at 8:04 p.m.



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission

From: Anne Kane, Community Development Director

Date: March 25th for the March 29, 2021 Planning Commission Meeting

Subject: **Case No. 21-1-EAW: North Campus Expansion and Renovation Project – Environmental Assessment Worksheet (EAW)**

REQUEST

Review of the Findings of Fact and Conclusions of the Environmental Assessment Worksheet completed to assess the environmental effects of the North Campus High School expansion project. The City shall require further environmental study through an Environmental Impact Statement when it finds under Minnesota Rule 4410 that an action is major and has potential for significant environment effects.

BACKGROUND

Pursuant to Minnesota Rule 4410.4300, the City of White Bear Lake is the Responsible Governmental Unit (RGU) for the Environmental Assessment Worksheet (EAW) for the proposed ISD #624 High School expansion project. The purpose of an EAW is to determine whether an Environmental Impact Statement (EIS) is needed. The EAW does not confer approval or denial of a project but rather is a tool to identify issues or impacts that can and cannot be addressed through the permitting process. As the proposed expansion project includes approximately 398,000 square feet of new institutional (educational) building space, the project meets the criterion established for preparation of a mandatory EAW.

The EAW analyzes a standard list of questions based on guidance from the Minnesota Environmental Quality Board (EQB). The EQB is the state's organization that oversees the rules and implementation of Minnesota's environmental review process. The standard list of questions includes reviewing impacts to storm water quality and quantity, habitat, traffic, municipal infrastructure, soils, land use, ecological resources, historical resources, visual impacts, air emissions and noise impacts.

ENVIRONMENTAL ASSESSMENT WORKSHEET

The engineering and planning firm of Short Elliot Hendrickson, Inc, was retained to prepare the mandatory EAW. The EAW was provided to the required review agencies and made available to the public on the School District's website for the required 30-day comment period beginning on February 2, 2021. The public comments period ended on March 5, 2021. No public hearing by the Planning Commission or City Council is required as part of this process. Comments through

the EAW process can help inform the permitting process and future steps for similar projects. Seven (7) comments letters were received during the comment period from one federal agency, three state agencies and three regional agencies. No comments from the general public were received. Draft responses to the substantive comments pertaining to the required elements of the environmental review are included for the Planning Commission's consideration in Appendix B of the Findings of Fact and Conclusion.

FINDINGS OF FACT & CONCLUSIONS

The Findings of Fact and Conclusions is a written document that lists the RGU's findings regarding the issues of fact related to the project, and that were used in reaching the environmental review decision. Based on the information in the EAW, no adverse environmental effects from the High School expansion project have been identified. The City makes the findings of fact listed below and concludes the Project does not have the potential for significant environmental effects and an EIS is not required for the ISD #624 High School Expansion Project.

1. White Bear Lake Independent School District (ISD) #624 is proposing to expand and remodel its 90 acre North Campus located at 5045 Division Avenue to create a single campus high school building serving all ISD students grades 9th through 12th. The proposed project includes 398,000 square feet of expanded institutional building space (classrooms, office, storage, gymnasiums, and accessory/common areas). Upon completion in Fall 2024, the high school will have capacity for up to 3,200 students.
2. An Environmental Assessment Worksheet (EAW) was required for the project in accordance with Minnesota Rules, part 4410.4300 Subp. 14 – Industrial, Commercial and Institutional facilities.
3. The City of White Bear Lake is the Responsible Governmental Unit (RGU).
4. The EAW was prepared using the form approved by the Minnesota Environmental Quality Board in accordance with Minnesota Rules, 4410.1300.
5. The EAW is incorporated by reference in this Record of Decision.
6. The EAW was published in the *EQB Monitor* on February 2, 2021. The EAW was sent to all persons and agencies on the EQB Distribution List and was posted on the School District's website.
7. The 30-day public review and comment period opened on February 2, 2021 and ended on March 5, 2021. Seven comment letters were received from public agencies.
8. Based on the comments received, the City does not find any corrections are necessary to the EAW.
9. The proposed project does not have the potential for significant environmental effects based on the above findings and the evaluation of the following four criteria, per Minnesota Rules 4410.1700 Subp. 7:

- a. Type, extent, and reversibility of environmental effects
- b. Cumulative potential effects of related or anticipated future projects
- c. Extent to which the environmental effects are subject to mitigation by on-going regulatory authority
- d. Extent to which environmental effects can be anticipated and controlled because of other environmental studies undertaken by public agencies or the project proposer, including other Environmental Impact Statements (EISs)

RECOMMENDATION

Staff recommends the Planning Commission accept the Findings of Fact and Conclusions, as presented, and forward the attached Resolution determining there is no need to complete an Environmental Impact Statement (EIS) for the White Bear Lake ISD #624 High School Expansion Project.

ATTACHMENTS

1. Draft Resolution
2. Findings of Fact and Conclusions, prepared by Short Elliott Hendrickson, Inc., dated March 2021.

RESOLUTION NO. _____

**RESOLUTION FOR NEGATIVE DECLARATION
ON THE NEED FOR AN ENVIRONMENTAL IMPACT STATEMENT
FOR THE WHITE BEAR SCHOOL DISTRICT (ISD #624)
HIGH SCHOOL EXPANSION PROJECT**

WHEREAS, pursuant to Minnesota Environmental Quality Board (EQB) Rules, Chapter 4410.1000, the City of White Bear Lake as the responsible governmental unit issued an Environmental Assessment Worksheet (EAW) for the proposed expansion of the White Bear North Campus High School; and

WHEREAS, pursuant to Minnesota EQB Rules, Chapter 4410, and as a result of the proposed actions, the project meets the thresholds for an EAW for new or expansion of industrial, commercial, and institutional facilities; and

WHEREAS, copies of the EAW were distributed to all persons and agencies on the official EQB mailing list prior to February 2, 2021; and

WHEREAS, notice of the availability of the EAW for public review for a 30-day comment period was published in the EQB *Monitor* on February 2, 2021 and a media release was provided to the White Bear Press on January 25, 2021 for their consideration; and

WHEREAS, the preparation of the ISD #624 High School Expansion Project EAW and comments received on the EAW have generated information adequate to determine whether the proposed project has the potential for significant environmental impacts; and

WHEREAS, the ISD #624 High School Expansion Project is expected to comply with all the City development standards and review agency permits/regulations; and

WHEREAS, based on the criteria established in Minnesota Rules 4410.1700, the project does not have the potential for significant environmental effects; and

WHEREAS, based on the Findings of Fact and Conclusions, the project does not have the potential for significant environmental impacts.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake, Ramsey County, Minnesota as follows:

That it should and hereby does make a negative declaration on the need for an Environmental Impact Statement for the White Bear Lake ISD #624 High School Expansion Project.

Resolution No. _____

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The foregoing resolution offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

FINDINGS OF FACT and CONCLUSIONS

White Bear Lake Independent School District (ISD #624) High School Expansion Project

**Prepared for:
City of White Bear Lake**

and

White Bear Lake School District



**Prepared by:
Short Elliott Hendrickson, Inc.**



March 2021

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APPENDIX A – EAW Publication and Notification Materials

APPENDIX B – EAW Comments and Responses

APPENDIX C – Water & Sewer Calculations and Existing/Proposed Utility Connections Map

FINDINGS OF FACT AND CONCLUSIONS

White Bear Lake Independent School District (ISD #624) High School Expansion Project

Located in:
City of White Bear Lake, Ramsey County, MN

1.0 STATEMENT OF ISSUE

The White Bear Lake Independent School District (ISD #624) High School Expansion Project is located in the City of White Bear Lake, Ramsey County, MN. The proposed project includes a 397,977 square foot expansion of new institutional building space (classrooms, office, storage, gymnasium, theater, and other accessory/common areas). Other site features will include internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity field improvements, and utility infrastructure for the expanded school and ancillary uses.

Preparation of an Environmental Assessment Worksheet (EAW) is considered mandatory under Minnesota Rules 4410.4300. The White Bear Lake School District is the project proposer, while the City of White Bear Lake is the Responsible Governmental Unit (RGU) for review of this project, as per Minnesota Rules 4410.4300, Subpart 14(B).

The City of White Bear Lake's decision in this matter shall be either a negative or a positive declaration of the need for an Environmental Impact Statement (EIS). The City must order an EIS for the project if it determines the project has the potential for significant environmental effects.

Based upon the information in the record, which comprises the EAW for the proposed project, related studies referenced in the EAW, and other supporting documents included in this Findings of Fact and Conclusions document, the City makes the following Findings of Fact and Conclusions:

2.0 ADMINISTRATIVE BACKGROUND

- 2.1 The White Bear Lake Independent School District (ISD #624) is the project proposer for the High School Expansion Project. The Responsible Governmental Unit (RGU) is the City of White Bear Lake. A State Environmental Assessment Worksheet (EAW) has been prepared for this project as part of the state environmental review process to fulfill requirements of M.S. 116D and Minnesota Rules Chapter 4410. The EAW is used to provide sufficient environmental documentation to determine the need for a state EIS or that a Negative Declaration is appropriate.
- 2.2 The EAW was filed with the Minnesota Environmental Quality Board (EQB) and circulated for review and comments to the required EQB distribution list. A "Notice of Availability" was published in the EQB Monitor on February 2, 2021. **Appendix A** contains a copy of the EQB Monitor listing for the project and members on the EAW Distribution List. The EAW was posted on the ISD #624 web site at: <https://www.isd624.org/about/building-our-future>. A media release was distributed to the White Bear Press on January 25, 2021 (see **Appendix A**).

- 2.3 The EAW was made available for public review at the White Bear Lake City Office and the Ramsey County Public Library (White Bear Lake Branch). Comments were formally received through Friday, March 5, 2021.
- 2.4 A total of 7 comments were received during the EAW comment period. All comments received during the comment period were considered in determining the potential for significant environmental impacts. Comments received during the comment period and responses to substantive comments are provided in **Appendix B**.

3.0 FINDINGS OF FACT

3.1 Project Description

Beginning in 2017, ISD #624 created a Strategic Plan to study and identify the District's needs and the ability to provide adequate facilities for existing and future student enrollments. Following the Strategic Plan, a comprehensive review of the District's existing facilities and future needs was undertaken. A primary recommendation of the facilities review and planning process was to create a single grades 9-12 high school building. The study gathered internal and external feedback from the community and brought forth a bond referendum that included several capital improvements including the construction of a single White Bear High School building located at the site of the existing North Campus Site. In the fall of 2019, voters in the ISD 624 district approved the referendum, whereby providing the needed funding for the expanded high school. Other operational recommendations being planned include moving the District Offices from Central Middle School to the Sunrise Park building and converting the South Campus High School (currently serving 11th and 12th grades) to a middle school for the southern portion of the District.

Construction of the proposed school expansion will include three additional wings that will be one- and three-story structures. Other associated school facilities include added student and faculty parking, student drop-off zones, school bus loading/unloading zone, and internal access/circulation roads. In conjunction with the school building facilities, the project proposes to construct or reconfigure the athletic fields and courts at both the North Campus site and Central Middle School site. The proposed facilities will accommodate a variety of activities including, but not limited to, physical education classes and team sports such as football, soccer, lacrosse, tennis, track & field, etc. The centrally located track and field is proposed to include "stadium lighting" for evening events. Larger events (varsity football) will continue to utilize the stadium facility located at South Campus.

Included in the project site is the Central Middle School. While no exterior building improvements will occur, the Middle School facilities will be expanded into what is currently District administrative space. The school administration facilities will be relocated to what is currently Sunrise Park Middle School, which is located several miles south of the proposed high school expansion site. Additionally, the two schools propose to share a new bus loading and drop off zone and the athletic/activity facilities.

Roadway improvements in the study area will also occur in conjunction with the school improvements. These improvements are being developed by ISD #624, in close coordination with the appropriate roadway authorities (MnDOT, Ramsey County, and White Bear Lake). Transportation improvements include traffic control changes, intersection safety/capacity improvements, and enhanced pedestrian/bicycle facilities. Utility infrastructure (sewer/water) will be improved within and to the project site. Stormwater infrastructure will include both surface and underground collection and treatment system that will be design in accordance with local and state regulations.

3.2 Additional Information Regarding the EAW Since It Was Published

Since the EAW was published, the project site plan has remained the same and no changes to the EAW findings are needed.

3.3 Findings Regarding Criteria for Determining the Potential for Significant Environmental Effects

Minnesota Rules 4410.1700 provides that an Environmental Impact Statement shall be ordered for projects that have the potential for significant environmental effects. In deciding whether a project has the potential for significant environmental effects, the following four factors described in Minnesota Rules 4410.1700, Subp.7 shall be considered:

- A. Type, extent, and reversibility of environmental effects
- B. Cumulative potential effect of related or anticipated future projects

The RGU shall consider the following factors: whether the cumulative potential effect is significant; whether the contribution from the project is significant when viewed in connection with other contributions to the cumulative potential effect; the degree to which the project complies with approved mitigation measures specifically designed to address the cumulative potential effect; and the efforts of the proposer to minimize the contributions from the project
- C. The extent to which the environmental effects are subject to mitigation by ongoing public regulatory authority.

The RGU may rely only on mitigation measures that are specific and that can be reasonably expected to effectively mitigate the identified environmental impacts of the project; and
- D. The extent to which environmental effects can be anticipated and controlled because of other available environmental studies undertaken by public agencies or the project proposer, including other EISs.

The City of White Bear Lake's key findings for the ISD #624 Highway School Expansion Project with respect to each of these criteria are set forth below:

3.3.1 Type, Extent, and Reversibility of Impacts

The City of White Bear Lake finds that the analysis completed during the EAW process is adequate to determine whether the project has the potential for significant environmental effects. The EAW describes the type and extent of impacts anticipated to result from the proposed project. In addition to the information in the EAW, the additional information described in Section 3.2 of this Findings of Fact and Conclusions document as well as the public/agency comments received during the public comment period (see **Appendix B**) were taken into account in considering the type, extent, and reversibility of project impacts. Following are the key findings regarding potential environmental impacts of the proposed project and the design features included to avoid, minimize, and mitigate these impacts:

3.3.1.1 Land Use:

Land Use and Development: The project is proposed on the same location as the existing White Bear Lake High School North Campus and Central Middle School. The site plan does include expansion of the ISD #624 property with the acquisition of several residential building sites.

The City of White Bear Lake's 2040 Comprehensive Future Land Use Plan identifies "Public/Semi-Public" and "Residential" for the property within the school site plan. There are no special districts/overlays associated with the site. A replatting and rezoning of several residential parcels will occur as part of the local site development and permitting/approval process.

3.3.1.2 Water Resources:

Surface Waters: The project will not involve work in surface waters. Several water features are near the project area, Bald Eagle Lake, White Bear Lake, and a few unnamed wetlands. Runoff from construction sites can impact downstream surface waters which is mitigated by the temporary and permanent BMPs required under the NPDES/SDS Construction Stormwater Permit. Temporary erosion and sediment control measures will be implemented throughout the construction activities to protect downstream receiving surface waters. Permanent BMPs are discussed more in the following section, stormwater management.

Groundwater: The site of the proposed school expansion is located outside of White Bear Lake's Wellhead Protection Plan area and is not located within a designated wellhead protection or drinking water supply management area.

Wastewater:

The expanded school will produce and increase the amount of wastewater from the site. The wastewater generated in the school will be sanitary sewage and will be serviced by the City and Metropolitan Council Environmental Services sanitary sewer lines and ultimately treated at the Metropolitan Wastewater Treatment Plant. A total of 61,000 gallons per day of wastewater is estimated to be produced which is within the capacity of existing sewer lines and the treatment plant.

Stormwater Management: The study area lies within the Rice Creek Watershed District (northern portion of study area) and the Vadnais Lake Area Water Management Organization (southern portion of study area). The majority of existing stormwater from the North Campus School building, including the surrounding parking areas, slope to the north towards existing wetlands surrounding the athletic fields. The post school expansion drainage patterns on the site will maintain the existing drainage patterns. The project will result in an increase of impervious surfaces by approximately 14.3 acres. The majority of the added impervious is a result of the school building expansion, new parking lots, access roads, and sidewalks. To meet water quality permit requirements, a series of stormwater ponds/infiltration basins and underground chamber cells are proposed throughout the site. All stormwater BMPs will comply with local and state requirements.

Water appropriation: The school site is currently connected to the City of White Bear Lake's municipal water supply provided to the site via connections to the Division Avenue watermain line. Existing water main lines will be utilized and upgraded as needed, including added connections to improve looping and provide redundancy in the system.

If temporary dewatering is necessary for construction activities a MNDNR water appropriations permit will be obtained.

Wetlands and wet ditches: The project will result in approximately 1.0 acre of wetland impacts due to proposed improvements to the athletic fields located north of the building site. The areas of impact are currently used as recreational fields for school and athletic activities, but they have been prone to wet field conditions. The proposed improvements will fill and regrade the entire athletic field area,

whereby creating the wetland impacts. The wetland permitting process is underway including the identification of wetland mitigation that will be completed in the form of purchasing wetland credits from a certified wetland bank.

Floodplain: There are no designated floodplains within the study area.

- 3.3.1.3 Contamination: According to the MPCA’s “What’s in My Neighborhood” online dataset, there are five known occurrences of potential hazardous waste/contamination within the study area. These occurrences are primarily associated with the ISD #624 transportation maintenance facility (bus garage/shop and bus storage lot). The proposed project includes the removal and relocation of the transportation maintenance facility to an off-site location. The bus garage/shop and associated above and below ground fuel storage tanks) and other hazardous materials will be removed in compliance with state regulations. Any unknown materials that may be encountered during construction will be handled in accordance with the Construction Contingency Plan (CPP), which will identify how to handle any contaminants encountered.

All solid wastes generated by construction of the proposed project will be disposed of properly in a permitted, licensed solid waste facility. Project demolition of concrete, asphalt, and other potentially recyclable construction materials will be directed to the appropriate storage, crushing, or renovation facility for recycling. Any contaminated spills or leaks that occur during construction are the responsibility of the contractor and would be responded to according to the MPCA containment and remedial action procedures.

- 3.3.1.4 Fish, Wildlife, Plant Communities and Sensitive Ecological Resources: The project is not anticipated to have any substantial adverse impacts to fish, wildlife, and ecologically sensitive resources. Impacts to existing vegetation, including the removal of trees, grasslands, and other natural vegetation will occur because of constructing the proposed project. Efforts will be made to minimize and protect natural vegetation and a complete landscape/vegetation plan is being developed and will be in accordance with City zoning and replacement requirements. Vegetative screening of adjacent residential properties will also be provided per city code.

- 3.3.1.5 Historic: A literature review was conducted for the study area to determine if any known archaeological or historic cultural resources have been previously identified surrounding the school site. Information obtained from the Minnesota State Historic Preservation Office (MnSHPO) shows there are no known or National Register listed archaeological or historical sites within to the study area. As a result of the review, it has been determined that no archaeological or historical site impacts are anticipated.

- 3.3.1.6 Visual: While there will be minor visual impacts involving the school expansion (increased site footprint, building heights, and removal of vegetation), the site is consistent with an urban landscape and existing North Campus and Central Middle School developments. Therefore, substantial negative visual impacts are not anticipated.

- 3.3.1.7 Construction Noise and Dust: Construction related activities will result in temporary noise level increases associated with construction equipment. The duration of the project is anticipated to last up to two full construction seasons with work occurring during daylight hours. High-impact noise construction activities will be limited in duration to the greatest extent possible.

Dust generated during construction will be minimized through standard dust control measures such

as applying water to exposed soils and limiting the extent and duration of exposed soil conditions. Construction contractors will be required to control dust and other airborne particulates in accordance with city development standards. After construction is complete, dust levels are anticipated to be minimal because all soil surfaces exposed during construction would be in permanent cover (i.e., paved or re-vegetated areas). During construction, particulate emissions will temporarily increase due to the generation of fugitive dust associated with activities such as building demolition and soil disturbance.

- 3.3.1.8 Transportation: The proposed high school expansion project will generate traffic in the study area. A detailed Traffic Impact Study was completed as part of the project development process. The study report (included in an appendix of the EAW) defined several transportation improvements that will be implemented to mitigate traffic impacts. These improvements include expanding turn lanes, intersection traffic controls, lane additions, and pedestrian improvements are being coordinated with the appropriate roadway jurisdiction (City of White Bear Lake, Ramsey County, and MnDOT).
- 3.3.1.9 Considerations Relating to Pedestrians and Bicyclists: Improving the accommodations of bicycle and pedestrian movements in the project area has been an important consideration in the planning phase of the project. The proposed improvements include new sidewalks interconnecting different uses across the site as well as a new sidewalk along 8th Street between Highway 61 and Bloom Avenue. Additional sidewalk and trail improvements in the area are being assessed by the School District in coordination with the City of White Bear Lake, White Bear Township, and Ramsey County.
- 3.3.1.10 Summary finding with respect to these criteria: The City of White Bear Lake finds that the project, as it is proposed, does not have the potential for significant environmental effects based on the type, extent, and reversibility of impacts to the resources evaluated in the EAW and in the Findings summary above. Project impacts will be mitigated as described in the EAW and in the Findings above.

3.3.2 Cumulative Potential Effects of Related or Anticipated Future Projects

ISD #624 has no immediate future projects in proximity to the High School Expansion Project that would interact with the environmental effects of the proposed action.

The City of White Bear Lake anticipates future land use redevelopment in the City's Theater District. The timeline for development is not known at this time and is highly dependent upon market forces and private landowner decisions. The analysis in this document took into consideration future development opportunities for the purposes of social, economic, and environmental impacts in the study area. Any future projects will be reviewed by the City of White Bear Lake and mitigation (if necessary) will be defined as development plans become available. It is not anticipated that future projects will combine with the impacts caused by the proposed high school project in this EAW to cause significant cumulative potential effects.

3.3.3 Extent to Which the Environmental Effects are Subject to Mitigation by Ongoing Public Regulatory Authority

- 3.3.3.1 The mitigation of environmental impacts will be designed and implemented in coordination with regulatory agencies and will be subject to the plan approval and permitting processes. Permits and approvals that have been obtained or may be required prior to project construction include those listed in **Table 1**.

Table 1 – Permits and Approvals

Unit of Government	Type of Permit/Approvals	Status
City of White Bear Lake	Site Plan Review	To Be Obtained
	Comprehensive Plan Amendment to re-guide parcels from Low Density Residential to Public/Semi-Public	To Be Obtained
	City Land Use Development/Building Permits	To Be Obtained
	Roadway/Access Permit (Division Ave.)	To Be Obtained
Ramsey County	Roadway/Access Permit (Bald Eagle Ave.)	To Be Obtained
Rice Creek Watershed District	Water Quality Plan Approval	To Be Obtained
Rice Creek Watershed District	Wetland Conservation Act	To Be Obtained
Vadnais Lake Area Water Management Org.	Water Quality Plan Review	To Be Obtained
Minnesota Pollution Control Agency (MPCA)	NPDES/SDS Construction Stormwater Permit	To Be Obtained
	Sanitary Sewer Extension	To Be Obtained
Minnesota Department of Labor & Industry	Plumbing Plan Review	To Be Obtained
Minnesota Department of Health	Food Service	To Be Obtained
Minnesota Department of Transportation	Traffic Signal Installation/Modification	To Be Obtained

Several of the permits will involve requirements for mitigation to offset the environmental impacts. Therefore, the City of White Bear Lake finds that the environmental effects of the project are subject to mitigation by ongoing regulatory authority.

3.3.4 Extent to Which Environmental Effects can be Anticipated and Controlled as a Result of Other Available Environmental Studies Undertaken by Public Agencies or the Project Proposer, Including other EISs

The City of White Bear Lake finds:

1. The proposed project includes various measures to reduce adverse impacts to the environment and existing natural resources.
2. The project is subject to local, regional, state, and federal requirements.
3. The project proposed (ISD #624) and/or developer will secure all necessary permits and will adhere to all requirements of the permits.
4. Considering the results of environmental review and permitting processes for similar projects, the City of White Bear Lake finds that the environmental effects of the project can be adequately anticipated, controlled, and mitigated.

4.0 CONCLUSIONS

1. The of White Bear Lake has jurisdiction in determining the need for an environmental impact statement on this project.
2. All requirements for environmental review of the proposed project have been met.
3. The EAW and the permit development processes to date related to the project have generated information which is adequate to determine whether the project has the potential for significant environmental effects.
4. Areas where potential environmental effects have been identified will be addressed during further site design and permitting. Mitigative measures will be incorporated into project design and have been or will be coordinated with permitting agencies.
5. Based on the criteria in Minnesota Rules part 4410.1700, subp. 7, the project does not have the potential for significant environmental effects.
6. An Environmental Impact Statement is not required for the White Bear Lake (ISD #624) High School Expansion Project.
7. Any findings that might properly be termed conclusions and any conclusions that might properly be called findings are hereby adopted as such.

Based on the Findings of Fact and Conclusions contained herein and on the entire record:

The City of White Bear Lake hereby determines that the ISD #624 High School Expansion Project, located in the City of White Bear Lake, Ramsey County, will not result in significant environmental impacts, and that the project does not require the preparation of an environmental impact statement.

City Council concurrence by Resolution No. 6-21, declaring a negative need for an Environmental Impact Statement, is included in Appendix B.

Pursuant to Minnesota Rules Part 4410.1700, Subpart 5, a copy of this RGU Record of Decision is being provided, within 5 days, to all persons on the MEQB Distribution List, to persons commenting and to persons who requested a copy. This Record of Decision will also be made available on the City of White Bear Lake's website and the ISD#624 website.

For the City of White Bear Lake

Ellen Hiniker
White Bear Lake City Administrator

Date

APPENDIX A – EAW Publication and Notification Materials

- **EQB Notice of Availability**
- **EAW Distribution List**
- **EAW Distribution Letter**
- **Media Release Provided to White Bear Press**

EQB Announcement

EQB wants to hear from you! Integrating climate information into the Environmental Review Program

The Environmental Quality Board (EQB) is considering changes to integrate climate information into the Environmental Review Program. EQB would like input on draft recommendations before making final decisions on any program changes. Learn more about the project and how you can participate by visiting EQB's [Climate Change and Environmental Review webpage](#). There will be opportunities to participate throughout the spring. Updates will be posted on the website and in the *EQB Monitor*.

Environmental Assessment Worksheets

White Bear Lake Independent School District (ISD #624) High School Expansion

Comment Deadline: March 4, 2021

Project Description: White Bear Lake School District (ISD) 624 proposes to redevelop an approximately 90-acre site located in the City of White Bear Lake. The site currently serves as the District's North Campus High School (serving Grades 9th & 10th) and Central Middle School (serving Grades 6 through 8). The proposed school expansion at the North Campus site will create a single campus high school building serving all ISD students in Grades 9 through 12. The proposed project includes a 397,977 sq./ft. expansion of new institutional building space (classrooms, office, storage, gymnasium, theater, and other accessory/common areas). Other site features will include internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity field improvements, and utility infrastructure for the expanded school and ancillary uses. The property is bound by Bald Eagle Avenue (west), Division Avenue (east), Central Middle School (south) and the Canadian Pacific Rail corridor (north).

Link to Document: <https://www.isd624.org/about/building-our-future>

RGU: City of White Bear Lake

RGU Contact: Anne Kane, 651-429-8562, akane@whitebearlake.org

EAW Distribution List

Agency/Organization	Distribution #	Submission
State Agencies		
Environmental Quality Board	1 copy (electronic)	Online Submission Form at: www.eqb.state.mn.us/eqb-monitor
Department of Agriculture	1 copy (electronic)	becky.balk@state.mn.us
Department of Commerce	1 copy (electronic)	raymond.kirsch@state.mn.us
Department of Health	1 copy (electronic)	health.review@state.mn.us
Department of Natural Resources	1 copy (electronic)	jill.townley@state.mn.us
Pollution Control Agency	1 copy (electronic)	dan.card@state.mn.us
Board of Water & Soil Resources	1 copy (electronic)	annie.felix-gerth@state.mn.us
Department of Transportation	1 copy (electronic)	debra.moynihan@state.mn.us
State Archaeologist	1 copy (electronic)	mn.osa@state.mn.us
Indian Affairs Council	1 copy (electronic)	melissa.cerda@state.mn.us
Historic Preservation Office	1 copy (electronic)	envreviewshpo@state.mn.us
Metropolitan Council	1 copy (electronic)	reviewscoordinator@metc.state.mn.us
Libraries		
Environmental Conservation Library	1 copy (electronic)	govdoc@hclib.org
Ramsey County/White Bear Lake Public Library	1 hardcopy	2150 2nd Street, St. Paul MN 55110
Federal Agencies		
U.S. Fish & Wildlife Service	1 copy (electronic)	peter_fasbender@fws.gov
U.S. Army Corps of Engineers	1 copy (electronic)	mvp-reg-inquiry@usace.army.mil
U.S. Environmental Protection Agency	1 copy (electronic)	westlake.kenneth@epa.gov
Local Agencies		
Rice Creek Watershed District	1 copy (electronic)	ntomczik@ricecreek.org
Vadnais Lake Area Water Management Organization	1 copy (electronic)	office@vlawmo.org
City of Birchwood	1 copy (electronic)	info@cityofbirchwood.com
City of Gem Lake	1 copy (electronic)	gloria.tessier@gemlakemn.org
City of Hugo	1 copy (electronic)	riuba@ci.hugo.mn.us
City of Vadnais Heights	1 copy (electronic)	nolan.wall@cityvadnaisheights.com
White Bear Township	1 copy (electronic)	wbt@whitebear township.org
RGU and Proposer		
City of White Bear Lake - RGU	1 copy (electronic)	akane@whitebearlake.org
ISD 624 - Proposer	1 copy (electronic)	tim.wald@isd624.org
City of WBL - Added Agencies		
White Bear Center for the Arts	1 copy (electronic)	Suzi Hudson <shudson@whitebeararts.org>
Lakeshore Players Theater	1 copy (electronic)	Rob Thomas <office@lakeshoreplayers.org>
Children's Performing Arts	1 copy (electronic)	Sharon Hanifl-Lee <sharonh@childrensperformingartsmn.org>
Ramsey County - Public Works	1 copy (electronic)	Schoenecker, Ted <ted.schoenecker@CO.RAMSEY.MN.US>
Ramsey County Regional Rail Authority	1 copy (electronic)	Gitzlaff, Andrew J (andrew.gitzlaff@CO.RAMSEY.MN.US)
Ramsey County - Parks and Recreation	1 copy (electronic)	Yonke, Scott <scott.yonke@co.ramsey.mn.us>
White Bear Area Historical Society	1 copy (electronic)	Sara Hanson <sara@whitebearhistory.org>
White Bear Lake Conservation District	1 copy (electronic)	Bryan DeSmet <bdesmet@wblcd.org>

EAW Distribution Letter



Building a Better World
for All of Us®

January 27, 2021

RE: EQB Distribution List Members
White Bear Lake School District High
School Expansion Project

This EAW notice of availability is being sent on behalf of the White Bear Lake School District (project proposer) and City of White Bear Lake (RGU). The proposed project involves the redevelopment of an approximately 90 acres site that includes the School District's North Campus High School and Central Middle School. The site improvements include a proposed 397,977 square foot expansion of new institutional building space (classrooms, office space, theater, gymnasium, storage, and other accessory/common areas) at the North Campus building site. Other planned improvements include new internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity field improvements, and utility infrastructure for the expanded school.

An Environmental Assessment Worksheet (EAW) has been prepared and will be available for public and agency review beginning Tuesday, February 2, 2021. The EAW documents the purpose of the project along with the anticipated social, economic, and environmental effects. The EAW is available for online review at the School District's "[Building Our Future Facilities Process](#)" website.

Copies of the EAW are being distributed to agencies on the current Minnesota Environmental Quality Board (EQB) Distribution list and to other local agencies. The deadline for submitting comments is Friday, March 5, 2021. Because the City of White Bear Lake is considered the Regulatory Governmental Unit for the EAW, all comments should be directed to:

Anne Kane
White Bear Community Development Director
White Bear Lake City Offices
4707 Highway 61
White Bear Lake, MN 55110
e-mail at: akane@cwhitebearlake.org

Sincerely,

SHORT ELLIOTT HENDRICKSON INC.

Robert Rogers, AICP
SEH, Sr. Planner

cc: Anne Kane, White Bear Lake Community Development Director
Tim Wald, ISD 624, Asst. Superintendent for Finance and Operations

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 3535 Vadnais Center Drive, St. Paul, MN 55110-3507
SEH is 100% employee-owned | sehinc.com | 651.490.2000 | 800.325.2055 | 888.908.8166 fax

Media Release Provided to White Bear Press

January 25, 2021

MEDIA RELEASE

FOR IMMEDIATE USE – January 25, 2021

WHITE BEAR LAKE SCHOOL DISTRICT (ISD#624): HIGH SCHOOL EXPANSION PROJECT



White Bear Lake, MN – The White Bear Lake Independent School District (ISD #624) proposes to redevelop an approximately 90 acres site that includes the School District’s North Campus and Central Middle School. The site improvements include a proposed 397,977 square foot expansion of new institutional building space (classrooms, office space, theater, gymnasium, storage, and other accessory/common areas) at the North Campus building site. Other planned improvements will feature new internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity field improvements, and utility infrastructure for the expanded school. The property is bound by Bald Eagle Avenue (west), Division Avenue (east), Central Middle School (south) and the Canadian Pacific Railroad corridor (north).

As part of the planning and design phase of project development, an Environmental Assessment Worksheet (EAW) has been prepared and will be available for public and agency review beginning Tuesday, February 2, 2021. The EAW documents the purpose of the project along with the anticipated social, economic, and environmental effects. The EAW is available for online review at the School District’s “*Building Our Future Facilities Process*” website at: <https://www.isd624.org/about/building-our-future>. A hardcopy of the EAW is also available for public viewing at the White Bear Lake Public Library, located at 2150 2nd Street, White Bear Lake, MN 55110.

The deadline for submitting comments is March 5, 2021. Because the City of White Bear Lake is considered the Regulatory Governmental Unit for the EAW, all comments should be directed to: Anne Kane, White Bear Community Development Director, White Bear Lake City Offices, 4707 Highway 61, White Bear Lake, MN 55110 or via e-mail at: akane@cwhitebearlake.org

To request this document in an alternative format, please contact the Affirmative Action Office at 651-366-4718 or call 1-800-657-3774 (Greater Minnesota). For Minnesota Relay, call 711 or 1-800-627-3529. You may also send an e-mail to ADArequest.dot@state.mn.us. (Please make your request at least one week in advance).

APPENDIX B - EAW Comments and Responses

The EAW for the ISD #624 High School Expansion Project was distributed on February 2, 2021 to agencies and organizations on the official distribution list, as well as additional agencies/ organizations that had either requested a copy of the document, and/or that could be affected by the proposed project. The comment period for the EAW officially started on February 2, 2021 and closed at the end of the business day on March 5, 2021.

During the agency and public review and comment period, the City of White Bear Lake received comments on the EAW from 1 federal agency, 3 state agencies, and 3 regional agencies. No comments were received from the public.


Consistent with state environmental review rules, substantive comments received are responded to in this appendix, as part of the Findings of Fact and Conclusions for the project record. Specifically, responses have been prepared for substantive statements pertaining to analysis conducted for and documented in the EAW, including incorrect, incomplete, or unclear information; permit requirements; content requirements. These comments and responses are included on the following pages. Written comments agreeing with the EAW project information, general opinions, statements of fact, or statements of preference were not formally responded to, but are also included.

Comments and Responses to Those Comments

This section contains the comments and written responses to all comments received from the following individuals/agencies during the public comment period:

- US Army Corps of Engineers
- Minnesota Department of Transportation
- Ramsey County Public Works Department
- Metropolitan Council
- Vadnais Lake Area Water Management Organization
- Minnesota Pollution Control Agency
- Minnesota Department of Natural Resources

US Army Corps of Engineers Comments	Response
<hr/> <p>From: White, Eric J CIV USARMY CEMVP (USA) <Eric.J.White@usace.army.mil> Sent: Tuesday, February 2, 2021 1:53 PM To: Anne Kane <akane@whitebearlake.org> Subject: MVP-2020-00625-EJW</p> <p>Hi Anne,</p> <p>As per our phone call just now, I wanted to see if you needed anything from the Corps from the EAW we'd received. It looks like we'd sent a delineation concurrence for the site on 6/15/2020. If you have any questions, feel free to call or email me.</p> <p>Thanks, Eric</p> <hr/> <p>Eric White Biologist US Army Corps of Engineers St. Paul District Office 180 5th Street E St. Paul, Minnesota 55101 651-290-5357 (office)</p> <p>Information on Corps of Engineers Regulatory Program status during the COVID-19 pandemic can be found at: https://www.mvp.usace.army.mil/missions/regulatory https://www.mvp.usace.army.mil/missions/regulatory</p>	<p>1. Comment noted. No response required.</p>

MnDOT Comments (page 1 of 2)	Response
<div data-bbox="113 233 470 282">  DEPARTMENT OF TRANSPORTATION </div> <div data-bbox="753 227 949 287" style="text-align: right;"> Metropolitan District 1500 County Road B-2 West Roseville, MN 55113 </div> <p data-bbox="113 310 260 331">February 26, 2021</p> <p data-bbox="113 378 348 490">Wayne Kazmierczak Superintendent White Bear Lake ISD 624 4855 Bloom Ave White Bear Lake, MN 55110</p> <p data-bbox="113 513 600 626">SUBJECT: White Bear Lake ISD High School Expansion MnDOT Review #EAW21-002 US 61, 4th St to Buffalo St Control Section: 6222 White Bear Lake, Ramsey County</p> <p data-bbox="113 651 331 672">Dear Wayne Kazmierczak,</p> <p data-bbox="113 696 949 854">Thank you for the opportunity to review the Environmental Assessment Worksheet (EAW) for White Bear Lake Independent School District 624 High School Expansion Project, received 1/29/21. Please note that the Minnesota Department of Transportation's (MnDOT) review of this EAW does not constitute approval of a regional traffic analysis and is not a specific approval for roadway modifications. As plans are refined, we would like the opportunity to meet with the relevant partners and review the updated information. MnDOT staff has reviewed the document; many past comments have been addressed.</p> <p data-bbox="113 878 273 899">Pedestrian/Bicycle</p> <p data-bbox="113 902 949 1060">MnDOT commends the commitment to improve the non-motorized connections to the school campus in keeping students safe and lowering vehicle trips. We emphasize the importance of building these connections. Additionally, please consider creating a public direct east-west non-motorized connection through the campus. Ideally this would line up with crossing opportunities at US 61 and the railroad and would include minimal conflict points with the campus' internal vehicle traffic. US 61, the railroad, and the White Bear Lake school campus create a significant north-south barrier that limits east-west travel for pedestrians and bicyclists.</p> <p data-bbox="113 1084 858 1127">Please contact Jesse Thorsen, MnDOT Pedestrian and Bicycle Planning, at 651-234-7788 or jesse.thorsen@state.mn.us with any questions.</p> <p data-bbox="113 1151 327 1172">Review Submittal Options</p> <p data-bbox="113 1175 940 1218">MnDOT's goal is to complete the review of documents within 30 days. Submittals sent in electronically can usually be turned around faster. In order of preference, please submit either:</p> <ol data-bbox="142 1242 915 1333" style="list-style-type: none"> 1. Email documents in PDF format to metrodevreviews.dot@state.mn.us. Attachments may not exceed 20 megabytes per email. If multiple emails are necessary, number each message. 2. Upload PDF file(s) to MnDOT's external shared internet workspace site at: https://mft.dot.state.mn.us. Contact MnDOT Planning development review staff at <p data-bbox="432 1373 627 1393" style="text-align: center;">An equal opportunity employer</p>	<ol style="list-style-type: none"> <li data-bbox="1094 245 1969 345">1. ISD #624 will continue to coordinate all transportation improvements with all roadway jurisdictions including MnDOT, City of White Bear Lake, and Ramsey County. <li data-bbox="1094 386 1986 737">2. ISD #624 recognizes the importance of providing safe and efficient non-motorized transportation facilities. The existing east-west trail/sidewalk facility located in the central portion of the site area will remain in-place. From the west, this pedestrian/bicycle facility begins at the intersection of Bald Eagle Avenue and 9th Street. It continues east and wraps around the Central Middle School (CMS) building where it connects to other sidewalks on the school property. The system is planned to connect to a new sidewalk along 8th Street east of CMS as part of roadway improvements along 8th Street between Bloom Avenue and Highway 61. <li data-bbox="1094 777 1944 914">3. ISD #624 acknowledges the review/submittal requirements and will continue to work with MnDOT and other stakeholders as transportation improvements are designed and planned for construction.

MnDOT Comments (page 2 of 2)

Response

Page 2 of 2

metrodevreviews.dot@state.mn.us for access instructions and send an email listing the file name(s) after the document(s) has/have been uploaded.

You are welcome to contact me at 651-234-7792, or david.kratz@state.mn.us with any questions.

Sincerely,

 Digitally signed by
David Kratz
Date: 2021.02.26
13:27:58 -06'00'

David Kratz
Senior Planner

Copy sent via email:

Jason Swenson, Water Resources
Buck Craig, Permits
Mike Lynch, Right of Way
Ashley Roup, Traffic
Jason Junge, Transit
Melissa Barnes, Area Manager
Jennifer Wiltgen, Area Coordinator
Mackenzie Turner Barger, Ped/Bike

Jesse Thorsen, Ped/Bike
Lance Schowalter, Design
Dave Cowan, Safe Routes to School
Cameron Muhic, Planning
Tod Sherman, Planning
Russell Owen, Metropolitan Council
Anne Kane, White Bear Lake

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See response on previous page


Ramsey County Comments (page 1 of 3)	Response
<p style="text-align: center;">White Bear Lake High School Expansion EAW Traffic Study Findings Memorandum Dated January 11, 2021: Ramsey County Comments March 1, 2021</p> <p>1. Install traffic signal at the intersection of Highway 61 and 8th Street.</p> <p>Ramsey County supports this recommendation which is needed for the future Rush Line BRT project and to also manage traffic flow in and out of the school campus site.</p> <p>2. Stagger High School and Middle School start times by 30 minutes.</p> <p>Ramsey County appreciates this recommendation which will help manage traffic flow around the school campus.</p> <p>3. Optimize signal timing along Highway 61.</p> <p>Ramsey County supports this recommendation which is needed to provide a transit advantage for the future Rush Line BRT project and to also manage traffic flow in and out of the school campus site.</p> <p>4. Add a leading eastbound protected phase at the intersection of Highway 61 at Buffalo Street.</p> <p>Ramsey County supports this recommendation which will help traffic operations at this intersection. However, the County is concerned about the forecasted queuing of traffic at school departure time at the atypical Highway 61/ Buffalo Street/Hugo Road intersection and believes additional solutions need to be explored. The close spacing of Hugo Road, the Minnesota Commercial Railroad and Highway 61 further complicate traffic operations and potential design solutions at this location. As traffic queues become increasingly worse over time along Hugo Road, we also expect there will be a growing community desire for bicycle and pedestrian safety improvements along this corridor.</p> <p>5. Convert the intersection of Division Avenue at 8th Street to an all-way stop (or mini-roundabout controlled) intersection.</p> <p>Ramsey County supports exploration of intersection traffic operations and safety improvements at this location, including consideration of a potential mini roundabout.</p>	<p>1. ISD #624 acknowledges Ramsey County’s support for the proposed transportation mitigation commitments stated in the EAW and comment letter provided. The School District and the consultant team will continue to work with Ramsey County and other stakeholders as transportation improvements are further designed and planned for construction.</p>



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Ramsey County Comments (page 2 of 3)	Response
<p>6. Improve the cross-section of 8th Street between Highway 61 and Division Avenue for better operations and add a sidewalk on the south side of the road (no lane expansion planned).</p> <p>Ramsey County supports the proposed two-lane cross-section improvements along 8th Street, including the proposed sidewalk along the south side of the road which will improve multimodal accessibility to the future Rush Line BRT along Highway 61.</p> <p>7. Provide dedicated right and left turn lanes into the school site at the pick-up/drop-off access on Division Avenue and the main access on Bald Eagle Avenue.</p> <p>New school access proposed along Bald Eagle Avenue (CSAH 67) will require approval by Ramsey County and adherence to Ramsey County access management guidance. A gate or some type of controlled access will be required for the Bald Eagle Avenue access so use of this access can be restricted to bus arrival and departure traffic only.</p> <p>Dedicated turn lanes at Bald Eagle Avenue may impact the proposed Bruce Vento trail route along Bald Eagle Avenue. Additional coordination with Ramsey County will be necessary regarding the interrelation of this proposed trail project and turn lane project.</p> <p>8. Provide improved accessibility and safety for pedestrians and bicyclists in the school site area:</p> <ul style="list-style-type: none"> - Add sidewalk/trail along south side of 8th Street - Add sidewalk/trail along east side of Bald Eagle Avenue - Add sidewalk/trail along west side of Division Avenue - Add mid-block crossing to connect sidewalk on west side of Division Avenue to the planned White Bear Lake Art Center - Mark all crosswalks along Division Avenue and Bald Eagle Avenue at all stop-controlled locations - Any uncontrolled marked crosswalks along Division Avenue and Bald Eagle Avenue should have crosswalk warning advance warning signs - Any uncontrolled pedestrian crossings north of the school on Division Avenue and Bald Eagle Avenue should be further investigated with a sidewalk feasibility study <p>Ramsey County supports the multimodal improvements outlined above. Stillwater Street (CR 86) should be added to this list for a future trail, as outlined in the Ramsey County Bike and Pedestrian Plan for a future trail.</p> <p>Bald Eagle Avenue is the preferred route for the future Bruce Vento Trail and Division Avenue is the alternate route. Crosswalk and pedestrian crossing improvements along Bald Eagle Avenue and Division Avenue should be coordinated with Ramsey County and Canadian Pacific Railroad. Additional bicycle and pedestrian improvements and marked pedestrian crossings should also be considered in the defined walking radius of the school campus, as necessary, to ensure student safety.</p> <p>9. All buses enter and exit the high school site off Bald Eagle Avenue.</p> <p>See comment under #7.</p> <p>10. Assign student parking permits.</p>	<p>1. See response on previous page.</p> <p>2. Further design and permitting of the proposed access and turn lanes along Bald Eagle Avenue (CSAH 67) will be coordinated with Ramsey County Public Works Department. The inclusion of a gate will be further discussed with the County and representatives from White Bear Lake as restricting access to the site was raised as a concern by the City Police/Fire Department.</p> <p>3. ISD #624 acknowledges that Stillwater Street (CR 86) is identified in Ramsey County’s Bike and Pedestrian Plan for a future trail.</p> <p>4. ISD #624 is aware of the ongoing planning for the future Bruce Vento Trail along Bald Eagle Ave (preferred route) or Division Avenue (alternative route). The planned sidewalk improvements, including crosswalk signage/markings, along these roadways will be coordinated with Ramsey County, the City of White Bear Lake, and the CP Railroad.</p> <p>5. Comment noted. The School District is committed to ongoing coordination Ramsey County regarding planned transportation improvements, parking facilities, and future site operations during school days/hours as well as special event conditions.</p>

Ramsey County Comments (page 3 of 3)	Response
<p data-bbox="100 267 871 344">Ramsey County supports management of parking on the site and City/School District promotion of faculty, students, parents and community members to carpool and utilize the Rush Line Bus Rapid Transit (BRT) scheduled to begin service in 2026.</p> <p data-bbox="100 360 871 409">It would be helpful to talk further about student, staff and special event parking and how the site design directs non-bus vehicles to enter and exit the site.</p>	<p data-bbox="1018 316 1045 349">5</p> <p data-bbox="1176 240 1606 272">5. See response on previous page.</p>

Met Council Comments (page 1 of 2)	Response
<p>March 3, 2021</p> <p>Ms. Anne Kane Community Development Director City of White Bear Lake 4707 Highway 61 White Bear Lake, MN 55110</p> <p>RE: City of White Bear Lake Environmental Assessment Worksheet (EAW) – ISD 624 High School Expansion Project Metropolitan Council Review No. 22530-1 Metropolitan Council District No. 11</p> <p>Dear Ms. Kane:</p> <p>The Metropolitan Council received the EAW for the ISD 624 High School Expansion Project in the City of White Bear Lake on February 2, 2021. The proposed project is located at 5045 Division Avenue. The proposed project involves the redevelop of an approximately 90 acre site that includes the School District's North Campus High School and Central Middle School. The site improvements include a proposed 397,977 square foot expansion of new institutional building space (classrooms, office space, theater, gymnasium, storage, and other accessory/common areas) at the North Campus building site. Other planned improvements include new internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity field improvements, and utility infrastructure for the expanded school.</p> <p>The staff review finds that the EAW is complete and accurate with respect to regional concerns and does not raise major issues of consistency with Council policies. An EIS is not necessary for regional purposes.</p> <p>We offer the following comments for your consideration.</p> <p>Item 8- (Permits and Approvals Required) (Roger Janzig, ES, roger.janzig@metc.state.mn.us) The EAW reflects a proposed project that may have an impact on multiple Metropolitan Council Interceptors in multiple locations (including forcemain 8023 within Bald Eagle Avenue right-of-way, west of the proposed project and also, north of this proposed project). To assess the potential impacts to our interceptor system, prior to initiating this project, preliminary plans (including the method and means of providing wastewater service to the proposed expansion area for this project) need to be sent to Tim Wedin, Interceptor Engineering Assistant Manager (651-602-4571) at the Metropolitan Council Environmental Services.</p> <p>Item 11 (Water, Stormwater.) (Cameran J. Bailey, 651-602-1212) Council staff recommends that the developers and the City consider incorporating green roofs as a complementary stormwater feature for the proposed 14.3 acres of additional impervious surface area due to expanded buildings, parking areas, roads, and sidewalks. The MPCA's online Minnesota Stormwater Manual offers guidance for designing and calculating stormwater retention and detention values. The Council's</p>  <p>390 Robert Street North Saint Paul, MN 55101-1805 P. 651.602.1000 TTY. 651.291.0904 metrocouncil.org An Equal Opportunity Employer</p>	<ol style="list-style-type: none"> 1. A detailed construction plans are developed, ISD#624 will coordinate with the Met Council on proposed utility improvements associated with the expanded school project. 2. Green roofs are not currently planned as we are trying to preserve roof space for future solar arrays. Stormwater will be managed on grade or below grade with infiltration basins in accordance with City watershed and MPCA requirements.

Met Council Comments (page 2 of 2)	Response
<p>Surface with Purpose Tool offers technical assistance for projecting green roof stormwater retention capabilities. Doing so is not only an excellent complementary stormwater management system mechanism, but also support another opportunity for climate change, and Greenhouse Gas (GHG) mitigation and adaptation listed by the applicant in section "16. Air: Use energy efficient building materials that reduce needs for heating and cooling."</p> <p>Item 16 (Air, Stationary Source & Vehicle Emissions) (Cameran J. Bailey, 651-602-1212) This section of the application discusses and lists various "Opportunities for climate change, and GHG mitigation and adaptation." Council staff recommend including the following additional opportunity strategies:</p> <ul style="list-style-type: none"> • Install on-site renewable energy systems as rooftop and/or car canopy systems. • Install green roof systems as rooftop and/or car canopy systems • Install combined solar + green roof systems as rooftop and/or car canopy systems. <p>Solar energy from sunlight is as much a natural resource as water and vegetation. Including these strategies would also be in alignment with resilience strategies in the City of White Bear Lake's 2040 comprehensive plan:</p> <ul style="list-style-type: none"> • <i>"Promote emerging renewable energy technologies.</i> • <i>The City allows solar panels as an accessory use in all districts.</i> • <i>Taller systems, such as car canopy style, would be welcomed on commercial or industrial properties with proper design through the variance process for height.</i> • <i>Protection and enhancement of the City's natural resources and its environmental setting will assist in the City's goal of becoming more resilient in the face of an evolving climate.</i> • <i>Natural resources play a part in the resiliency of the City's public health and should be managed as any other asset.</i> • <i>Also critical to the City's resiliency is its commitment to resource conservation and environmentally sustainable operations."</i> <p>Guidance can be found in the Great Plains Institute's "Becoming Electric Vehicle Ready" guideline document.</p> <p>This concludes the Council's review of the EAW. The Council will not take formal action on the EAW. If you have any questions or need further information, please contact Jake Reilly, Principal Reviewer, at jake.reilly@metc.state.mn.us.</p> <p>Sincerely,</p>  <p>Angela R. Torres, AICP, Manager Local Planning Assistance</p> <p>CC: Robert Rogers, AICP, SEH Tim Wald, ISD 624, Asst. Superintendent for Finance and Operations Tod Sherman, Development Reviews Coordinator, MnDOT - Metro Division Susan Vento, Metropolitan Council District 11 Jake Reilly, Sector Representative Reviews Coordinator</p> <p><small>N:\CommDev\LPA\Communities\White Bear Lake\Letters\White Bear Lake 2021 22530-1 EAW_Ok\wcomments.docx</small></p> <p><small>Page -2 March 4, 2021 METROPOLITAN COUNCIL</small></p>	<p>2. See response on previous page.</p> <p>3. New building structure and systems are designed to allow for solar panels to be installed in the future. Accommodations for future vehicle charging stations are also being incorporated.</p>

Comments	Response
 <p data-bbox="556 219 886 326">800 County Road E East, Vadnais Heights, MN 55127 www.vlawmo.org office@vlawmo.org (651) 204-6070</p> <p data-bbox="79 358 191 378">March 4, 2021</p> <p data-bbox="79 399 558 479">Anne Kane, White Bear Lake Community Development Director White Bear Lake City Offices 4701 Highway 61 White Bear Lake, MN 55110</p> <p data-bbox="79 500 848 539">RE: White Bear Lake High School Expansion Project Environmental Assessment Worksheet (EAW) Vadnais Lake Area WMO Review</p> <p data-bbox="79 560 216 579">Dear Anne Kane:</p> <p data-bbox="79 600 909 721">The Vadnais Lake Area WMO (VLAWMO) received the EAW for the White Bear Lake High School Expansion Project in White Bear Lake on February 6, 2021. The White Bear Lake Independent School District (ISD) 624 proposes to redevelop an approximately 90-acre site located in the City of White Bear Lake. The site currently serves as the District's North Campus High School (serving Grades 9th & 10th) and Central Middle School (serving Grades 6th through 8th). The proposed school expansion at the North Campus site will create a single campus high school building serving all ISD students in Grades 9th through 12th.</p> <p data-bbox="79 742 898 761">The staff review finds that the EAW does not raise issues of consistency with VLAWMO policy and standards.</p> <p data-bbox="79 782 499 802">We offer the following comments for your consideration,</p> <p data-bbox="134 846 911 904">Item 8. Permits and Approvals Required: The City of White Bear Lake has adopted the Vadnais Lake Area WMO (VLAWMO) Water Management Standards & Policies and will be the permitting authority for VLAWMO on water quality and stormwater.</p> <p data-bbox="134 925 903 1045">This project is in both the Vadnais Lake Area WMO as well as Rice Creek Watershed District (RCWD). The VLAWMO is not a permitting agency, but does administer the Wetland Conservation act. Most of the wetland and proposed wetland impact on the project site lies within the Rice Creek Watershed District boundary; therefore, the Rice Creek Watershed District will be the lead on all Wetland Conservation Act (WCA) activities and will act as the Local Government Unit (LGU) for both agencies (VLAWMO & RCWD) on this project.</p> <p data-bbox="134 1066 898 1105">Item 11. B. 3. ii - Water Resources: City of White Bear Lake development and stormwater standards and requirements are being used which meet or exceed VLAWMO standards adopted by the City.</p> <p data-bbox="134 1127 915 1166">Item 11. B. 3. iv. a - Water Resources- wetlands: See comment above (Item 8. Permits and Approvals Required)</p> <p data-bbox="134 1187 879 1248">Item 13. Fish, wildlife, plant communities, and sensitive ecological resources (rare features) The EAW shows the project proposers are thoughtfully considering impacts to the existing site and making efforts to avoid, minimize and mitigate adverse effects to ecological communities.</p> 	<ol style="list-style-type: none"> <li data-bbox="1073 245 1724 272">1. Comment noted. All permits and requirements will <li data-bbox="1073 318 1965 380">2. All development standards will be met, and all permits will be obtained prior to the commencement of construction. <li data-bbox="1073 425 1541 453">3. See response to Comment 1 above. <li data-bbox="1073 498 1570 526">4. Comment noted, no further response.

Comments



800 County Road E East, Vadnais Heights, MN 55127
www.vlawmo.org
office@vlawmo.org
(651) 204-6070

Partnership. We encourage the school district to partner with VLAWMO and the City of White Bear Lake to look at possible opportunities to go over and above current stormwater standards to enhance BMP's on this project.

This concludes the Vadnais Lake Area WMO's (VLAWMO) review of the EAW. The VLAWMO will not take formal action on the EAW. If you have any questions or need further information, please contact Brian Corcoran at 651-204-6075.


Sincerely,

Brian Corcoran

| 5

Response

5. ISD #624 is committed to coordination with local agencies on the project design and permitting.


Comments	Response
<p data-bbox="117 235 443 272">  MINNESOTA POLLUTION CONTROL AGENCY </p> <p data-bbox="117 295 701 339"> 520 Lafayette Road North St. Paul, Minnesota 55155-4194 651-296-6300 800-657-3864 Use your preferred relay service info.pca@state.mn.us Equal Opportunity Employer </p> <p data-bbox="117 378 226 396">March 3, 2021</p> <p data-bbox="117 425 378 532"> Anne Kane Community Development Director City of White Bear Lake 4701 Highway 61 White Bear Lake, MN 55110 </p> <p data-bbox="117 558 743 576">Re: ISD 624 High School Expansion Project Environmental Assessment Worksheet</p> <p data-bbox="117 602 245 620">Dear Anne Kane:</p> <p data-bbox="117 646 898 756"> Thank you for the opportunity to review and comment on the Environmental Assessment Worksheet (EAW) for the ISD 624 High School Expansion project (Project) in the city of White Bear Lake, Ramsey County, Minnesota. The Project consists of expansion of the North Campus High School. Regarding matters for which the Minnesota Pollution Control Agency (MPCA) has regulatory responsibility or other interests, the MPCA staff has the following comments for your consideration. </p> <p data-bbox="117 782 323 800"><u>Water Resources (Item 11)</u></p> <p data-bbox="117 807 214 824"><i>Wastewater</i></p> <ul data-bbox="117 829 894 987" style="list-style-type: none"> • The EAW should include design wastewater flow calculations for average daily flow and peak flow. • The volume of 61,000 gallons per day of wastewater flow is provided, but it is not clear if that is the volume of flow expected due to the expansion or the total of both the existing flow and the expansion. • The EAW should include an itemization of how the flow was determined for the existing flow and the expansion such as flow per student, faculty, stadium, etc. • A map showing existing sewer connection points and the proposed locations would be helpful. <p data-bbox="117 1013 210 1031"><i>Stormwater</i></p> <ul data-bbox="117 1036 898 1325" style="list-style-type: none"> • Please note that because the Project will disturb greater than 50 acres and discharges to impaired waters, the Stormwater Pollution Prevention Plan will require review and approval from the MPCA prior to National Pollutant Discharge Elimination System/State Disposal System General Construction Stormwater Permit (CSW Permit) issuance. • The EAW mentions mitigation opportunities to address climate change including constructing energy efficient buildings, revegetating open areas with prairie and smart irrigation. The CSW Permit requires volume reduction of stormwater to be considered first, which can also increase resiliency to climate change. The Project proposer is encouraged to consider using the stormwater retention basins for water reuse as a volume reduction practice, both for irrigation and toilet flushing. Incorporating a green roof can help to achieve volume reduction requirements and also reduce building energy use. Use of permeable pavement is also encouraged to reduce stormwater volume. Please direct questions regarding CSW Permit requirements to Roberta Getman at 507-206-2629 or Roberta.Getman@state.mn.us. 	<p data-bbox="1073 245 1965 483">1. Sanitary flow calculations and existing/proposed sewer connections for the White Bear High School site are included in Appendix C. The 61,000 gallons per day listed in the EAW is the final flow volume including the existing building flows. The flow calculations have been based on 20 gallons per day for school use with cafeterias and lockers rooms. The calculated flows were also compared to the existing high school water usage.</p> <p data-bbox="1073 529 1986 805">2. Comment noted. The SWPPP will be submitted for review as required. With construction phasing it is anticipated that a maximum of 15-20 acres would be disturbed at any given time. Extensive landscaping is planned for the project, which includes creating native planted wetland buffers, shade trees throughout the site, and drought tolerant plantings. Rainwater harvesting (for building/irrigation reuse) and green roofs were reviewed and determined to not be feasible at this point in time for the project.</p>

Comments	Response
<p>Anne Kane Page 2 March 3, 2021</p> <p>Noise (Item 17) The MPCA appreciates the review of noise related to the redevelopment of the school campus. In addition to following the hours of construction laid out in White Bear Lake city code, the MPCA recommends that all equipment be appropriately muffled during operation.</p> <p>At this time, it is unlikely that changes to noise in the area would have a significant impact on nearby residences and other receptors. It may be prudent, however, for the City and ISD 624 to be prepared to field questions or concerns from nearby residents in the case that they have noise-related complaints – particularly from an increase in traffic and the number of students in the vicinity. This consideration may be particularly important during the use of amplified noise on school grounds (like announcements or commentary during sporting events or other activities).</p> <p>It should be noted that the school facilities themselves are also considered to be a sensitive receptor, covered under the strictest level of state noise standards, Noise Area Classification 1. Construction, traffic, and other nearby noise sources should be considered in the final design of the building and athletic/activity areas on campus. Any further questions can be directed to Fawkes Char at 651-757-2327 or Fawkes.Char@state.mn.us.</p> <p>We appreciate the opportunity to review this Project. Please provide your specific responses to our comments and notice of decision on the need for an Environmental Impact Statement. Please be aware that this letter does not constitute approval by the MPCA of any or all elements of the Project for the purpose of pending or future permit action(s) by the MPCA. Ultimately, it is the responsibility of the Project proposer to secure any required permits and to comply with any requisite permit conditions. If you have any questions concerning our review of this EAW, please contact me by email at Karen.kromar@state.mn.us or by telephone at 651-757-2508.</p> <p>Sincerely, <i>Karen Kromar</i></p> <p>Karen Kromar Project Manager Environmental Review Unit Resource Management and Assistance Division</p> <p>KK:bt</p> <p>cc: Dan Card, MPCA, St. Paul Roberta Getman, MPCA, Rochester Dave Sahli, MPCA, St. Paul Fawkes Char, MPCA, St. Paul</p>	<p>3. The noise comments are noted. The general contractor will be required to ensure all construction equipment is muffled and in proper working order.</p> <p>4. The City of White Bear Lake’s decision on the need for an EIS will be distributed to all member on the EQB Distribution List, including the MPCA. This Findings of Fact and Conclusions document provides responses to all substantive comments.</p>

3

4

Comments	Response
<p>From: Collins, Melissa (DNR) <Melissa.Collins@state.mn.us> Sent: Thursday, March 4, 2021 7:33 PM To: Anne Kane <akane@whitebearlake.org> Cc: wayne.kazmierczak@isd624.org Subject: White Bear Lake ISD# 624 High School Expansion Project EAW - DNR comments</p> <p>Dear Anne Kane,</p> <p>Thank you for the opportunity to review the White Bear Lake ISD# 624 High School Expansion Project EAW. The DNR respectfully submits the following comments for your consideration.</p> <ol style="list-style-type: none"> 1. Page 5, Permits and Approval Required. Dewatering in volumes that exceed 10,000 gallons per day, or one million gallons per year, from storm water, ground water or surface water, requires the approval of a DNR Water Appropriation Permit. This includes dewatering necessary to construct utilities, buildings, and storm water facilities. A DNR Water Appropriation Permit Application may be submitted to the DNR using the Minnesota Permitting and Reporting System at: https://webapps11.dnr.state.mn.us/mpars/public/authentication/login 2. Page 9, Groundwater. Please note that the use of the Central Middle School irrigation well is approved under a DNR Water Appropriation Permit. Due to on-going legal action against the DNR, the DNR will not be allowed to increase the authorized volume of water that can be taken from the irrigation well. However, the DNR is allowed to issue DNR Water Appropriation Permits for temporary construction dewatering. 3. Page 10, Stormwater. The DNR recommends that water in the stormwater treatment facilities be used for some of the landscaping irrigation needs to the High School Expansion. 4. Page 10, Stormwater. The planned increase in impervious surfaces will also increase the amount of road salt used in the project area. Chloride released into local lakes and streams does not break down, and instead accumulates in the environment, potentially reaching levels that are toxic to aquatic wildlife and plants. Consider promoting city and school applicator participation in the Smart Salting Training offered through the Minnesota Pollution Control Agency. More information and resources can be found at this website. Many winter maintenance staff who have attended the Smart Salting training — both from cities and counties and from private companies — have used their knowledge to reduce salt use and save money for their organizations. 5. Page 14, Section 13.b. Please note that when using an NHIS license agreement, a letter of concurrence should be obtained from DNR Endangered Species Review Coordinator, Lisa Joyal, if rare features are identified within one mile of a project area. In this case, Blanding’s turtle (<i>Emydoidea blandingii</i>), a state-listed as threatened species, was identified within the vicinity of the project. Wetland habitat suitable for Blanding’s turtles is located within the project boundary. Blanding’s turtles also use upland areas up to and over a mile distant from wetlands, waterbodies, and watercourses. Uplands are used for nesting, basking, periods of dormancy, and traveling between wetlands. Therefore, please use the following avoidance measures: 	<ol style="list-style-type: none"> 1. Comment noted. Dewatering more than 10,000 gpd or 1M gpy is not anticipated for the building, site basins, or site utilities construction. If it is determined that a permit is needed the contractor will be responsible to obtaining the water appropriations permit and abiding by all applicable standards. 2. Comment noted. The existing irrigation well currently serves ~10 acres of grass sports fields. Those fields are being converted to artificial turf eliminating that need for watering. The well source is planned to be used for the ornamental landscaped areas that will include native and drought tolerant plantings for no increase in water usage. 3. Rainwater harvesting (for building/irrigation reuse) was reviewed and determined to not be feasible at this point in time for the project. 4. Comment noted and the Smart Salting Training information will be shared with the School District Administration for consideration. 5. The listed Blanding’s turtle minimization/avoidance measures have been reviewed and will be implemented to the extent practicable. Surmountable curb is included along many edges of the parking lots and natural netting erosion control blankets will be used on site. The Blanding’s turtle information will be included in the project manual and distributed to contractors during construction.

Comments	Response
<ul style="list-style-type: none"> ▪ Please distribute the attached Blanding’s turtle flyer to all contractors working in the area. ▪ Please limit the use of erosion control blankets to ‘bio-netting’ or ‘naturalnetting’ types, and specifically not products containing plastic mesh netting or other plastic components. ▪ Use surmountable curbs where possible. ▪ Monitor for turtles during construction and report any sightings to the DNR Nongame Specialist, Erica Hoaglund at 651-259-5772 or Erica.Hoaglund@state.mn.us. ▪ If turtles are in imminent danger they must be moved by hand out of harm’s way, otherwise they are to be left undisturbed. <p>6. Page 17, Dust and Odors. Please note that taking water from surface waters for dust control requires a DNR Water Appropriation Permit, if the volumes of water that is taken exceeds 10,000 gallons per day, or one million gallons of water per year. In addition, the School District or contractor must obtain permission from the owner of the property that is used for obtaining water from a surface water before they have a right to take water from the surface water sources. For small bodies of water, all of the riparian landowners will need to be informed of the intention to take water from the water body before the water is removed from the water body.</p> <p>7. The DNR is pleased that the forested area along the open wetland in the northwestern part of the property will be retained. If the school is interested in the DNR’s School Forest Program for outdoor learning, they can find more info here.</p> <p>Please let me know if you have any questions.</p> <p>Thank you,</p> <p>Melissa Collins Regional Environmental Assessment Ecologist Ecological and Water Resources</p> <p>Pronouns: She/her Minnesota Department of Natural Resources 1200 Warner Road St. Paul, MN 55106 Phone: 651-259-5755 Email: melissa.collins@state.mn.us mndnr.gov</p> 	<p style="text-align: center;">5</p> <p>5. See response on previous page.</p> <p>6. The project does not anticipate the need to draw water from any surrounding surface waters or the need to require a Water Appropriations Permit.</p> <p>7. Comment noted. The wetland is currently utilized for biology classes. Information on the DNR program will be passed along to the school for consideration.</p> <p style="text-align: center;">6</p> <p style="text-align: center;">7</p>

Comments

Response

CAUTION



BLANDING'S TURTLES MAY BE ENCOUNTERED IN THIS AREA

The unique and rare Blanding's turtle has been found in this area. Blanding's turtles are state-listed as Threatened and are protected under Minnesota Statute 84.095, Protection of Threatened and Endangered Species. Please be careful of turtles on roads and in construction sites. For additional information on turtles, or to report a Blanding's turtle sighting, contact the DNR Nongame Specialist nearest you: Bemidji (218-308-2641); Grand Rapids (218-327-4518); New Ulm (507-359-6033); Rochester (507-206-2820); or St. Paul (651-259-5772).

DESCRIPTION: The Blanding's turtle is a medium to large turtle (5 to 10 inches) with a black or dark blue, dome-shaped shell with muted yellow spots and bars. The bottom of the shell is hinged across the front third, enabling the turtle to pull the front edge of the lower shell firmly against the top shell to provide additional protection when threatened. The head, legs, and tail are dark brown or blue-gray with small dots of light brown or yellow. A distinctive field mark is the bright yellow chin and neck.

**BLANDING'S TURTLES DO NOT MAKE GOOD PETS
IT IS ILLEGAL TO KEEP THIS THREATENED SPECIES IN CAPTIVITY**

8

8 Copies of the Blanding's turtle flyer will be included in the project manual and distributed to contractors during construction.

Comments	Response
<p style="text-align: center;">SUMMARY OF RECOMMENDATIONS FOR AVOIDING AND MINIMIZING IMPACTS TO BLANDING’S TURTLE POPULATIONS <i>(see Blanding’s Turtle Fact Sheet for full recommendations)</i></p> <ul style="list-style-type: none"> • This flyer should be given to all contractors working in the area. Homeowners should also be informed of the presence of Blanding’s turtles in the area. • Turtles that are in imminent danger should be moved, by hand, out of harm’s way. Turtles that are not in imminent danger should be left undisturbed to continue their travel among wetlands and/or nest sites. • If a Blanding’s turtle nests in your yard, do not disturb the nest and do not allow pets near the nest. • Silt fencing should be set up to keep turtles out of construction areas. It is <u>critical</u> that silt fencing be removed after the area has been revegetated. • Small, vegetated temporary wetlands should not be dredged, deepened, or filled. • All wetlands should be protected from pollution; use of fertilizers and pesticides should be avoided, and run-off from lawns and streets should be controlled. Erosion should be prevented to keep sediment from reaching wetlands and lakes. • Roads should be kept to minimum standards on widths and lanes. • Roads should be ditched, not curbed or below grade. If curbs must be used, 4" high curbs at a 3:1 slope are preferred. • Culverts under roads crossing wetland areas, between wetland areas, or between wetland and nesting areas should be at least 36 in. diameter and flat-bottomed or elliptical. • Culverts under roads crossing streams should be oversized (at least twice as wide as the normal width of open water) and flat-bottomed or elliptical. • Utility access and maintenance roads should be kept to a minimum. • Because trenches can trap turtles, trenches should be checked for turtles prior to being backfilled and the sites should be returned to original grade. • Terrain should be left with as much natural contour as possible. • Graded areas should be revegetated with native grasses and forbs. • Vegetation management in infrequently mowed areas -- such as in ditches, along utility access roads, and under power lines -- should be done mechanically (chemicals should not be used). Work should occur fall through spring (after October 1st and before June 1st). <p style="font-size: small;"><i>Compiled by the Minnesota Department of Natural Resources Division of Ecological and Water Resources, Updated August 2012 Endangered Species Review Coordinator, 500 Lafayette Rd., Box 25, St. Paul, MN 55155 / 651-259-5109</i></p>	<p>8. See response on previous page.</p>

**APPENDIX C – Water/Sewer Calculations and
Existing/Proposed Utility Connections Map**

White Bear High School

Water/Sewer Calculations

8/27/2020

Existing Review (2017-2019)

North Campus (grades 9 + 10)

	2017	2018	2019
Enrollment	1290	1247	1225
Staff	100	100	100
<i>Total</i>	<u>1390</u>	<u>1347</u>	<u>1325</u>

Expected usage: Total Gallons per Day

(@ 20 g/p/d) 27,800 26,940 26,500

Average Actual Use: (used gallons / 170 days)

(gal / day) 6,749.6 6,943 6,019

76% 74% 77% (reduction from expected)

52 54 47 (estimated existing peak flow GPM)

[lift station data?]

South Campus (grades 11 + 12)

	2017	2018	2019
Enrollment	1206	1189	1280
Staff	100	100	100
<i>Total</i>	<u>1306</u>	<u>1289</u>	<u>1380</u>

Expected usage: Total Gallons per Day

(@ 20 g/p/d) 26,120 25,780 27,600

Average Actual Use: (yearly gallons / 170 school days)

(gal / day) 18,740 13,526 11,942

28% 48% 57% (reduction from expected)

[from water meter]

Proposed Conditions

[10 States Wastewater Standards]

	Opening	Full Capacity
Enrollment	2850	3476
Staff	200	240
<i>Total</i>	<u>3050</u>	<u>3716</u>

Design Total Usage: (@ 20 gal / person / day)

(gal / day) 61,000 74,320

Average Hourly Flow: (Design Use / 8 hours / 60 min)

(gal / min) 127 155

Peak Hourly Flow: $[(18+P^{.5})/(4+P^{.5})]$ *P=population in thousands

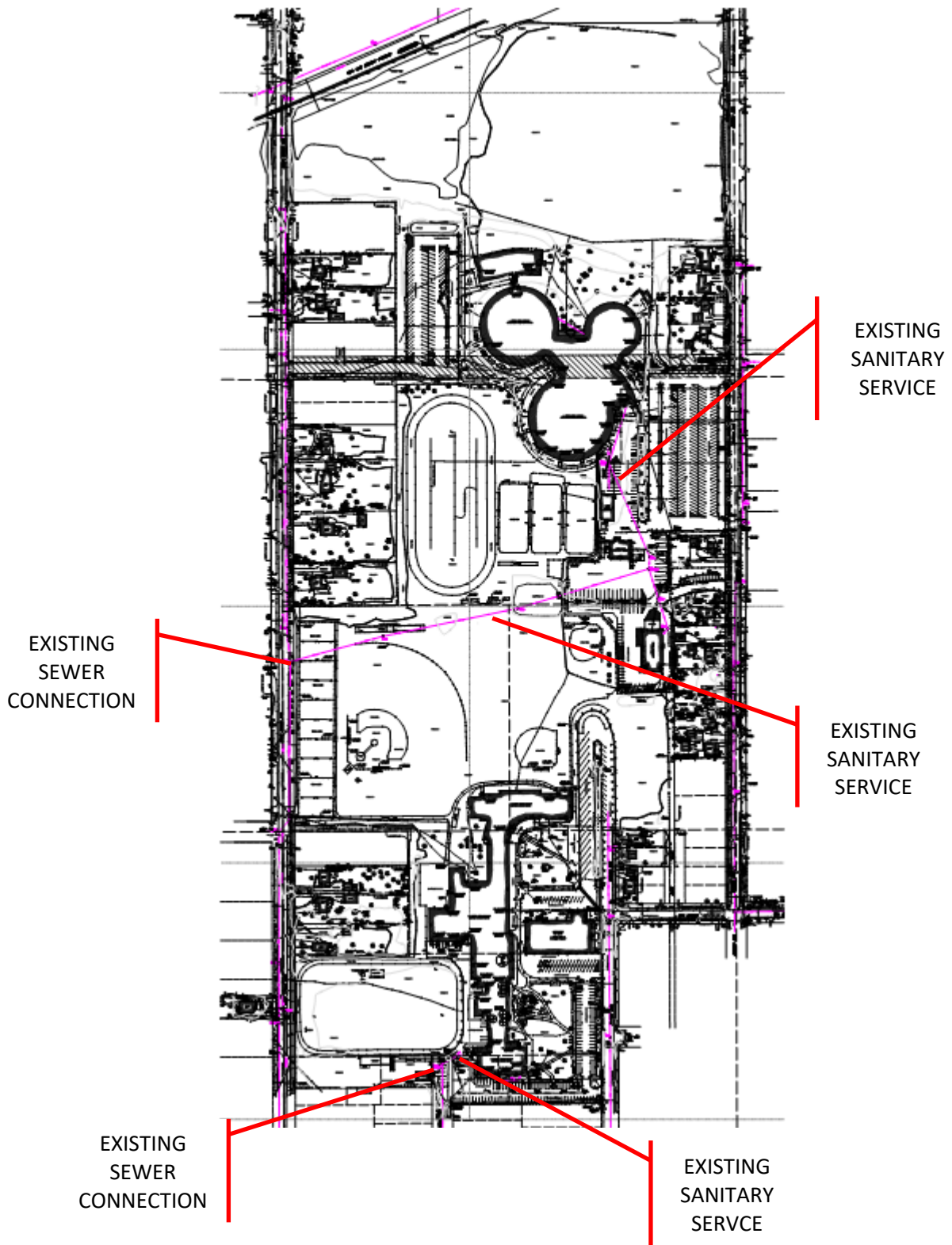
(gal / min) 437 521

[DFU] estimate

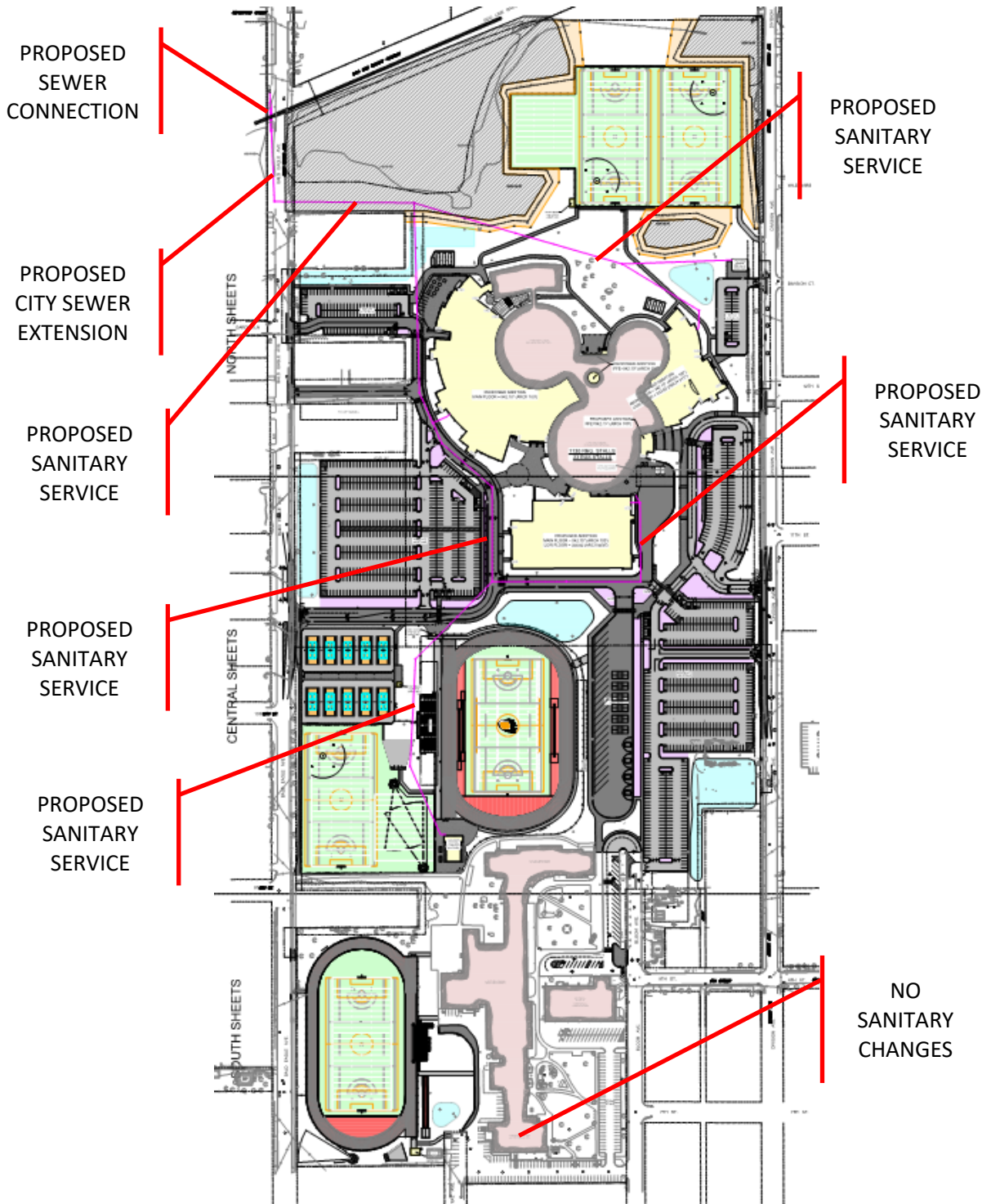
		Flow (2 DFU = 1 gpm)
Existing DFU	1080	540 gpm
New Add'n DFU	1740	870 gpm
Total	2820	1410 gpm

White Bear High School Addition

Existing Sanitary Sewer Routing:



Proposed Sanitary Sewer Routing:





City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission

From: Anne Kane, Community Development Director

Date: March 25th for the March 29, 2021 Planning Commission Meeting

Subject: **Case No. 21-3-CUP: White Bear Area ISD #624/North Campus Expansion and Renovation Project**

REQUEST

The White Bear Area Public School District 624 is requesting a Conditional Use Permit to allow an approximately 398,000 square foot addition to the North Campus of White Bear Lake High School located at 5045 Division Avenue. The building expansion will facilitate the establishment of an integrated senior high school encompassing grades 9 through 12th in one centralized location. See applicant's narrative, attached.

SITE CHARACTERISTICS

The overall campus is approximately 90 acres in size and currently houses both the North Campus High School and Central Middle School buildings, as well as the District's Administrative Offices. The uniquely designed high school building is comprised of three circular "pods" and sits primarily on the northern half of the site and is bound by athletic fields to the north, existing residential buildings and parking lots along Division Avenue to the east, athletic facilities, parking lots and existing residential building along Bald Eagle Avenue to the west and Central Middle School to the south. Over the past year, the District has purchased a number of adjacent residential properties which have, or will be, demolished to accommodate the proposed campus expansion. The existing school building is approximately 271,000 square feet and upon completion for the 2024-25 school year, the high school will be nearly 670,000 square feet.

ZONING

The campus is zoned P – Public and the Zoning Code provides for the automatic rezoning to P – Public as additional parcels are acquired for use as a public school campus. Other surrounding properties are zoned some intensity of residential use, ranging from single-family (R-3 and R-4) to medium density (R-5 and R-6) and are improved with existing single family homes and multi-family townhomes developments. In the Public zoning district, all lot requirements, setbacks and other requirements such as parking and landscaping are to be comparable to other similar uses that are allowed in other districts. This provision provides some flexibility when reviewing development proposals.

BACKGROUND

The existing building school was originally constructed in 1963 to serve as the newly expanded White Bear High School. The school has remained generally consistent with the original design with a building expansion in 1994 to accommodate a growing student population.

PROJECT OVERVIEW

The school district is proposing to construct a 398,000 square foot building expansion that will create three additional building components:

- A three-story classroom addition around the exiting two-story classroom wing;
- A two-level performing arts wing and new 845 seat auditorium; and
- A five-court fieldhouse with auxiliary gymnasium and athletic training facilities.

Other planned improvements to the campus include new internal access roads, parking lots, sidewalks, stormwater management features, athletic/activity fields and stadiums, and utility infrastructure to support the expanded high school. The project will also include extensive renovation throughout the existing building which will result in 123 individual classrooms clustered into learning studios, laboratories, and workshops designed to accommodate student learning in a wide variety of flexible environments.

As indicated in the applicant's materials, White Bear Lake ISD #624 conducted a comprehensive review of the District's existing facilities and future needs following a Strategic Plan process completed in 2017. A primary recommendation of the facilities review and planning process was to create a unified high school building which has been split between two campuses since 1983. In the fall of 2019, District voters supported a \$326 million building bond referendum to provide the funding to undertake the comprehensive capital improvement plan throughout the District. The CIP includes the construction of a high school that will accommodate all 9th- 12th grade students enrolled in the District on the North Campus.

North Campus' location within the School District, being near Downtown White Bear Lake, adjacent to the emerging Arts District, and its proximity to existing and planned transportation networks, make it a highly desirable location to locate a centralized high school. The conversion of this campus back to a full 9-12 grade high school represents a tremendous opportunity and a significant investment for the broader community, but is not without some challenges and potential impacts on the surrounding neighborhoods.

The District's leadership, consultant team, and staff from the city, township, county and state have met to identify issues and opportunities, explore options and alternatives, and formulate plans to mitigate negative impacts from the increased intensity of the school campus. Throughout this collaborative process the Project Team has sought the optimal balance between creating a high-quality school campus with modern amenities and first-rate athletic facilities while configuring the campus to help distribute traffic on the surrounding roadway network, providing appropriate screening and visual buffers from the adjacent residences, and minimizing negative impacts of campus improvements on the surrounding neighborhood.

In addition to designing the campus to distribute traffic generated by the school throughout the existing roadway network, a number of off-site improvements have been identified which will help alleviate traffic congestion in the area around the school. The increased traffic levels for the area

will be mitigated by making improvements to the local roadway network including safety and capacity improvements, traffic control modifications, access/roadway modifications, and enhancements for pedestrian/bicycle connections. While many of the elements have been identified (e.g. traffic signal at Highway 61 & 8th Street intersection, improved capacity and sidewalk along 8th Street, dedicated turn lanes on both Division and Bald Eagle Avenues, and pedestrian/bicycle extensions north of the campus) the specific plans have not been finalized.

Securing the land use entitlements for the high school campus will also serve as a catalyst to finalize plans for regional investments including the Bruce Vento Trail extension, Rush Line BRT, and other improvements needed to improve access to and around the school. For example, it is widely agreed among the Project Team that pedestrian and bicycle improvements are needed along both Division and Bald Eagle Avenues, however the final alignment of the Bruce Vento Trail plays a significant role in the timing, design and exact configuration of both these extensions. The City recognizes that additional public engagement will be needed as those off-site projects are refined and implementation. Although the timeline and forum for this engagement is not yet specified, all agencies will ensure adequate opportunity for public input as the various off-site components are finalized. Close collaboration among all agencies and effective communication with the surrounding community will be essential as the high school campus gets underway and off-site improvements under various jurisdictions are implemented. The City anticipates off-site improvements to City streets will mirror the same public engagement process used for all road improvement projects elsewhere through the community.

ZONING ANALYSIS

The City's Zoning Code identifies public and private schools, including trade schools, as an allowable Conditional Use within both the P – Public district as well as *all* residential districts (R-1 through R-7). There are specific design criteria that must be met to promote land use compatibility for schools within residential districts: increased yard setbacks, appropriate screening from abutting uses, and adequate off-street parking and loading facilities. The plans for the high school campus comply with these additional criteria in addition to the standard findings for Conditional Use Permits, which are provided at the end of Staff's memo for the Planning Commission's consideration.

Site Plan

The architectural design of the school expansion builds upon the original circular design constructed in 1963 and the wings encase the existing components. The location of the new structure builds off the existing building footprint situated on the northern portion of the site with active uses to the south and more passive areas of the campus located north of the school itself. The building placement nearer the center of the campus (east to west) helps mitigate the massing of the new structures and provides appropriate transition to the existing residential properties abutting the school campus. A new athletic field house will extend south from the existing building and will be recessed below grade to help conceal the scale of the structure. Active athletic fields, tennis courts, practice facilities, and a track and field/soccer stadium are situated on the southern portion of the campus.

The expanded campus has been intentionally designed to restrict cross-campus vehicular travel to ensure the desired dispersal of trips to/from the campus rather than concentrating all the traffic to one side or the other. School bus circulation for student drop-off/pick-up will utilize new access points along Bald Eagle Avenue and will serve both the high school and middle school due to

staggered school start and dismissal times. There are two primary drop-off/pick up areas, one on either side of the campus, to distribute trips to/from the campus throughout the surrounding street network. Similarly, parking lots for students, faculty and visitors will be situated along both edges of the campus.

New internal sidewalks connect the various components of the campus including improved north/south pedestrian circulation, however, the campus presently disrupts the broader pedestrian and bicycle network of the neighborhood, particularly east-west travel. The campus expansion project presents an opportunity to facilitate a more cohesive network for non-motorized travel throughout the neighborhood and improved connections north of the campus. As plans are finalized for transportation networks around the campus, the Project Team will identify optimal locations and alignments for these critical cross-campus connections.

Setbacks and Increased Building Height

While there is no explicit building setbacks or height restrictions in the P – Public zoning, the Code building requirements to be comparable to other similar uses allowed in other districts. Staff has traditionally applied the B-4 General Business regulation to guide institutional/educational uses abutting residential. The existing school building maintains an 82 foot setback from the eastern property line and over 240 feet from its western property line. With the acquisition of surrounding residential parcels, the building addition is able to provide similar if not increased setbacks from the new campus boundaries.

However a portion of the three story classroom wing is proposed to be 58 feet tall to accommodate the rooftop mechanical equipment abuts three residential properties that will remain along Bald Eagle Avenue. Similarly, the new auditorium building includes a theater fly which is 52 feet in height. The comparable zoning district restricts building height to 3 stories or 36 feet, whichever is less, but Section 1032.040 of the Zoning Code allows building heights in excess of those permitted within the district provisions of the code may be permitted provided that:

1. The site is capable of accommodating the increased intensity of use.

In staff's opinion, no additional intensity is created by the additional building height. The classroom wing is three stories but is 42 feet in height given newer building methods and increased ceiling heights for each level. The rooftop mechanical enclosure will allow the interior space to be conditioned for the comfort of the building occupants, not intensify the use of the building or site. The fly is used to facilitate the changing of backdrops between scenes. The height does not provide seating or other accessory function that could increase the intensity of the auditorium. Therefore, staff finds that the campus is capable of accommodating the increased building height.

2. The increased intensity of the use does not cause an increase in traffic volumes beyond the capacity of the surrounding streets.

As no increase in intensity is created by the additional building height, no increase in traffic volume results.

3. Public Utilities and services are adequate.

Existing and proposed utility connections have been designed to accommodate the expanded school building.

4. For each additional story over 3, or for each additional 10 feet above 40 feet, front and side yard setback requirements shall be increased by 5%.

The mechanical enclosure will be 58 feet tall, which is 18 feet above 40, requiring a 10% increase in the setbacks. The building is required to be set back 30 feet from the front and 50 feet from the side abutting residential. Therefore, the new setback requirements after adjusting for building height are 55 from the sides and 33 from the front. The proposed school building meets these increased setbacks.

5. The increased height is not in conflict with airport zoning regulations.

The proposed building is not within an airport zone and therefore it is not in conflict with such regulations.

6. The provisions of Section 1301.050, Subd.2.e are considered and satisfactorily met.

Staff has reviewed the standards of the CUP section of the code has determined that they have been met. Draft findings are presented in the Summary of this memo for the Planning Commission's consideration.

Building Elevations

As described in more detail in the responses to the Design Principles, the design of the school building is inspired from the many natural amenities and built features found throughout the District's boundaries – lakes, wooded forests, and townscapes – are reflected in the proposed elevations. The continuation of the circular design adds interest and incorporates a variety of materials including extensive use of brick and large expanses of glass and windows throughout. The fieldhouse design uses brick detail elements to tie the building to the remainder of the campus. Similar materials and designs are reflected in a number of outbuildings throughout the campus that provide storage and support for the exterior athletic facilities.

Parking

The Zoning Code requires senior high schools to provide one parking space for each 3 students based on design capacity plus one for every 3 classrooms. With a design capacity for a student population of 3,200, and 123 classrooms, the school is required to provide 1,108 parking stalls with 1,130 spaces proposed. The District is able to manage on-site parking through permits and assignment of designated areas for students, faculty and visitor parking. Additionally, the District is exploring shared parking arrangement with the Hanifl Performing Arts Center, which has off-setting parking demand that complements the school's peak periods. If necessary, the City will be able to manage off-site school parking that may encroach into the surrounding neighborhoods through parking restrictions on the public streets and/or a residential parking permit program similar to that presently in place around South Campus.

Landscaping and Tree Preservation

The Landscape Plan depicts that the required tree replacements will be distributed throughout the site and designed to reestablish the tree canopy around the campus. Extensive plantings along internal roads and walkways will soften the landscape and provide desirable shade. Required interior landscaping and perimeter screening is provided in and around the parking lots. While tree removal is extensive given the former use of the residential properties, staff is very pleased with the District's efforts to restore the urban canopy around and within the school campus.

Signage

A preliminary sign package has been developed for the high school campus. As allowed by the City's Sign Code, the preliminary plans depict two monument signs with digital display elements – one at each primary entrance on Division and Bald Eagle Avenues, building entry signage, wall signage which reflects the District's bear paw logo, directional and way-finding signage, and ancillary signage associated with the campuses athletic facilities and support buildings. Additional information on the sign package's details, materials, colors, illumination, dimensions and installation will be submitted and reviewed prior to permitting and installation.

Exterior Lighting

Lighting specifications and details, as well as a photometric plan, is required prior to the issuance of a building permit. Shields will be incorporated in the poles so that the light is cast downward and the light source is not visible from surrounding residences.

Other

Public input letters were received from six surrounding neighbors in advance of the Public Hearing on the District's land use application. The majority of comments focused on traffic impacts, suggested road improvements, desire for improved pedestrian and bicycle connections, and parking and speeding concerns. As previously noted, these are the areas which have demanded the bulk of attention of the Project Team and continue to be addressed as planned improvements in and around the high school campus are solidified.

The current bus garage located on the campus near northeast corner of the Central Middle School site will be relocated to a new transportation and maintenance facility located in the City of Hugo off of Highway 61. This will reduce the number of school bus trips to/from the current campus.

While a 1,500 seat sports stadium is proposed for this campus, District leadership has indicated that varsity football games will continue to be played at the South Campus stadium which has a 4,500 spectator seating capacity. The addition of more stadium bleacher capacity at this campus in the future would require an amendment to this CUP.

As noted, the District has acquired a number of additional properties to accommodate the high school campus expansion. Prior to the issuance of a Final Certificate of Occupancy for the project, the District will be required to submit a final plat for review and approval.

SUMMARY

The City's discretion in reviewing a conditional use permit is limited to whether or not the proposed land use meets the standards outlined in the Zoning Ordinance. Staff has reviewed the development proposal for the high school expansion and renovation and finds that the standards will be satisfied. Staff offers the following findings of fact for the Planning Commission's consideration:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Lane Use Plan and all other plans and controls.

The campus is guided “Public/Semi-Public” in the 2040 Comprehensive Plan. This designation is for properties which are owned by a public or non-profit entity and used for public services and uses other than parks and open space. It is also intended for semi-public uses such as recreation centers, public schools, churches, and cemeteries. The proposed use is compatible with the Comprehensive Plan and other plans and controls.

2. The proposed use is or will be compatible with present and future land uses of the area.

The site has operated as a high school for several decades. The campus improvements incorporate specific design standards that help promote land use compatibility for schools within residential districts: increased yard setbacks, appropriate screening from abutting uses, and adequate off-street parking and loading facilities.

3. The proposed use conforms with all the performance standards contained herein.

A mandatory Environmental Assessment Worksheet (EAW) of the high school expansion project analyzed the proposal and documented that the use will comply with all applicable performance standards of the Zoning Code.

4. The proposed use will not tend to or actually depreciate the area in which is it proposed.

High quality school districts play a large role in the vibrancy and appeal of the local community and the unified high school campus will enhance and contribute positively to the general vicinity.

5. The proposed use can be accommodated with existing public services and will not overburden the City’s service capacity.

Existing and proposed utility connections have been designed to accommodate the expanded school building. Additional water connection will provide improved benefits of looping and redundancy in the system and the City’s existing sanitary sewer system has the capacity to accommodate the increased flow projections. An alternative design to connect directly to the Metropolitan Council’s trunk sewer line to the north of the campus is also being explored.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

The new campus configuration increases the amount of parking available on site and distributes parking and drop-off locations to both east and west sides of the site to separate traffic flows and help reduce the burden on the surround street network. Increased traffic levels for the area will be mitigated by making improvements to the local roadway network including safety and capacity improvements, traffic control modifications, access/roadway modifications, and enhancements for pedestrian/bicycle connections.

RECOMMENDATION

Staff recommends approval of the conditional use permit, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within five (5) years after granting the conditional use permit, the use as allowed by the permit shall not have been completed or utilized, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.
3. This conditional use permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The applicant shall obtain any necessary building permits prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

5. Provide additional information and calculations as required by the Engineering Department, detailed in the attached memo dated March 15, 2021.
6. Provide additional information and details as required by the Fire Marshal, detailed in the attached memo dated March 2, 2021.
7. A Construction Staging and Management Plan will be required prior to any site work begins.
8. Provide a SAC determination from the Metropolitan Council.
9. Revise the landscape plan to:
 - a) provide interior landscape calculations for each individual parking lot;
 - b) revise proposed screening on the outside perimeter of the parking lots to provide a minimum 50% evergreen trees (maximum 25' OC) to comply with year round screening requirement;
 - c) provide details on screening proposed for parking lots and revise to ensure majority of shrubs are evergreen to provide year-round screening; and
 - d) relocate some of the trees proposed along north edge of campus to more central and effective locations throughout the site.
10. Revise the Tree Preservation Plan to:
 - a) provide totals to the bottom of each column on Sheet L1.014;
 - b) include a key for the tree abbreviations;
 - c) highlight the boulevard trees in table on Sheet L1.014;
 - d) highlight the non-significant trees retained and counted towards replacement inches in table on Sheet L1.014;

- e) includes a Tree Protection Fencing Plan overlaid of the Grading Plan that encompasses all non-significant trees proposed to be retained and applied towards replacement inches; and,
 - f) resolve the discrepancy in Tree Replacement Calculation to demonstrate compliance with 2,227 required replacement inches.
11. Separate sign permits for exterior signage shall be secured prior to installation of any permanent exterior signage.
 12. Combine the two photometric plans into one comprehensive plan which incorporates the perimeter of the campus for staff review and approval. All new or relocated lights shall be shielded so that the light source is not visible from surrounding residences.
 13. Provide details and specifications on all lighting proposed for the athletic facilities (Musco Lighting Plans set).

Prior to the issuance of a Certificate of Occupancy, the applicant shall:

14. Enter into a Development Agreement for all off-site improvements.
15. Work to identify optimal locations and alignments for east-west cross-campus non-motorized connections on-site.
16. Submit a final plat for review and approval.
17. Any additional stadium bleacher capacity at this campus in the future shall require an amendment to this CUP.

ATTACHMENTS

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Applicant's Narrative and Site Plan Review Responses
4. WBL ISD #624 High School Expansion Project CUP Presentation Packets
5. Engineering Department Review Memo, dated March 15, 2021
6. Fire Department Review Memo, dated March 2, 2021
7. Neighbor Comments via e-mail

RESOLUTION NO. _____

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT
FOR WHITE BEAR LAKE AREA ISD #624
SENIOR HIGH SCHOOL CAMPUS AND EXPANSION
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-3-CUP) has been submitted by The White Bear Lake Area Public School District #624 to the City Council requesting approval of a conditional use permit for the following location:

LOCATION: 5045 Division Avenue

LEGAL DESCRIPTION: [to be inserted]

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING PERMIT: A conditional use permit, per Code Section 1303.245, Subd.2.c.4, to allow a 398,000 square foot building addition; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on March 29, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake after reviewing the proposal, that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.
7. The special conditions attached in the form of conditional use permits are hereby approved.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the conditional use permit, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within five (5) years after granting the conditional use permit, the use as allowed by the permit shall not have been completed or utilized, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.
3. This conditional use permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The applicant shall obtain any necessary building permits prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

5. Provide additional information and calculations as required by the Engineering Department, detailed in the attached memo dated March 15, 2021.
6. Provide additional information and details as required by the Fire Marshal, detailed in the attached memo dated March 2, 2021.
7. A Construction Staging and Management Plan will be required prior to any site work begins.
8. Provide a SAC determination from the Metropolitan Council.
9. Revise the landscape plan to:
 - a) provide interior landscape calculations for each individual parking lot;
 - b) revise proposed screening on the outside perimeter of the parking lots to provide a minimum 50% evergreen trees (maximum 25' OC) to comply with year round screening requirement;
 - c) provide details on screening proposed for parking lots and revise to ensure majority of shrubs are evergreen to provide year-round screening; and
 - d) relocate some of the trees proposed along north edge of campus to more central and effective locations throughout the site.
10. Revise the Tree Preservation Plan to:
 - a) provide totals to the bottom of each column on Sheet L1.014;
 - b) include a key for the tree abbreviations;
 - c) highlight the boulevard trees in table on Sheet L1.014;

- d) highlight the non-significant trees retained and counted towards replacement inches in table on Sheet L1.014;
 - e) includes a Tree Protection Fencing Plan overlaid of the Grading Plan that encompasses all non-significant trees proposed to be retained and applied towards replacement inches; and,
 - f) resolve the discrepancy in Tree Replacement Calculation to demonstrate compliance with 2,227 required replacement inches.
11. Separate sign permits for exterior signage shall be secured prior to installation of any permanent exterior signage.
 12. Combine the two photometric plans into one comprehensive plan which incorporates the perimeter of the campus for staff review and approval. All new or relocated lights shall be shielded so that the light source is not visible from surrounding residences.
 13. Provide details and specifications on all lighting proposed for the athletic facilities (Musco Lighting Plans set).

Prior to the issuance of a Certificate of Occupancy, the applicant shall:

14. Enter into a Development Agreement for all off-site improvements.
15. Work to identify optimal locations and alignments for east-west cross-campus non-motorized connections on-site.
16. Submit a final plat for review and approval.
17. Any additional stadium bleacher capacity at this campus in the future shall require an amendment to this CUP.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

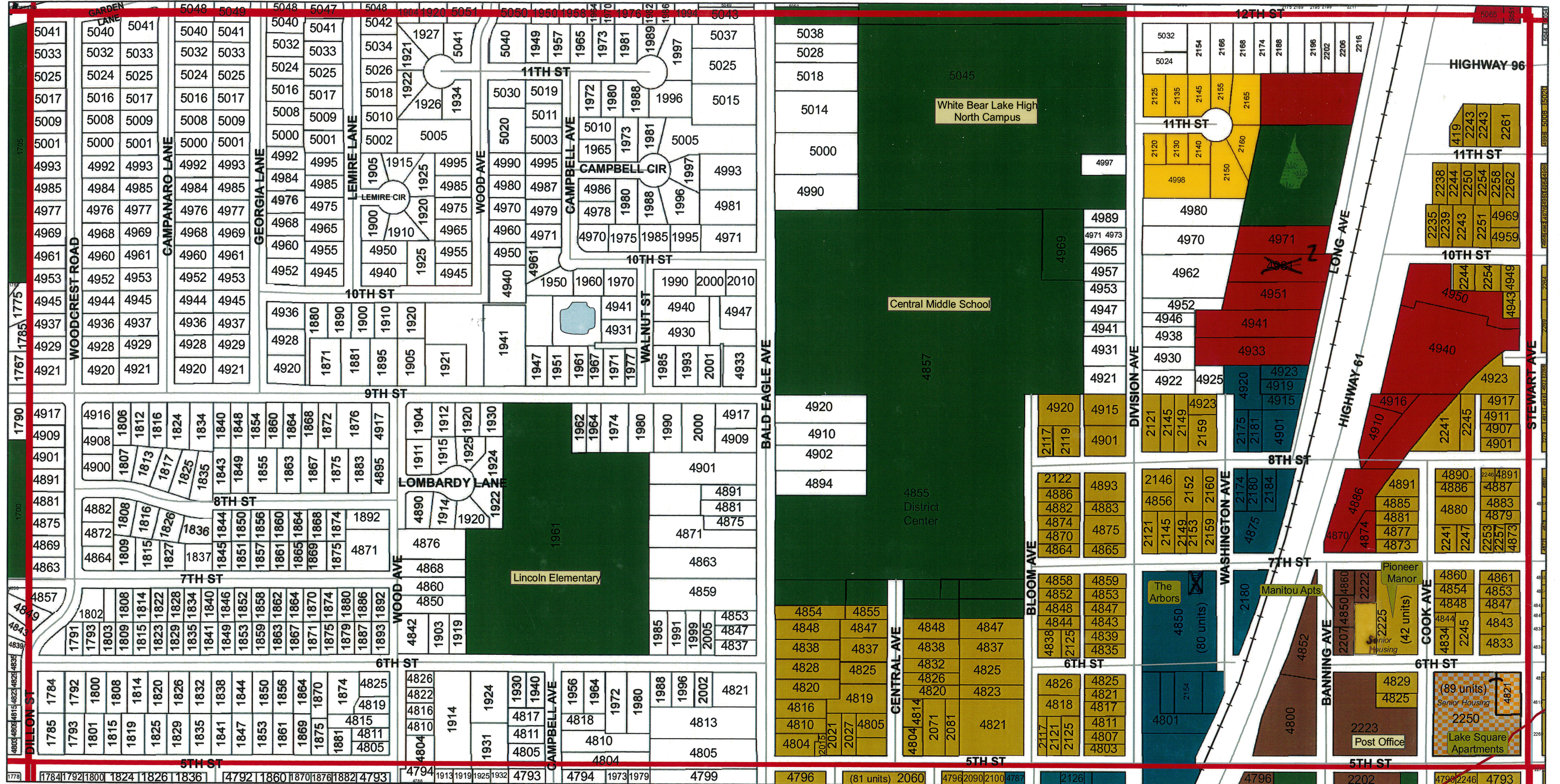
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date

Print Name

Title

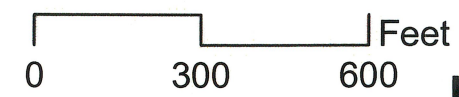
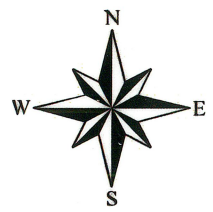
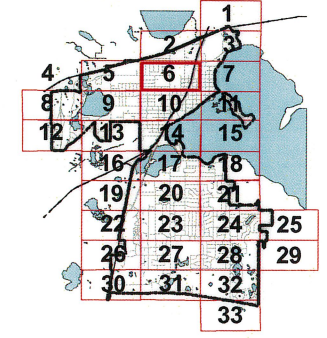


City of White Bear Lake Address and Zoning Map

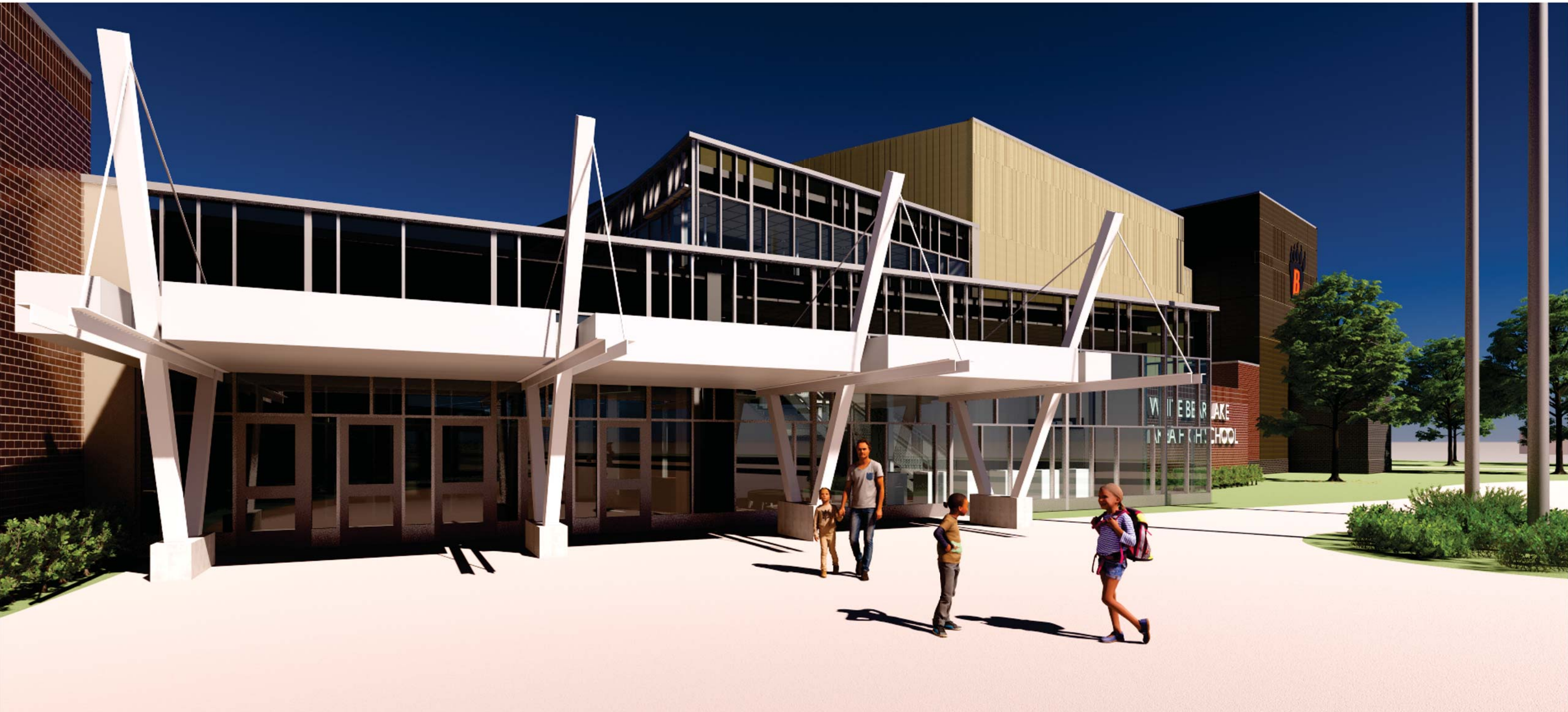
- R-1 Low Density Single Family-Island
- R-1-S Low Density Single Family-Shoreland
- R-2 Single Family Residential
- R-3 Single Family Residential
- R-4 Single Family, Two Family Residential
- R-5 Single Family, Two Family, Medium Density Residential
- R-6 Medium Density Residential
- R-7 High Density Residential
- RB Residential Business Transition
- B-1 Neighborhood Business
- B-2 Limited Business
- B-3 Auto Oriented Business
- B-4 General Business
- LVMU Lake Village Mixed Use
- B-5 Central Business
- B-6 Commercial Recreational
- BW Business Warehousing
- I-1 Limited Industry
- I-2 General Industry
- DBD Diversified Business Development
- DCB Diversified Central Business
- PZ Performance Zone
- PZ-R Performance Zone Residential
- O Open Space
- P Public

- White Bear Lake City Border
- Adjacent Municipality Borders
- Shoreland Overlay District
- Wetlands
- R Religious Building
- PS Private School
- Cem Cemetery
- (#) Number of Housing Units on Property

*Public roads are shown in ALL CAPS, while private roads are shown in Standard Type.



North 1/2 of Section 14



White Bear Lake Area
High School



ISD #624 - WHITE BEAR LAKE HIGH SCHOOL ADDITION AND REMODEL

Conditional Use Permit

In November 2019, the White Bear Lake Area School District passed a referendum to improve and expand facilities districtwide.

One element of the referendum was to renovate and expand the North Campus, currently housing grades 9-10, into a singular integrated 9-12 White Bear Lake Area High School. To facilitate the inclusion of grades 11-12, as well as to accommodate an additional 20% future growth in student enrollment, a 398,000 square foot addition is required to ensure adequate capacity. Throughout the design process, a guiding principle has been the inclusion of feedback from the Core Planning Team, a group of parents, teachers, students, and administrators intimately familiar with White Bear Lake and the high school itself. Their feedback has been integral in incorporating the school focus of personalized learning and putting learning on display.

This project will include many amenities. A three story classroom addition and renovations to existing classrooms will provide additional learning space with a focus on flexibility for future needs. Integrated into the very heart of the high school will be a new sunlit Student Union, which will serve as a place for students to congregate, supplementary learning space, and cafeteria space. Adjacent, a new 845-seat auditorium and additional music spaces will complement existing facilities and incorporate technology that is integral to a modern high school theatrical production. Additionally, a new athletics suite will be constructed including a renovation of the existing game gym to accommodate 1,900 seats. As well as an additional auxiliary gymnasium, weight room, and 5-court fieldhouse to provide room for all the school's indoor physical activities.

Furthermore, the site will incorporate a new athletic stadium and plaza with room for 1,500 spectators and a track and field with room for 1000 spectators to serve the High School and the adjacent Central Middle School. Concessions and restrooms will serve the exterior athletic facilities. The site will also contain tennis courts, softball and baseball fields, and general practice fields. With these outdoor facilities comes a number of storage buildings, ticket booths, and two sets of grandstand bleachers with press boxes. All of these things will address changing activities in a modern high school..

The nine design principles from the city are incorporated in the following ways:

REGIONALISM: The buildings core theme is based on the rich history of the local lakes. The public areas of the high school, centered around the Union, are inspired by a large lake flowing from one public function to another surrounding the large circular geometries and eventually spilling out to the Main and Student Entries.



CONTEXT: Originally completed in 1963, the existing building is composed of three circular volumes each dedicated to a different use. The location of the additions have been carefully connected to the existing building to pair with the current uses of each circle, work with existing topography and grades, and integrate well with the existing massing. Through the continuation of the existing circular geometries, the expansion pays homage to the original building concept while providing a more free flowing connection through the use of the Union.

SCALE and MASSING: The massing of the building expands the existing massing, matching the two-story spaces before reaching 3 stories. Larger scale spaces are carefully placed to feel more human-scaled. The tall athletics addition is one story below grade and uses a variety of precast patterns and different height at the corners to help break down the large box. At the auditorium and fly loft, several smaller masses are clustered in front of larger ones, like clustered buildings on a lakefront. At each entry, a lower canopy provides an approachable entry for the students, staff, and visitors. Expansive glass around the building reflects the sky like water, to help make the building look lighter and capture daylight for the majority of spaces, Fully interior spaces of the building incorporate glass to access daylight from adjacent spaces.

COMPOSITION: The proportions of the building are designed to suit the spaces, the tallest spaces are those that need extra height to suit the activities within, including the auditorium and athletics spaces.

HIERARCHY: Variety in material and height create hierarchy, a rhythm of different textures helps guide the eye to the expanses of glass and canopies of the entries.

COLOR: The dominant brick color used throughout the addition will match the color and pattern established in the existing building, along with three other brick types to complement this color. Other materials such as clear glass, silver metal panel, and light-toned architectural precast concrete all have analogs in the existing building and are used throughout the addition. These materials can be seen on the digital materials sample board.

DETAIL and CRAFTSMANSHIP: Wold Architects and Engineers is a firm focused on public environments; we have been working with School Districts with the master planning of their educational facilities and providing design services for over 47 years. As a client-service focused firm, we believe our role is much more than just a facility designer. Because facility issues are ongoing, we offer our continuing support from initial space needs analysis, through design and construction, to continuing post-occupancy. Our 100+ person, multi-disciplinary staff provides facility analysis, facility planning and programming, architectural design and specifications, mechanical and electrical design and specifications, space planning, interior design, cost estimating, and construction administration. Recently completed projects with several School Districts executing referendum-funded work of similar scales, include Wayzata High School Addition (ISD #284), various Elk River additions (ISD #728), and Shakopee High School Addition and Renovation (ISD #720).

TRANSFORMATION: The learning spaces are designed with the future of learning in mind, which includes flexibility for the changing needs of education. The learning studios are designed with as few permanent elements as possible so the spaces can transform for the different and varied functions that are needed over time.



SIMPLICITY: The exterior design incorporates several motifs derived from the forests, townscapes, and lakes of White Bear Lake itself. From the metaphor of tree trunks (precast), sailboat masts (canopy support system), lake (Union façade at entries), dark brick base (soil and paving of lake shore), and collection of townscape buildings (Athletic and Theatre Buildings) the school addition details are vitally important in conveying the theme of the town by the lake.

Per 1301.050 Subd. 2.e Procedure of the City Code:

Item 1. It is our intent that the proposed addition meets all the specific requirements of the City Comprehensive Land Use Plan.

Item 2. The proposed addition continues the present use of the site.

Item 3. It is our intent that the proposed expansion meets all the City's standards.

Item 4. Typically schools appreciate land values and we believe this expansion would enhance that.

Item 5. Utility connections were designed in discussion with the city to be provided by the project and not overburden the City's service capacity.

Item 6. The new site layout increases the parking available on site and distributes parking and drop-off locations to the east and west sides of the site to separate traffic flows and help reduce the burden on surrounding streets. Through a traffic study, the existing streets were analyzed for potential traffic impact. Off-site improvements consistent with the traffic study are planned as a future project to be completed along with the proposed project.



February 16, 2021

Anne Kane, AICP
City of White Bear Lake
Community Development Director
4701 Highway 61
White Bear Lake, Minnesota 55110

Re: Independent School District #624 – White Bear Lake Area Schools
White Bear Lake Area School – North Campus
Commission No. 192236

Dear Anne:

The following letter is in response to the Pre-Submittal Review comment sent December 15, 2020 for the White Bear Lake Area Schools' North Campus Expansion/Renovation project.

Site Plan Comments

1. **Comment:** The Overall Plan is acceptable at a scale of one inch= 120 feet, however we request that a Site Plan be provided at a scale not less than one inch = 50 feet along with a location key for reference.

Response: *The Paving Plans C200-C203 are at the increased scale for additional layout information. Keynotes are also included for item descriptions.*

2. **Comment:** Please expand the base Site Plan to include all existing improvements within 350 feet of the campus, including residential structures, streets, sidewalks, topography, etc... It is acceptable to use a filtered and labeled aerial photograph to communicate this data.

Response: *An exhibit, X-1 Vicinity Map, is enclosed as requested.*

3. **Comment:** Please provide a legend, labels, and a Site Data Summary Chart. The Site Data Chart should provide the Gross Site Area, Hard Surface Area (building footprint, parking areas and internal drives, walkways, athletic courts, etc...), Landscape Area (manicured lawn areas, landscape beds, wetland areas, athletic fields, etc...), and summary of parking spaces required and provided, along with the number of handicap accessible spaces required and provided. Open learning design may require further discussion of classroom equivalency.

Response: *C000 contains the parking, area, and lot coverage calculations. The courtyard/open learning space is intended to act as a 'flex space' and will not have regularly scheduled classes due to possibility of inclement weather.*

4. **Comment:** Please provide additional details on the athletic field design. If artificial turf is contemplated, please note that the storm water management plan must be designed to accommodate the additional impervious area.

Response: *Construction Details of the synthetic turf are included in the plans. The carpet has an infiltration rate of 20 in/hour. Stormwater management will be compliant with city and watershed regulations.*

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**PLANNERS
ARCHITECTS
ENGINEERS**



5. **Comment:** Depending on the outcome of the ACE Small Area Study, it is possible that a Small Area Plan will be prepared and formally adopted through the City's planning process. Otherwise, at such time as final platting of the campus a Comprehensive Plan Amendment will be necessary to re-guide the properties from "Low Density Residential" to "Public/Semi-Public". Also, please note that platting triggers boulevard trees along all streets where trees do not exist (1406.030, Subd.6). It would be more efficient to plan for these trees up front, with the CUP design.

***Comment:** Required trees are intended to be planted now. Zoning and Lot separation can be further discussed when platting is desired. Our understanding is platting is preferred to wait until all the adjacent lots are acquired.*

6. **Comment:** The Planning/Design/Construction Timeline, dated January 30, 2020, anticipated that the Design Development Phase would extend June through September 2020 and Construction Documents/Bidding to begin in October 2020. It is the City's understanding that this project timeline was predicated on a complete submittal in late 2020 for Planning Commission and City Council review.

Likewise, the Planning and Approval Schedule, dated October 6, 2020, indicates the Traffic Study would be completed by early October, yet the final Draft Memorandum of the Traffic Study was not received by City Staff until December 6, 2020.

Upon receipt of a formal Land Use Application, and the completeness of the submittal, staff may determine it is necessary to extend the 60 day review period to allow sufficient time for review and adequate time for public input, Planning Commission consideration and City Council determination.

Be advised that Building Permit Plan Review on a project as complex as this will likely take 60 to 90 days to complete prior to issuance of a Permit Building to begin construction.

Please provide an updated Planning/Design/ Construction Timeline for planning purposes.

***Response:** It is understood that the timeline for building plan review is 60 to 90 days. Please see revised schedule attached. While this schedule likely works, in further discussions with City Staff, a footings and foundations or early demolition permit may be amenable if needed.*



7. **Comment:** The following plans and details are not required for Pre-Submittal Review, however, these items will be required as part of the formal Land Use Application:

- a. Site Plan exhibits includes detailed plans/sheets with associated information containing the following:
 - i. Cover Sheet
 - ii. Site Plan
 - iii. Landscape Plan
 - iv. Utility Plan
 - v. Grading/Drainage Plan
 - vi. Erosion Control Plan
 - vii. Photometric Plan
 - viii. Building Elevations
 - ix. Perspectives
 - x. Off-site Improvements

Response: *The requested sheets are included. Some are not at permit level as detailed design is ongoing.*

- b. Please note that lighting, hard surface and building setbacks, and screening will be required to follow the "business abutting residential" requirements found in Section 1303.130, Subd.4.e.

Response: *Setbacks are shown on Paving Plans C200-C201. Requirements will be met.*

- c. Provide house-side shields on any light poles that abut residential properties. All light sources must be shielded from adjacent residential properties.

Response: *Requirements will be met.*

- d. Exterior materials sample board.

Response: *Digital exterior materials sample board will be provided as part of the land use application per discussion on January 13, 2021. If any hard copy materials are needed, we are happy to drop them off.*

- e. Identify the accessory structure near theater. Provide additional detail and information regarding exterior design.

Response: *The accessory structure near the theater is a buildings and grounds building, the design will be included as part of the land use application.*



- f. Provide details on the loading area.

Response: *Loading dock is designed for three semi-truck bays and two compactors. Additional space for District box trucks is provided. A brick masonry screen wall to match the building will be provided along the north and east sides.*

- g. The Site Plan should also identify any existing or proposed easements.

Response: *Existing easements are shown on the attached Boundary survey by Sunde Land Surveying. Locations, types, and widths for new easements will be coordinated with the appropriate City departments.*

- h. Photometrics and specifications on all exterior lighting.

Response: *See photometrics and specifications attached.*

- i. Mitigate glare of headlights of vehicles exiting, unless aligned with a street intersection as requested by Engineering.

Response: *Parking lot entries are aligned with adjacent roads where nearby. If additional measures are needed at other locations, the design team will work with the City on mitigation.*

- j. Provide an exhibit which identifies the height of various building components.

Response: *See Diagram attached to show building heights.*

- k. All rooftop and ground-mounted mechanical equipment must be screened from view from the public right-of-way and residential properties, screening subject to staff approval.

Response: *Screening is provided for rooftop and ground-mounted mechanical equipment from residential properties and right of ways and design will be included in CUP submittal. Ground-mounted mechanical equipment will be screened by brick masonry walls that match the building. Rooftop mounted equipment that is visible will be screened by equipment screens in a color to compliment the building. Product data is attached for reference.*

- l. Please note that parking lots will be required to follow both the interior and perimeter landscaping standards found in Section 1302.050, Subd.4.h.16.

Response: *Noted. Perimeter and interior landscaping will be provided.*



- m. As much as possible, interior parking lot landscaping should be provided within the parking area that creates the demand for it. Landscape islands must be at least 8 feet wide in order to be counted as parking lot landscaping. Larger islands may be provided to reduce the overall number of islands if helpful to facilitate snow plow operations.

Response: *Noted. In addition to the islands directly in the parking lot, the drop off areas are separated from the lot to provide additional interior landscape. Calculations for interior landscaping in excess of 8' wide are included.*

- n. Please note that a tree preservation plan is required, showing the size, type and location of trees to be removed and preserved along with a table listing the same. See tree preservation handout, attached.

Response: *Tree removal calculations are included in the landscaping plans.*

- o. Foundation plantings are required and some tall but compact evergreens should be provided in the areas of the blank building facades - particularly with the field house and auditorium - to break up the wall mass. Some good species include Arborvitae, Slender Hinoki Cypress, Blue Arrow Juniper, or Streetspire Oak (last one not evergreen but a nice choice for some variation).

Response: *Foundation planting areas are shown on the landscape plan. The final plant types and spacings are still in review with the Owner and design team.*

Engineering

1. **Comment:** A site plan with all utilities including water, sanitary sewer and storm sewer needs to be provided as it is difficult to see any potential conflicts with proposed improvements. Plan should also show all potential new or reconfigured connections.
 - a. Watermain connections and extensions need to be finalized.
 - b. Sanitary sewer connections and extensions need to be finalized.
 - c. Easements for any public utility across the site should be contained within a proper easement.
 - d. It appears the proposed water feature at the north end of the track appears to be on top of an existing storm sewer pipe creating a potential conflict.
 - e. It appears that the proposed track between Central Avenue and Bald Eagle Avenue (southwest corner) will be built over an existing City storm sewer pipe.
 - f. There are existing watermain crossings on the north and south sides of the property between Bald Eagle Avenue and Division Avenue on the north, and Bald Eagle Avenue and Central Avenue to the south. These connections must remain in service.

Response: *The design will work with the City on the final utility routing and connections. Existing easements are being verified. Any new required easements or missing existing easements will be created.*



2. **Comment:** Site entrances should line up directly with the street across from it. This does not appear to be the case in a number of locations including Garden Lane and Division Comi. Other entrances to the site may have issues with headlights of exiting vehicles shining to into homes on the other side of the roadway.

Response: *The northerly parking lots have been adjusted to align with adjacent roads. The mid-site alignments will be reviewed and additional plantings mitigation can be provided.*

3. **Comment:** Pedestrian facilities:
- Review adjacent streets and add crossings as appropriate.
 - Sidewalk extensions to the north on both Bald Eagle Ave and Division Avenue appear to be needed.
 - Pedestrian movements within the parking lots do not seem well laid out. In order for a person to get to the sidewalks, they would need to walk between parked cars. Pedestrian access should be made available every so often along the sidewalks.
 - Other off site pedestrian facilities needed from the EAW, Traffic Study or the review should be shown.
 - The entrance to the NW parking lot and entrance to the south have no pedestrian access to and from Bald Eagle Ave.

Response: *A separate pedestrian access study is being performed by SEH. Those recommendations will be reviewed with the City and Township.*

4. **Comment:** Please show bus circulation throughout the site.

Response: *See attached diagrams showing bus circulation.*

5. **Comment:** The tapers on the turn lanes on Bald Eagle Ave and Division Avenue are very awkward and should be reviewed. They seem to be merely bump outs of the curb versus a flowing curb line with proper horizontal alignment. This layout will be difficult to plow and maintain. Please revise.

Response: *The road turn lane design is still in progress. It is anticipated that the sidewalk extensions, turn lane widening, and Eighth Street improvements will be incorporated into one project for review and approval streamlining.*

6. **Comment:** All utility services and driveways for demolished homes must be properly terminated at the main or removed and the street and curb repaired as necessary. However, the overall condition of Division Avenue will need to be reviewed based on the number of cuts that will need to be made in the street for utility termination for demolished homes, removal of driveways from demolished homes, turn lane improvements and other potential utility connections. The roadway may need to be resurfaced to restore its integrity.

Response: *The adjacent home and driveways being removed are shown on the demolition plans. If service location records are available, their approximate locations will be included. The current plans provide an update to road impacts for further consideration of additional requirements.*



7. **Comment:** Has Ramsey County reviewed the proposed access to Bald Eagle Avenue?

Response: *Plans will be submitted to Ramsey County for new driveway access, old driveway removal, utility disconnects, sanitary sewer extension and sidewalk extensions.*

Stormwater Management

1. **Comment:** Stormwater management and erosion and sediment control is required for this project. Refer to the City's Engineering Design Standards for Stormwater Management, which includes requirements for erosion and sediment control, rate control, volume/water quality control, floodplain management, vegetative buffers, storm sewer and pond design, freeboard, emergency overflow paths, and stormwater operation and maintenance agreements. The standards can be found on the City's website at:
<https://www.whitebearlake.org/engineering/page/design-standards-stormwater-management>.

Response: *Noted. Stormwater management and wetland buffers will be provided in accordance with City requirements.*

2. **Comment:** Volume control is required for this project. If infiltration practices are proposed to meet this requirement, provide at least one soil boring at the location of each practice to determine if the on-site soils are conducive to infiltration. The geotechnical report shall include a seasonal high groundwater elevation for all borings within the location of proposed infiltration practices. The bottom of the infiltration practices shall be designed to provide a minimum of three feet of separation from the seasonal high groundwater table. The geotechnical report shall be submitted as part of the land use approval process.

Response: *Volume reduction will be provided. The geotechnical report is included. The final stormwater calculations will be submitted shortly.*

3. **Comment:** Stormwater runoff from all new and reconstructed impervious surfaces shall be routed to volume control/water quality treatment practices.

Response: *All new and reconstructed pavements will have treatment provided in accordance with City and watershed requirements.*

4. **Comment:** Consider stormwater reuse as an option to meet volume control requirements. Rice Creek Watershed District encourages stormwater reuse for turf irrigation, and is a great technical resource.

Response: *Stormwater reuse will be discussed with the Owner.*

5. **Comment:** For tree requirements within the parking lots, consider also using these areas for stormwater management (tree trenches, rain gardens, etc).

Response: *Stormwater areas will incorporate trees as appropriate.*



6. **Comment:** Provide an overland emergency overflow (EOF) for all stormwater practices and low areas on the site. The EOF elevations shall meet City and RCWD freeboard requirements for proposed buildings and existing buildings (including offsite buildings). The EOF's shall not be directed onto adjacent private property.

Response: *Emergency overflows will be noted. All overflows will occur within the school site or to adjacent streets.*

7. **Comment:** Extend the existing site survey at least 350 feet beyond the project boundary to show offsite drainage patterns. Also, survey locations and low openings of off-site structures that will be near proposed ponding/low areas.

Response: *The surrounding lidar topography has been reviewed. The majority of the existing runoff is directed internally and the proposed conditions will mimic that. The adjacent roads have been surveyed, which interrupt and redirect most surrounding runoff. To perform an actual topographic survey 350' is not feasible for obtaining access to sheer number of individual private properties and a large cost for the survey field work to the Owner. We recommend use of existing available GIS data to avoid a hardship of topographic surveying.*

8. **Comment:** This project is within the Rice Creek Watershed District (RCWD) and Vadnais Lake Area Water Management Organization (VLAWMO). Reach out to these agencies to determine their permitting requirements. Other agencies, such as the MPCA, may also require a permit.

Response: *When the stormwater design is finalized a pre-submittal meeting with the City and watersheds is desired. We will reach out to establish the meeting when ready.*

9. **Comment:** It is not clear if a wetland delineation is included on the overall plan (COOO). Show/label the wetland delineation(s) and identify if there are wetland impacts. RCWD (northern portion of the site) and VLAWMO (southern portion of the site) are the Wetland Conservation Act (WCA) authorities. Submit plans to the appropriate WCA authority for review.

Response: *The wetland delineation has been performed and approved. The mitigation permit is close to being finalized for submittal to RCWD. A copy can be sent to the City if desired.*

10. **Comment:** As per the City's Engineering Design Standards for Stormwater Management, buffers will be required adjacent to the wetland(s). RCWD and VLAWMO may also have buffer requirements. The most restrictive (widest) buffer requirement will apply.

Response: *New wetland buffers are shown on the plan for a 15' minimum and 30' average.*



11. **Comment:** A City of White Bear Lake Stormwater Operations and Maintenance Agreement (SOMA) is required for this project prior to release of the Certificate of Occupancy. Wetland buffers are required to be maintained and shall also be included in the SOMA. The SOMA template can be found on the City's website at:
<https://www.whitebearlake.org/engineering/page/design-standards-stormwater-management>

Response: *A maintenance agreement will be prepared for the permit application submittal.*

12. **Comment:** If the school district is interested in planting native vegetation or constructing additional stormwater treatment practices on the site, the Vadnais Lake Area Water Management Organization and Rice Creek Watershed District offer cost share grants for projects that protect and enhance water quality (native habitat restoration, green roofs, pervious pavers, raingardens, sediment control practices, stormwater reuse systems, etc.). Projects that go above and beyond permit requirements are eligible.

Response: *Grant information will be shared with the Owner.*

Building

1. **Comment:** An expanded version of the site plan showing the neighborhood around the perimeter of the site would help us understand better how the development may impact the surrounding residential neighborhoods with regard to traffic, overall site lighting, vehicle head light impact on dwellings, etc.

Response: *See exhibit attached showing the surrounding site.*

2. **Comment:** It would be helpful if the site plan drawing had a legend to denote what each color on the plan represents.

Response: *A legend is included on C000 for the areas listed in the lot and coverage table.*

3. **Comment:** The school has purchased a number of houses and torn down some of them. Sites where dwellings have been removed, the driveways and curb cuts remain. The City will require a plan to remove the driveways and install new curbing at the existing driveway curb cut locations.

Response: *Noted. Curbs will be replaced.*

4. **Comment:** Each house that is torn down will need to have both the sewer and water permanently abandon. Water lines need to be abandon at the main. (Paul was going to email you a bullet point about this)

Response: *Noted. Final road impacts will be reviewed with the City for additional requirements.*



5. **Comment:** Adding room numbers to each room or space depicted on the building floor plans would be helpful so that when discussing specific code concerns we can reference the location in question.

Response: *Code Plan and floor plans will incorporate room numbers for reference in the building permit submittal. Draft code plans with this information have previously been submitted to the City.*

6. **Comment:** A comprehensive code data sheet will be required as part of the Building Permit submittal to show that the proposed building meets the allowable area requirements, that the plumbing fixture count has been calculated, that the exit separation distances have been verified, as well as verification that exiting meets the travel distance and common path of travel requirements.

Response: *This will be provided with the Building Permit submittal. Draft code plans with this information have previously been submitted to the City.*

7. **Comment:** There are a number of bathrooms depicted on the plans that don't have doorways leading in or out and there are no lavatories depicted in some of the bathrooms.

Response: *Bathrooms on the submitted code plan were still in progress, design will be updated for building permit review.*

8. **Comment:** Where designing bathrooms to be non-gender specific please adhere to the Draft Plan Review Policy 07- Gender non-separated restrooms drafted by Greg Metz. I realize that this document has not been formally adopted but it is the best document we have. The use of non-gender specific bathrooms should be approved as an alternated material/method as the code currently requires separate bathroom facilities for each sex.

Response: *Non-gender specific bathrooms will be designed to comply with Draft Plan Review Policy 07 to be approved as an alternate method for the building permit submittal.*

Fire

1. **Comment:** All roads and drive lanes shall meet the White Bear Lake Fire Department requirements and 2020 MSFC for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes.

Response: *The drives and turns will be reviewed for fire truck turning. An exhibit for the main drives is enclosed. If any other areas would like further examination, please let us know.*

2. **Comment:** Traffic gates shall not be used on the property.

Response: *The gates/ traffic control options are under review and discussion with the Owner, Traffic Engineer, and City. Any gates and/or controls installed will be approved prior to installation.*



- Comment:** Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.

Response: *We are planning to include two address signs, one on the east and west near the entries. These are shown on the submitted exterior elevations.*

- Comment:** Fire hydrant locations shall be approved prior to installation, removal, or relocation. A fire hydrant shall be added to the area near the Southwest corner of the new addition and the Division St. North parking lot.

Response: *Hydrant locations will be reviewed and approved by prior as noted. The requested hydrant has been added.*

- Comment:** The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. City permit required prior to initiation of work.

Response: *We will comply with all current codes. The fire sprinkler contractor will be required to submit for permit prior to initiating work.*

- Comment:** The fire alarm system shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required prior to initiation of work.

Response: *We will comply with all current codes. The fire alarm contractor will be required to submit for permit prior to initiating work.*

Additional Comments

- Comment:** Construction and reconstruction projects provide the most cost-effective time to install charging station infrastructure. Consider adding conduit as part of this project for future electric vehicle charging stations.

Response: *There are not currently plans for this; however, we will review it with the School District.*

- Comment:** Work with the school district to determine food scrap recycling space needs for the north campus, such as larger dumpster enclosures to accommodate food scrap dumpsters, etc.

Response: *Dumpster space is being planned at the loading dock to manage trash, recycling and food scraps. All dumpsters will be screened from view.*

- Comment:** Rooftop solar was installed on six White Bear Lake Area schools in 2019; the school district may want to consider including rooftop solar as part of this project as well.

Response: *There are not current plans to install solar; however, it will likely happen in the future similar to the other district schools. The majority of the new roof structure will be sized to accommodate future solar panels.*



4. **Comment:** Native trees and other native vegetation are encouraged where possible.

Response: *Native plants will be included in the wetland buffer and raingardens. Additional areas will be reviewed with the Owner based on intended use of the area.*

Sincerely,

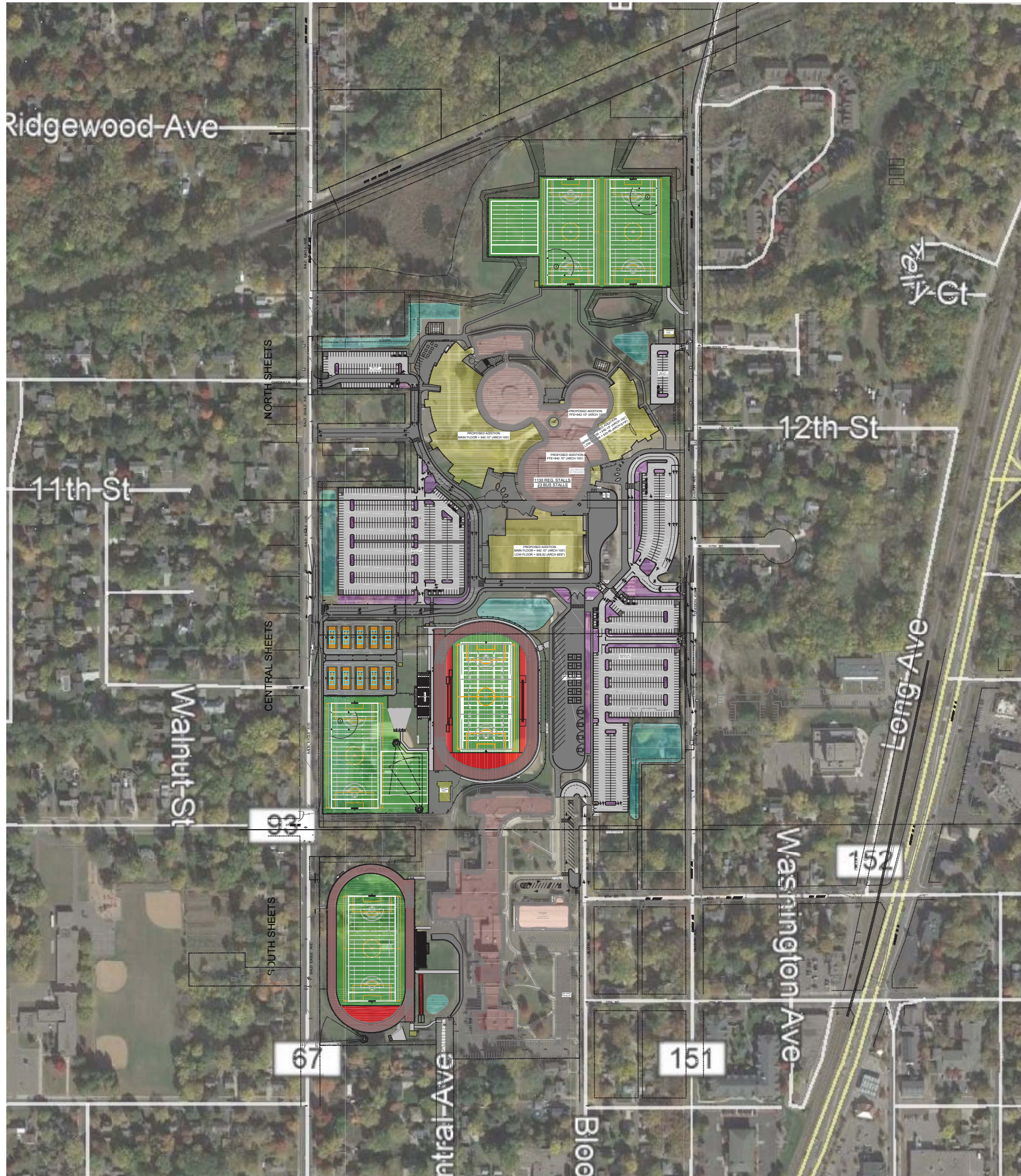
Wold Architects and Engineers

A handwritten signature in black ink, appearing to read "Cosette Hannula", with a long horizontal flourish extending to the right.

Cosette Hannula | Assoc. AIA

cc: Eric Meyer, Larson Engineering
Ben Beery, Wold
Maria Kennedy, Wold
Sal Bagley, Wold
Paul Aplikowski, Wold

LW/ISD_624/192236/crsp/feb21



MN

WBLAHS Additions & Renovations

5045 Division Avenue
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ISD #624
4855 Bloom Avenue
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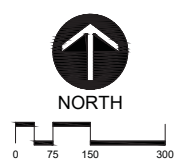
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Buchal, P.E.
Date: _____ Lic. No.: xxxxxx

Description	Revisions		Num
	Date		

Comm: 12196196
Date: _____
Drawn: KBK
Check: GAB
North

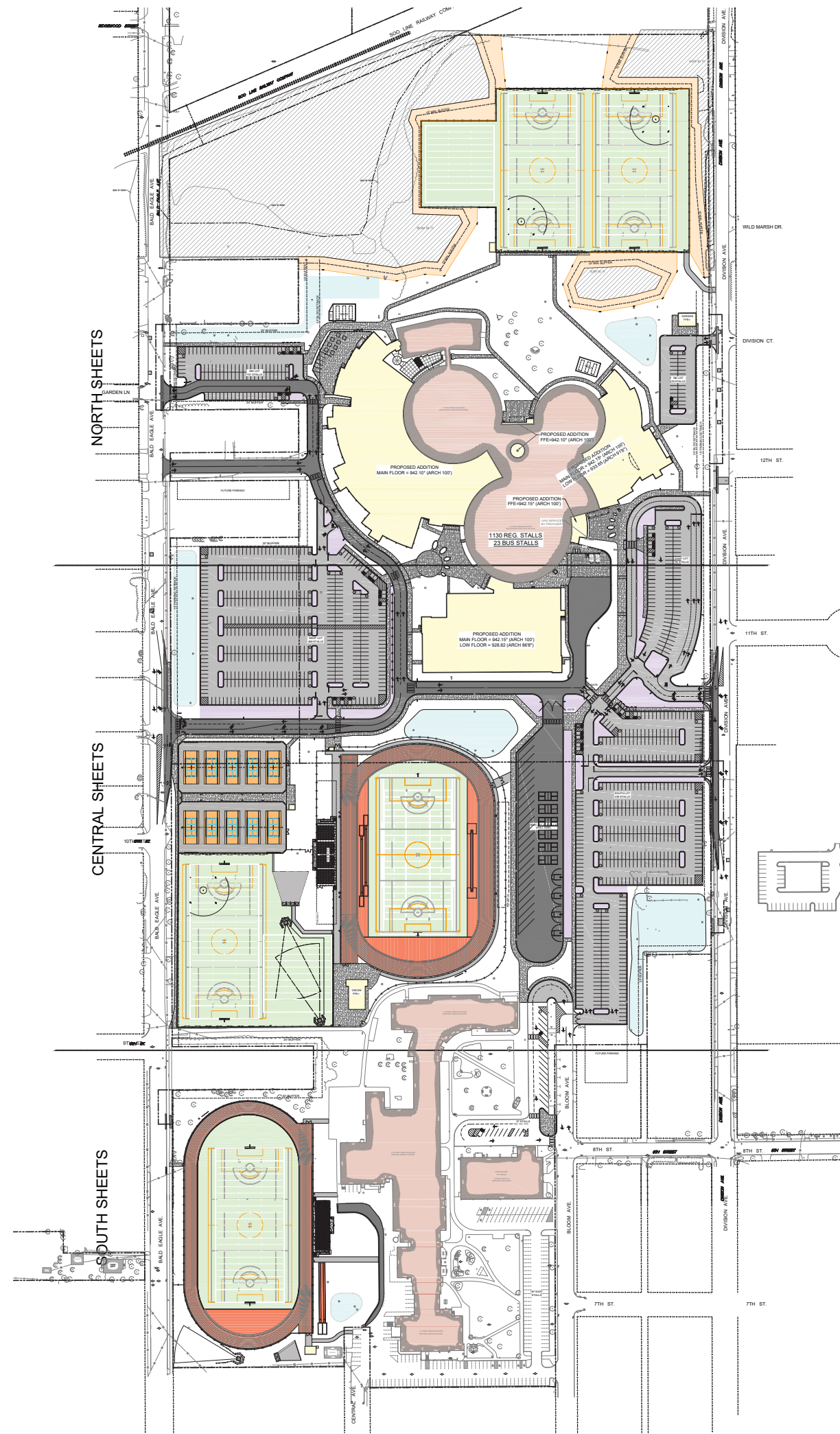
VICINITY MAP



**02.15.2021 CUP SUBMITTAL
NOT FOR CONSTRUCTION**

Scale: See scale bar
X1

MN



SYMBOL LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING/ADDITION
- NEW BITUMINOUS PAVING
- NEW CONCRETE PAVING
- NEW SYNTHETIC TURF
- NEW ATHLETIC TRACK SURFACING
- NEW STORMWATER INFILTRATION BASIN
- NEW PARKING LOT INTERIOR LANDSCAPING
- NEW WETLAND BUFFER
- DELINEATED WETLAND

SITE SETBACKS

PER 1303.130 Subd.4 and Subd.5 & 1302.050 Subd.17

Building Setbacks:
 Front Yard = 30'
 Side Yard = 10' or 30' abutting street
 Rear Yard = 30'

Abutting residentially zoned land:
 Building & Loading Dock = 50'
 Screening/Buffer Zone = 20'

Parking Setbacks:
 From Right-of-Way = 15'
 From Residential Lot = 20'

Wetland Buffer:
 Minimum = 15'
 Average = 30'
 To be planted with native vegetation and delineated with signs

PARKING LOT LANDSCAPING

TOTAL PARKING = 1130 STALLS
 41 stalls
 INTERIOR LANDSCAPING REQUIRED:
 1130 STALLS @ 144 SF / 10 STALLS = 16,272 SQUARE FEET
 INTERIOR SHADE TREES REQUIRED:
 16,272 SF / 144 = 113 SHADE TREES

SITE SUMMARY

White Bear High School and Central Middle School
 Site Summary

PARKING CALCULATIONS

HIGH SCHOOL			
Required:	3200 students @ 1 per 3	1067 stalls	
	123 classrooms @ 1 per 3	41 stalls	
	Total Required =	1,108 stalls	
Provided:	Northwest Lot	101 stalls	5 ADA
	West Lot	468 stalls	9 ADA
	South Lot	438 stalls	9 ADA
	East Lot	94 stalls	4 ADA
	Northeast Lot	29 stalls	2 ADA
	Total Provided =	1130 stalls	29 ADA
Assigned:	Staff	280 stalls	
	Visitor	25 stalls	
	Student	825 stalls	

MIDDLE SCHOOL

Required:	1356 students @ 1 per 50	28 stalls	
	57 classrooms @ 1 per 1	57 stalls	
	Total Required =	85 stalls	
Provided:	East Drop Off	27 stalls	2 ADA
	Existing Lots	187 stalls	7 ADA
	Total Provided =	214 stalls	9 ADA

SHARED BUS LOT

Provided:	Bus Lot	23 stalls	
-----------	---------	-----------	--

LOT AREAS

LOT 1 HIGH SCHOOL	1,769,653 square feet	40.63 acres
LOT 2 MIDDLE SCHOOL	1,453,316 square feet	33.36 acres
LOT 3	158,271 square feet	3.63 acres
Total Area	3,381,240 square feet	77.62 acres

LOT COVERAGE

BUILDINGS		
Existing Middle School	115,871 square feet	
Existing Hippodrome	19,774 square feet	
Existing Lions Storage	1,051 square feet	
Existing High School	151,168 square feet	
High School Addition	192,972 square feet	
Maintenance Garage	1,365 square feet	
Concessions	3,109 square feet	
Ticketing	126 square feet	
Storage sheds (4)	1,146 square feet	
Total Buildings	486,582 square feet	14%

IMPERVIOUS

Parking, Drives, Walks	745,495 square feet	
Existing pavement to remain	181,998 square feet	
Future Impervious	62,531 square feet	
Grandstands	13,288 square feet	
Future Grandstands	15,332 square feet	
Tennis Courts	66,183 square feet	
Athletic Track and Field	150,842 square feet	
Total Impervious	1,236,069 square feet	37%

LANDSCAPING

Wetland (post mitigation)	273,548 square feet	
Wetland Buffer	73,361 square feet	
Parking Lot Interior/Islands (8' min)	64,373 square feet	
Stormwater Infiltration Basin	103,187 square feet	
Synthetic Turf	522,516 square feet	
Grass/Plantings (balance)	621,204 square feet	
Total Landscaped	1,658,589	49%

WBLAHS Additions & Renovations

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 White Bear Lake, MN 55110

ISD #624
 4855 Bloom Avenue
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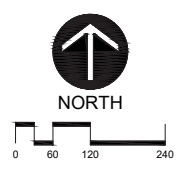
Greg A. Buchal, P.E.
 Date: _____ Lic. No.: xxxxxx

Description	Revisions	
	Date	Num

Comm: 12196196
 Date: _____
 Drawn: KBK
 Check: GAB



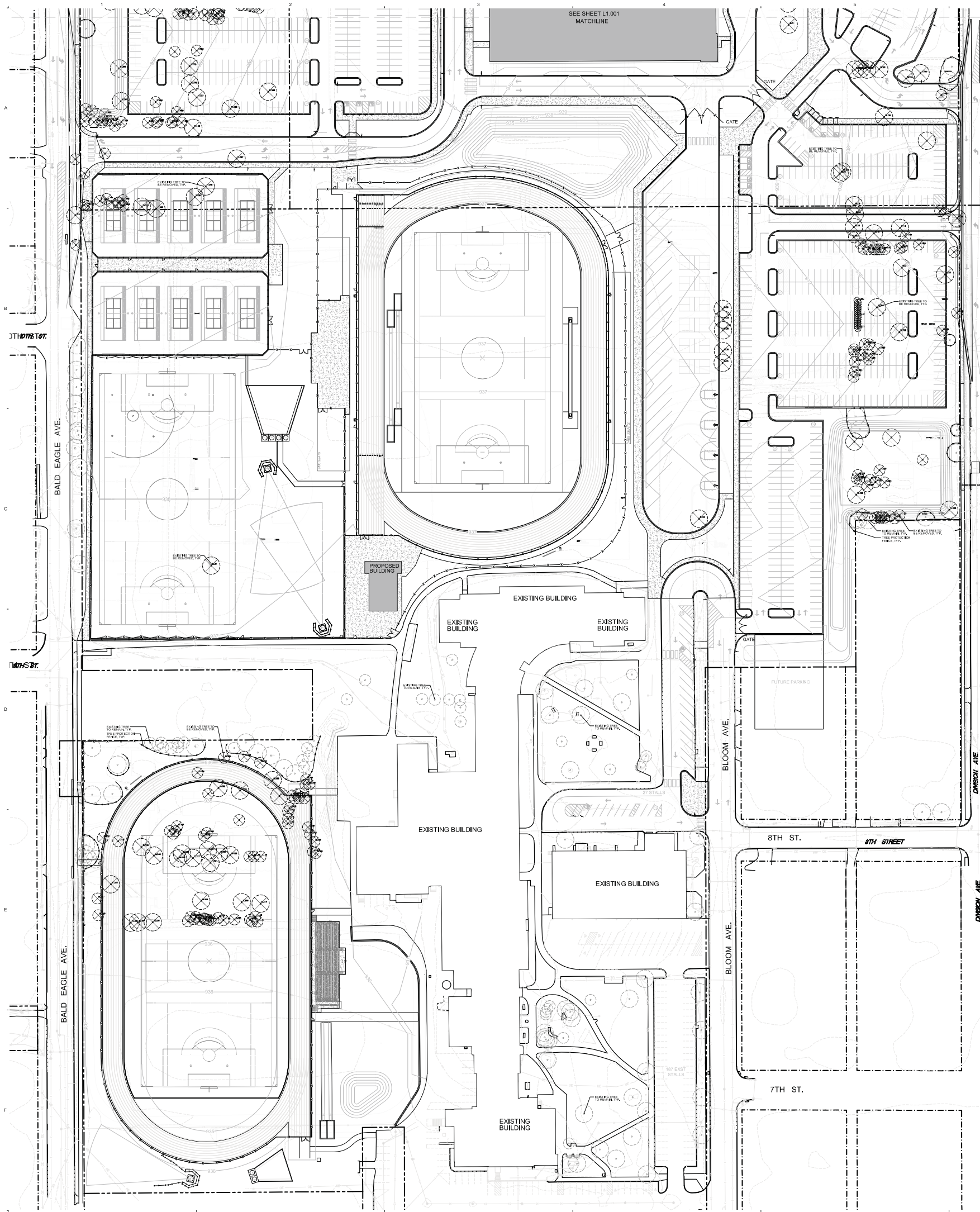
OVERALL PLAN



02.15.2021 CUP SUBMITTAL
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Scale: See scale bar
C000

MN



Symbols Legend:

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

General Notes:

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8. See Sheets L1.012-L1.013 for Landscape Details.
9. See Sheet L1.014 for Tree Preservation Notes and Details

Municipal Tree Mitigation Requirements:

Total Significant Tree Inches On-Site (B):	5,180
Total Premium Inches Removed (A1):	3,135
Total Secondary Inches Removed (A2):	232
Total Premium Replacement Inches Required (D)*:	2,523
Total Secondary Replacement Inches Required (D)**:	3
Total Replacement Inches Required:	2,526
Bldg Tree Credit***:	160
Non-Significant Inches to Remain Credit:	139
Total Replacement Inches Owed:	2,227
Total Replacement Inches Shown:	2,227.5
New 3"-4" Cal. Overstory Trees Proposed:	947
New 2.5" Cal. Ornamental Trees Proposed:	122
Remaining Tree Inches Owed:	0

* $(A1/B) \times C1 \times A1 = D$ (3,045.173) x 1.33 x 3,045 = 2,384
 ** $(A2/B) \times C2 \times A2 = D$ (189.5, 173) x .286 x 159 = 2

A1 = Total caliper inches of significant premium trees lost as a result of land alteration
 A2 = Total caliper inches of significant secondary trees lost as a result of land alteration
 B = Total caliper inches of significant trees situated on the land
 C1 = Tree replacement constant, premium tree (1.33)
 C2 = Tree replacement constant, secondary tree (.286)
 D = Replacement Trees (number of caliper inches)

***Boulevard Tree Credit: Trees in the grassy area within the ROW next to the street may be counted towards the preservation calculation at a rate of half. 321 Bldg inches / 2 = 160 inch credits

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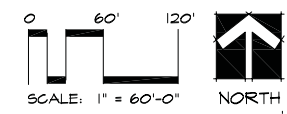
Benjamin D. Hartberg, PLA
Date: _____ Lic. No.: xxxxxx

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Comm: 12196196
Date: 02-15-2021
Drawn: MEHL
Check: BHMF
North

TREE PRESERVATION & MITIGATION PLAN: SOUTH

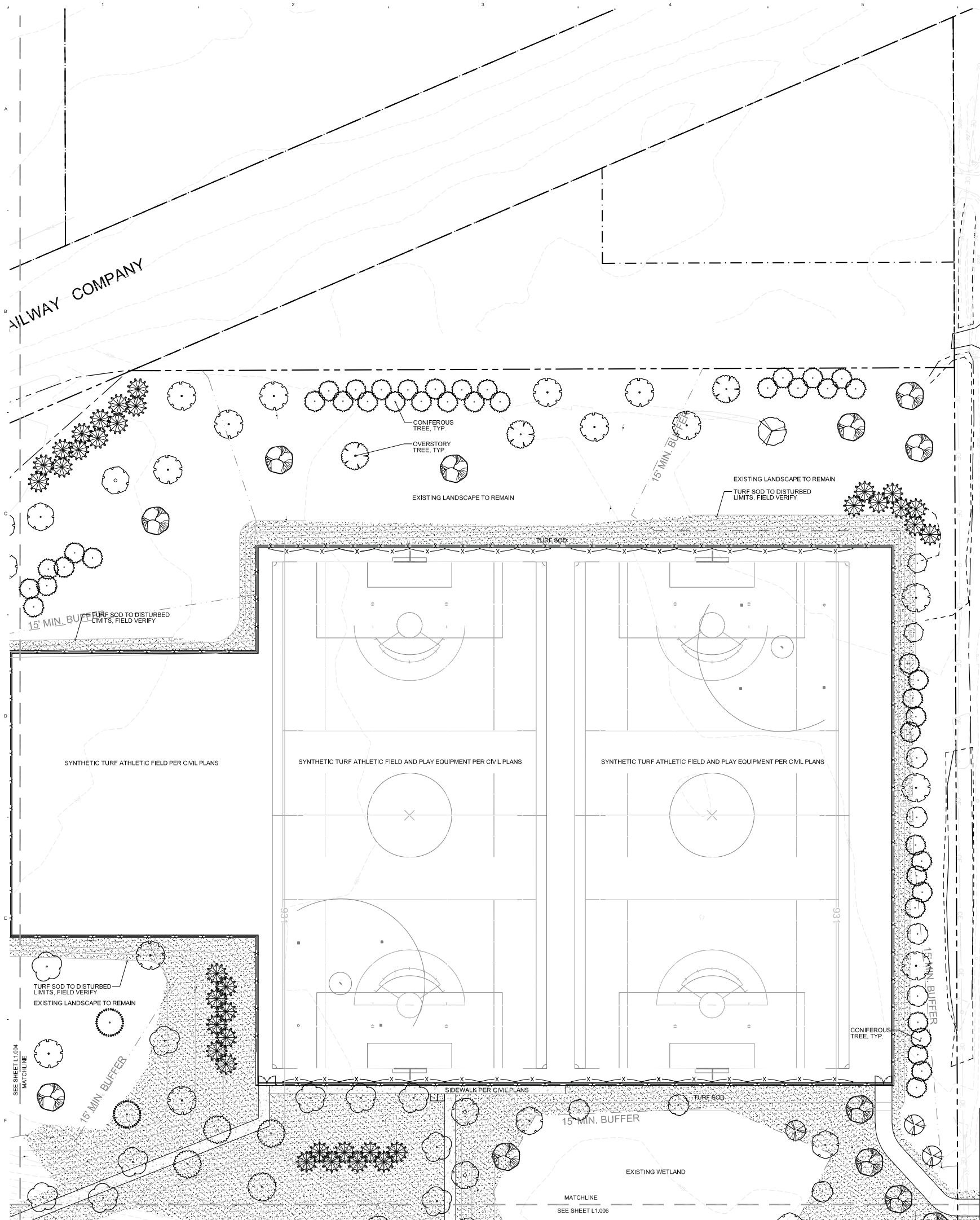
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L1.002

MN



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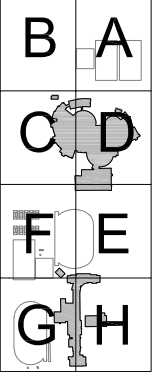
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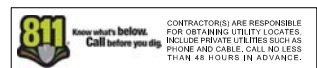
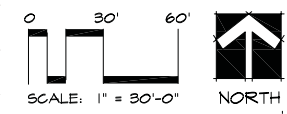
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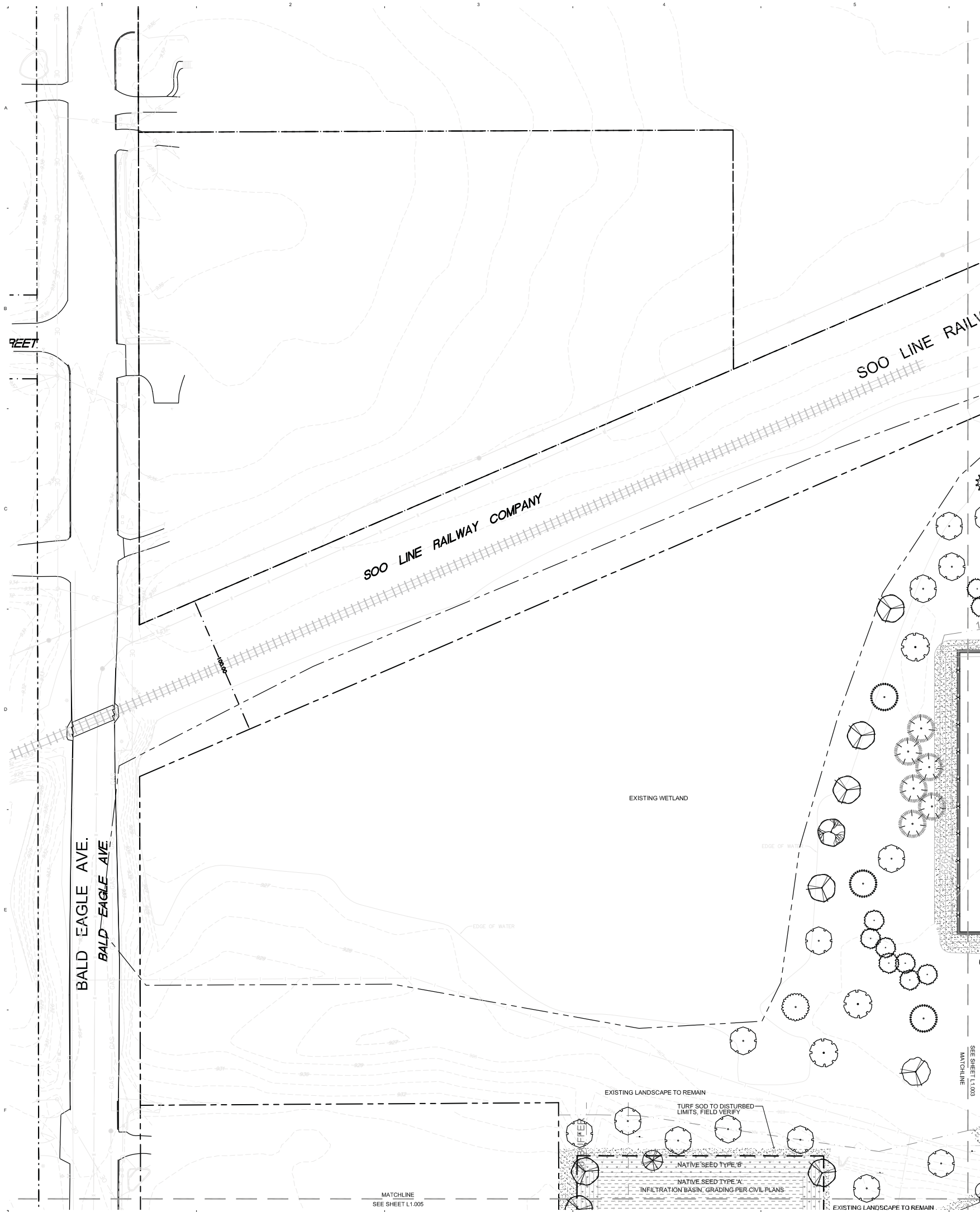
Scale: As Noted



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L1.003

MN



General Notes:

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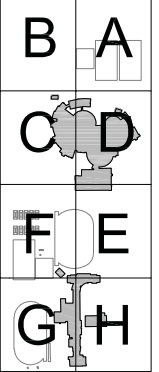
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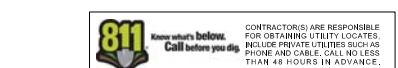
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Comm: 12196196
Date: 02-15-2021
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LANDSCAPE LAYOUT PLAN AREA 'B'

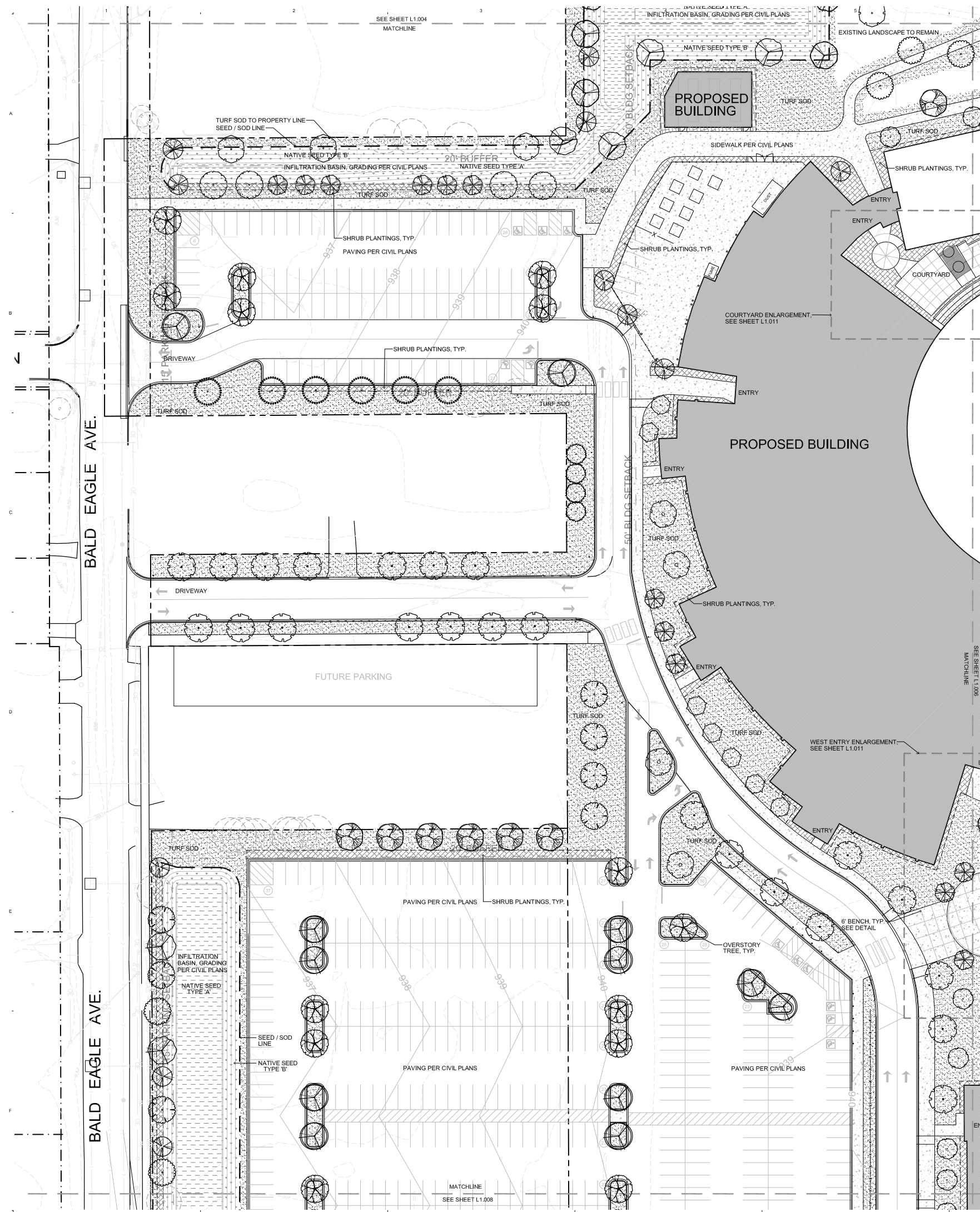
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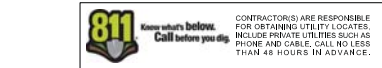
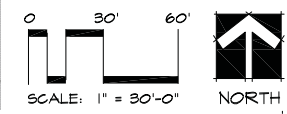
L1.004

MN



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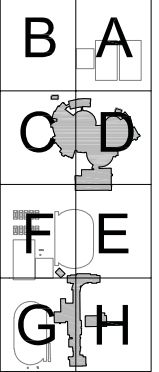
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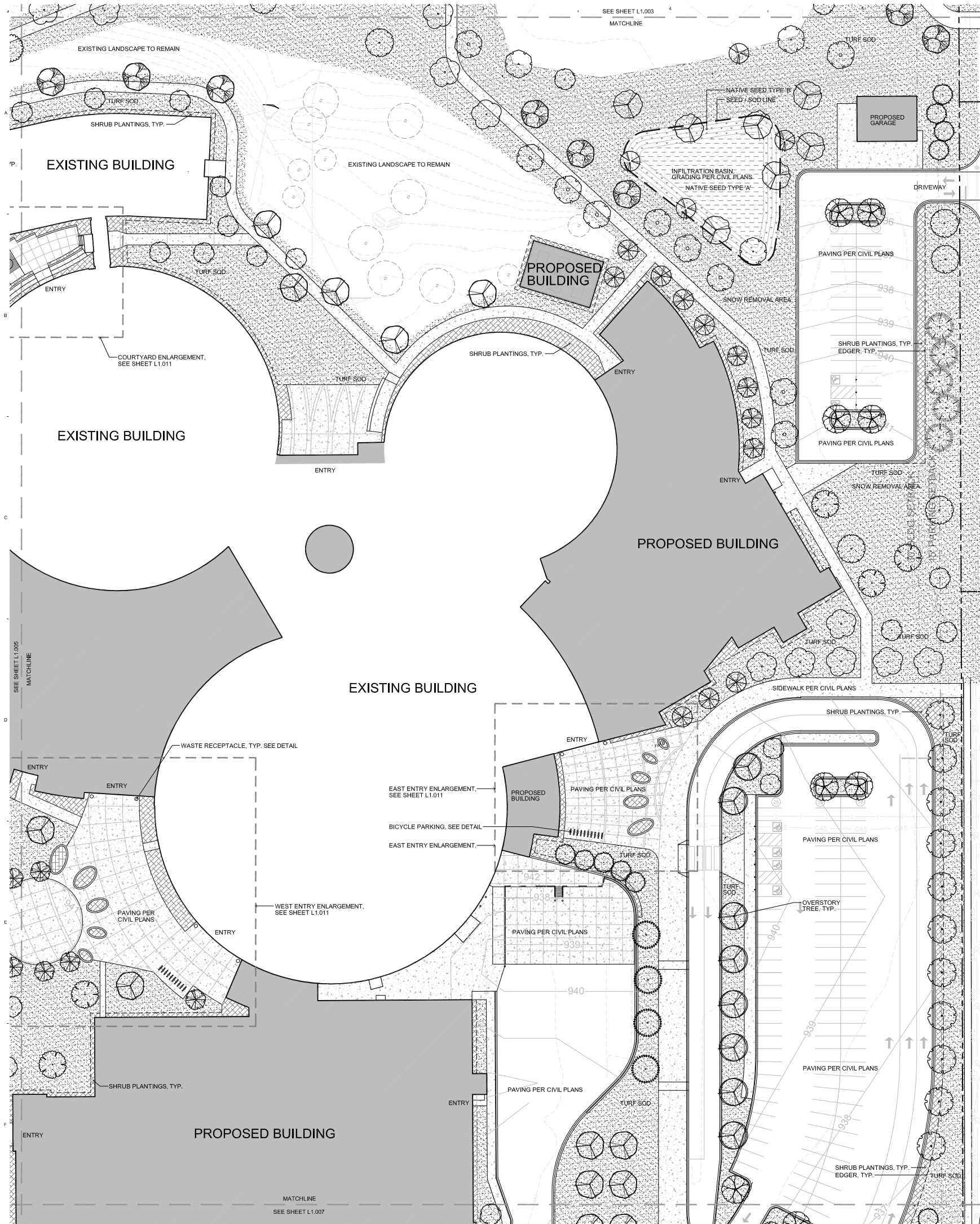
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Date: 02-15-2021
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Check: BHMF



LANDSCAPE LAYOUT PLAN AREA 'C'

Scale: As Noted
L1.005

MN



General Notes:

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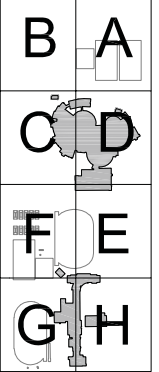
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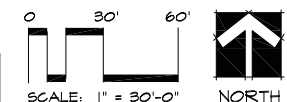
Benjamin D. Hartberg, PLA
Date: _____ Lic. No.: xxxxxx

Description	Revisions	Date	Num

Comm: 12196196
Date: 02-15-2021
Drawn: MEHL
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North

LANDSCAPE LAYOUT PLAN AREA 'D'

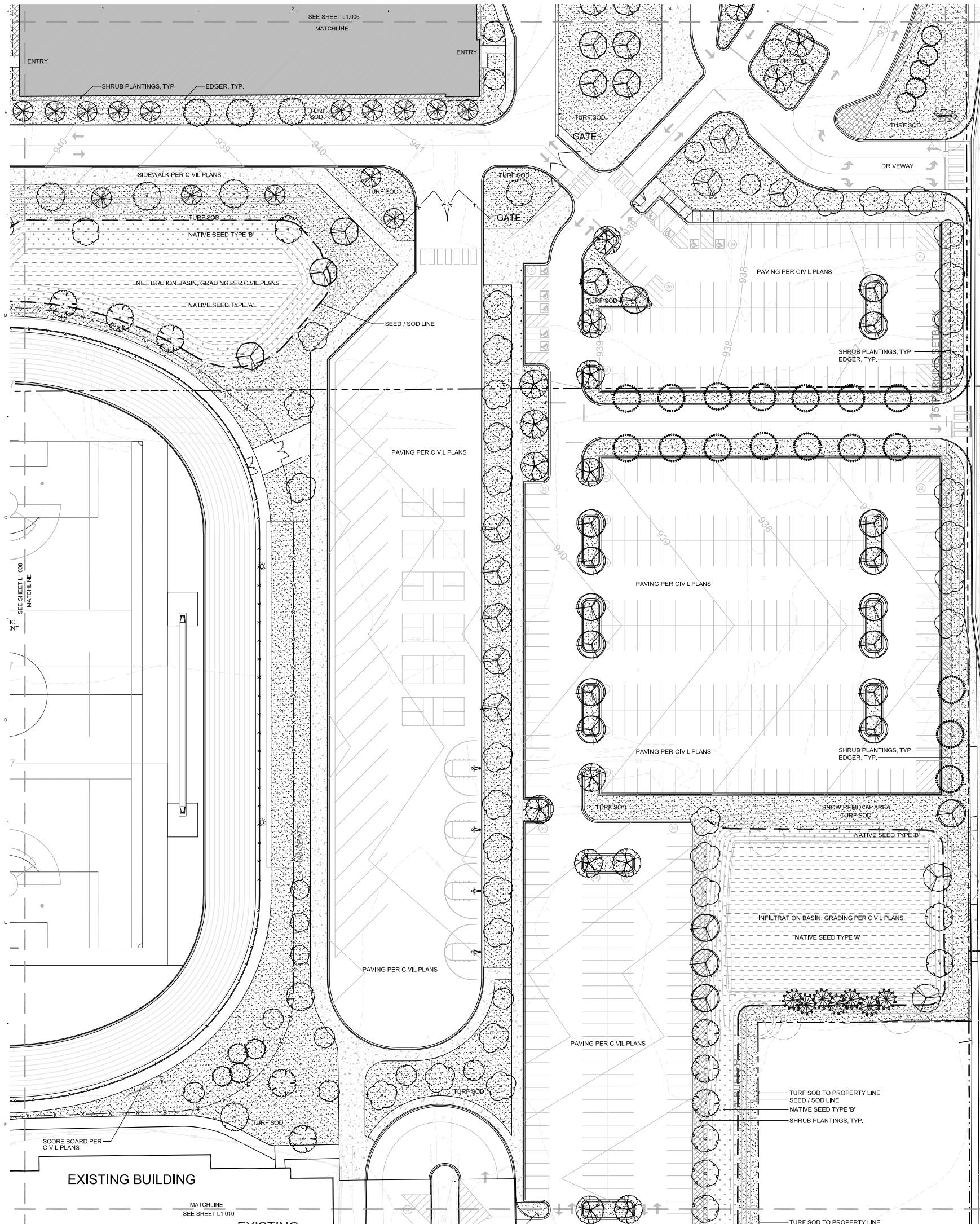
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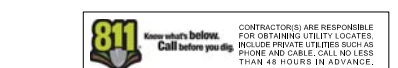
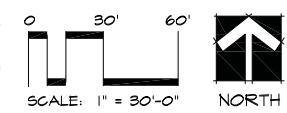
L1.006

MN



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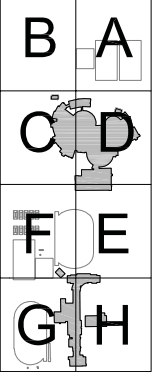
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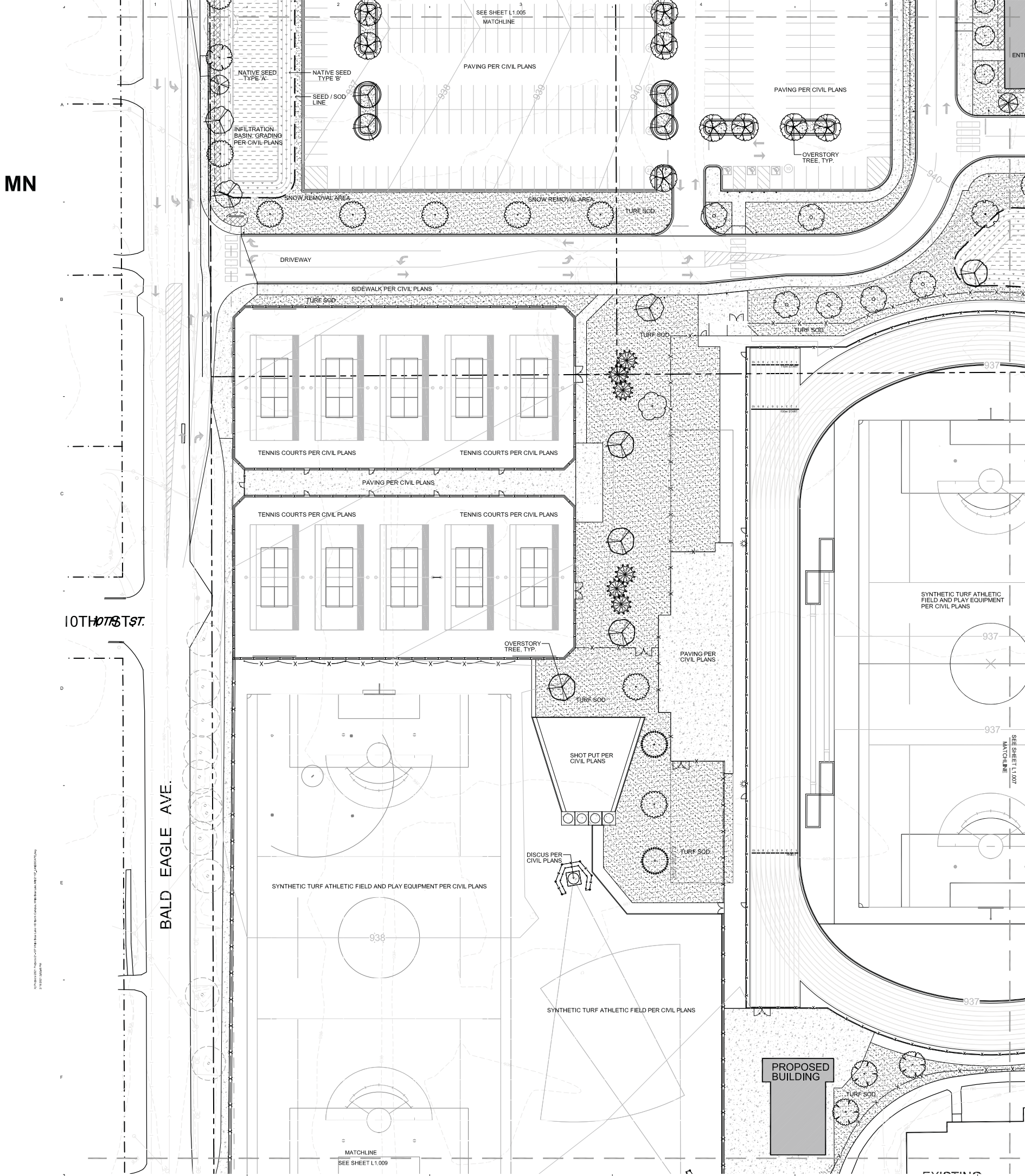
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Comm: 12196196
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LANDSCAPE LAYOUT PLAN AREA 'E'

Scale: As Noted
L1.007



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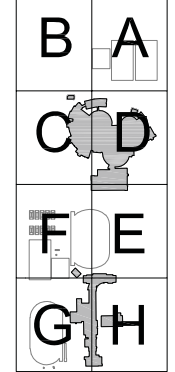
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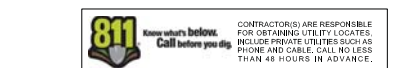
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	Date	

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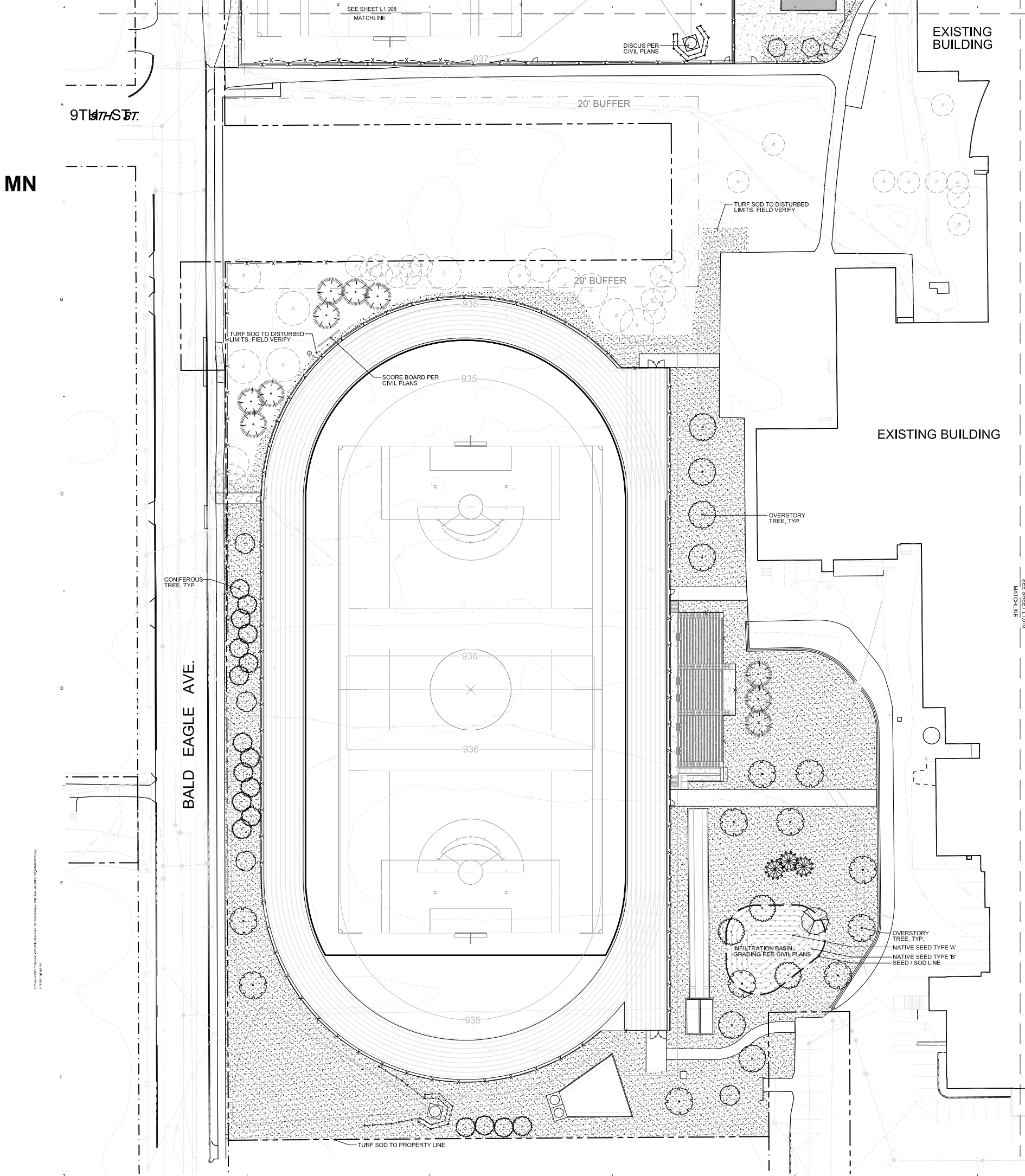
LANDSCAPE LAYOUT PLAN AREA 'F'

Scale: As Noted



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L1.008



General Notes:

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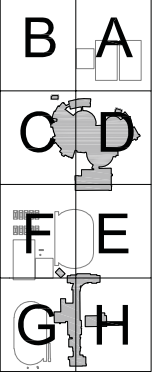
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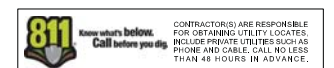
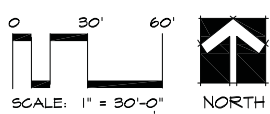
Description	Revisions	Num
	Date	

Comm: 12196196
Date: 02-15-2021
Drawn: MEHL
Check: BHMF



LANDSCAPE LAYOUT PLAN AREA 'G'

Scale: As Noted



02.15.2021 CUP SUBMITTAL NOT FOR CONSTRUCTION

L1.009

MN

SEE SHEET L1.007
MATCHLINE

EXISTING BUILDING

BLOOM AVE.

8TH ST.

8TH STREET

BLOOM AVE.

7TH ST.

EXISTING BUILDING

27 STALLS

187 EXST STALLS

EXISTING BUILDING

OVERSTORY TREE, TYP.
TURF SOD TO PROPERTY LINE
SEED / SOD LINE
NATIVE SEED TYPE 'B'
SHRUB PLANTINGS, TYP.

GATE
SNOW REMOVAL AREA
TURF SOD

TURF SOD TO PROPERTY LINE
FUTURE PARKING

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8. See Sheets L1.012-L1.013 for Landscape Details.
9. See Sheet L1.014 for Tree Preservation Notes and Details

WBLAHS Additions & Renovations

5045 Division Avenue
White Bear Lake, MN 55110

ISD #624

4855 Bloom Avenue
White Bear Lake, MN 55110



WOLD ARCHITECTS AND ENGINEERS

332 Minnesota Street, Suite W2000
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3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
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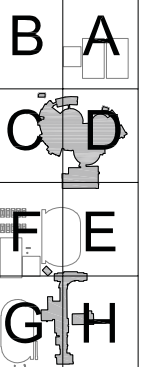
CALYX DESIGN GROUP
Landscape Architecture
Planning

475 N. Cleveland Avenue | Suite 101A
Saint Paul, MN 55104
651.788.3018 | calyxdesigngroup.com

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KRAUS-ANDERSON



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the state of Minnesota.

Benjamin D. Hartberg, PLA

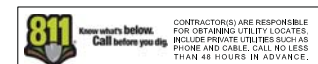
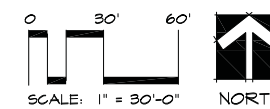
Date: Lic. No.: xxxxxx

Description	Revisions	Date	Num

Comm: 12196196
Date: 02-15-2021
Drawn: MEHL
Check: BHMF
North

LANDSCAPE LAYOUT PLAN AREA 'H'

Scale: As Noted



02.15.2021 CUP SUBMITTAL NOT FOR CONSTRUCTION

L1.010

PLANT SCHEDULE

EVERGREEN TREES

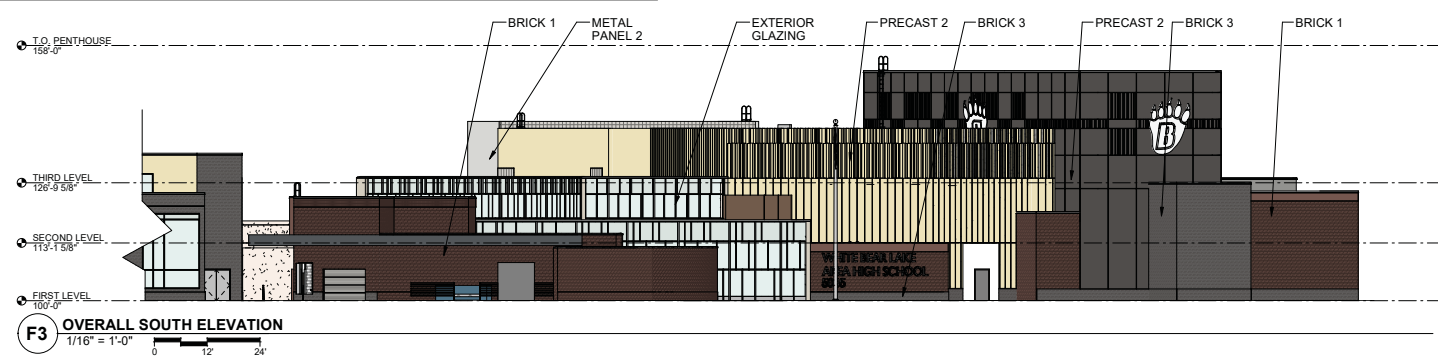
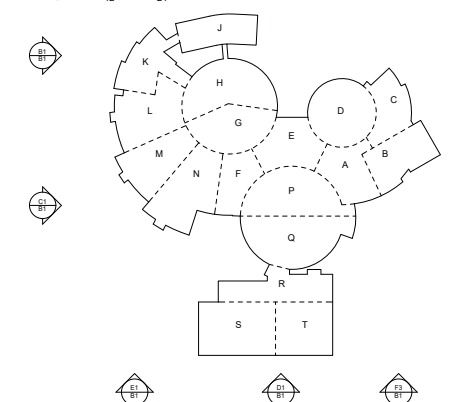
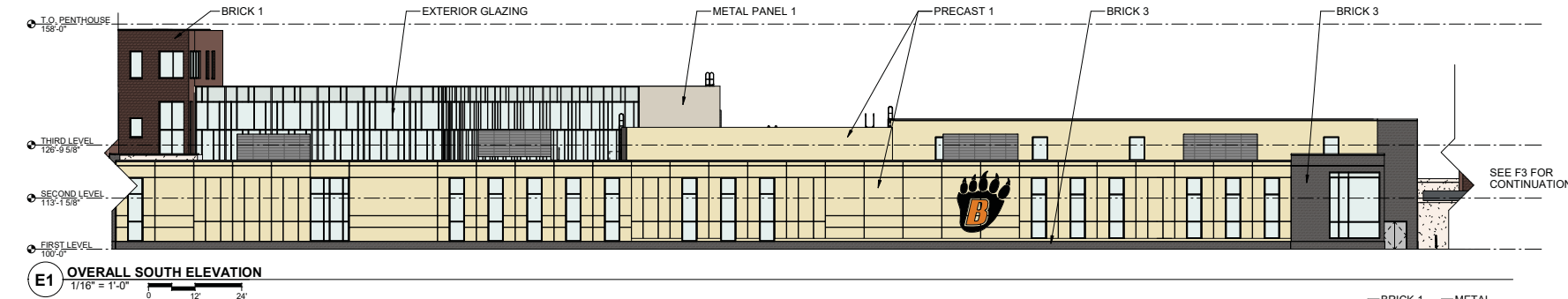
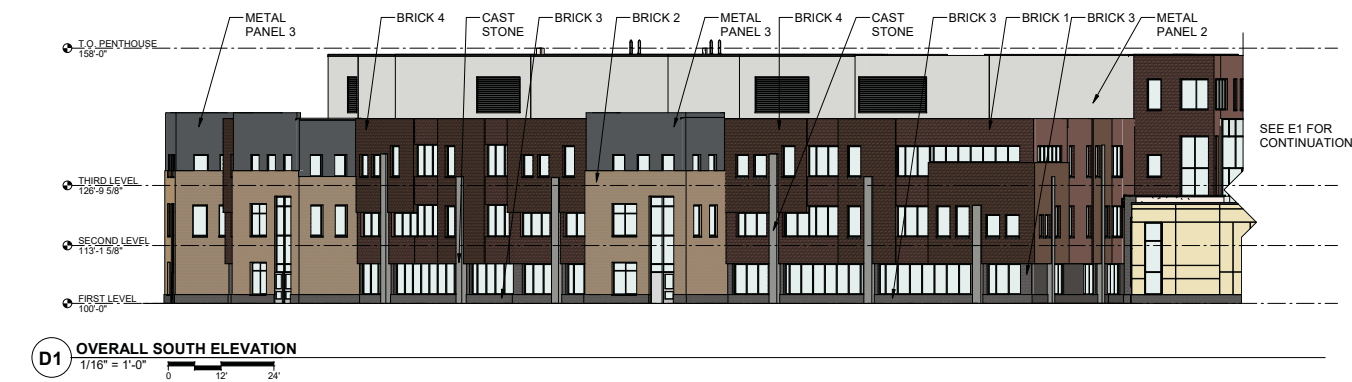
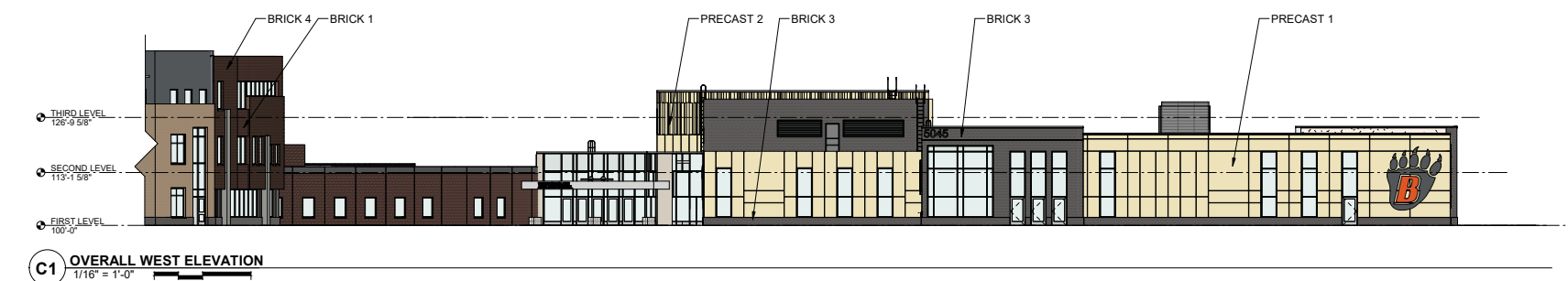
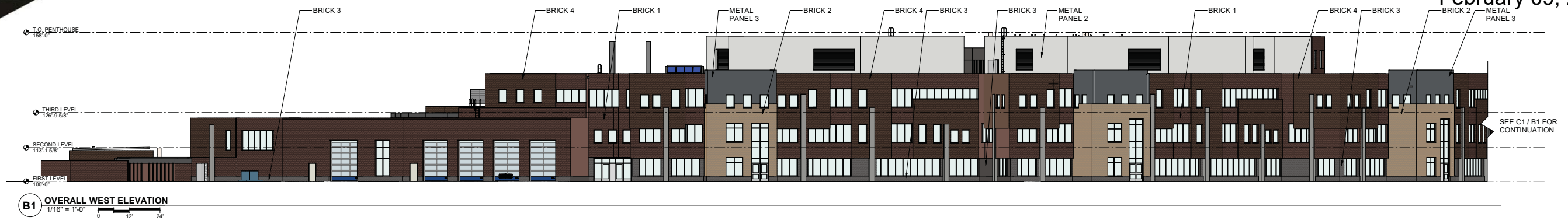
	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ab	Abies balsamea	Balsam Fir	6' Hgt.	B&B	52	
	Pd	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	91	
	Pn3	Pinus nigra	Austrian Pine	6' Hgt.	B&B	24	

OVERSTORY TREE

	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	As	Acer x freemanii 'Stenna'	Stenna Glen Maple	3' Cal.	B&B	44	
	Br	Betula nigra	River Birch	6' Hgt.	B&B	32	Clump Form
	Co	Celtis occidentalis	Common Hackberry	3' Cal.	B&B	27	
	Ga	Ginkgo biloba 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	3' Cal.	B&B	34	
	Gl	Gleditsia triacanthos Inermis 'Skycote' TM	Skyline Thornless Honey Locust	3' Cal.	B&B	43	
	Gd	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	3' Cal.	B&B	50	
	Ov2	Ostrya virginiana	Ironwood	3' Cal.	B&B	23	
	Pt	Populus tremuloides	Quaking Aspen	3' Cal.	B&B	21	
	Qa	Quercus alba	White Oak	4' Cal.	B&B	26	Spring Dug
	Qb	Quercus bicolor	Swamp White Oak	4' Cal.	B&B	26	Spring Dug
	Qr	Quercus rubra	Northern Red Oak	4' Cal.	B&B	29	Spring Dug
	Tl	Tilia americana 'Boulevard'	Boulevard Linden	3' Cal.	B&B	63	
	Un	Ulmus	New Horizon Elm	3' Cal.	B&B	28	

ORNAMENTAL TREES

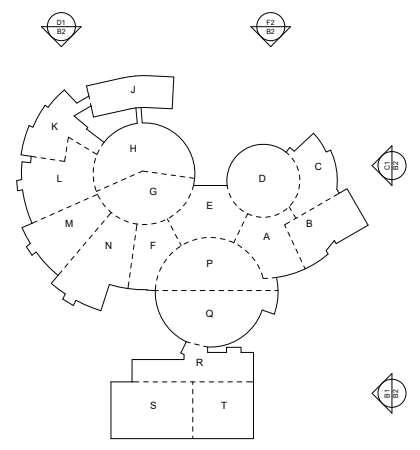
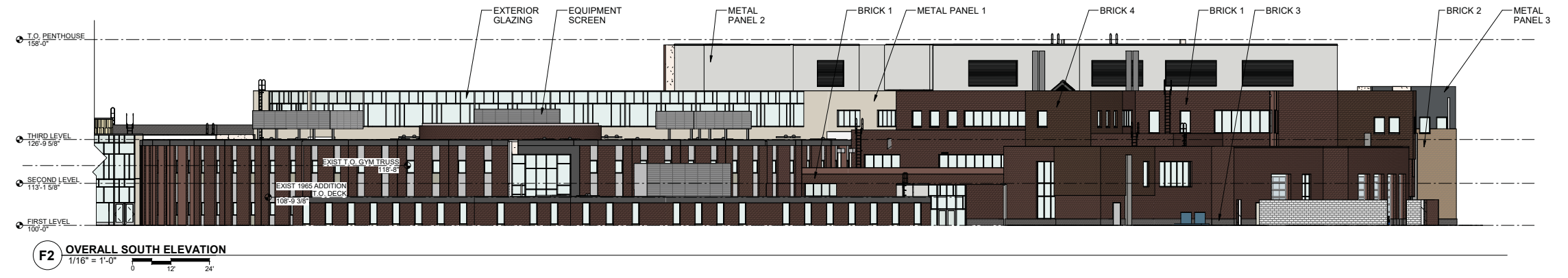
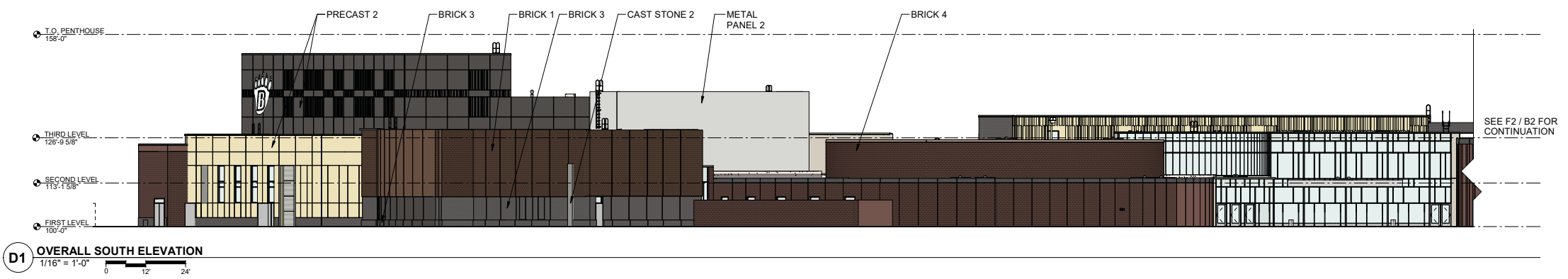
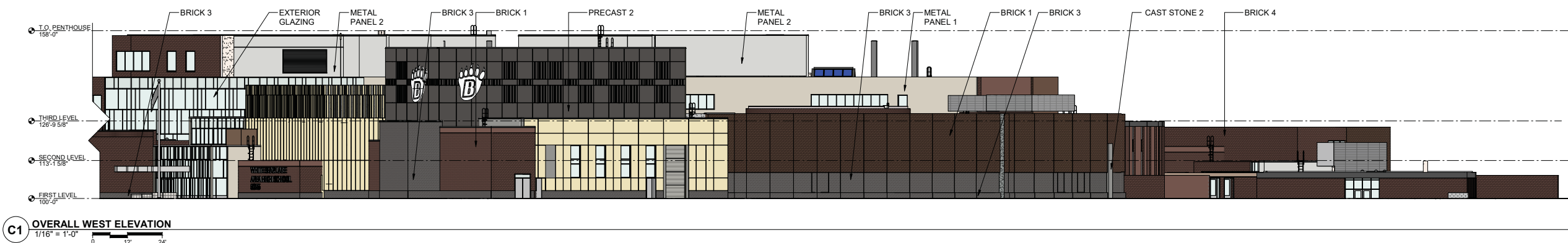
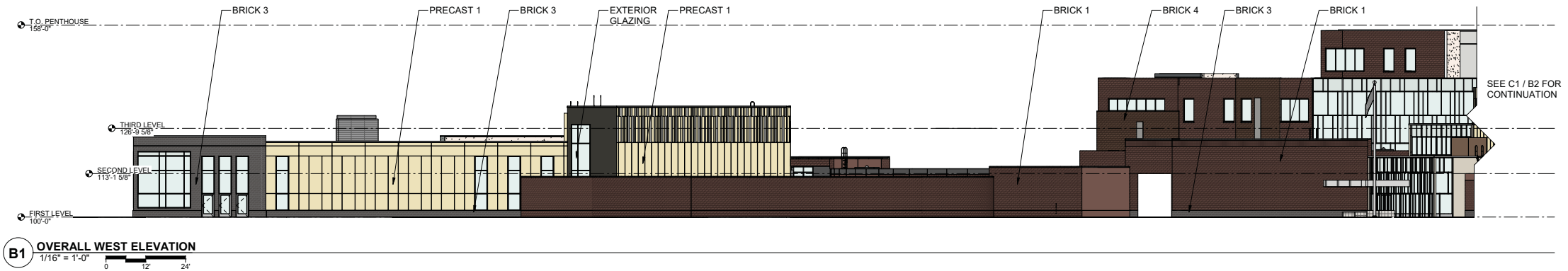
	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ag	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Hgt.	B&B	15	Clump
	Cc	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud Hawthorn	2' Cal.	B&B	46	
	Ma	Maackia amurensis	Amur Maackia	2' Cal.	B&B	14	
	Ms	Malus x 'Spring Snow'	Spring Snow Crab Apple	2' Cal.	B&B	20	
	Sl	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2' Cal.	B&B	28	



CONDITIONAL USE PERMIT SUBMISSION

B1 - EXTERIOR ELEVATIONS

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Addition/2_ARCH/Revit/192236_White_Bear_Lake_HHS MASTER CENTRAL_V2.dwg



CONDITIONAL USE PERMIT SUBMISSION

B2 - EXTERIOR ELEVATION

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BRICK 1: ENDICOTT (50/50 RED BLEND VELOUR & ROSE BLEND VELOUR)



BRICK 2: ENDICOTT (GOLDEN BUFF)



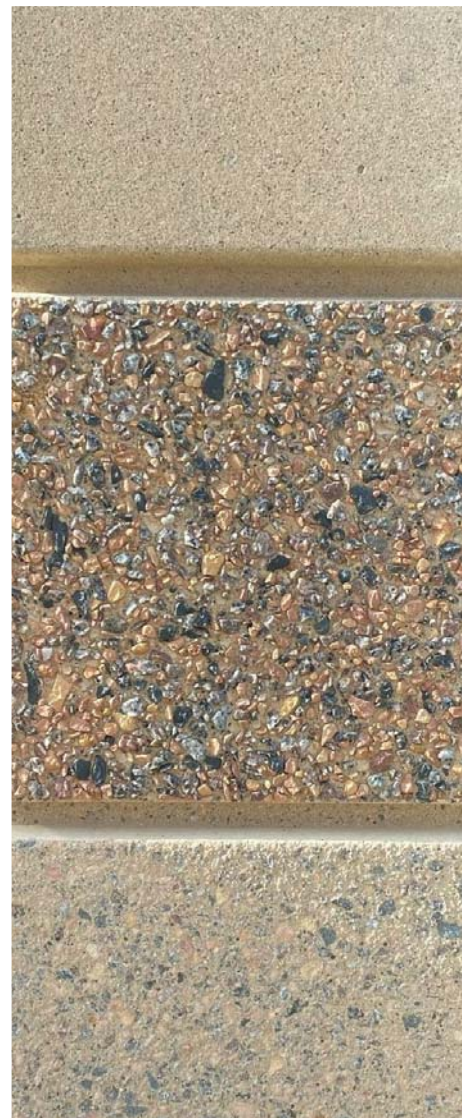
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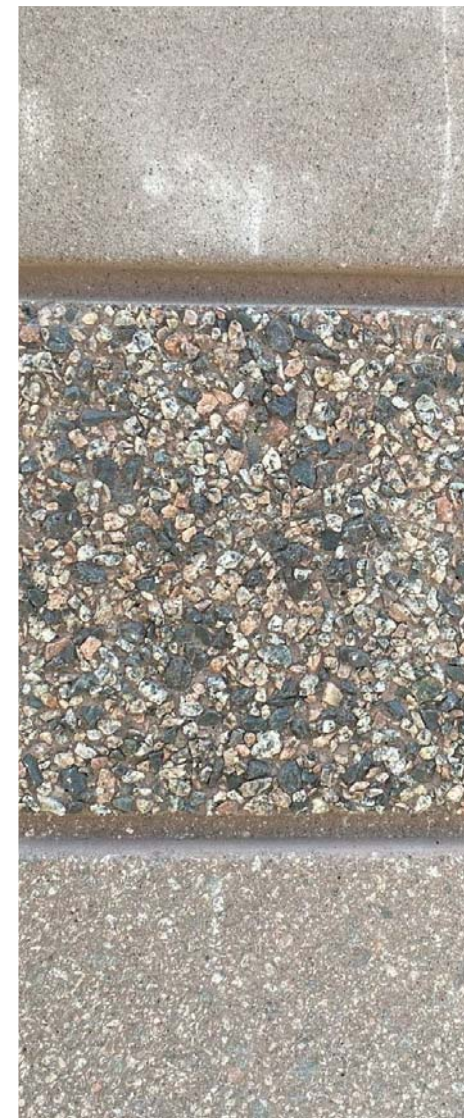
BRICK 4: ENDICOTT (MED IRONSPOT 77)



ARCHITECTURAL CAST STONE ACCENTS



PRECAST 1



PRECAST 2



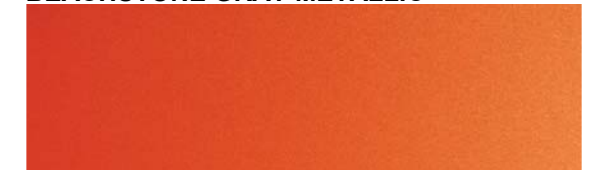
METAL PANEL 1: ALUCOBOND, GALAXY BLUE



METAL PANEL 2: ALUCOBOND, JLR CHANPAGNE METALLIC

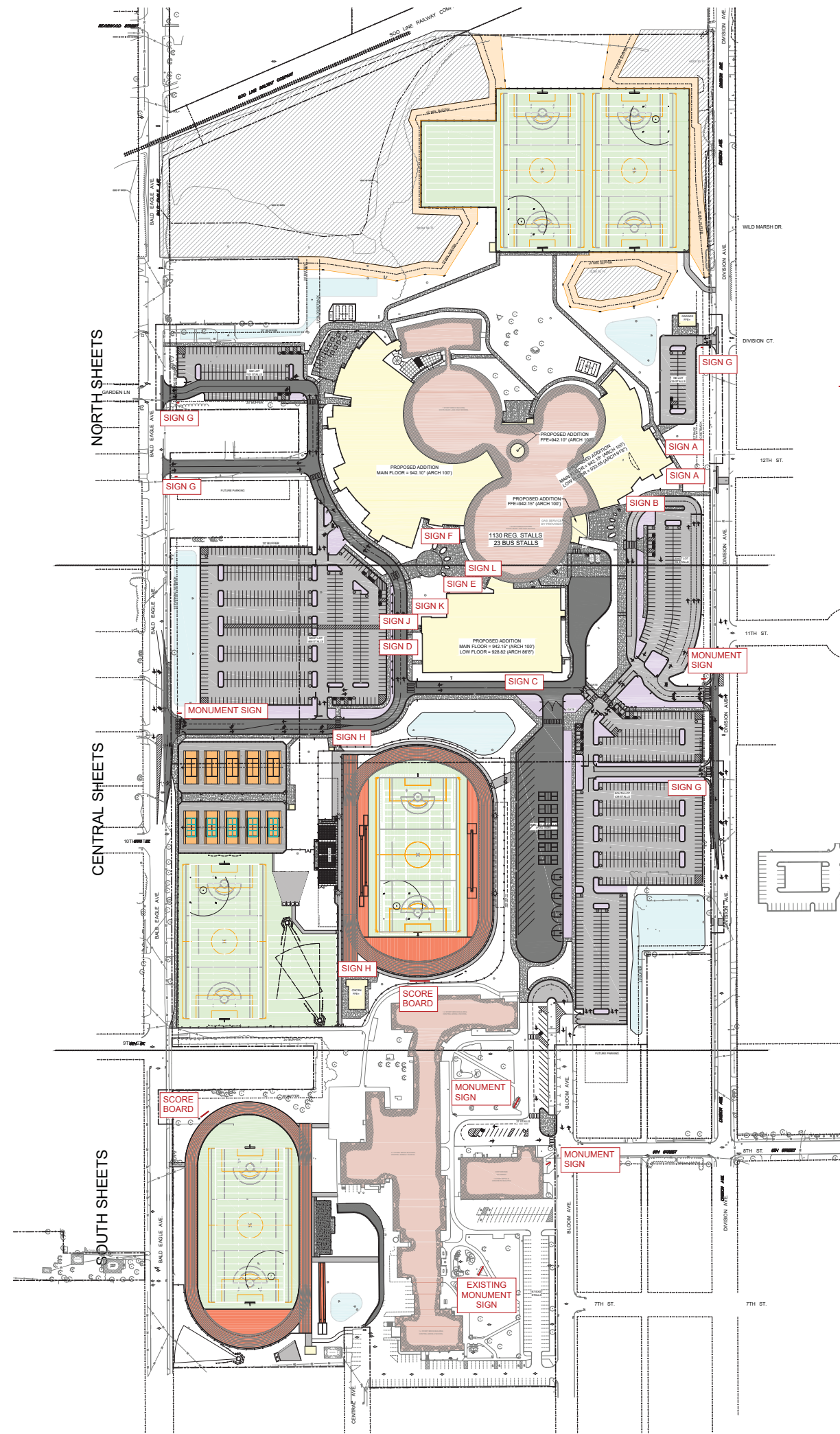


METAL PANEL 3: ALUCOBOND, BEACHSTONE GRAY METALLIC



METAL PANEL 4: ALUCOBOND, CUPRAL

MN



SYMBOL LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING/ADDITION
- NEW BITUMINOUS PAVING
- NEW CONCRETE PAVING
- NEW SYNTHETIC TURF
- NEW ATHLETIC TRACK SURFACING
- NEW STORMWATER BASIN
- NEW PARKING LOT INTERIOR LANDSCAPING
- WETLAND BUFFER
- WETLAND

PARKING SUMMARY

TOTAL PARKING = 1113 STALLS
 ADA PROVIDED = 27 STALLS

INTERIOR LANDSCAPING REQUIRED:
 1110 STALLS / ISLAND PER 10 STALLS = 111 ISLANDS
 MINIMUM AREA = 111 ISLANDS * 144 SF = 15,984 SQUARE FEET
 PROVIDED INTERIOR ISLAND = XXXXX SQUARE FEET.

REQUIRED ISLAND TREES = 111 SHADE TREES
 PROVIDED ISLAND SHADE TREES = X
 PROVIDED SITE SHADE TREES = X
 TOTAL PROVIDED = X SHADE TREES

SITE SETBACKS

PER 1303.130 Subd. 4 and Subd. 5 & 1302.050 Subd. 17

Building Setbacks:
 Front Yard = 30'
 Side Yard = 10' or 30' abutting street
 Rear Yard = 30'

Abutting residentially zoned land:
 Building & Loading Dock = 50'
 Screening/Buffer Zone = 20'

Parking Setbacks:
 From Right-of-Way = 15'
 From Residential Lot = 20'

Wetland Buffer:
 Minimum = 15'
 Average = 30'
 To be planted with native vegetation and delineated with signs

SITE SUMMARY

White Bear High School and Central Middle School
 Site Summary

PARKING CALCULATIONS

Category	Requirement	Provided	ADA
HIGH SCHOOL	Required: 3200 students @ 1 per 3	1067 stalls	
	123 classrooms @ 1 per 3	41 stalls	
	Total Required =	1,108 stalls	
Provided:	Northwest Lot	101 stalls	5 ADA
	West Lot	468 stalls	9 ADA
	South Lot	438 stalls	9 ADA
	East Lot	94 stalls	4 ADA
	Northeast Lot	29 stalls	2 ADA
Total Provided =	1130 stalls	29 ADA	
Assigned:	Staff	280 stalls	
	Visitor	25 stalls	
	Student	825 stalls	
MIDDLE SCHOOL	Required: 1356 students @ 1 per 50	28 stalls	
	57 classrooms @ 1 per 1	57 stalls	
	Total Required =	85 stalls	
Provided:	East Drop Off	27 stalls	2 ADA
	Existing Lots	187 stalls	7 ADA
	Total Provided =	214 stalls	9 ADA
SHARED BUS LOT	Provided: Bus Lot	23 stalls	

LOT AREAS

Lot	Area (sq ft)	Area (acres)
LOT 1 HIGH SCHOOL	1,769,653 square feet	40.63 acres
LOT 2 MIDDLE SCHOOL	1,453,316 square feet	33.36 acres
LOT 3	158,271 square feet	3.63 acres
Total Area	3,381,240 square feet	77.62 acres

LOT COVERAGE

Category	Area (sq ft)	Percentage
BUILDINGS		
Existing Middle School	115,871 square feet	
Existing Hippodrome	19,774 square feet	
Existing Lions Storage	1,051 square feet	
Existing High School	151,168 square feet	
High School Addition	192,972 square feet	
Maintenance Garage	1,365 square feet	
Concessions	3,109 square feet	
Ticketing	126 square feet	
Storage sheds (4)	1,146 square feet	
Total Building	486,582 square feet	14%
IMPERVIOUS		
Parking Drives, Walks	square feet	
Grandstands	13,288 square feet	
Future Grandstands	15,885 square feet	
Tennis Courts	66,183 square feet	
Athletic Track and Field	146,662 square feet	
Total Impervious	242,018 square feet	7%
LANDSCAPING		
Wetland (post mitigation)	273,548 square feet	
Wetland Buffer	73,361 square feet	
Parking Lot Interior/Islands (8' min)	64,877 square feet	
Stormwater Basin	square feet	
Synthetic Turf	526,151 square feet	
Ornamental Plantings	square feet	
Turf Grass	square feet	
Total Landscaped	937,937 square feet	28%

WBLAHS Additions & Renovations

5045 Division Avenue
 White Bear Lake, MN 55110

ISD #624
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 White Bear Lake, MN 55110



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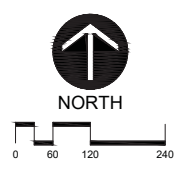
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Buchal, P.E.
 Date: _____ Lic. No.: xxxxxx

Description	Revisions	
	Date	Num

Comm: 12196196
 Date: _____
 Drawn: KBK
 Check: GAB

OVERALL PLAN



01.27.2021 PROGRESS SET
NOT FOR CONSTRUCTION

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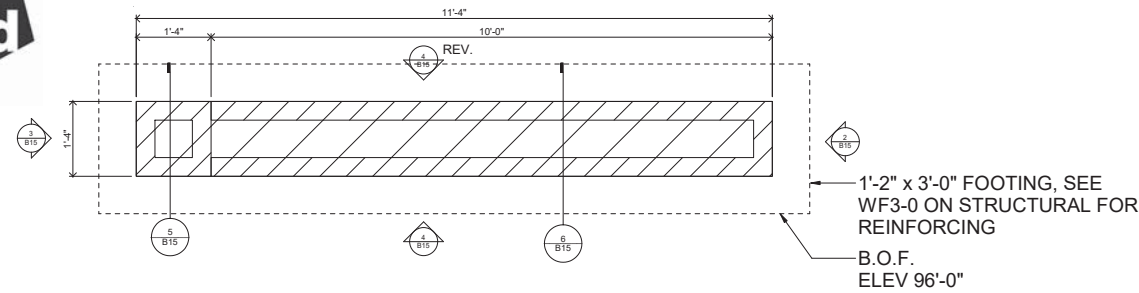


ISD #624: WHITE BEAR LAKE AREA SCHOOLS

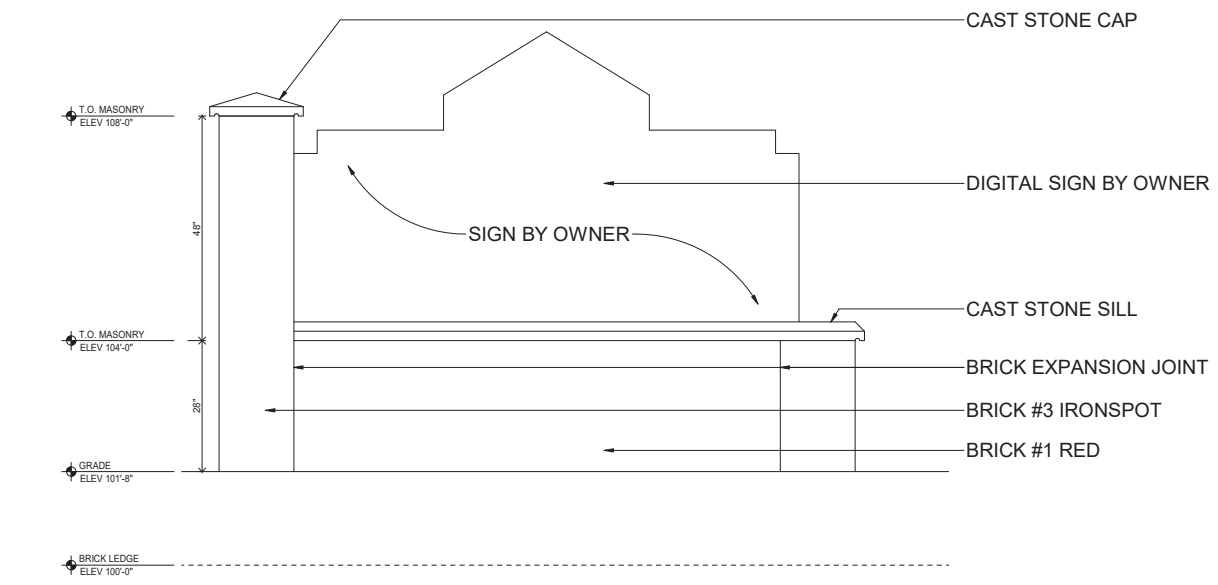
WBLAHS ADDITION & RENOVATIONS

February 09, 2021

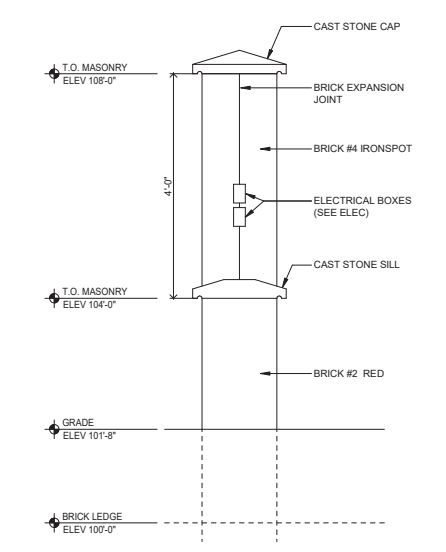
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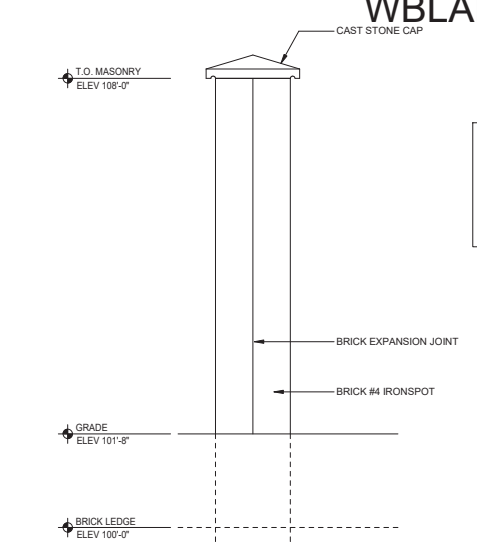
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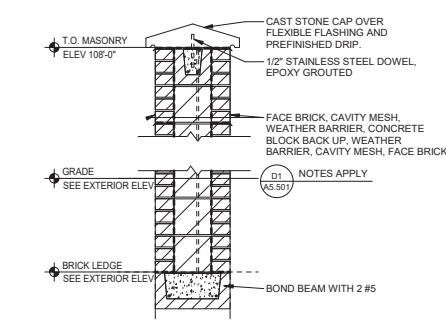
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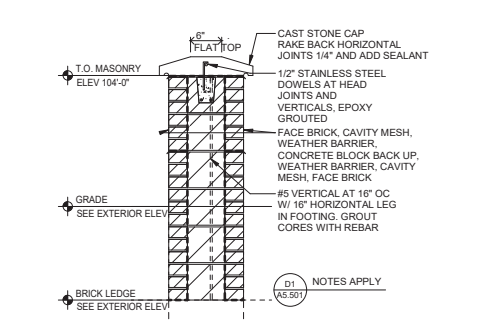
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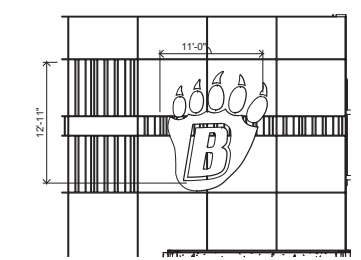
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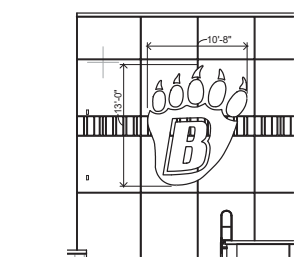
5 MONUMENT SIGN - HIGH SECTION
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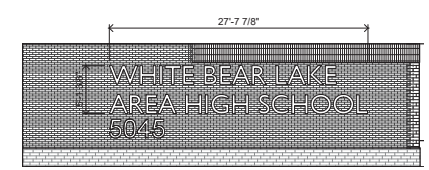
6 MONUMENT SIGN - LOW SECTION
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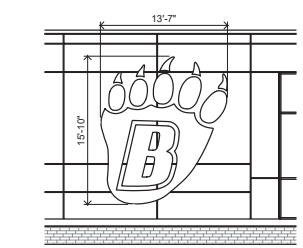
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1/8" = 1'-0"



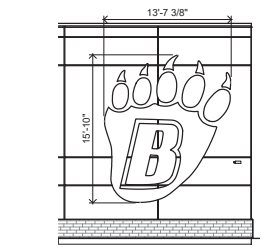
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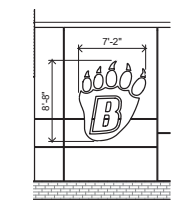
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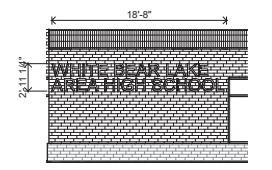
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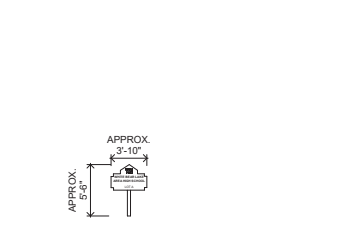
12 SIGN D ELEVATION
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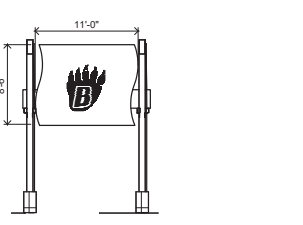
13 SIGN E ELEVATION
1/8" = 1'-0"



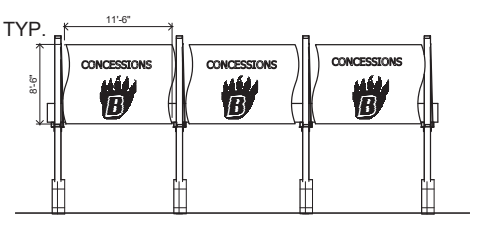
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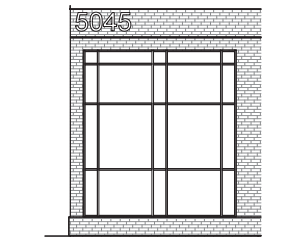
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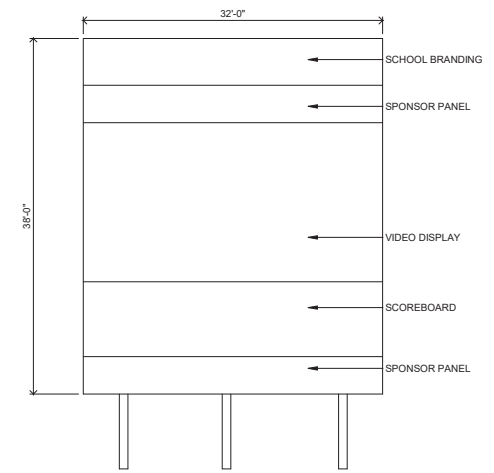
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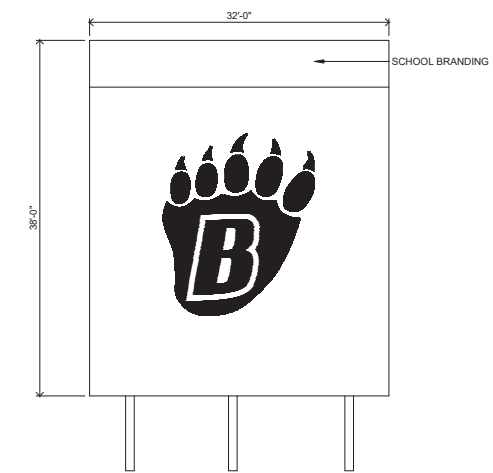
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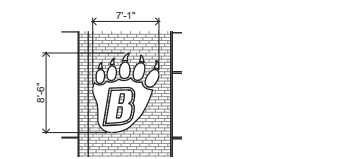
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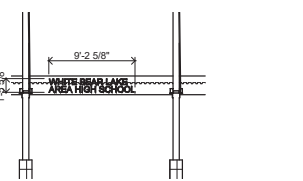
21 SCOREBOARD FRONT ELEVATION
1/8" = 1'-0"



22 SCOREBOARD BACK ELEVATION
1/8" = 1'-0"



19 SIGN K NORTH ELEVATION
1/8" = 1'-0"



20 SIGN L NORTH ELEVATION
1/8" = 1'-0"

CONDITIONAL USE PERMIT SUBMISSION

SIGNAGE

Comm No: 192236

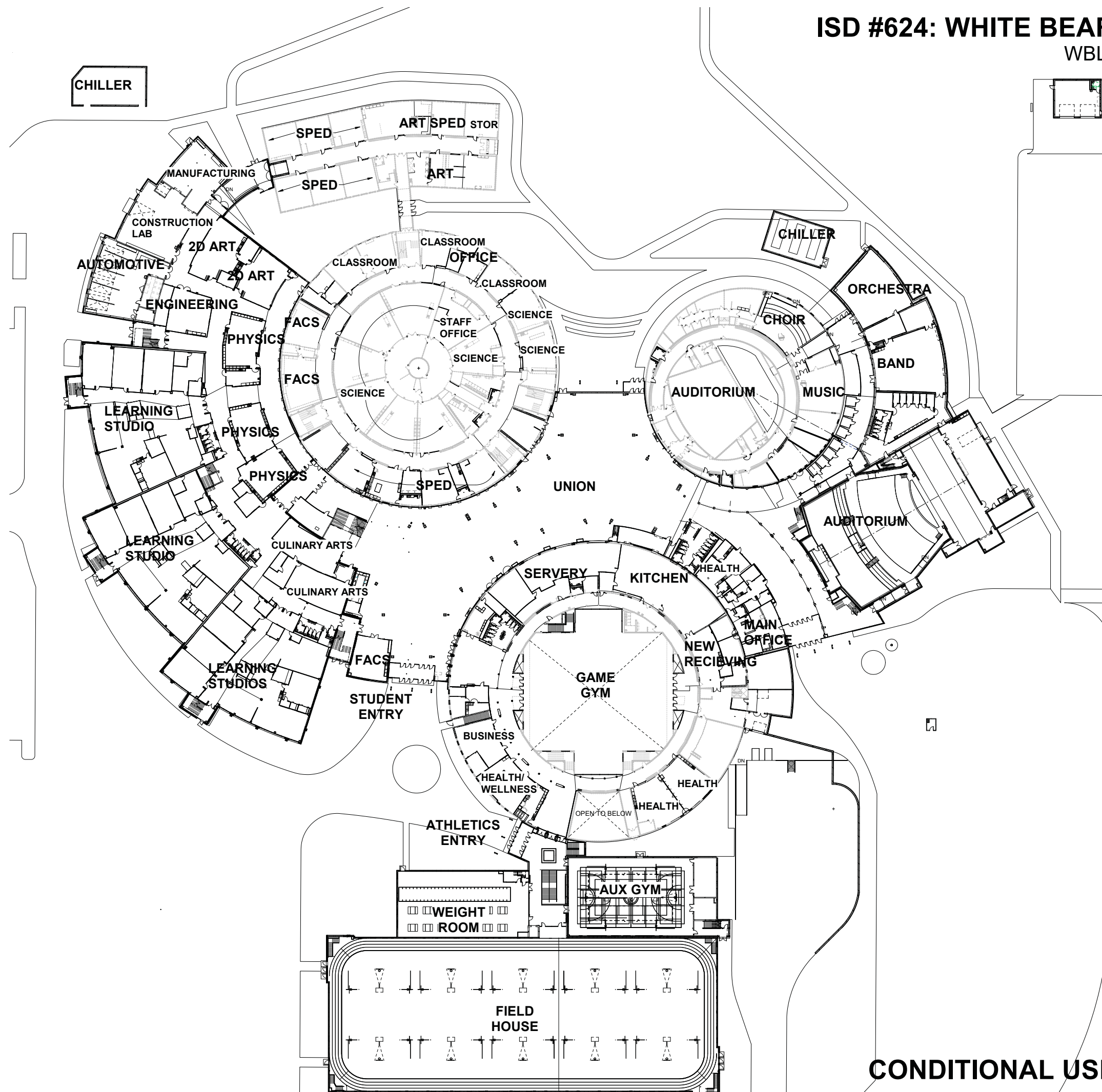
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ISD #624: WHITE BEAR LAKE AREA SCHOOLS

WBLAHS ADDITION & RENOVATIONS

February 09, 2021



FIRST LEVEL FLOOR PLAN

CONDITIONAL USE PERMIT SUBMISSION

Comm No: 192236

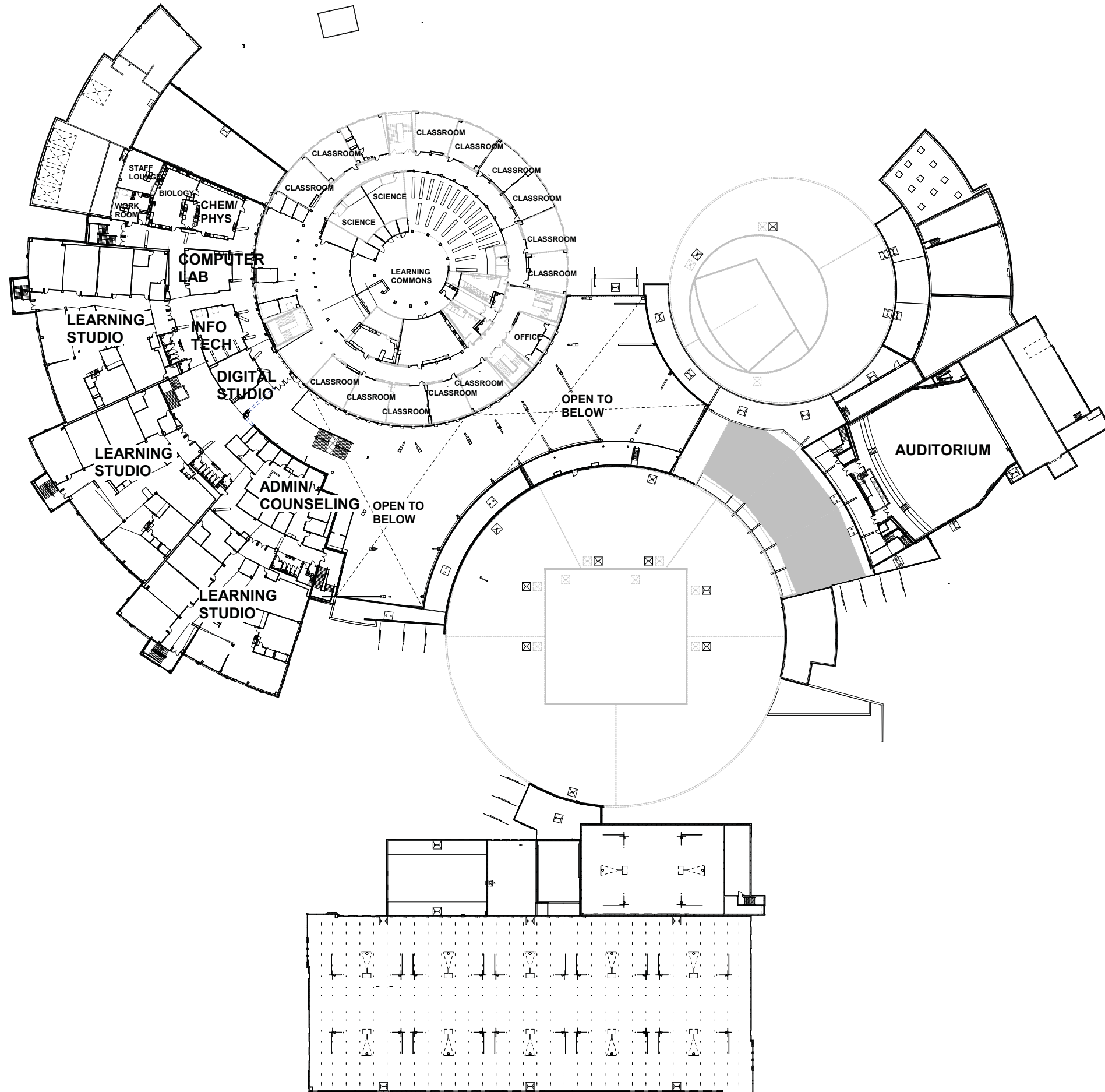
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ISD #624: WHITE BEAR LAKE AREA SCHOOLS

WBLAHS ADDITION & RENOVATIONS

February 09, 2021



CONDITIONAL USE PERMIT SUBMISSION

SECOND LEVEL FLOOR PLAN

Comm No: 192236

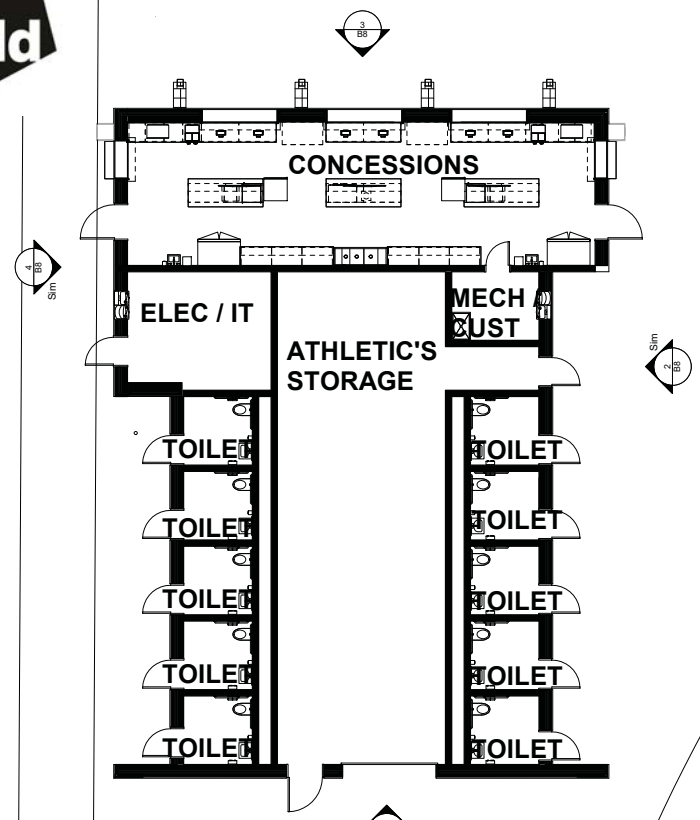
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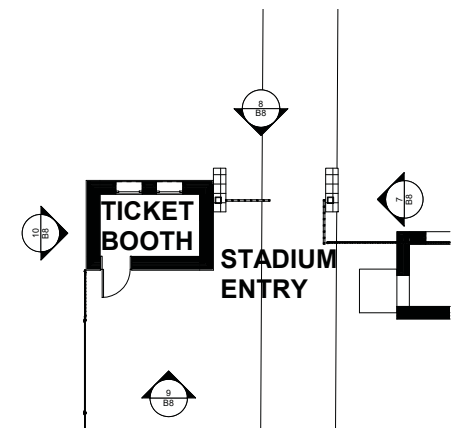
ISD #624: WHITE BEAR LAKE AREA SCHOOLS

WBLAHS ADDITION & RENOVATIONS

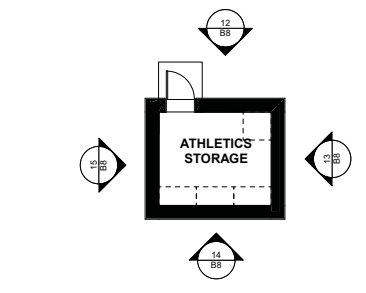
February 09, 2021



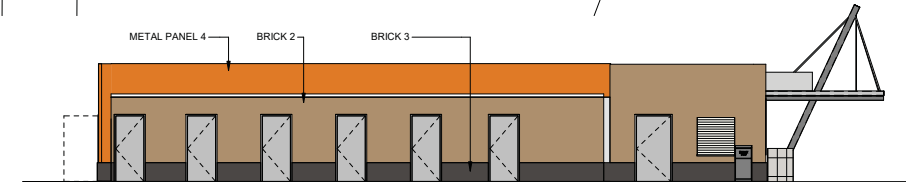
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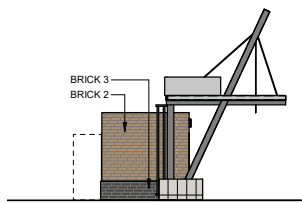
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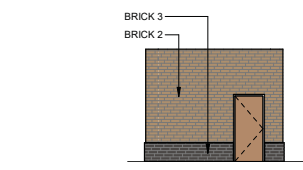
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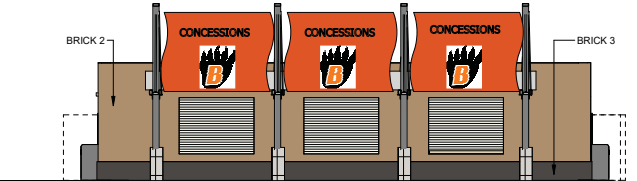
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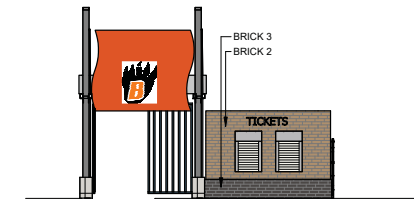
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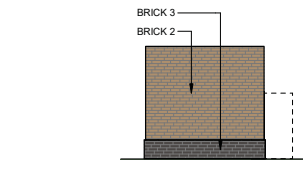
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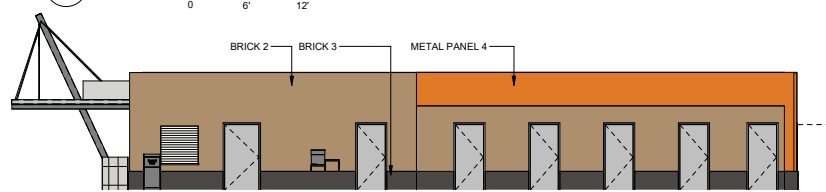
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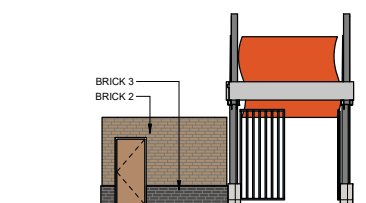
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1/8" = 1'-0"



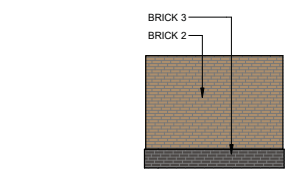
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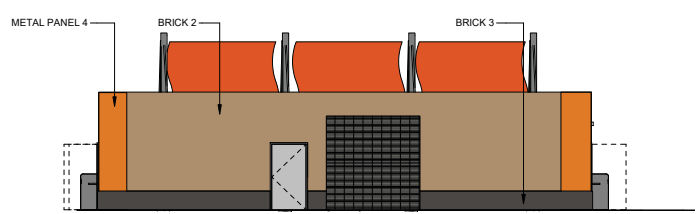
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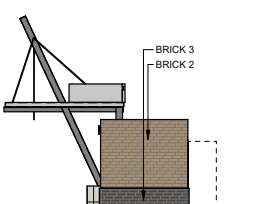
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1/8" = 1'-0"



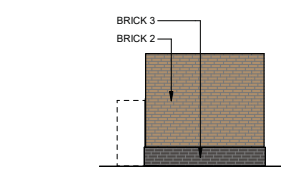
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5 CONCESSIONS SOUTH ELEVATION
1/8" = 1'-0"



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1/8" = 1'-0"

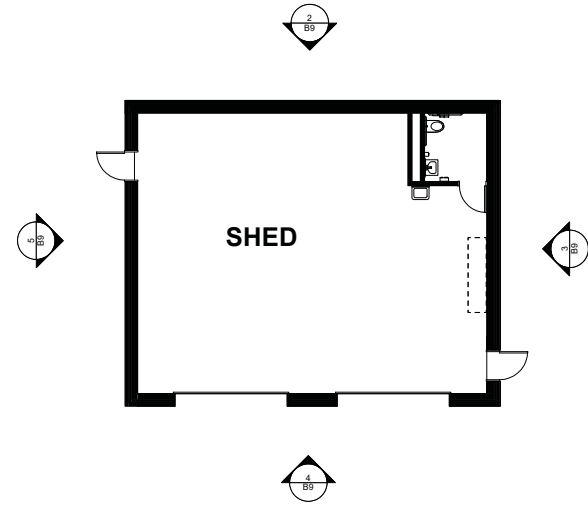


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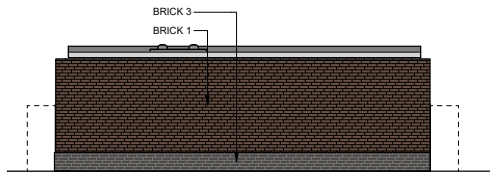
CONDITIONAL USE PERMIT SUBMISSION

B8 - OUT BUILDINGS PLANS AND ELEVATIONS

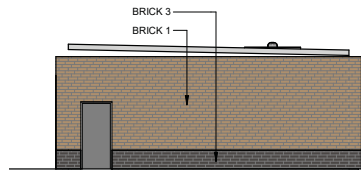
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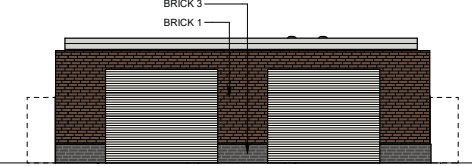
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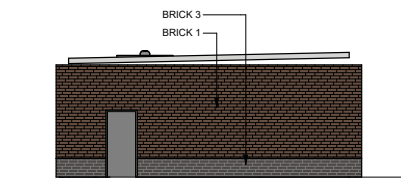
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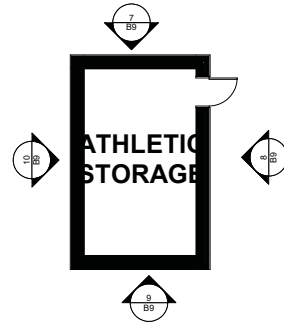
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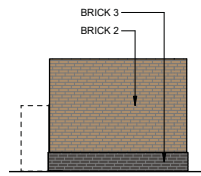
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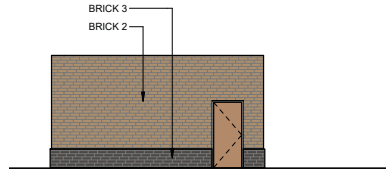
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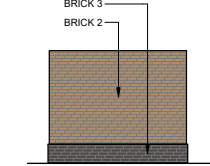
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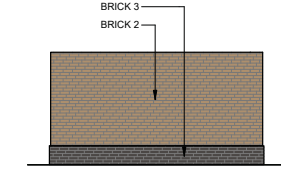
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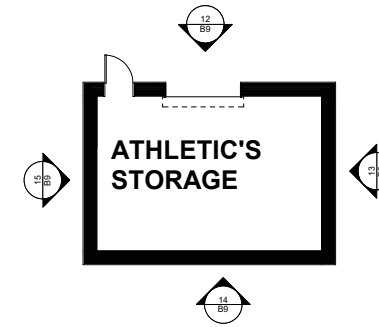
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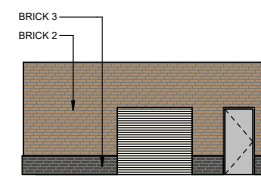
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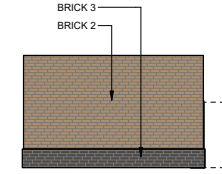
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1/8" = 1'-0"



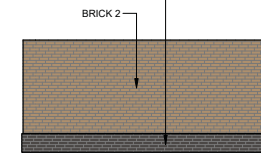
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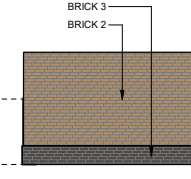
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15 PRICE ATHLETIC STORAGE BUILDING WEST ELEVATION
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CONDITIONAL USE PERMIT SUBMISSION

B9 - OUT BUILDINGS PLANS AND ELEVATIONS

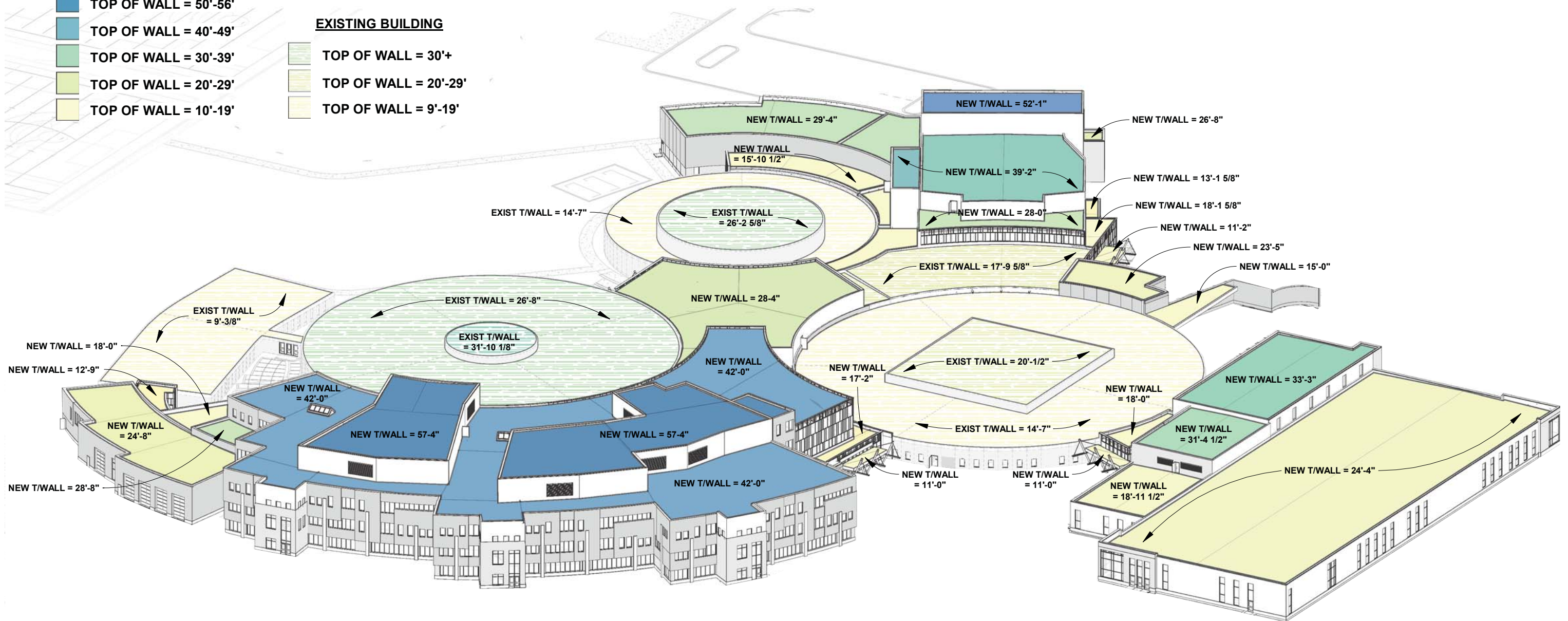


NEW CONSTRUCTION

- TOP OF WALL = 50'-56'
- TOP OF WALL = 40'-49'
- TOP OF WALL = 30'-39'
- TOP OF WALL = 20'-29'
- TOP OF WALL = 10'-19'

EXISTING BUILDING

- TOP OF WALL = 30'+
- TOP OF WALL = 20'-29'
- TOP OF WALL = 9'-19'



1 ROOF HEIGHTS DIAGRAM - SW VIEW
 1" = 60'-0"
 0 45' 90'

CONDITIONAL USE PERMIT SUBMISSION

ROOF HEIGHTS
DIAGRAM

Comm No: 192236

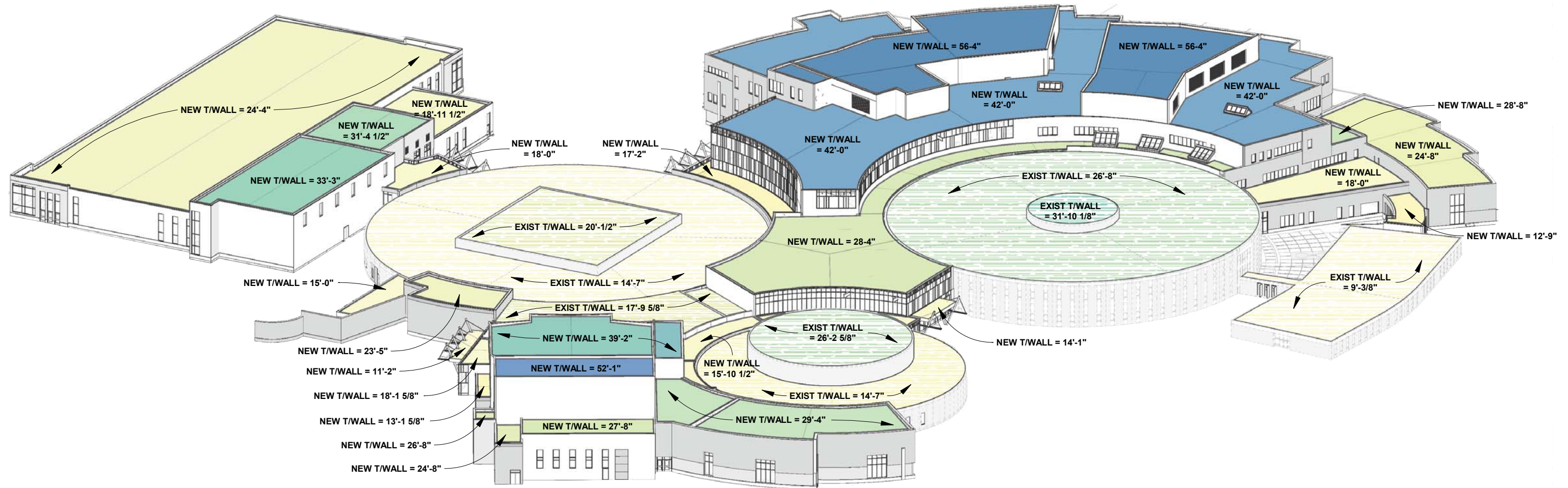


NEW CONSTRUCTION

- TOP OF WALL = 50'-56'
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- TOP OF WALL = 10'-19'

EXISTING BUILDING

- TOP OF WALL = 30'+
- TOP OF WALL = 20'-29'
- TOP OF WALL = 9'-19'



1 ROOF HEIGHTS DIAGRAM - NE VIEW
 1" = 60'-0"
 0 45' 90'

CONDITIONAL USE PERMIT SUBMISSION

ROOF HEIGHTS
DIAGRAM

Comm No: 192236



WHITE BEAR LAKE AREA HIGH SCHOOL -
OVERALL VIEW FROM SOUTHWEST



ENTRY FACADE FROM EAST



NEW MAIN ENTRY (EAST)



NEW MAIN ENTRY AND AUDITORIUM FROM EAST



NEW MUSIC SPACES
FROM EAST



NEW AUDITORIUM AND MUSIC ROOMS (LEFT) AND EXISTING CLASSROOMS BEYOND (RIGHT) - FROM EAST



OUTDOOR LEARNING SPACE
AT UNION - FROM EAST



NEW AUTOMOTIVE, MANUFACTURING, AND CONSTRUCTION CLASSROOMS FROM NORTHWEST



NEW LEARNING STUDIO ADDITION (LEFT) AND
ATHLETICS ENTRY (RIGHT) - FROM WEST



NEW STUDENT ENTRY
FROM SOUTHWEST



NEW STUDENT ENTRY (WEST)



NEW ATHLETICS ENTRY AND
WEIGHT ROOM FROM WEST



NEW FIELDHOUSE ADDITION
FROM SOUTHWEST



NEW FIELDHOUSE ADDITION
FROM SOUTHEAST



City of White Bear Lake
Engineering Department

MEMORANDUM

TO: Anne Kane, Community Development Director

FROM: Nathan Christensen, P.E., Civil Engineer
Connie Taillon, P.E., Environmental Specialist/Water Resources Engineer

DATE: March 15, 2021

SUBJECT: WBLAHS Additions and Renovations Engineering Review Comments

The Engineering Department reviewed the site survey dated January 18, 2021, and stormwater calculations, civil plan sheets, and landscape plan sheets dated February 15, 2021 and received February 19, 2021 for the above referenced project, and have the following comments:

The following outstanding items must be addressed prior to issuance of a Building Permit

General

- 1) When available, please submit the soil boring report for review to determine the feasibility of the proposed infiltration BMPs. Provide at least one soil boring at the location of each proposed infiltration BMP to determine if the soils are conducive to infiltration. The soil borings shall include the elevation of the seasonally high-water table. The infiltration basins shall be designed to provide a minimum of three feet of separation from the seasonal high-water table.
- 2) For low floor and low entry freeboard requirements, refer to the RCWD rules. Additional City freeboard requirements with respect to groundwater, the existing wetland, and all stormwater features include:
 - The low floor elevations of the new buildings shall be at least 2 feet above the historic high groundwater elevation for the area.
 - Low opening elevations shall be at least 2 feet above the 100-year high water elevations. Adequate emergency overflow routes must be provided.
 - Low openings shall be 1 foot above emergency overflow elevations.Please ensure that these requirements are being met.
- 3) Infiltration basins 1P and 5P shall meet freeboard requirements of the existing structures on the adjacent private properties. Please provide low opening elevations for review.
- 4) Submit wetland buffer calculations for review to show that the average 30-foot wetland buffer requirement is met.

- 5) Monuments shall be provided along the wetland buffer at locations specified in the City's Engineering Design Standards for Stormwater Management. The design of the monument shall be in accordance with the attached Wetland Buffer Monument Detail. Show the monument locations and detail on the appropriate plans. Monuments shall be installed prior to issuance of the building permit. Contact Sam Crosby at 651-429-8534 or scrosby@whitebearlake.org to inspect the buffer monuments after installation.
- 6) Please note that tree protection fence must be installed prior to issuance of any permits. Contact Sam Crosby at 651-429-8534 or scrosby@whitebearlake.org to inspect the tree fencing after installation.
- 7) Permits are required from Rice Creek Watershed District and MPCA (Construction Stormwater Permit). Provide a copy of these permits for our records when available.
- 8) Include a SWPPP in the plan that meets the requirements of the MPCA Construction Stormwater Permit.
- 9) Please submit a phasing plan for review.
- 10) The City would like to record utility easements for the following locations:
 - Existing City watermain along the north end of the property between Bald Eagle Boulevard and Division Avenue.
 - Existing Storm sewer between Bald Eagle Boulevard and Central Avenue at the north end of Central Avenue.
 - Existing watermain between Central Avenue and Bloom Avenue at the north end of Central Avenue.
 - Existing watermain between Bald Eagle Avenue and Bloom Avenue at the north end of Bloom Avenue.

The City will assist in locating these utilities to ensure an accurate survey.

- 11) Since the district has purchased and demolished numerous properties along Bald Eagle Avenue and Division Avenue, please verify that all properties in need of sewer and water disconnections have been added to the plan.

Stormwater Calculations

- 12) In addition to the model output summaries for each storm event that was provided in this submittal, please also provide a printed copy of the model input parameters for the next submittal. Because of the size of the model, a printout of the existing and proposed input parameters for only one storm event is sufficient.
- 13) As per the City's Engineering Design Standards for Stormwater Management, existing flow rates shall also be maintained for the 100-year, 10-day snowmelt with a 7.0" snowmelt depth. Please provide this calculation for review.
- 14) Summary of Stormwater Runoff: in the proposed conditions narrative, also include the existing wetlands as receiving discharge from the infiltration basins.

- 15) Based on the volume control calculations in the Summary of Stormwater Runoff report, 115,143 sf of new/reconstructed impervious is not being treated by the infiltration basins and underground system. Provide treatment for runoff from all new/reconstructed impervious surfaces to the maximum extent practicable.
- 16) As per our email on March 15, 2021, treating runoff from an equivalent area of the existing building can be used in lieu of treating runoff from the proposed turn lanes on Bald Eagle and Division. Please include a narrative describing this substitution in the Summary of Stormwater Runoff report.
- 17) In the Summary of Stormwater Runoff report, some infiltration basins are oversized for the amount of new/reconstructed impervious surfaces flowing to them (and one is undersized). Size the infiltration basins for the appropriate amount of new/reconstructed impervious surfaces to minimize the depth of the water quality volume for 1) safety reasons; 2) to minimize compaction of the soils; and 3) to improve plant survivability (very few plants can survive inundation over 1 foot for an extended duration). As per the Minnesota stormwater manual, the maximum water quality ponding depth for a drawdown time of 48 hours is 18" for HSG A and SM (HSG B) soils; 14.4" for loam, silt loam and MH (HSG B) soils, and 9.6" for HSG C soils.
- 18) Calculate the draw down time of the infiltration basins and underground system, and include this information in the Summary of Stormwater Runoff report.
- 19) Based on the utility plan, it appears that the existing and proposed drainage areas that are currently routed to Central Avenue in the model, flows to the existing storm sewer that discharges to Division. Please clarify.
- 20) The existing conditions routing map shows 4R being routed to the northeast wetland (6P); however, under proposed conditions 4R is not routed to the northeast wetland (13P). Please revise for consistency.
- 21) Based on the utility plan, it appears that the northern half of proposed subcatchment D9 flows directly to the wetland (12P). Please clarify.
- 22) Based on the utility plan, it appears that proposed subcatchment D8 flows to pond 1P. Please clarify.
- 23) Based on the utility plan, it appears that some or all of proposed subcatchment D1 flows to pond 14P. Please clarify.
- 24) Based on the grading plan, it appears that proposed subcatchment I is either part of proposed subcatchment Q, or proposed subcatchment Q1. Please clarify.
- 25) Based on the grading plan, it does not appear that all of proposed subcatchment F flows to pond 2P. Please clarify.
- 26) It is not clear on the utility plan how proposed subcatchment D5 flows to pond 2P. Please clarify.

- 27) It is not clear from the utility plan how proposed subcatchment D3 flows to pond 7P. Please clarify.
- 28) Does proposed pond 14P have a subcatchment area? Label pond 14P and show its subcatchment area on the proposed HydroCAD areas map and model.
- 29) Is the proposed triangular space surrounded by D2 and D9 accounted for in the model?
- 30) For consistency, why isn't the under turf area in proposed subcatchment A not modeled as a pond, similar to pond 15P in subcatchment B?
- 31) Label proposed pond 15P on the proposed HydroCAD areas map.
- 32) Route runoff from the impervious areas in proposed subcatchment Q and G2 to an infiltration basin if feasible.

Grading Plan (C300, 301, 302)

- 33) Include an emergency overflow (EOF) location and elevation for all ponding areas.
- 34) Ponding area EOFs shall not discharge onto adjacent private property. Relocate the EOF for infiltration basin 1P (sheet C300) towards the road or wetland, not onto the adjacent private property.
- 35) Include the high water level (HWL) for the wetland just north of infiltration basin 2P on sheet C300.
- 36) The HWL for pond 2P does not appear to be contained within the basin. Please clarify.

Erosion Control Plan (C400, C401, C402)

- 37) Extend the erosion control blanket hatch to include the bottom of all infiltration basins for consistency with the infiltration basin cross section detail on sheet C602.
- 38) For Pond 1P, include a note to extend the riprap at the pipe inlets to minimize potential erosion of the opposite bank.

Utility Plan (C501, C502, C503)

- 39) Please provide calculations showing that the inlet grates and storm sewer along the access roads to Division and Bald Eagle have the capacity to capture and convey runoff from the 100-year storm event (i.e. ensure that runoff from storms up to and including the 100-year storm event remains on the school property site).
- 40) Provide pretreatment prior to discharge into all infiltration BMPs. For example, there does not appear to be pretreatment provided for runoff into pond 4P.
- 41) Insulation may be needed at utility crossings. Check all water and sewer crossings for separation.

Details (C600, C601, C602, C603, C604)

- 42) Include a detail of the underground infiltration system.
- 43) Include a detail of the pond 2P outlet manhole (and any other similar structures).
- 44) Infiltration basin detail (detail 1/C602): expand the decompaction note to state that soil shall be loosened to the depth necessary to alleviate compaction.
- 45) Include a detail for B618 curb. B618 curb shall be used on all City streets.

Landscape Layout Plan (L1.003-L1.010)

- 46) Show the wetland buffer on the plan. The buffer line shall be consistent with the buffer shown on the grading plan.
- 47) The wetland buffer shall be restored with native vegetation. Provide this information on the plan.
- 48) Any trees and shrubs planted in the wetland buffer shall be native species only.
- 49) Turf grass is not allowed within the wetland buffer.
- 50) Show the locations of the buffer monuments (see comment 5)
- 51) Please include the following at the end of note 4: Topsoil is not allowed in the infiltration basins; see detail 1 on sheet C601 for the allowable pre-mixed infiltration basin planting medium.
- 52) Please keep shrubs and trees out of infiltration basin ponding areas as much as possible and avoid trees near the infiltration basins to avoid increased maintenance issues. Trees will shade out the native prairie vegetation, and the topsoil surrounding the trees may erode into the basins and reduce infiltration capacity.
- 53) Please provide a hatch legend on the plans.

Landscape Details, Notes, and Schedules (L1.012, L1.013, L1.014)

- 54) Note 17, sheet L1.012: please include language stating that the infiltration basins and wetland buffer areas shall not be irrigated.
- 55) Note 30, sheet L1.012: please add language to state that this note does not apply to the infiltration areas, and reference the appropriate civil sheet(s) for infiltration basin details.
- 56) Sheet L1.013, native seed mix language
 - a) Replace seed mix Type A (MNDOT #35-231) with MNDOT #33-261 to be consistent with the civil plans.
 - b) Please remove the word topsoil when referring to the infiltration basins, and replace with premixed planting medium to be consistent with the infiltration detail on sheet C602.
 - c) For consistency with the civil plans, please replace the term 'storm basin' with 'infiltration basin'.

- 57) Sheet L1.013, native seed installation method: state in these notes that heavy equipment is not allowed in the infiltration basins to keep the soils from getting compacted. If any compaction occurs due to seeding operations, the soils must be uncompacted.
- 58) Sheet L1.013, native seed required maintenance: This information shall also be included in the Stormwater Operations and Maintenance agreement (see comment ii below).

The following items must be addressed prior to issuance of a Certificate of Occupancy

- i) An as-built record drawing of this project shall be submitted for review. Please see attached for a list of record drawing requirements. Include an as-built survey of the underground storage system and associated inlet and outlet pipes, which should be surveyed prior to backfill. The as-built record drawing will need to identify the ownership of the utility, whether public or private.
- ii) A Stormwater Operations and Maintenance Agreement (SOMA) is required for this project. The SOMA shall also include native plant initial establishment and long-term plant maintenance requirements for the buffer and infiltration basins. For your convenience, we have attached our standard SOMA template for your use.

While the following items are not required for issuance of a permit, we would like to take this opportunity to raise these points:

- A) As a requirement of the MPCA Construction Stormwater Permit (section 11), the permittee must ensure a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 1/2 inch in 24 hours. It is highly recommended that this individual also be familiar with the permanent stormwater infiltration features for this project and to be on site while these features are being constructed to ensure that they are constructed (and will function) as designed.
- B) To ensure the success of the native seeding, we highly recommend contracting with a native plant restoration company to maintain the native seed areas for the three-year establishment period. After the three-year establishment period, we encourage the school district to continue to contract with the company for yearly maintenance of the native wetland buffer and infiltration basin plantings to control invasive plants and other weeds. Whether this maintenance is performed by a native plant restoration company or by school district staff, the maintenance must be completed as a requirement of the Stormwater Operations and Maintenance Agreement (SOMA).
- C) Consider connecting the wetland buffer areas on the north end of the property to increase wildlife habitat, minimize mowing maintenance, and reduce irrigation needs (if irrigation is proposed in this area).

- D) Infiltration basins should be last resort for snow storage (i.e. only for very large snow events as “emergency overflow”), as the debris from plowing may clog the basin and the weight of the snow pile may compact the soils (when soft in the spring) both of which shorten the life (functionality) of the basins. This will result in a need for dredging and other significant maintenance sooner than otherwise. However, plowing snow into the stormwater areas is not currently prohibited, therefore it may be done at the property owner’s own risk.
- E) The City and VLAWMO are interested in partnering with the school district to explore other possible water quality practices such as stormwater reuse for irrigation that go above and beyond current stormwater standards.

Note:

For the next plan review submittal please provide (in addition to the revised plans):

- A response to each review comment in this memo
- Revised stormwater calculations (see also comments 12 and 13)

Contact Information

For questions regarding comments 10, 11, 41 and 45, contact Nathan Christensen at: 651-762-4812 or nchristensen@whitebearlake.org

For questions regarding all other comments, contact Connie Taillon at: 651- 429-8587 or ctaillon@whitebearlake.org



White Bear Lake Fire Department
4701 Hwy 61
White Bear Lake, MN 55110
Tel. (651) 429-8568 Fax. (651) 429-8501

March 2, 2021

Wold Architects and Engineers
332 Minnesota Street STE W2000
St Paul, MN 55101

RE: General Building Site Plan Review

Project: WBLAHS North Campus
5045 Division Ave

The plans for the above project have been reviewed. Please review the comments listed below and let me know if you have any questions.

Specific Comments

- For all Fire related questions or inspections, please call (651) 762-4842.



White Bear Lake Fire Department
4701 Hwy 61
White Bear Lake, MN 55110
Tel. (651) 429-8568 Fax. (651) 429-8501

General Comments

1. A fire access road shall be extended to within 300 feet of all portions of the facility and all portions of the exterior walls of the first story of the building measured by an approved route around the exterior.
2. All roads and drive lane shall meet the White Bear Lake Fire Department requirements and 2020 MSFC for widths, turning radiuses, and imposed loads of 75,000 pounds. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes.
3. Traffic gates shall only be used in approved areas. The current locations have been approved.
4. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
5. Fire hydrant locations provided are in approved locations.
6. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. City permit required **prior** to initiation of work.
7. The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required **prior** to initiation of work.

Codes and Standards Used for this Review

- ❖ This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.
 - 2020 Minnesota State Fire Code
 - NFPA 72, 2016 edition
 - NFPA 13, 2016 edition

Thank You,

Kurt Frison
Assistant Fire Chief / Fire Marshal
(651) 762-4842

Anne Kane

From: Ashton Miller
Sent: Monday, March 15, 2021 10:34 AM
To: Anne Kane; Samantha Crosby
Subject: FW: North Campus Expansion

From: jer olson <jmolson1975@gmail.com>
Sent: Friday, March 12, 2021 5:24 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: North Campus Expansion

I have a suggestion for changes to the 10th street and Bald Eagle Ave intersection: close off 10th Street at Bald Eagle, making 10th Street a dead end from Walnut to Bald Eagle Ave. There is already a high volume of traffic and parking on 10th street from the ball fields and tennis courts during sporting events. I can only imagine this intersection will get more congested with more traffic and people.

I also suspect there will be no parking signs during school hours on 10th and Walnut as well as other streets near the school to keep the students from plugging up the neighborhood streets, which I support. Most of the streets in my neighborhood are without sidewalks, and the elementary kids who attend Lincoln Elementary are walkers. If the high school students are parking on these streets, there will be less places for the kids to walk and cars to drive safely.

Jeremy Olson
1990 10th St
WBL MN, 55110

Anne Kane

From: Ashton Miller
Sent: Monday, March 15, 2021 10:35 AM
To: Anne Kane; Samantha Crosby
Subject: FW: Planning Commission Public Hearing for School District #624

From: patrick collins <patrickcollins900@gmail.com>
Sent: Sunday, March 14, 2021 9:59 AM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: Planning Commission Public Hearing for School District #624

Dear Planning Commission,

Given that this new school expansion is going to have major traffic impact on the surrounding north side of WBL. What are the plans for providing safe foot and bicycle paths along Division and Bald Eagle streets as well as other streets near the school? I am especially interested in the north side of the school because there are no walks or trails on that side going all the way to Bald Eagle Lake. I realize this is part city of WBL and a Township question, but it is all School District #624 issue.

Thank You,
Patrick Collins
5172 Wild Marsh Drive
White Bear Lake
651-270-8748

--
Pat Collins
651-270-8748

Anne Kane

From: Ashton Miller
Sent: Monday, March 22, 2021 11:31 AM
To: Anne Kane
Cc: Samantha Crosby
Subject: FW: Planning commission public hearing

From: Kelli Welch <kellivoss@gmail.com>
Sent: Monday, March 22, 2021 11:16 AM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: Planning commission public hearing

Hello,

I have a few questions for the upcoming public hearing on the High school plans.

1. On what street/ intersection will the main entrance be located? Where will all other street entrances to the campus be located?
2. Have traffic studies been done on how this will impact the surrounding neighborhoods? Will there be stoplight intersections needed?
3. Right now there is not a direct route to campus from hwy 61. Will there be an easily accessible route connecting hwy 61 to the highschool campus?

Thank you,
Kelli Welch

Anne Kane

From: Ashton Miller
Sent: Monday, March 22, 2021 2:10 PM
To: Anne Kane
Cc: Samantha Crosby
Subject: FW: CUP- ISD #624 expansion

From: E McDermott <the.starving.artisan@outlook.com>
Sent: Monday, March 22, 2021 2:02 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: CUP- ISD #624 expansion

Hello,

I am a resident living off of Bloom Ave, and I am wondering with this expansion if residents will lose the ability to park on the street in front of our houses, or will there be signs posted along our street prohibiting street parking like there are along Emerald Drive by the south campus of the high school? We only have a one car garage, so we do not have the ability to park our second vehicle anywhere else. Will this expansion add enough parking for all students, or will some be parking along the residential streets adjacent to the school? What is the anticipated increase in traffic for the residential streets surrounding the school?

Also, there is presently a speeding issue along Bloom despite it being a dead end. With numerous young children living on this block, will school zone or speed limit signs be placed along Bloom? I am concerned because I have 3 young children, and I have seen several close calls with the neighbor children almost being hit by speeding parents, and people who are on their way to the arena for hockey. If there are no signs planned, can the City have a speed study done, as there are frequently drivers exceeding residential speed limits?

Thank you,
Erin McDermott

Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)

Anne Kane

From: Ashton Miller
Sent: Tuesday, March 23, 2021 2:03 PM
To: Anne Kane
Cc: Samantha Crosby
Subject: FW: Case No. 21-3-CUP

From: DEBORAH Larsen <dlee.larsen@comcast.net>
Sent: Tuesday, March 23, 2021 1:56 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: Case No. 21-3-CUP

Hello, I live on Bald Eagle at 9th street and have 2 questions for the meeting 3/29/21:

1. How will this project affect traffic on Bald Eagle Ave; are people able to access parking lots, school entrance from Bald Eagle Ave?
2. Is the district interested in purchasing home that are on the west side of Bald Eagle at some point?

Thanks, Deb Larsen

Anne Kane

From: Ashton Miller
Sent: Wednesday, March 24, 2021 8:45 AM
To: Anne Kane
Cc: Samantha Crosby
Subject: FW: 3/22 Planning Commission Meeting

FYI - I emailed her explaining the public hearing process (and confirmed the meeting date is 3/29.)

From: Valerie Hanson <valerieh731@gmail.com>
Sent: Tuesday, March 23, 2021 8:59 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: 3/22 Planning Commission Meeting

Ashton, I will be attending the virtual Planning Commission Meeting on 3/22 and would like a minute, at the appropriate time, to advocate for sidewalks to be extended along the west side of Division Ave.

I also would like to know if Division Ave will be improved as a part of the school project or a separate project. And then the timing of the street paving.

I will be speaking on behalf of Wild Marsh Townhomes.

Thank you,
Valerie Hanson
5118
608-799-4284

Anne Kane

From: Ashton Miller
Sent: Wednesday, March 24, 2021 3:15 PM
To: Anne Kane
Cc: Samantha Crosby
Subject: FW: school

From: patrick collins <patrickcollins900@gmail.com>
Sent: Wednesday, March 24, 2021 2:58 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: school

RE: March 29th Planning Commission Public Hearing

Dear White Bear Lake Planning Commission,

Regarding the future development of the North Campus High School, I realize that the voters have approved this new development based on approvals from the City and other government agencies such as Ramsey County, Railroad, State Highway, MDOT and others. Based on the last school board update that I'm aware of, there was some talk about the traffic volume increase both for cars and buses as well as pedestrian and bikes. As I recall someone stated that a "feasibility study" was going to be completed for each of these traffic issues. My questions are:

1. Has a study been completed?
2. What were the results?
3. Have the agencies listed above approved any proposed changes?
4. What changes have and have not been approved?
5. Has further validation been done regarding the "Streetlight" volumes which estimate traffic flow and volumes? If not, how comfortable are you with what was projected? In this pandemic area how can this be validated?

I live along Division avenue and realize that traffic will have a substantial increase. While that is something that can't be helped with a project like this, it is extremely important than all safety concerns be addressed prior to any construction efforts. In this part of town there are very limited trails or sidewalks that can protect pedestrian traffic and there will obviously be much more of that once the school is expanded.

I ask you to consider any approval of building permits, etc. be subject to all people movement concerns. We not only need a quality education facility but more importantly we need a safe environment in and around this new campus.

Patrick Collins
5172 Wild Marsh Drive
White Bear Lake
651-270-8748

--
Pat Collins



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: March 24, 2021 for the March 29, 2021 Planning Commission Meeting

SUBJECT: Jacob Ommen, 4320 Cottage Park Road - Case No. 21-4-CUP & 21-5-V

REQUEST

The applicant, Rehkamp Larson Architects, Inc, on behalf of the homeowner, Jacob Ommen, is requesting a conditional use permit for a Home Accessory Apartment (aka Accessory Dwelling Unit or ADU) above an attached garage, and 5 variances:

- A 13 foot variance from the 35 foot front yard setback for the principal structure, in order to expand an existing line of non-conformity for a mudroom addition;
- A 2.7 foot variance from the 20 foot front yard setback for an accessory structure;
- A one-story variance from the one-story maximum for an attached accessory structure;
- A 321 square foot variance from the 1,000 gross square foot maximum size for a first accessory structure; and
- A 71 square foot variance from the 1,250 square foot maximum for all accessory structures combined.

The proposed accessory unit is 782 gross square feet in size.

ZONING

The subject property is zoned R-2 - Single Family Residential, and S - Shoreland Overlay. The homes to the north and south are also zoned R-2 and S. The properties to the west are zoned R-3 - Single Family Residential and S. White Bear Lake abuts the lot to the east.

SITE CHARACTERISTICS

The lot is located on the east side of Cottage Park Road, at the south end of Circle Drive. The riparian lot contains a single-family Cass Gilbert home built in 1886 and a detached garage.

BACKGROUND

The subject site used to be combined with the parcel to the south of it. It was then owned by the Bonne family who, in 2018, were granted a Lot Split to divide the parcel in two as it exists today.

APPLICANT'S PRACTICAL DIFFICULTY

See attached narrative.

ANALYSIS

1. A 13 foot variance from the 35 foot front yard setback for the principal structure

If it weren't for the other land use requests, the mud room "link" could have been approved by an administrative variance to expand an existing line of non-conformity. The existing house already encroaches into the street-side setback requirement and, because of the angled lot line, the proposed addition will be receding as it extends southward. See staff's graphic.

2. A 2.7 foot variance from the 20 foot front yard setback for an accessory structure

As mentioned in the applicant's narrative, the proposed garage is more conforming to code than the existing garage. The amount of encroachment is a small corner – only 9.7 square feet. Due to its nominal size and the angled lot line, staff would likely support this variance even if it weren't an improvement over existing conditions. See staff's graphic.

3. A second story on an attached accessory structure

This project is somewhat unique and this third variance is one reflection of that. The proposed accessory unit cannot be accessed from the house; one must either walk thru the garage or utilize the separate rear entrance. Therefore, the unit is not part of the principal structure. The code limits attached garages to not more than one story in height. Since the ADU is not principal structure, it is not the second story of the home, but the second story of the accessory structure (the garage). Of note is that if the garage were detached, the code does not restrict the number of stories, but instead limits the height, and a height variance would be needed instead. When an ADU is proposed above a detached accessory structures (Hughes, 2014) a height variance of some amount is always anticipated, therefore staff supports this comparable request.

4. 321 square foot variance from the 1,000 gross square foot maximum size for an attached accessory structure

The code allows two accessory structures per property (regardless of whether they are attached or detached.) The first accessory structure is limited to not more than 1,000 square feet or the size of the first floor area of the home, whichever is less. In this case, the 1,000 sq. ft. is less. Size variances for accessory structures are usually requested to accommodate additional (mainly vehicular) storage space. At 539 square feet, the area dedicated to storage is a modest 2 car garage. The rest of the floor area (782 square feet) is the ADU.

5. A 71 square foot variance from the 1,250 square foot maximum for all accessory structures combined

When there are two accessory structures, the code limits them to 1,250 square feet or the size of the first floor area of the home, whichever is less. In this case, the 1,250 is less. However, instead of having the two uses in separate buildings, the proposed garage/ADU are both contained in the same building, and it is the only accessory structure on site. The amount is a 5% variance. The proposal is a way to save impervious area on a riparian lot. The height of the proposed accessory building does not exceed the height of the house and the size of both the garage and ADU are modest.

CUP for Home Accessory Apartment

The size of the ADU is limited by code to 880 square feet or 40% of the habitable area of the single family residence, whichever is less. At 809 square feet, the 40% measurement is less. The ADU has a gross floor area of 782 square feet and therefore complies. The code requires 200 square feet of habitable floor area for the first occupant and at least 100 sq. ft. of habitable floor area for each additional occupant. At 393 habitable sq. ft. the ADU is just shy of being able to accommodate 3 occupants.

The garage and addition are well-designed to mimic the architecture of the home and preserve the historic character of the property. The structure is so well designed that if it weren't for the overhead doors one might think it is all ADU without any garage space.

Other

No trees will be lost and the impervious area will not exceed the 30% limitation.

Public Input

We received two letters from neighboring property owners - one in support of the project, and another raising concerns about the number of variances that have been granted to the now split property over recent years. It is correct that the lot split required 5 variances and that the Carlson residence to the south was granted 4. However, the subject residence was existing prior to the split and the variances requested are not related to either the new location of the south lot line or the new smaller size of the lot. In short, none of the variances sought in this application are the result of the lot split.

DISCRETION

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comp Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

The City's discretion in approving or denying a conditional use permit is limited to whether or not the changes meet the standards outlined in the Zoning Ordinance. If it meets these standards, the City typically must approve the Conditional Use Permit. Additional conditions may be imposed as the Council deems fit.

RECOMMENDATION

Staff recommends approval of the project as requested subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit, including all the architectural details of the exterior building elevations.
2. Per Section 1301.060, Subd.3, the variances and conditional use permit shall become null and void if the project has not been completed or utilized within one (1) calendar year

after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

3. The conditional use permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions. Proof of such shall be provided prior to final certificate of occupancy.
4. The right to rent the accessory apartment ceases upon transfer of title unless reissued by the City Council.
5. Per Section 1302.125, Subd.4.a, the owner of the single family structure shall reside in the principal structure. The permit becomes null and void if the owner ceases to reside in the residence. The accessory apartment shall remain owned by the occupant of the principal structure; there shall be no separate ownership of the accessory rental apartment.
6. The number of vehicles associated with the principal residence and accessory unit together shall not exceed that which can fit in the garage and on the driveway.
7. The number of occupants of the accessory apartment shall not exceed two (2).
8. The owner shall obtain a rental license prior to renting out the unit to anyone who is not related.
9. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
10. A building permit shall be obtained before any work begins.

Attachments:

1. Draft Resolution of Approval
2. Zoning/Location Map
3. Staff's Graphic
4. Applicant's Narrative
5. Applicant's Design Documents
6. Taylor Letter dated March 22, 2021
7. Plumb Email dated March 24, 2021

RESOLUTION NO. _____

**RESOLUTION GRANTING
A CONDITIONAL USE PERMIT AND FIVE VARIANCES
FOR 4320 COTTAGE PARK ROAD
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-4-CUP & 21-5-V) has been submitted by Rehkamp Larson Architects, Inc, on behalf of Jacob Ommen, to the City Council requesting approval of a Conditional Use Permit and five Variances from the City of White Bear Lake Zoning Code for the following location:

LOCATION: 4320 Cottage Park Road

LEGAL DESCRIPTION: Attached as Exhibit A (PID # 233022420030)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING PERMIT: A Conditional Use Permit for a 782 gross square foot Home Accessory Apartment, per Code Section 1302.125; in order to construct an accessory dwelling unit above the garage; and

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF:

- A 13 foot variance from the 35 foot front yard (street side) setback for the principal structure, per Code Section 1303.040, Subd.5.c.1, in order to expand an existing line of non-conformity for a mudroom addition;
- A 2.7 foot variance from the 20 foot front yard (street side) setback for an accessory structure, per 1302.030, Subd.4.d;
- A one-story variance from the one-story maximum for an attached accessory structure, per 1302.030, Subd.4.i.1.a;
- A 321 square foot variance from the 1,000 gross square foot maximum size for an attached accessory structure, per 1302.030, Subd.4.i.1.a;
- A 71 square foot variance from the 1,250 square foot maximum for all accessory structures combined, per 1302.030, Subd.4.i.2.b; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on March 29, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed requests upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the Conditional Use Permit, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.

FUTHER, BE IT RESOLVED, by the City Council of the City of White Bear Lake that, in relation to the Variances, the City Council adopts the following findings of the Planning Commission:

1. The requested variances will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.
2. The variances are a reasonable use of the land or building.
3. The variances will be in harmony with the general purpose and intent of the City Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
4. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variances.

FUTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit, including all the architectural details of the exterior building elevations.
2. Per Section 1301.060, Subd.3, the variances and conditional use permit shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The conditional use permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions. Proof of such shall be provided prior to final certificate of

occupancy.

4. The right to rent the accessory apartment ceases upon transfer of title unless reissued by the City Council.
5. Per Section 1302.125, Subd.4.a, the owner of the single family structure shall reside in the principal structure. The permit becomes null and void if the owner ceases to reside in the residence. The accessory apartment shall remain owned by the occupant of the principal structure; there shall be no separate ownership of the accessory rental apartment.
6. The number of vehicles associated with the principal residence and accessory unit together shall not exceed that which can fit in the garage and on the driveway.
7. The number of occupants of the accessory apartment shall not exceed two (2).
8. The owner shall obtain a rental license prior to renting out the unit to anyone who is not related.
9. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
10. A building permit shall be obtained before any work begins.

The foregoing resolution, offered by Councilmember and supported by Councilmember, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Jacob Ommen

Date

Exhibit A
Legal Description

Those parts of Lots 14 and 15, lying Southwesterly of a line running from a point on the Northwestern line of and 10 feet from the Southwesterly corner of Lot 14, through a point on the Southwesterly line of and 57 feet from the Southwesterly corner of Lot 14 extended to the lakeshore of White Bear Lake, AND those parts of Lots 16 and 17, lying Northeasterly of a line running from a point on the Westerly line of and 5.5 feet Northerly from the Southwesterly corner of Lot 16, through a point on the Southerly line of and 69.2 feet from the Southwesterly corner of Lot 16, extended to the lakeshore of White Bear Lake, all in Block 2, COTTAGE PARK, Ramsey County, Minnesota.

LVMU

WHITE BEAR LAKE

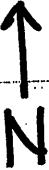
SUBJECT SITE:
4320 COTTAGE PARK ROAD

P

R-3

R-2

GOOSE LAKE



P

SOUTH SHORE BLVD

HAZEL ST

LILAC LN

GARDENETTE DR N

GARDENETTE DR S

R-3

FLORAL DR

DOUGLAS LN

RISHWORTH LN

WHITE BEAR AVE

B-2

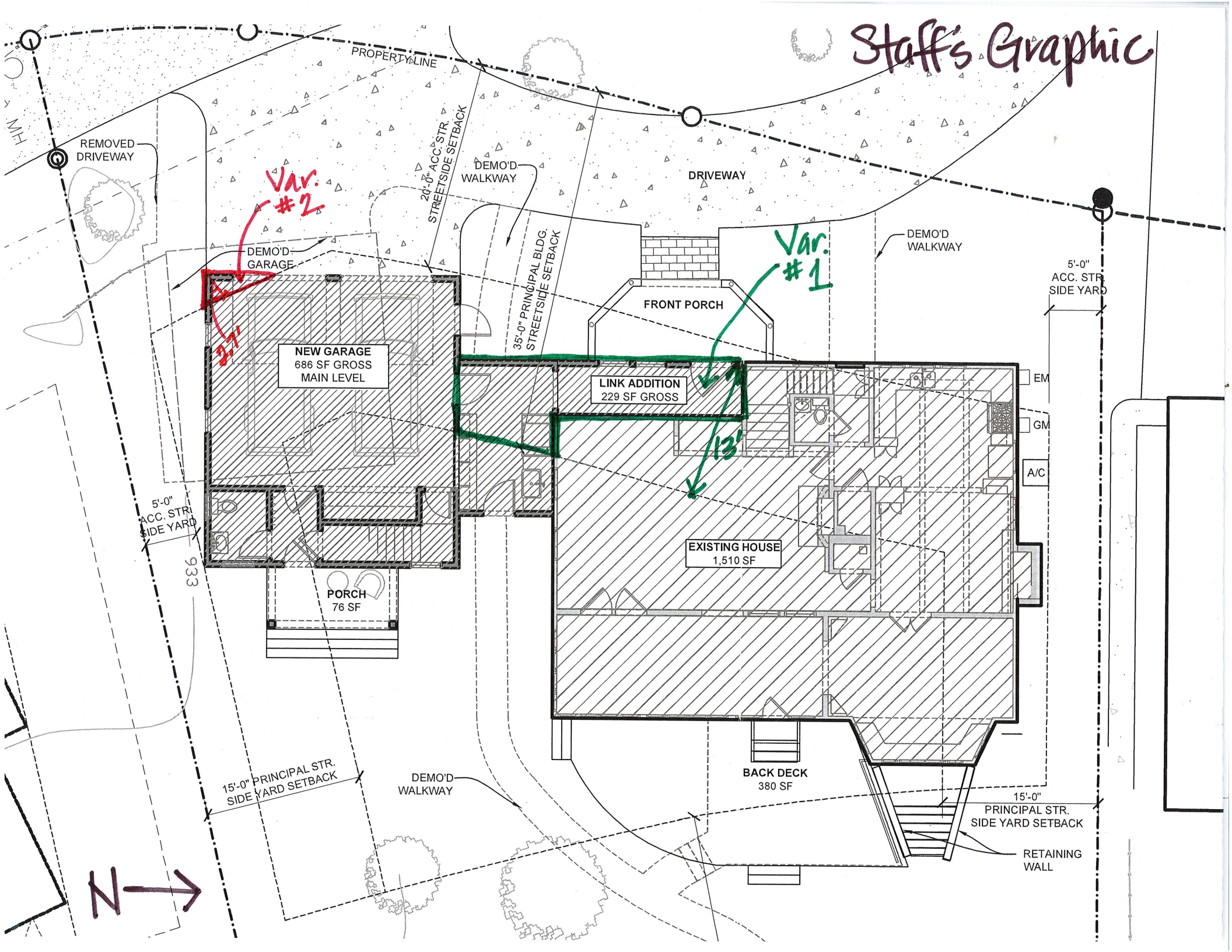
MCKNIGHT RD

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 21-4-CUP & 21-5-V

CASE NAME : Ommen ADU

DATE : March 29, 2021



March 29th, 2021

Attn: White Bear Lake Planning Commission

Regarding: Ommen Residence Variances & Conditional Use Permit Application – Request Letter

Property Address: 4320 Cottage Park Road, White Bear Lake, MN 55110

Submitted by: Jacob & Chandler Ommen along with Rehkamp Larson Architects, Inc.

Mr. and Mrs. Ommen are planning to rebuild a garage with living space in the upper level on their property at 4320 Cottage Park Road. The proposed garage will be attached to the primary residence by an enclosed link serving as a mud room. The existing garage will be demolished. This request includes 5 variances and 1 conditional use permit.

1. VARIANCE #1 – a 13 foot variance from the 35 foot front yard setback for the principal structure, in order to expand an existing line of non-conformity for a mud room addition

The existing single-family home encroaches into the 35 foot front yard setback for the entirety of the street-side façade. The homeowners are interested in connecting the proposed garage to the existing house via a mud room link, a desirable feature for functionality. The mud room addition would fill in an existing “void” at the Southwest corner of the house and provide access to the attached garage. The mud room proposal has details matching the existing house per exterior elevations.

2. VARIANCE #2 – a 2.7 foot variance from the 20 foot front yard setback for an accessory structure

The existing garage to be demolished is currently situated within the 20 foot front yard setback and is 13.6 feet from the streetside (West) property line. The proposed garage is 17.3 feet from the streetside property line, reducing the amount by which the garage would encroach into this setback by a reduction of 3.7 feet (*17.3 feet proposed – 13.6 feet existing = 3.7 feet reduction*).

The portion of Cottage Park Road within the Ommen’s property (~149 square feet) in the southwest corner is creating a setback shape misaligned with the single family home. 9.7 square feet of new garage would encroach into the front yard setback.

3. VARIANCE #3 – a one-story variance from the one-story maximum for an attached accessory structure

The proposed garage is two stories in height. It has been designed so much of the upper level is contained within dormers within a gable roof to reduce the appearance of a two-story structure. This gable roof relates to the existing Cass Gilbert-designed primary residence. Features of the Cass Gilbert house will be carried to the proposed garage including roof overhangs, bracketing, exterior material selection, window composition and trim details.

The upper level of the garage will be occasional guest quarters for the family of the Ommens as well as daily home office space for the primary residents. The space includes a kitchenette, living room/open office, 1 bedroom with closet, and a full bathroom.



4. VARIANCE #4 – a 321 square foot variance from the 1,000 gross square foot maximum size for an attached accessory structure

See Sheet Z03 & Sheet Z04 and Page 5 of this document: The proposed attached accessory structure is 1,321 square feet. This is 321 square feet greater than the 1,000 square foot maximum. The proposed attached garage is comprised of 539 square feet of car storage, 147 square feet of bathroom/entry vestibule/closet/stairway, 76 square feet of covered porch, and 559 square feet of upper-level accessory dwelling unit space. The proposal is combining car storage and an accessory apartment in one structure in an efficient and effective floor plan. There are no additional accessory structures or water-oriented structures on the property.

In considering the floor plan and square footage of the accessory dwelling unit, the habitable space of the primary residence was evaluated. The primary residence has 2,022 square feet of habitable area and the correlating maximum habitable area of the home accessory apartment is 809 square feet. The proposed accessory apartment contains 393 of habitable area, well below the maximum.

5. VARIANCE #5 – a 71 square foot variance from the 1,250 square foot maximum for all accessory structures combined

See Sheet Z03 & Sheet Z04 and Page 5 of this document: Similarly to Variance #4 request, the proposed accessory structure equals 1,321 square feet, 71 square feet over the maximum of 1,250 square foot for all accessory structures. There are no additional accessory structures or water-oriented structures on the property.



CONDITIONAL USE PERMIT –

A conditional use permit is being requested for the proposed accessory dwelling unit in the upper level of the garage, which is planned to be used as guest quarters for the family of the Ommens as well as a home office for the Ommens. The space includes a kitchenette, living room/open office, 1 bedroom with closet, and a full bathroom. The upper level is 559 square feet, of which 393 square feet is considered “habitable space” (bedroom, kitchenette, lounge). The architectural details of the accessory apartment will be in alignment with the existing Cass Gilbert-designed residence by replicating details, exterior materials, and the gable roof composition.

There is no reason to believe the proposed structure will impair on the supply of light and air to the adjacent properties, nor increase congestion in the public street, nor increase danger of fire/public safety, nor diminish property values within the neighborhood. The proposed construction does not appear to conflict with the City of White Bear Lake 2040 Comprehensive Plan.

The general nature of these variance requests are in part due to the property being part of a recent (2018) lot split, in which this property (4320 Cottage Park Road) and the property directly to the south (4312 Cottage Park Road) were formed. 4312 Cottage Park Road received the approval of 3 lakeside setback variances, 1 street side setback variance for an attached garage as well as a Conditional Use Permit for a second curb cut.

Thank you greatly for the generous cooperation of White Bear Lake in preparing this variance / conditional use permit application. We thank you for your consideration.

Jacob & Chandler Ommen and Rehkamp Larson Architects, Inc.



Impervious Coverage Calculations

No variance required, provided for reference

SEE SHEET Z01 & Z02

Lot Size Per Survey (Property Line Area):	12,375 SF
Minus Cottage Park Rd. within Property Lines (SW corner of lot)	-149 SF
Lot Size for Determining Imperv. Coverage:	12,226 SF

- Max impervious coverage at 30% = 12, 226 SF x .30 = **3,668 SF**

SHEET Z01 – EXISTING		SHEET Z02 – PROPOSED		DIFFERENCE
Existing House:	1,510 SF	Existing House:	1,510 SF	0 SF
Garage:	451 SF	Garage:	686 SF	+235 SF
Driveway:	968 SF	Driveway:	979 SF	+11 SF
Walkway to 2 nd entry:	60 SF	Walkway to 2 nd entry:	0 SF	-60 SF
Front Porch:	220 SF	Front Porch:	125 SF	-95 SF
Lower Entry @ back:	65 SF	Lower entry @ back:	65 SF	0 SF
Walkway:	322 SF	Walkway:	0 SF	-322 SF
<u>Retaining Wall:</u>	<u>74 SF</u>	Retaining Wall:	0 SF	-74 SF
		Front Entry:	94 SF	+94 SF
		Link Addition:	132 SF	+132 SF
		<u>Porch:</u>	<u>76 SF</u>	<u>+76 SF</u>
TOTAL:	3,670 SF			
		TOTAL:	3,667 SF	-3 SF NET
3,670 SF / 12, 226 SF = 30.0% existing as measured in AutoCAD		3,667 SF/ 12,226 SF = 30.0% proposed		



Habitable Area Calculations**SEE SHEET Z03**

- *Habitable area of Single Family Home = 2,022 SF*
- *Max. habitable area of Home Accessory Apartment = 2,022 SF x .40 = 809 SF*

SHEET Z03 – HABITABLE AREA SFH		SHEET Z03 – HABITABLE AREA HOME ACC.	
Lower Level	197 SF		
Main Level	1,224 SF		
<u>Upper Level</u>	<u>601 SF</u>	<u>Upper Level</u>	<u>393 SF</u>
[174 SF + 131 SF + 155 SF 141 SF = 601 SF]			
TOTAL:	2,022 SF	TOTAL:	393 SF

Accessory Structure Area Calculations**SEE SHEET Z04**

- *Maximum SF of attached accessory structure = 1,000 SF*
- *Maximum SF of ALL accessory structures = 1,250 SF*

SHEET Z04 – GROSS SF OF ACC. STRUCTURE

Main Level Car Storage	539 SF
Main Level Bath/Entry/Cl./Stairs	147 SF
Main Level Covered Porch	76 SF
<u>Upper Level</u>	<u>559 SF</u>
TOTAL:	1, 321 SF
Variance #4 Calculation: 1,321 SF – 1,000 SF = 321 SF over maximum	
Variance #5 Calculation: 1,321 SF – 1,250 SF = 71 SF over maximum	





OMMEN RESIDENCE

4320 Cottage Park Road
 White Bear Lake, MN 55110

Built in 1884
 Architect: Cass Gilbert
 Original Owner: Reuben Galusha

03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION

PROJECT PHASE:
 ZONING REVIEW

PROJECT NUMBER:
 20-038

ISSUE DATE:
 March 29, 2021

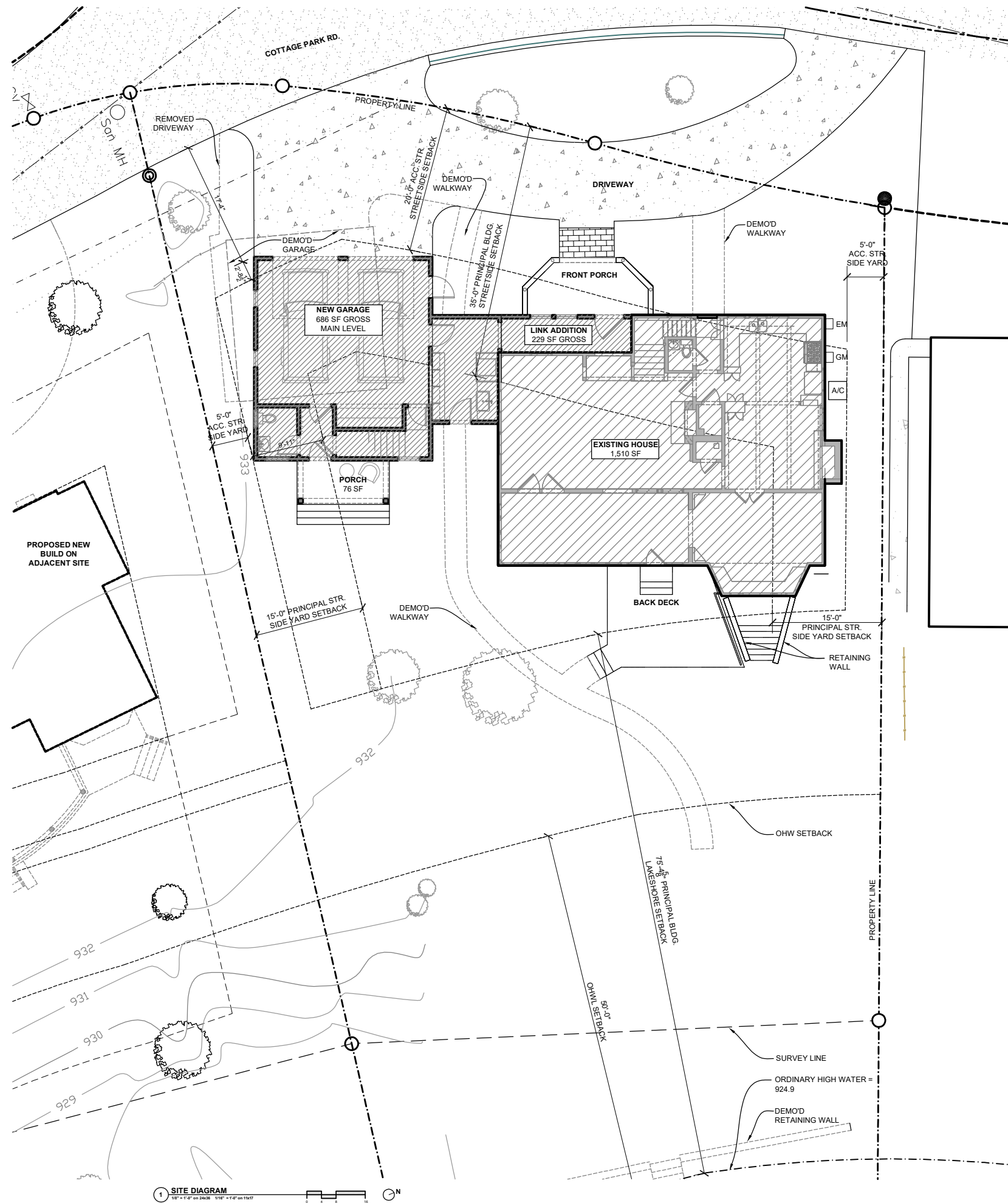
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Ommen Residence
 4320 Cottage Park Road
 White Bear Lake, MN 55110

REHKAMP LARSON ARCHITECTS INC.
 2732 West 43rd Street, Mpls, MN 55410
 Tel. 612-285-7275

A00
 COVER



1 SITE DIAGRAM
 1/8" = 1'-0" ON 2438 1/16" = 1'-0" ON 1507

PRELIMINARY ZONING INFORMATION

PER CITY OF WHITE BEAR LAKE ZONING REGULATIONS & PHONE CALLS WITH SAM CROSBY

GENERAL INFORMATION

ZONING DISTRICT - R2 - SINGLE FAMILY RESIDENTIAL
 WITHIN SHORELAND "S" OVERLAY DISTRICT = YES
 WATERSHED DISTRICT = RICE CREEK WATERSHED DISTR.

'MINIMUM YARDS' SETBACKS PRINCIPAL STRUCTURE
 SECTION 1303.040 SUBD. 5(c)

LAKESHORE: AVG. OF STRUC. W/IN 100':
 (73.1' + 77.6') / 2 = 75.35'
 STREETSIDE: 35'
 SIDE YARD: 15'
 OHWL: 50'

PORCH/PATIO/BALCONY SETBACKS
 SECTION 1303.040 SUBD. 4(a)

UNENCLOSED TERRACES, COVERED/UNCOVERED PORCHES, STOOPS, LANDINGS IN FRONT OR REAR YARDS OR SIMILAR MAY EXTEND INTO THE SETBACK NOT MORE THAN 8'

BALCONIES 10' ABOVE GRADE IN REAR YARDS MAY EXTEND MAXIMUM 5' INTO SETBACK AS LONG AS THEY ARE MINIMUM 5' FROM ANY LOT LINE

EXCLUSIONS TO MINIMUM YARD SETBACKS
 SECTION 1302.040 SUBD. 4

- EAVES MAY PROTRUDE UP TO 2' INTO SETBACK
- A 1-STORY ENCLOSED ENTRANCE UP TO 64 SF MAY EXTEND INTO THE FRONT YARD SETBACK 5'
- STEPS LEADING TO A FIRST FLOOR ENTRANCE

ACCESSORY STRUCTURES
 SECTION 1302.030 SUBD. 4

RESTRICTED TO (2) ACC. STRUCTURES, THE FIRST BEING AN ATTACHED OR DETACHED GARAGE AND ARE PERMITTED IN THE REAR/SIDE YARD ONLY

ATTACHED GARAGES CANNOT EXCEED 1,000 SF. THE HEIGHT OF AN ATTACHED GARAGE SHALL NOT EXCEED 1 STORY OR THE HEIGHT OF THE PRINCIPAL STRUCTURE.

SETBACKS FOR GARAGES:

ATTACHED GARAGE
 FRONT & REAR: SAME AS PRINCIPAL
 SIDE YARD: 5'
 FROM HOUSE: LESS THAN 6'

NOTE: THE COMBINED SF OF ALL ACCESSORY STRUCTURES SHALL NOT EXCEED 1,250 SF OR 100% OF THE FIRST FLOOR AREA OF THE PRINCIPAL STRUCTURE.

MAXIMUM IMPERVIOUS SURFACE AREA
 SECTION 1303.230 SUBD. 5(a)

IMPERVIOUS SURFACE MAXIMUM: 30%

ACCESSORY DWELLING UNIT
 SECTION 1302.125

ACCESSORY DWELLING UNITS (ADU) REQUIRE A CONDITIONAL USE PERMIT (CUP) (~2-3 MONTH PROCESS)

ADUs TO BE LOCATED IN EXISTING SINGLE FAMILY STRUCTURES (PRINCIPAL OR ACCESSORY).

ADUs SHALL NOT EXCEED 800 SF OR 40% OF HABITABLE AREA WITHIN THE SINGLE FAMILY HOME, WHICHEVER IS LESS

03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION

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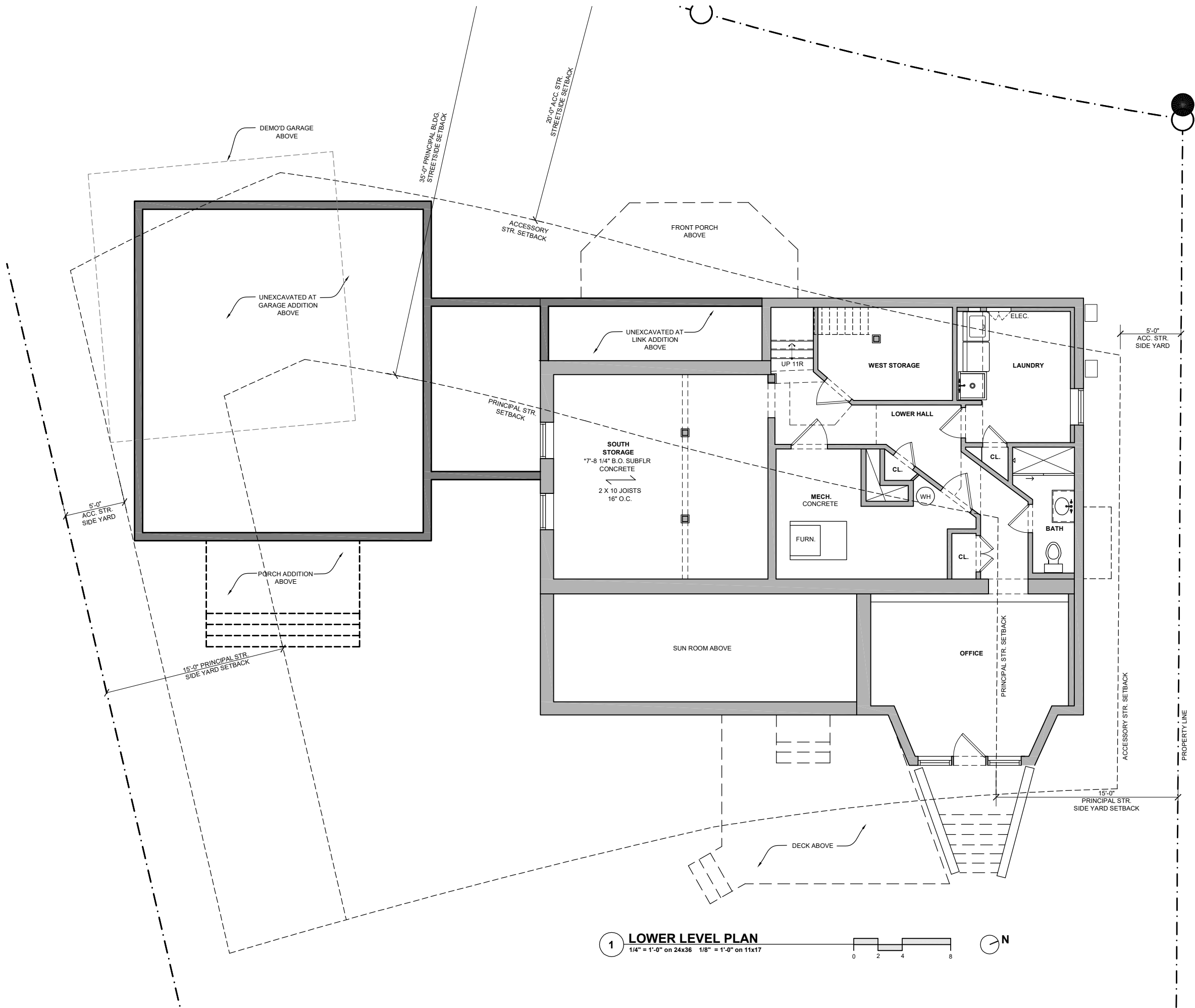
Ommen Residence
 4320 Cottage Park Road
 White Bear Lake, MN 55110

PROJECT PHASE:
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 20-038
 ISSUE DATE:
 March 29, 2021

DRAWN BY:
 MDL, KAF

A02

SITE DIAGRAM



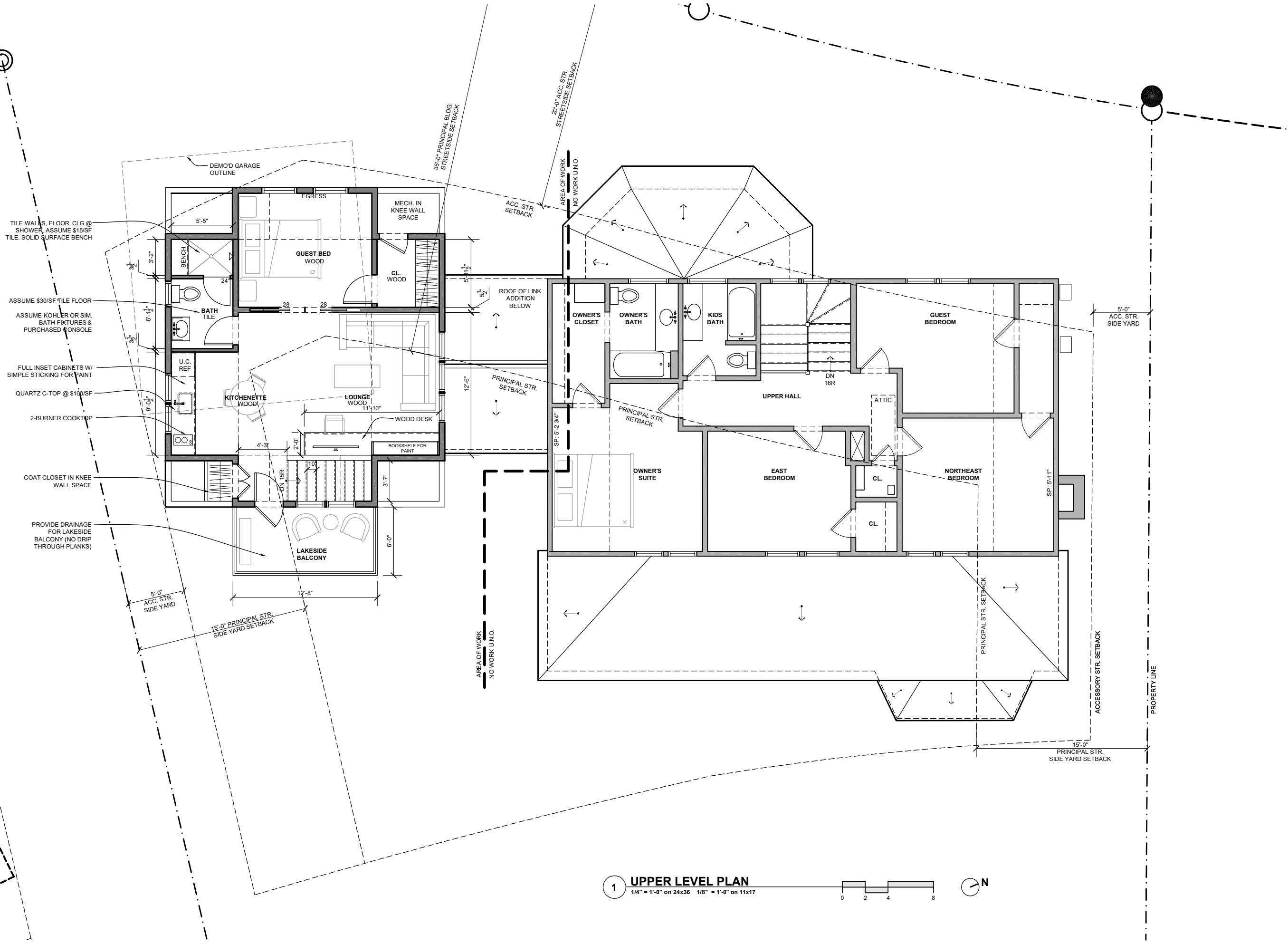
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A10
 LOWER LEVEL PLAN



TILE WALLS, FLOOR, CLG @ SHOWER, ASSUME \$15/SF
TILE, SOLID SURFACE BENCH

ASSUME \$30/SF TILE FLOOR
ASSUME KOHLER OR SIM.
BATH FIXTURES &
PURCHASED CONSOLE

FULL INSET CABINETS W/
SIMPLE STICKING FOR PAINT

QUARTZ C-TOP @ \$100/SF

2-BURNER COOKTOP

COAT CLOSET IN KNEE
WALL SPACE

PROVIDE DRAINAGE
FOR LAKESIDE
BALCONY (NO DRIP
THROUGH PLANKS)

1 UPPER LEVEL PLAN
1/4" = 1'-0" on 24x36 1/8" = 1'-0" on 11x17

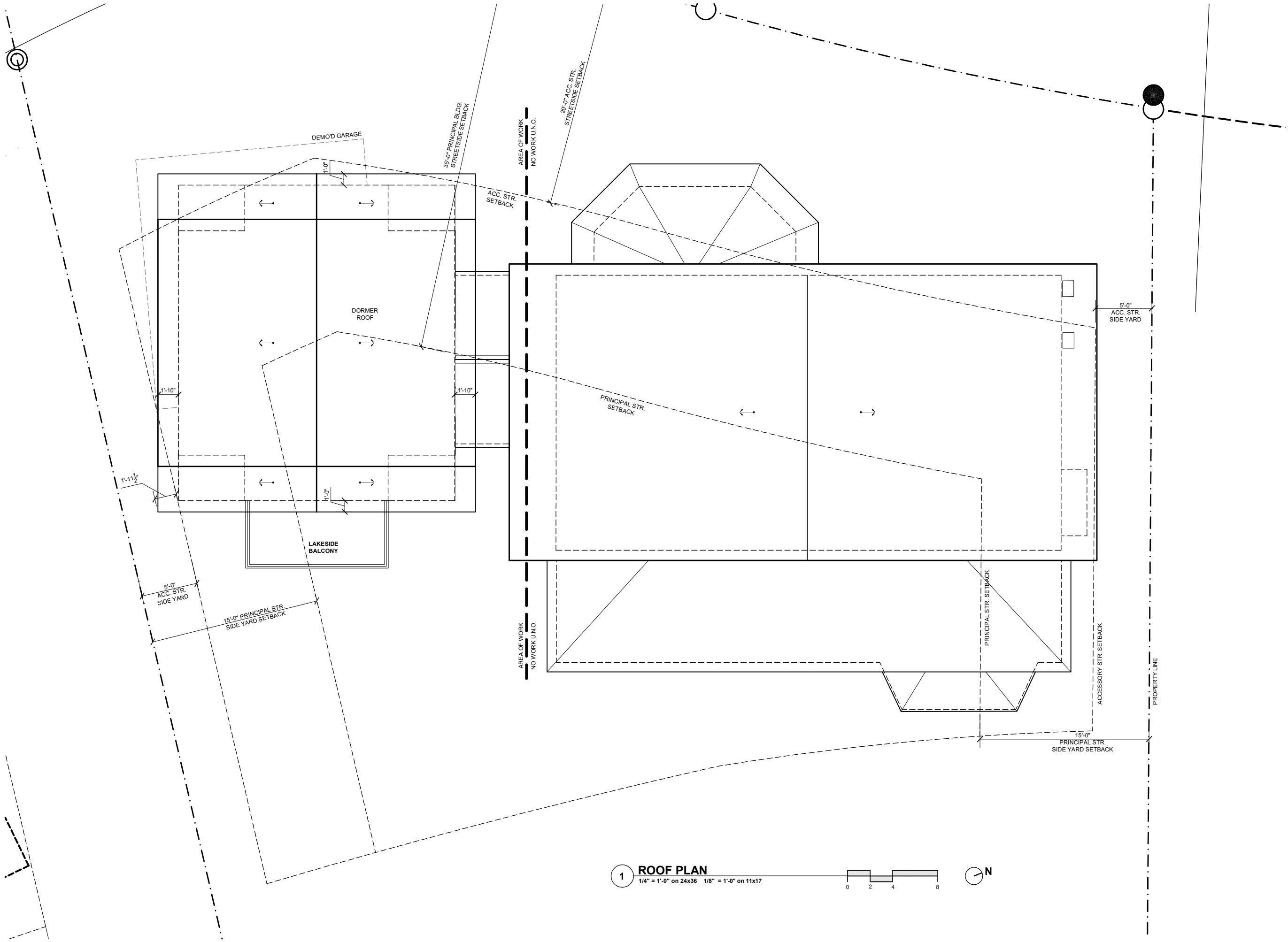
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A12
UPPER LEVEL PLAN



1 ROOF PLAN
 1/4" = 1'-0" on 24x36 1/8" = 1'-0" on 11x17



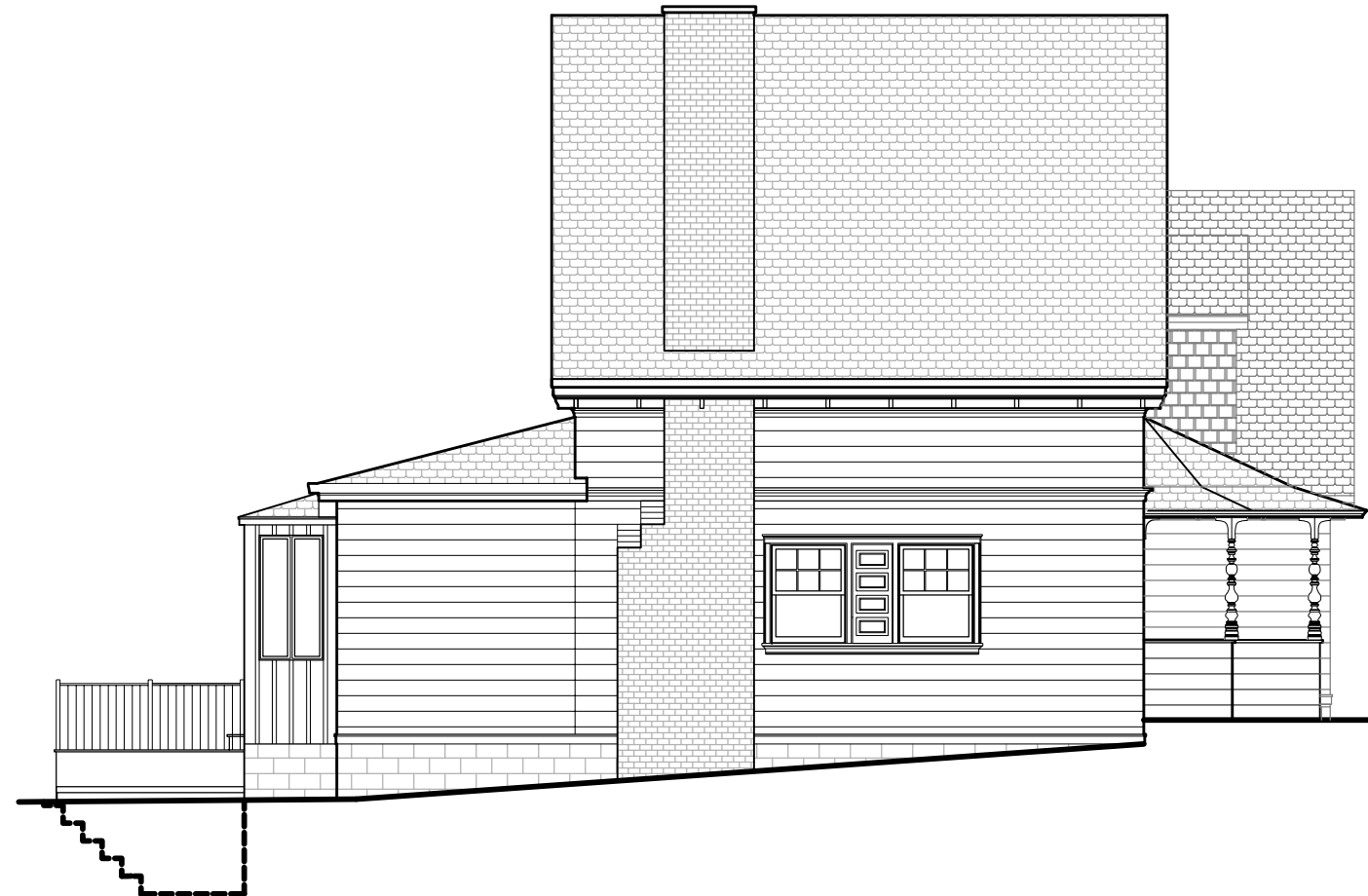
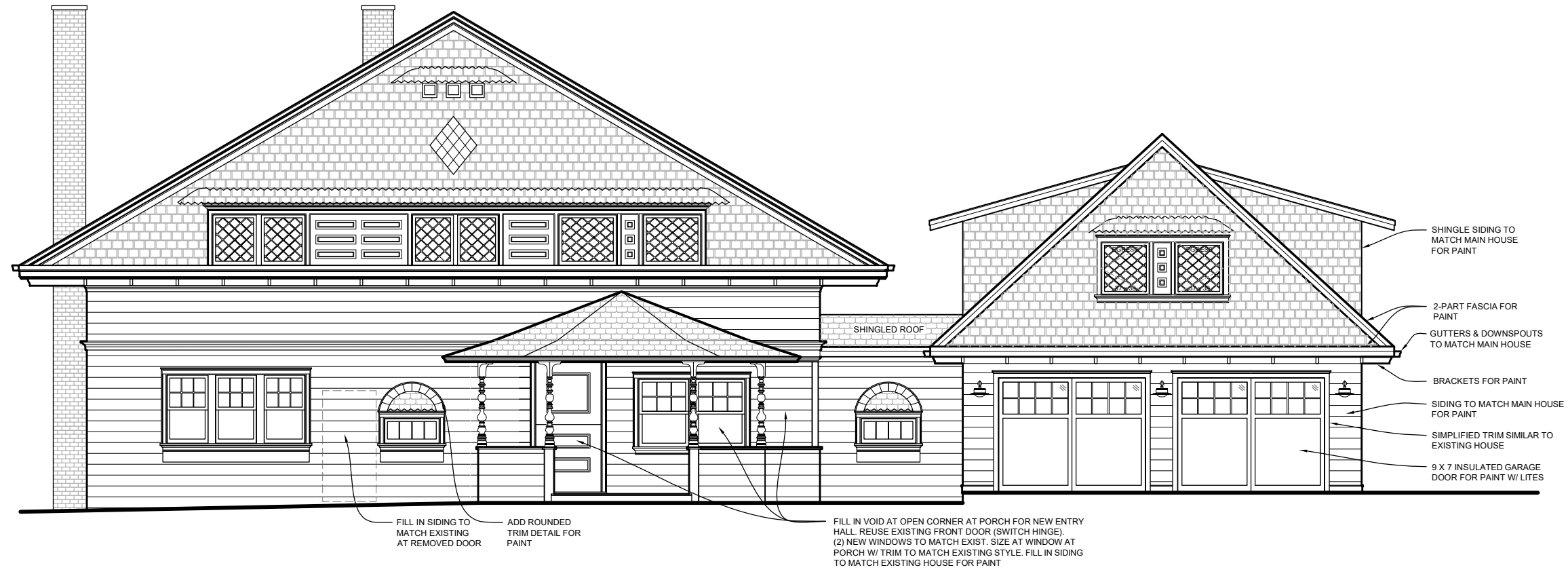
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A13
 ROOF PLAN



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A20

EXTERIOR ELEVATIONS

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 MDL, KAF

A21

EXTERIOR ELEVATIONS



2 SOUTH ELEVATION
 1/4" = 1'-0" on 24x36 1/8" = 1'-0" on 11x17





1 IMPERVIOUS COVERAGE CALCULATIONS - EXISTING

1/8" = 1'-0" on 24x36 1/16" = 1'-0" on 11x17



03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION



Ommen Residence
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Z01
 IMPERVIOUS CALCULATIONS

REHKAMP LARSON ARCHITECTS INC.
 2732 West 43rd Street, Mpls, MN 55410
 Tel. 612-285-7275



1 IMPERVIOUS COVERAGE CALCULATIONS - PROPOSED

1/8" = 1'-0" on 24x36 1/16" = 1'-0" on 11x17



03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION



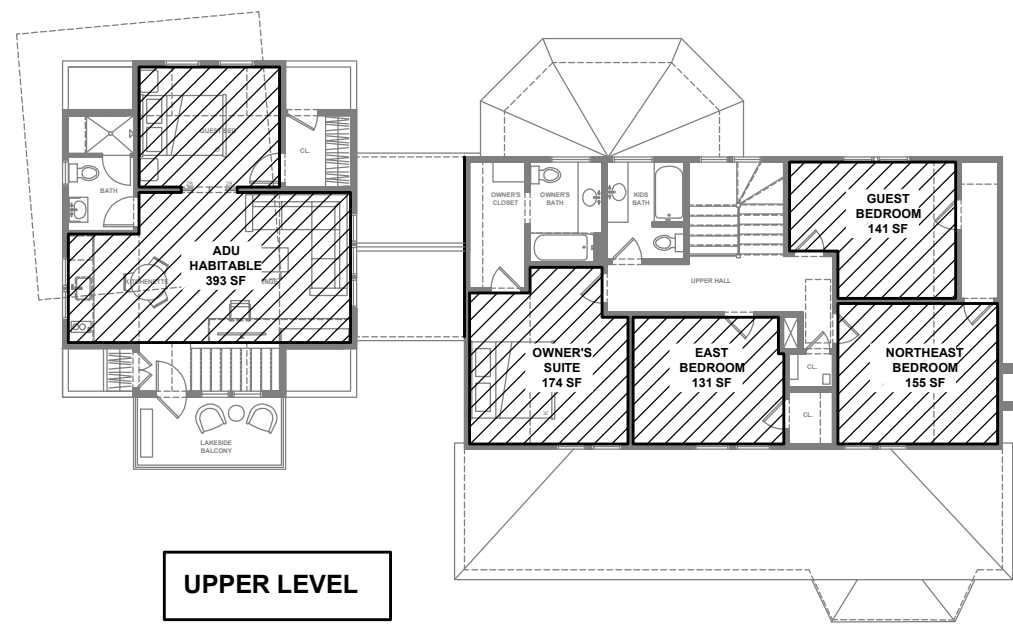
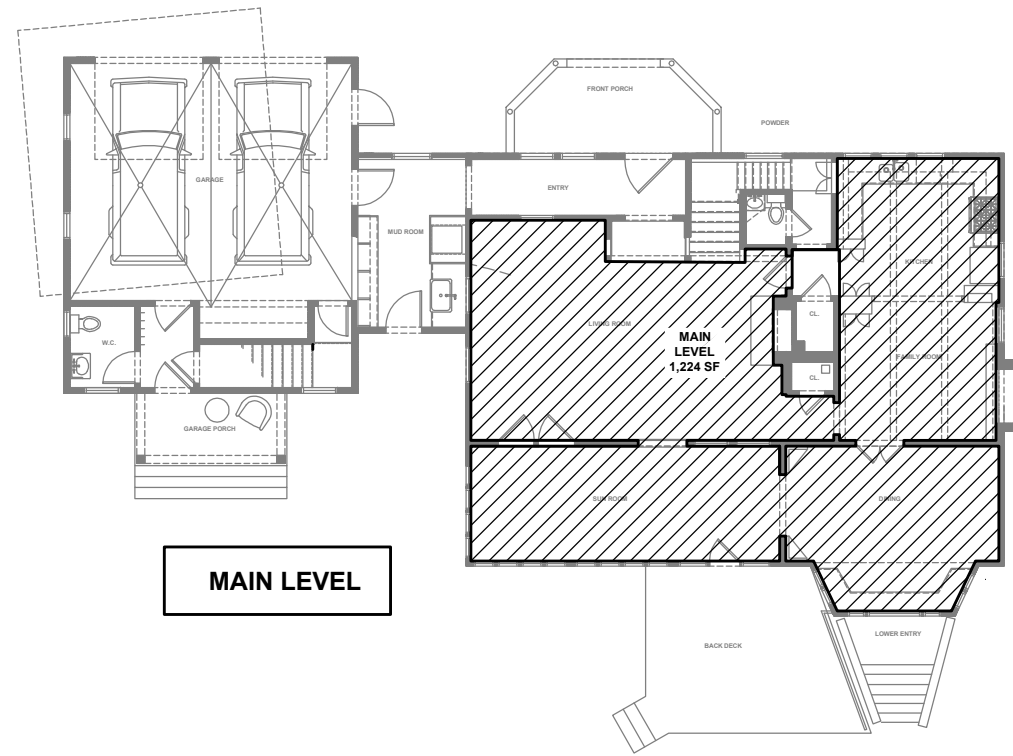
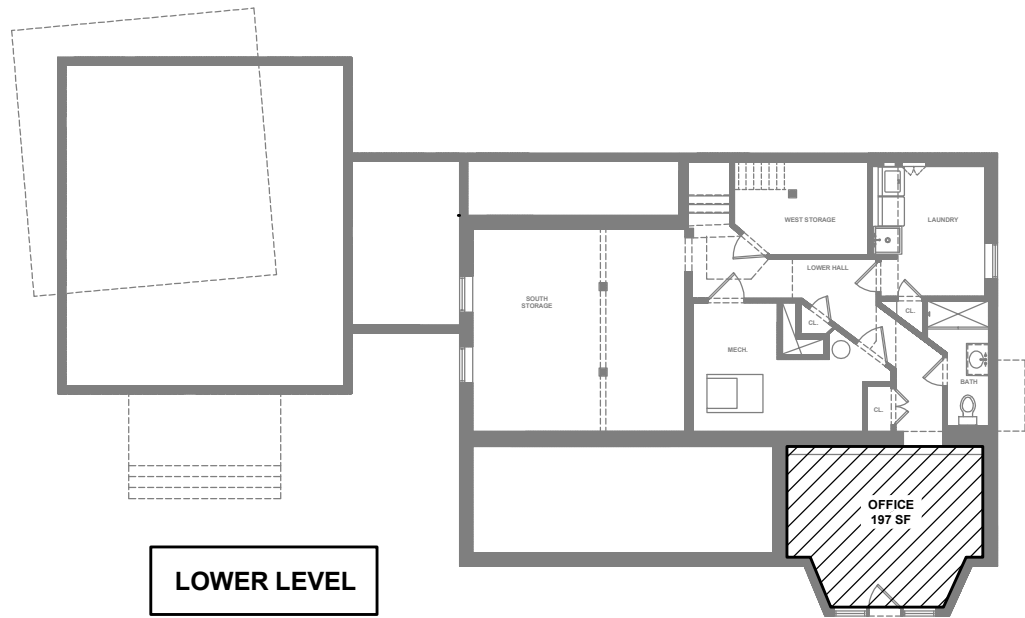
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DRAWN BY:
 MDL, KAF

Z02
 IMPERVIOUS CALCULATIONS

REHKAMP LARSON ARCHITECTS INC.
 2732 West 43rd Street, Mpls, MN 55410
 Tel. 612-285-7275



1 HABITABLE AREA CALCULATIONS
 1/8" = 1'-0" on 24x36 1/16" = 1'-0" on 11x17

03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION

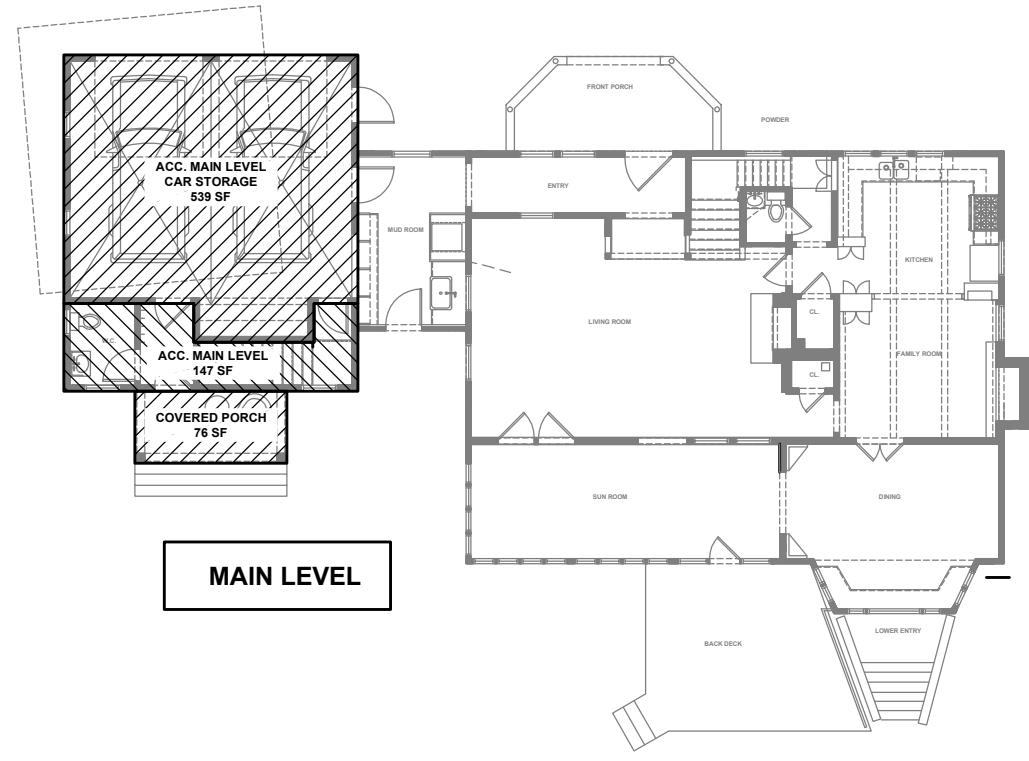
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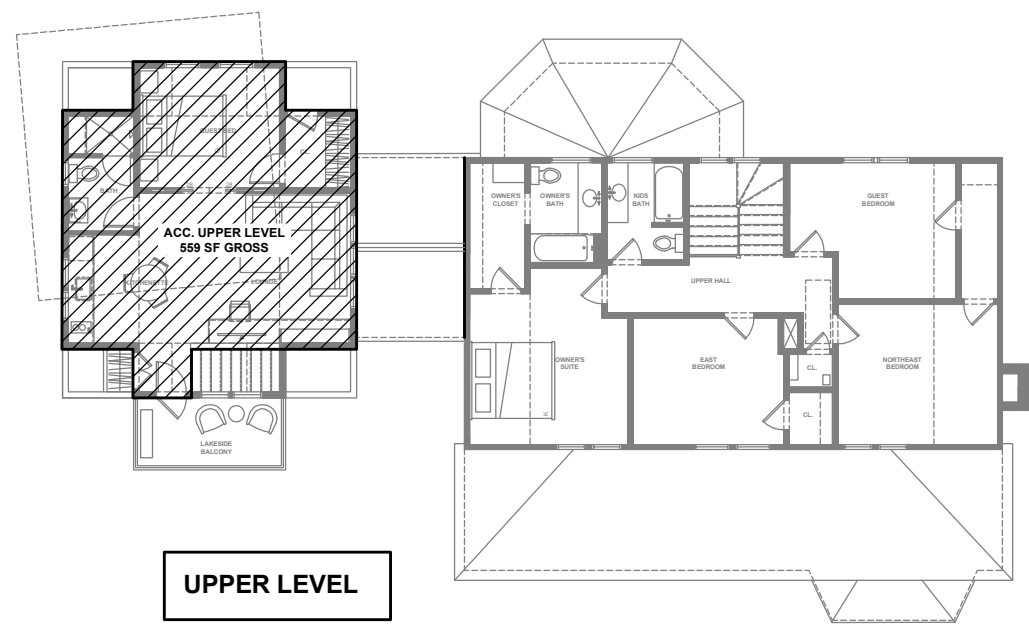
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 MDL, KAF

Z03
 HABITABLE AREA CALCULATIONS



MAIN LEVEL



UPPER LEVEL

1 GROSS SQUARE FOOTAGE CALCULATIONS
 1/8" = 1'-0" on 24x36 1/16" = 1'-0" on 11x17



03/29/2021 - WHITE BEAR LAKE VARIANCE & C.U.P. APPLICATION - NOT FOR CONSTRUCTION

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DRAWN BY:	MDL, KAF

Z04
 GROSS SF CALCULATIONS

Trudi A. Taylor, Ed. D.

tataylor46@yahoo.com 651-426-1193 home 651-707-4585 cell
4292 Old White Bear Avenue North
White Bear Lake, Minnesota
55110-3874

TO: White Bear Lake Planning Commission Members
White Bear Lake City Council Members
FROM: Trudi and Franklyn Taylor
DATE: March 22, 2021
RE: Support for Proposed Variances for Jacob and Chandler Ommen Home
Case Number 21-4-CUP

White Bear Lake Planning Commission and City Council Members:

First a continuing THANK YOU for nurturing our beautiful city during this extremely challenging last year! As long-term (and very proud!) White Bear Lake citizens, we are deeply grateful for your dedication, tenacity, and creative solution-oriented leadership.

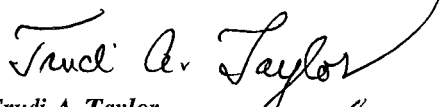
Second, thank you for the notification regarding Jacob and Chandler Ommen's proposed variances for their Cottage Park home. As kitty-corner/across-the-street-neighbors from the property, and as 35-year residents of Cottage Park, **FRANK AND I SUPPORT EACH OF THE OMMEN'S VARIANCE REQUESTS.**

The addition of the mudroom and the above-garage space should make the Ommen's historic home much more practical and family-friendly, while not changing the elegant style or appearance of the property substantially from the outside. Each of the variances is reasonable and necessary to accomplish their well-designed requested improvements.

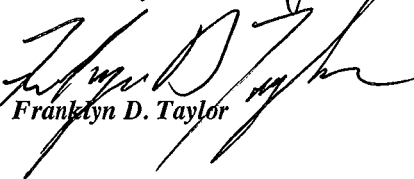
Jacob and Chandler Ommen and family are valued and respected Cottage Park neighbors. We believe the upgrading of their residence will continue to add to our neighborhood's value and can see no way that the requests would constitute a problem for those of us living around them. Please feel free to contact us if you wish additional input.

Thank you for your important work on behalf of our unique community and especially for your balanced efforts to maintain the essence of charming neighborhoods like Cottage Park while recognizing the complex realities of modern living.

Respectfully,



Trudi A. Taylor



Franklyn D. Taylor

From: Gunflint Trail <amrplumb@gmail.com>
Sent: Wednesday, March 24, 2021 12:34 PM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: Fwd: 21-4 CUP 4320 Cottage Park Road Variance questions

Hi Ashton;

My name is Michael Plumb, I live at 4350 Cottage Park Road. My wife and I have lived there and raised our family since 1996. I got the notice for the Variance at 4320 cottage park road meeting next week. Please see attached questions I have. I will plan to call you on Wednesday.

I don't have complete access to records of number of variances that have passed in original lot split and related CUP/variances for 4312 Lot B and are being requested in this action but number is well over 10.

Also I've only crudely estimated % impervious area before and after proposal, would like to understand this more clearly. Impervious surface results in more salt from cars, organic material/leaves, fertilizer etc being washed into lake both directly from lake side yard into the lake and into the street which goes directly in the lake at the southeast part of cottage park. Interesting in meeting minutes attached for lot split in 2018 that it states neighborhood supported lot split as old arborvitae would be removed and view of lake would be improved. As it turns out both houses planned for these split lots have and are seeking variances and more view of lake will be blocked than allowed by code.

Also key that all these property transactions have occurred in the last few years. New owners had ability to be aware of lots they were purchasing and limitations. Why should the neighborhood and the lake quality suffer. Even interesting that

City reviewers asked in 2018 how new property owners of these properties would be aware of limitations from lot split concessions so they would not expect to receive future variances and staff assured this would not be a problem.

Best Regards;
Mike Plumb
Cell 612-364-9693

Question 1 relative to request for variance 4320 Cottage Park Road Case 21-4 CUP.

1) Variances on top of variances....

- History is clear that in August 2018 WBL PC allowed variances to split 1 lot into two: Lots A and B. 5 variances were proposed to accomplish this. The lot split was granted allowing lot sizes minimums below code.
- In April 2020, 4 variances were approved to allow building a home on Lot B in part because the lot was too small to support the size of building desired.
- Now in March 2021 new owners of Lot A are proposing 5 variances to expand a home on Lot A in part because the lot is too small to support the size of building desired.

>In summary 14 variances have been involved in this property (now split) in just over 2 ½ years. How many variances are too many? When too many variances are applied doesn't this dilute the value of code/regulations?

B. **Case No. 18-2-LS & 18-12-V:** A request by **Robert, Susan and Dave Bonne** for a lot split and five variances, including a 2,625 square foot variance from the 15,000 square foot

Page 1 of 6

*PC Minutes 8/27//18
City of White Bear Lake*

lot size minimum for parcel A and an 85 square foot variance from the 15,000 square foot lot size minimum for parcel B, both per Code Section 1303.040 Subd.5.a; A 13 foot variance from the 80 foot minimum lot width at the OHWL for parcel A and a 12 foot variance from the 80 foot minimum lot width at the OHWL for parcel B, both per Code Section 1303.230, Subd.5a.2; and A 2.92 foot variance from the 100 foot minimum lot width at the street setback for parcel A, per Code Section 1303.040, Subd.5.b, in order to subdivide a property located at 4320 Cottage Park Road into two lots.

Crosby discussed the case. Staff recommended approval subject to conditions laid out in the staff report.

Member Divine asked about the DNR's role in the granting of variances. Crosby responded that she has had discussions with both the DNR Area Hydrologist and the Watershed District; neither organization had objections.

Member Lynch asked about new buyers and what their knowledge of the building setbacks would be, if the existing home on parcel A would remain, and what would become of the boathouse that appears to straddle the property line. Crosby responded that

In addition, the variances must be recorded and disclosed at the point of sale, so future homeowners should be aware. The existing house will remain for the time being and the boathouse will be moved to meet accessory structure

Planning Commission Staff:

Community Development Department: 651-429-8561

Anne Kane, Community Development

Sam Crosby, Planning and Zoning Coordinator

Tracy Shimek, Housing and Economic Dev. Coord

Ashton Miller, Planning Technician

H. **Case No. 20-4-CUP & 20-8-V:** A request by **Celine Carlson** for a conditional use permit for a second curb cut, per 1302.050, Subd.4.h.9 and the following four variances: A 14 foot variance from the 20 foot setback for an attached garage, per Code Section 1302.030; A 3 foot variance from the 77.7 foot average lakeside setback for the home, per 1302.040, Subd.4.c; A 6.5 foot variance from the 69.7 foot lakeside setback for the unenclosed porch, per 1302.040, Subd.4.a.3; A 6.5 foot variance from the 72.7 foot lakeside setback for the second floor balcony, per 1302.040, Subd.4.a.5, all in order to construct a new single-family residence at the property located at 4312 Cottage Park Road.

Crosby discussed the case. Staff recommended approval of the conditional use permit request and three variances and denial of the garage setback variance.

Member Reis observed that, if approved, this property will have seven variances associated with it, after two variances were approved last year as a part of the lot split request. We have statutes to maintain a quality of life in White Bear Lake and it is up to the Planning Commission to interpret those statutes.

He commented that he is comfortable with the variances requested, except the garage setback variance. As he understands it, the variance is not required for reasonable use of the land as there

are other design options available. He asked staff what those options included. Crosby replied the applicants could reduce the size of the home in order to push the garage back.

Member Reinhardt recused himself due to a connection to parties involved in the case.

Member Enz stated that she appreciates the fact that the garage doors do not face the front, which allows the garage to look more like an extension of the house.

Member Lynch described that many of the houses he observed in the neighborhood did not have garages close to road. Those that did were older houses. He wondered if anything prohibited living space above the garage. Crosby replied that the house has different setbacks than the garage, so in order to put living space above, it would have to be pushed back even further.

Member Lynch concluded that there are a number of creative design options to adhere to the garage setback.

Member Baltzer opened the public hearing.

Celine Carlson, thanked staff and the Planning Commission for their time. She is happy to have been a member of the community for years and particularly loves the Cottage Park neighborhood.

Jean Rehkamp Larson, architect, described some of the challenges of building a home on the lot. Much of the design was based on the proximity of the neighboring homes, which are very close to the lot line. If the proposed garage faced the street, it would add to the already tight neighborhood. Turning the doors to the side allows for three or four cars to be parked off the street, while a front loading garage would only allow for two. She added that building the garage on the south side of the property allows the space to remain more open and airy on the north. She described that the gables were designed to keep with the dimensions of old houses. The gables and porch were designed to be lake-like and match the surrounding properties.

Member Baltzer closed the public hearing.

Question 2 relative to request for variance 4320 Cottage Park Road Case 21-4 CUP.

2) Per White Bear Accessory Dwelling Unit(ADU) Regulations/code information...

- “ADU’s are to be located in existing single family structures...”
- This variance is based on creating an ADU in a new structure not an existing one.

***>Does this mean the ADU Regulations can not be utilized for this activity?
If so, what other regulations/variances are needed?***

Phone: (651) 429-8501

Fax: (651) 429-8503

Monday - Friday 8:00
a.m. - 4:30 p.m.

**VIEW FULL
CONTACT
DETAILS**



White Bear Lake Accessory Dwelling Unit Regulations

ADUs are regulated in the [Zoning Code](#) under [Section 1302.125, Home Accessory Apartments](#). Accessory Dwelling Units require a Conditional Use Permit (CUP), typically a three step process:

1. Begins with the homeowner submitting a [Land Use Application](#), including plans, to the Community Development Department
2. City staff brings the application to the Planning Commission and makes a recommendation for approval as-is, approval with additional conditions or denial. In turn, the Planning Commission hears the case and makes one of the above recommendations to City Council
3. City Council hears the case and has the final authority in approving or denying the application

The process typically takes 2-3 months and requires a non-refundable [application fee](#).

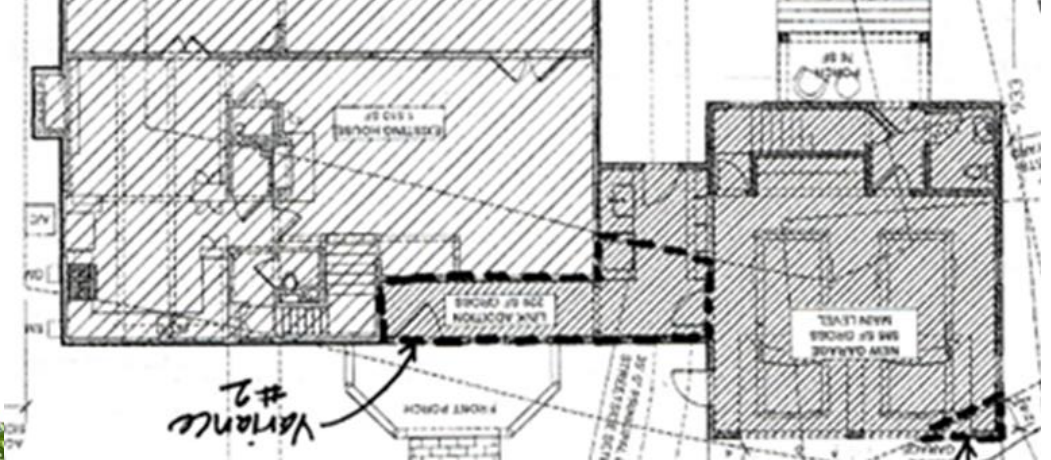
Some other relevant code provisions include (See [Section 1302.125](#) of the zoning code for the full requirements):

- ADUs shall be located in existing single family structures (principal or accessory), with the owner of the single family structure residing in the principal structure. Separate ownership of the accessory unit is not permissible
- Exterior modifications which detract from the single family character of the neighborhood will not be permitted
- ADUs shall not exceed 880 square feet or 40% of the habitable area within the single family home, whichever is less
- Where conditions or circumstances of a specific property make implementation of the zoning code standards impractical, City Council *may* alter the conditions of the section for the specific property in question
- If you are renting an ADU to a non-relative you are required to have a [rental license](#)

Question 3 relative to request for variance 4320 Cottage Park Road Case 21-4 CUP.

- The new ADU Bedroom+ Bathroom is being created in addition to existing 4 Bedroom & 4 Bath home. The expanse of the added width does not fit the character of the neighborhood. The continuous wall will be 40% wider than the existing house element.

>Who determines if the variance fits the character of the neighborhood?



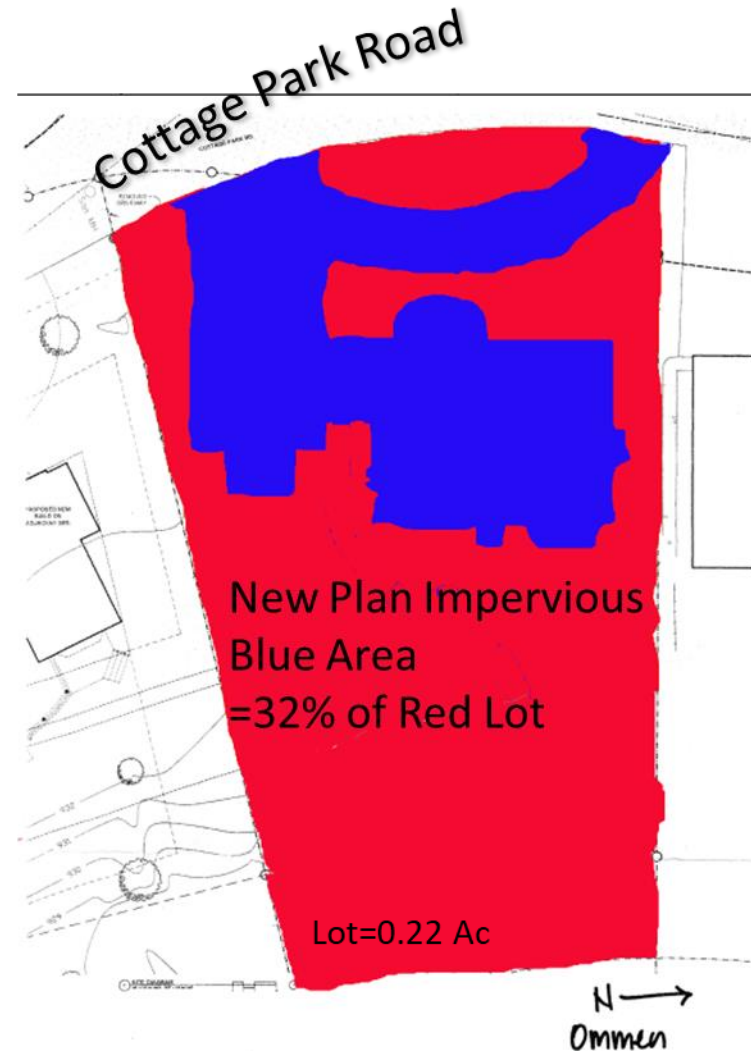
1/1
Designed by Cass Gilbert in 1884, this 'Shingle Style' cottage is one of just a handful of examples of his residential work still in existence.

Sold Price: \$990,000 Sold Date: 9/4/2019	4320 Cottage Park Road White Bear Lake, MN 55110 - White Bear ■ Sold MLS# 5257234 4 beds 4 baths 3,178 sq ft Single Family
--	---

Question 4 relative to request for variance 4320 Cottage Park Road Case 21-4 CUP.

- My rough estimates show existing+new building area has more impervious surface.

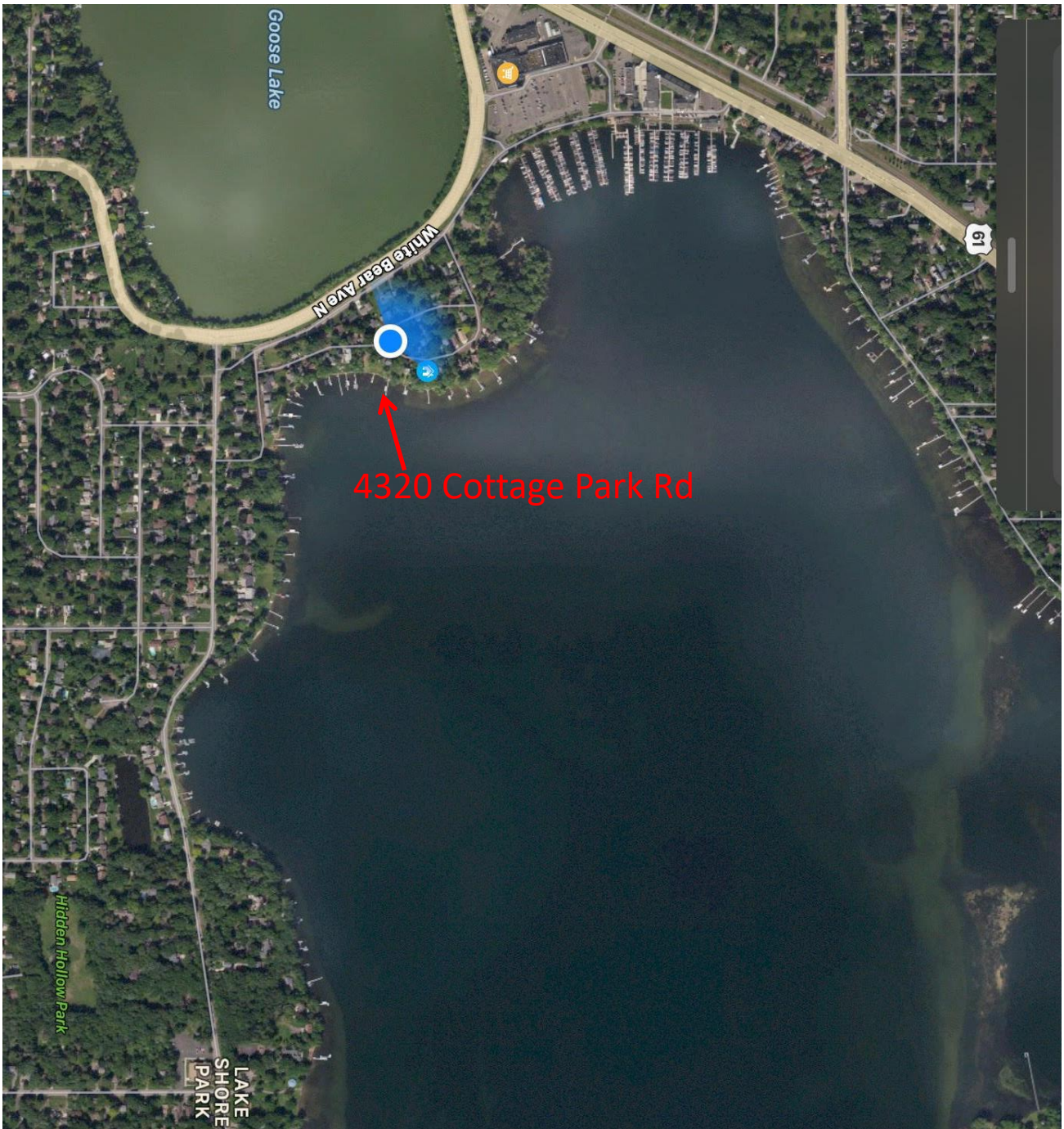
Who has the #'s and who verifies Impervious Area calculations? What is White Bear impervious spec for shore land? DNR states it is 25% max of lot area, DNR includes decks in impervious areas.

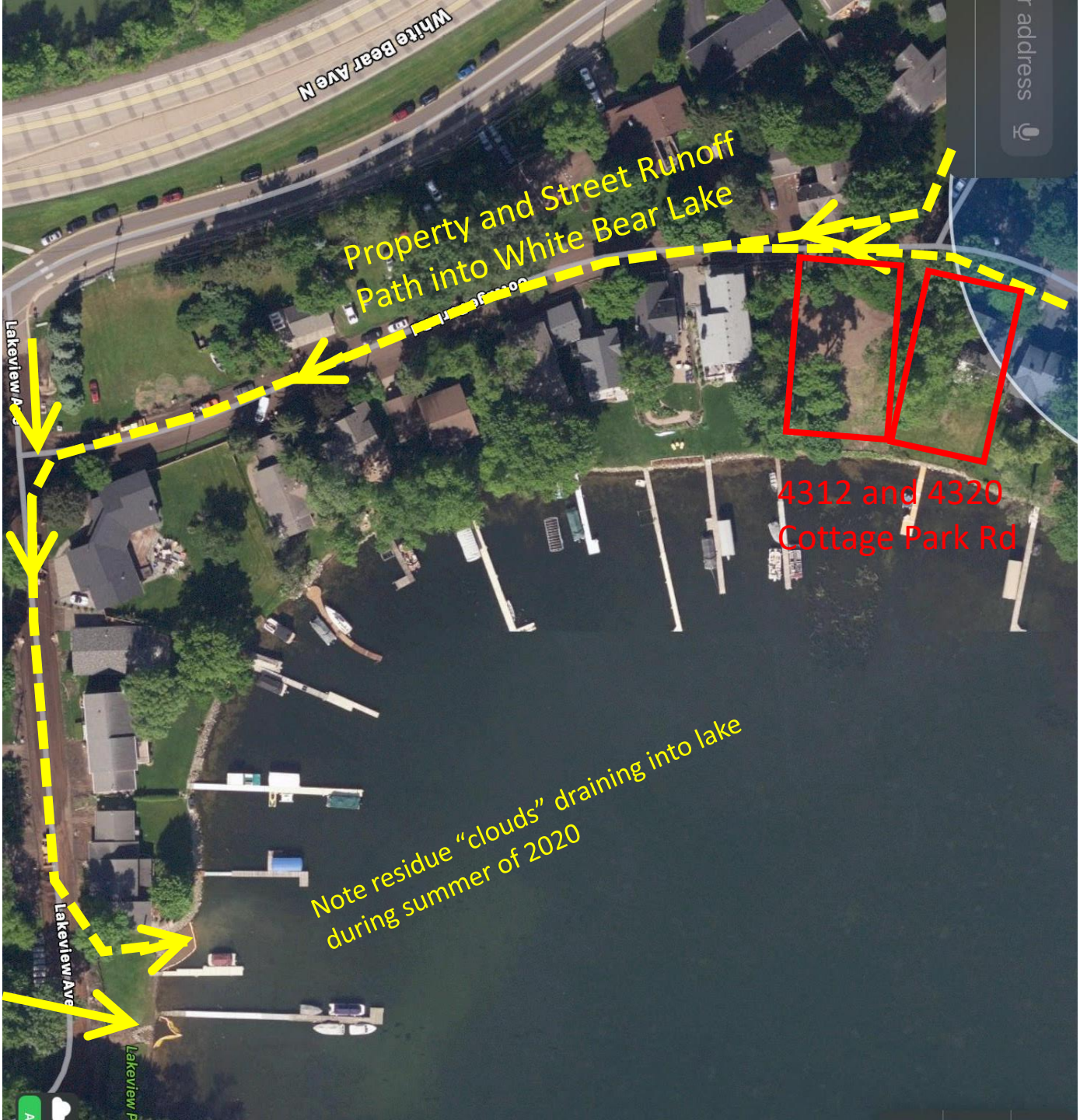


Summary/Observations

- Having lived in Cottage Park for 25 Years I have seen multiple variances approved and other actions which result in more runoff from more surface being covered in Cottage Park. Allowing variances to create lot splits that make substandard lots and then applying multiple variances to the split lots should not occur.
- Cottage Park is unique in that water running off buildings and property towards the street goes directly into White Bear Lake. There are no catch basins or holding ponds. The following 2 slides show the flow and effect.
- Planning Commission Members and City Councils hold responsibility to keep our lake environment healthy by holding citizens to regulations and codes that are put in place for good reasons.

Thank You.





Property and Street Runoff
Path into White Bear Lake

4312 and 4320
Cottage Park Rd

Note residue "clouds" draining into lake
during summer of 2020

Search address

Lakeview Ave

Lakeview Ave

Lakeview P

White Bear Ave N



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: March 24, 2021 for the March 29, 2021 Planning Commission Meeting

SUBJECT Tamble, 4860 Stewart Avenue - Case No. 21-6-V

REQUEST

The applicant, Jack Tamble, is requesting two variances:

- a 4 foot variance from the 5 foot rear yard setback required for a side-loading garage along an alley; and
- a 7.7 foot variance from the 25 foot setback from a side abutting a public right-of-way.

The new two car garage is proposed to sit 1 foot from the east property line and 17.3 feet from the north property line.

SITE CHARACTERISTICS

The subject site is located on the southeast corner of 7th Street & Stewart Avenue. The site is slightly substandard in size and width, but that is not unusual for this neighborhood. The property contains a one-and-a-half story single-family residence and a one car detached garage.

ZONING

The subject property is zoned R4 – Single and Two Family Residential. All surrounding residential properties are zoned the same but the ones to the east also lie within the shoreland overlay district.

BACKGROUND

According to Ramsey County, the lot was platted in 1887 and the house was built in 1915. The current owners have been there since 2010.

APPLICANT'S PRACTICAL DIFFICULTY

The nearby location of a 24-inch black locust tree; see applicant's narrative.

ANALYSIS

The existing garage is 12x20 or 240 square feet in size and is located 1 foot from both the west and south property lines. The proposed garage would be 22x28 or 616 square feet in size but would provide the code required 5 foot setback along the south side. Impervious area will not exceed 30%

Regarding the first variance, the garage has been existing in this location for many years and the proposal will not put the garage any closer to the east lot line than it already is. Also, if the existing garage were to remain, it could be added onto with an administrative variance to extend an existing line of non-conformity. The roofline of the new garage will run in the same direction as the roofline of the proposed garage, therefore drainage will continue in much the same way. Except for the reduction in storage area for alley snow (due to the extended length), staff has no concerns.

The code requires that, on lots which have access to an alley, the garage utilize that alley unless an alternative location is approved. Again, in this case, the garage has always accessed 7th Street and the new garage will do the same.

The detached garage of the neighbor to the south sits in the northeast corner of their property only 1 foot from the property line. The existing condition of the two garages being approximately 24 inches from each other is not desirable. In relation to the second variance, staff supports a variance from the north side in order to provide the required setback along the south side. Average cars are between 14 and 16 feet in length, therefore, the proposed 17.3 foot long driveway will be sufficient to park most vehicles without hanging out into the right-of-way. Keeping vehicles out of the right-of-way is one of the reasons for the setback requirement. Another is so that the garage is not closer to the road than the house. In this case the house is only 7 feet from the north property line, so the garage will be further back.

The applicant originally planned for a garage that was 24x26, putting it 4 feet from the tree. After reviewing the project with staff, the applicant agreed to revise the garage to be 22x28. This provides an additional 2 feet of distance from the tree trunk while also shifting the extra space to the back of the garage which provides a better layout for a work bench and tool storage.

While the aforementioned adjustment does help reduce the impact to the tree, staff still has concerns about the tree's ability to survive the disturbance. According to the U of M, black locust trees are tolerant to root severance but sensitive to soil compaction. While the garage only intrudes so far into the root zone, typically contractors drive around all sizes of a project with their machinery, increasing the extent of the impact. The applicant has conferred with the chosen contractor who has indicated an ability to access the project from the west as little as possible, and the applicant has agreed to install a tree protection fence around the dripline. Staff pointed out that there are other precautions the applicant can take to mitigate the impact of construction such as root pruning, vertical mulching, root aeration, therapeutic limbing, etc... The applicant has agreed to consult with an arborist to see what measures might be advantageous.

SUMMARY

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is harmony with the intent of the zoning code) then the criteria have been met.

RECOMMENDATION

Staff recommends approval of both variances as requested, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. The variance shall become null and void if the project has not been completed within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained prior to the construction of the garage.
4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
5. Exterior colors and style of the new garage to match the existing residence.
6. Prior to the issuance of the building permit, the applicant shall consult with an arborist to determine which measures, if any, would be prudent to reduce the impact of the project to the tree, increasing the tree's chances of survival. Proof of having done so shall be provided with the building permit application materials.

Attachments:

1. Draft Resolution of Approval
2. Zoning/Location Map
3. Applicant's Request Narrative
4. Site Plan
5. Elevations, Photo & Floor Plan
6. Impervious Area & Rear Yard Cover Calculations

RESOLUTION NO. _____

**RESOLUTION GRANTING TWO VARIANCES FOR
4860 STEWART AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-6-V) has been submitted by Jack Tamble to the City Council requesting approval of two setback variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4860 Stewart Avenue

LEGAL DESCRIPTION: Lot 12, Block 35, Auerbach's Rearrangement of Part of White Bear, Ramsey County, Minnesota (PID #133022230083)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: A 4 foot variance from the 5 foot rear yard setback for a detached garage, per 1303.030, Subd.4.e; and a 7.7 foot variance from the 25 foot setback from a side abutting a public right-of-way, per Code Section 1302.030, Subd.4.d, in order to construct a new 616 square foot garage 1 foot from the east property line and 17.3 feet from the north property line; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on March 29, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood.
2. The variances are a reasonable use of the land or building.
3. The variances will be in harmony with the general purpose and intent of the City Code.
4. The variances will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

- 5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variances.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

- 1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
- 2. The variance shall become null and void if the project has not been completed within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
- 3. A building permit shall be obtained prior to the construction of the garage.
- 4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
- 5. Exterior colors and style of the new garage to match the existing residence.
- 6. Prior to the issuance of the building permit, the applicant shall consult with an arborist to determine which measures, if any, would be prudent to reduce the impact of the project to the tree, increasing the tree’s chances of survival. Proof of having done so shall be provided with the building permit application materials.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

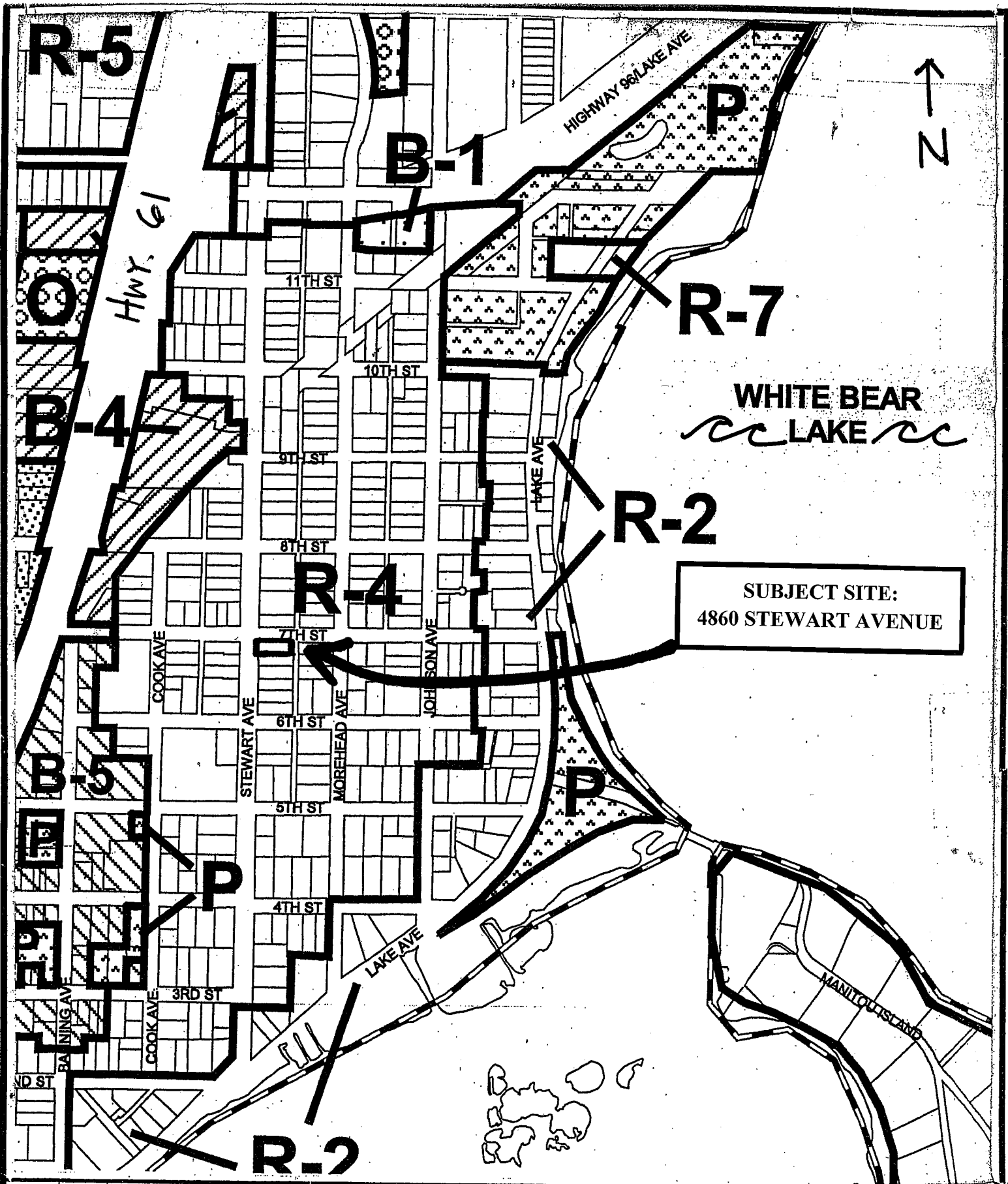
Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Jack Tamble Date



SUBJECT SITE:
4860 STEWART AVENUE

City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 21-6-V
 CASE NAME : Tamble Garage
 DATE : March 29, 2021

To: White Bear Lake Planning Commission

From: Chris Ganzlin and Jack Tamble

Homeowners at 4860 Stewart Avenue, White Bear Lake

Dear Planning Commission Members:

We are seeking a variance of 4 feet from our east property line and a 7.7' variance from the northern property line in order to build a 2-car garage as shown on the drawing.

The one-foot setback is consistent with some of the neighboring garages, so it is not out of character with the neighborhood.

The reason for the first variance is that if we were to adhere to a 5-foot setback, we would need to remove a 24-inch locust tree which we highly value on our property. The tree serves as a source of shade and is a central feature of our gardens and yard area.

The tree will be located 6' from the west edge of the new garage.

The reason for the second variance is the increased south side setback to meet the code, and the depth of the garage is longer to avoid impacting the tree as much as possible.

We have enclosed a photograph showing the tree adjacent to the garage.

Thank you so much for your consideration.

Sincerely,



Chris Ganzlin



Jack Tamble

1" = 10"

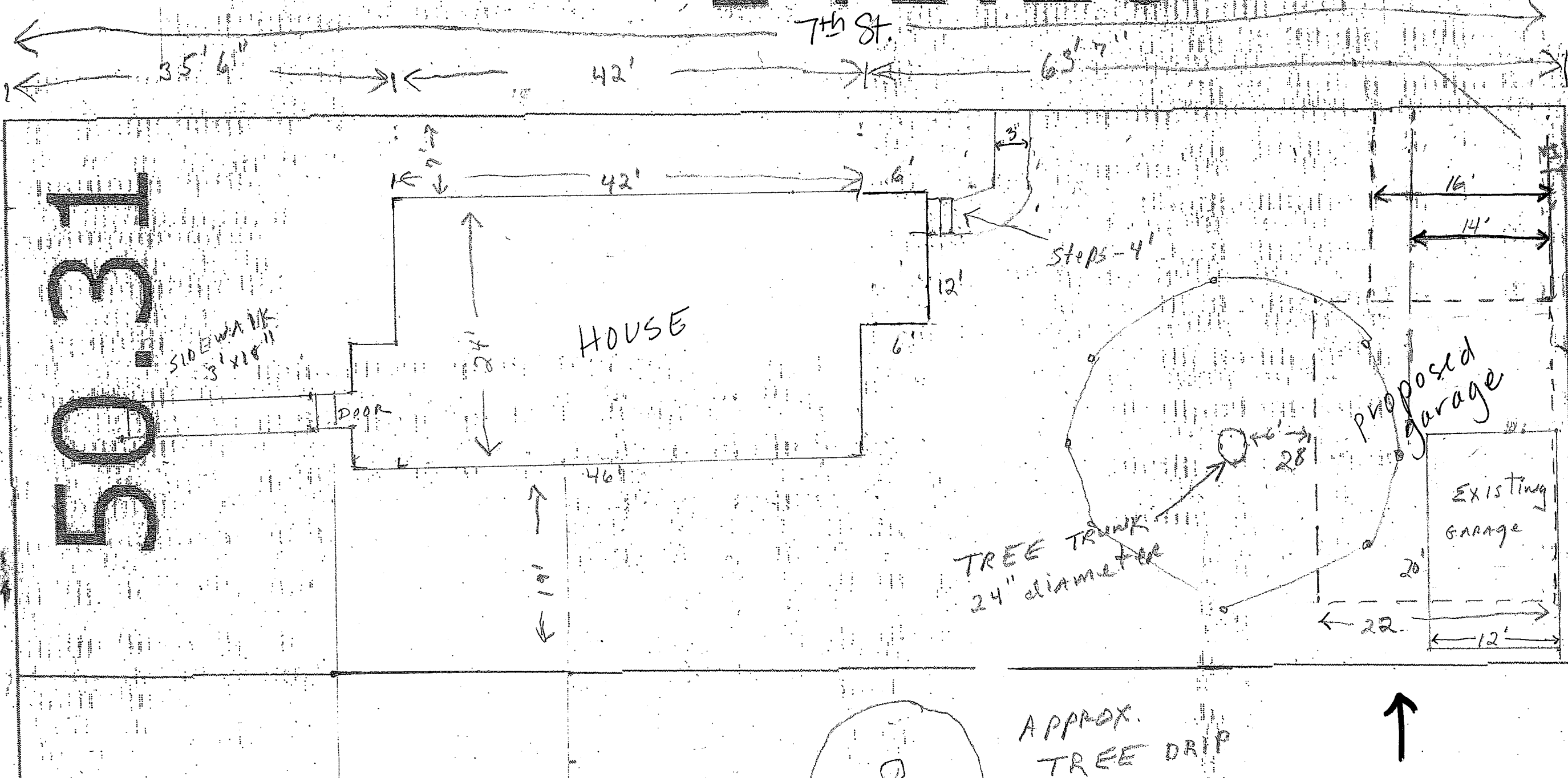
TAMBLE
CASE # 21.6.V

4860 Stewart Ave

141.28

7th St.

Stewart Ave.



PROPOSED
DRIVEWAY
16' 6" WIDE
17' 3" LONG

(EXISTING
DRIVEWAY
14' WIDE
30' LONG)

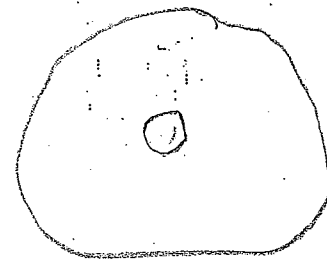
TREE TRUNK
24" diameter

Proposed
garage

EXISTING
GARAGE

Proposed
GARAGE
22' wide
28' DEEP

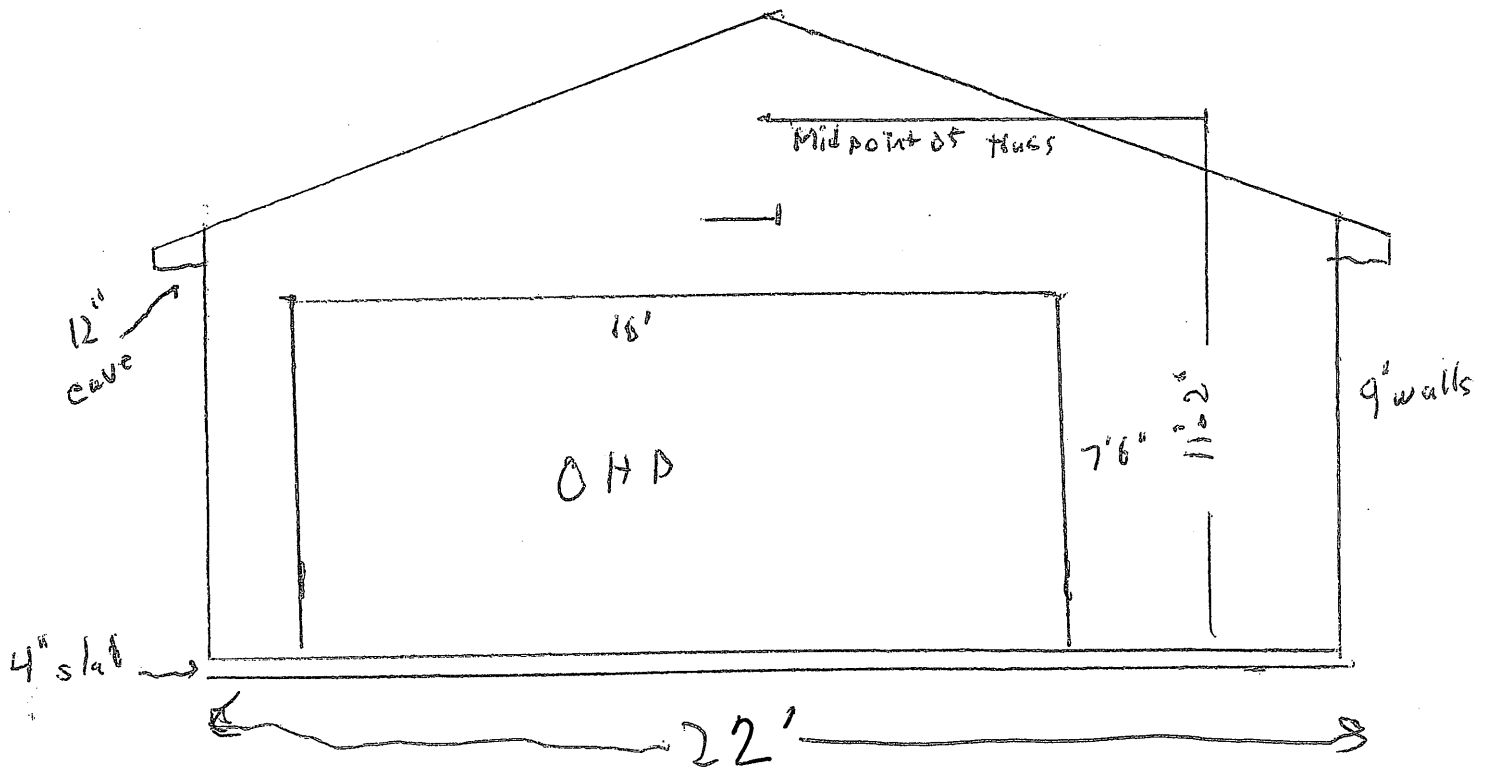
EXISTING
GARAGE
12' WIDE
20' DEEP



APPROX.
TREE DRIP
LINE
15' FROM
TRUNK

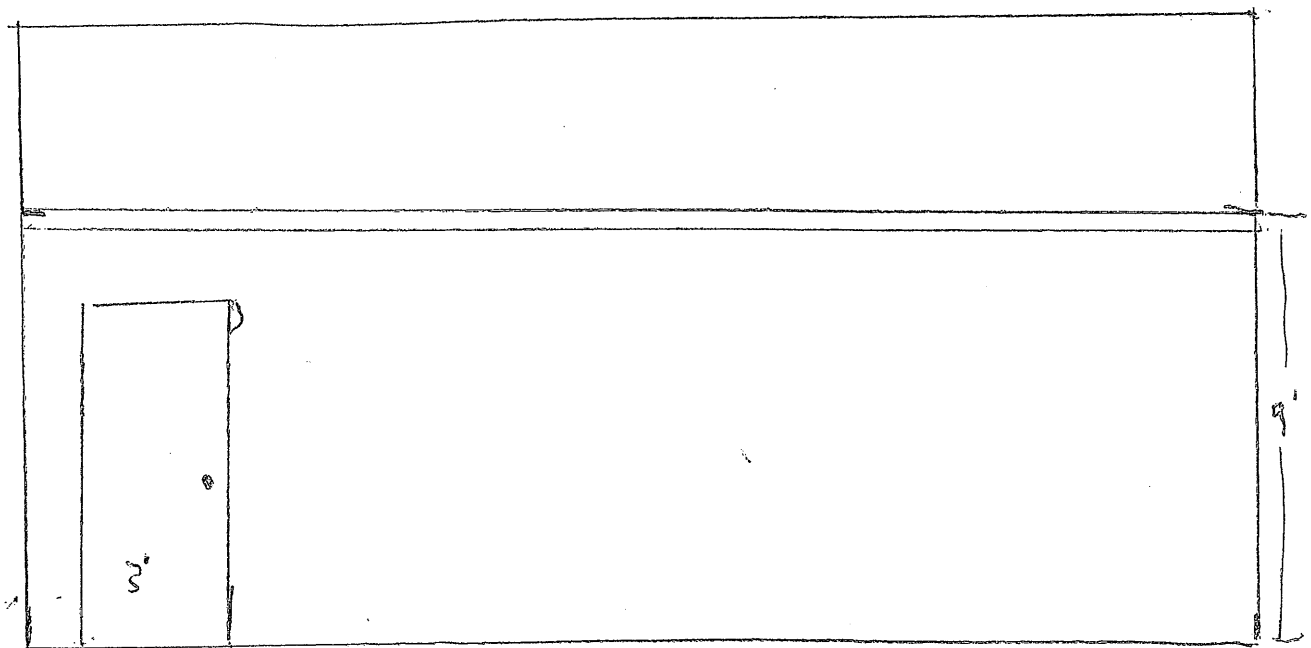
↑
N

Front Elevation (North)

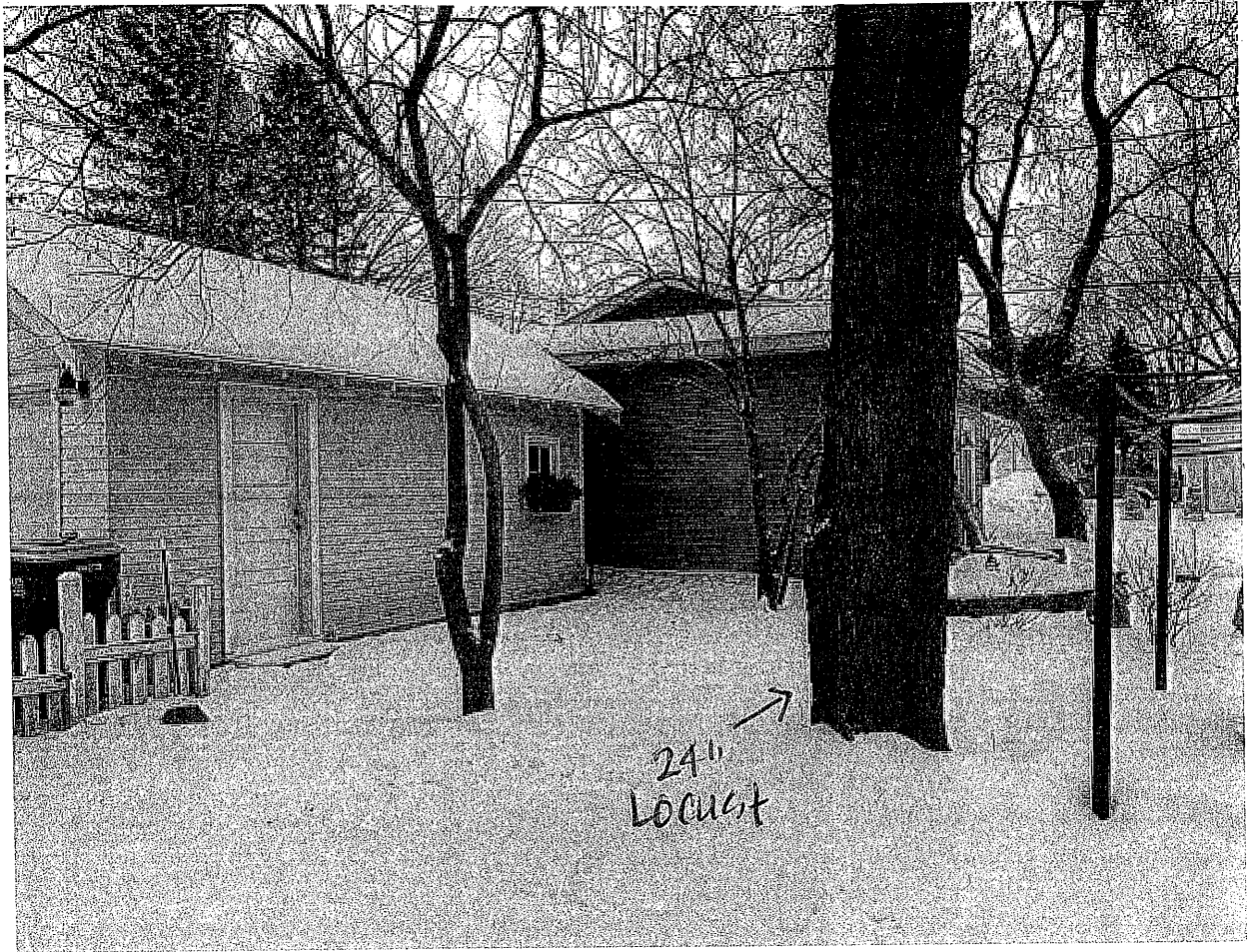


Side Elevation
 $\frac{1}{4} = 12''$ (West)

Both E & S
elevations will
be blank walls.



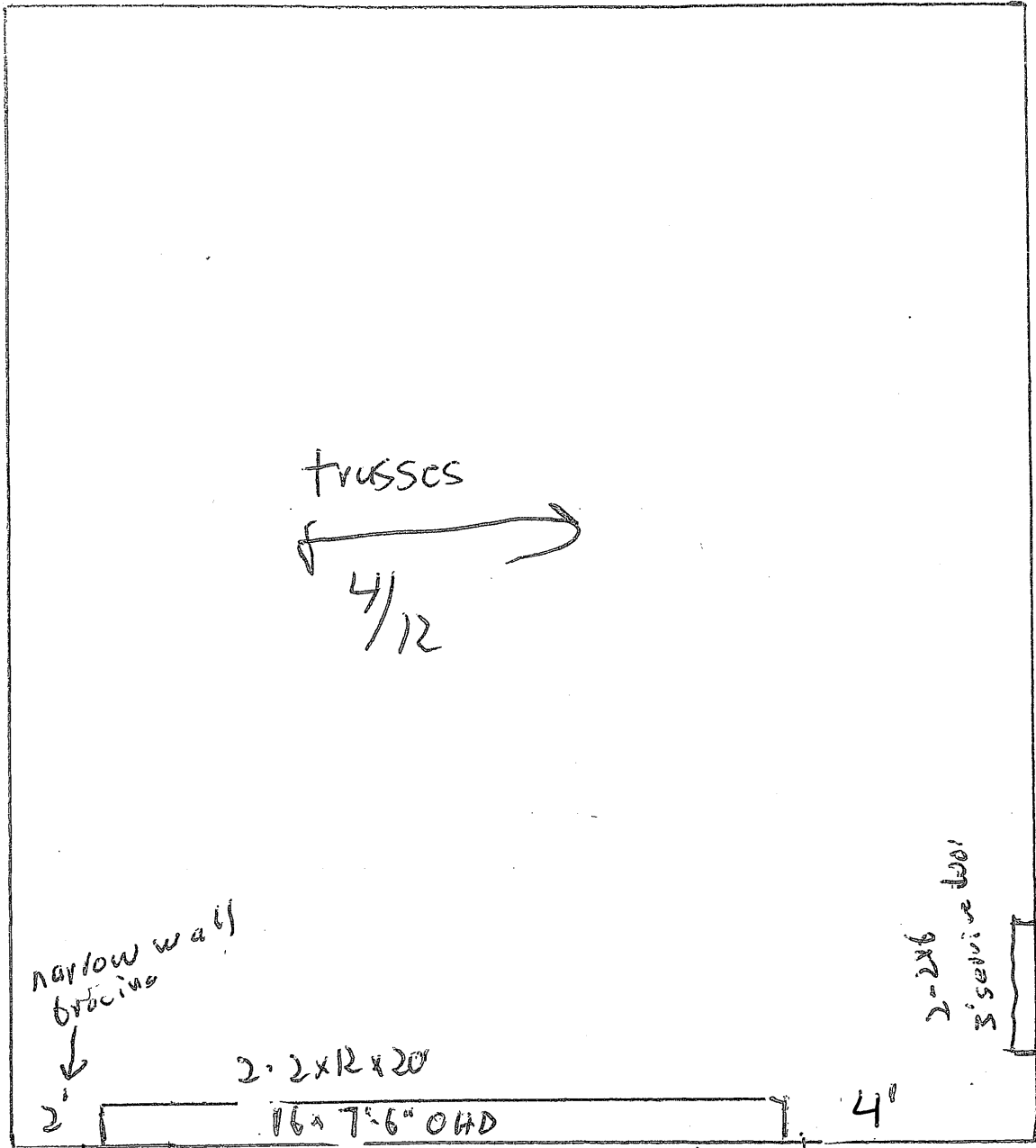
28'



Floor Plan

22'

28'



existing driveway
14" concrete

add 2'-6" of driveway



IMPERVIOUS SURFACE CALCULATION WORKSHEET

An impervious surface is defined as an artificial or natural surface through which water, air or roots cannot penetrate. Landscape and decorative rock is not considered an impervious surface. Stepping stones are impervious. A deck is not an impervious surface, provided there is no concrete, plastic or other impervious material underneath the deck. All permanent pools are impervious.

*Any increase in impervious area over 30% must be mitigated by removal elsewhere or by installing a stormwater infiltration feature - see Stormwater Infiltration System Submittal Requirements handout.

Property Owner: JACK Tamble & CHRISTINE GANZLIN
 Site Address: 4860 STEWART AVE.

Lot Width (feet):	<u>50</u>
Lot Depth (feet):	<u>141</u>

Information on lot size can be found in your property records or on the Ramsey County GIS website: www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis

Please use sq. ft.	Existing	Proposed	Change
Home	<u>1050</u>	<u>1050</u>	
Garage <u>22'x28'</u>	<u>240</u>	<u>616</u>	<u>376</u>
Accessory Structures ¹			
Driveway <u>16.5'x17.25'</u>	<u>448</u>	<u>285</u>	<u>-163</u>
Sidewalks <u>3x10=54</u> <u>4x17.5=53</u>	<u>119</u>	<u>107</u>	<u>-12</u>
Patio Areas			
Other: <u>porch 6'x12'</u>	<u>-</u>	<u>72</u>	<u>72</u>
Total Impervious	<u>1857 ✓</u>	<u>2142 2130</u>	
Total Lot Area	<u>7107 ✓</u>	<u>7107</u>	
Percent Impervious ²	<u>.2612 ✓</u>	<u>.3013 299</u>	

¹ Gazebos, sheds, etc.

² Total Impervious divided by Total Lot Area

If any porous paving credit have been grated for any of the above listed items, please explain:

Calculated by: JACK Tamble Date: 3-3-21

Staff Approval by: Sam Crosby Date: 3.17.21

REAR YARD COVER WORKSHEET

The rear yard is calculated as the area between the back building wall of the house and the rear property line. If there is a jog in the back building wall of the home, use the more predominant of the two walls (i.e. the longer one). "Cover" includes accessory uses and structures. Examples of an accessory use would be a patio or driveway. An accessory structure is garage, shed, deck or other built feature. (Items such as sidewalks, garden beds, fire pits, retaining walls and swing sets are not included.)

* For properties less than 10,000 square feet in size, no combination of accessory buildings or uses per single or two-family home shall cover more than 35% of the available rear yard, or no more than 42% with administrative variance.

For properties 10,000 square feet in size or greater, no combination of accessory buildings or uses per single or two-family home shall cover more than 25% of the available rear yard, or no more than 33% with administrative variance.

Property Owner: Jack Tumble
 Site Address: 4060 Stewart Ave.

Lot Width (feet):	<u>141.28</u>
Lot Depth (feet):	<u>50.31</u>

Information on lot size can be found in your property records or on the Ramsey County GIS website: www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis

Please use sq. ft.	Existing ^{PROP}	Proposed	Change
Garage	<u>616</u>		
Accessory Structures ¹			
Driveway	<u>285</u>		
Decks			
Patio Areas			
Other:			
Coverage Total	<u>901</u>		
Rear Yard Area ²	<u>3199</u>		
Percent Covered ³	<u>28.1%</u>		

¹ Gazebos, sheds, etc.

² Yard width times depth

³ Coverage Total divided by rear yard cover

Calculated by: _____ Date: _____

Staff Approval by: [Signature] Date: 3/17/21

CITY COUNCIL MEETING SUMMARY

March 9, 2021

APPROVAL OF MINUTES – Approved

APPROVAL OF THE AGENDA – Approved

VISITORS AND PRESENTATIONS

A. White Bear Lake Police Chief Julie Swanson – Police Department Update

Police Chief Swanson described a challenging year due to COVID and relayed the department's disappointment in an inability to participate in community events. She provided statistics from 2020 as follows:

- 24,000 calls for service – down from the previous year
- 4,600 traffic stops resulting in 2,800 warnings and 1,800 citations
- 175 domestic calls – down by ten from the previous year
- 400 disturbance/disorderly – consistent from previous years
- 200 theft from auto (164 calls in 2019), with 23 being catalytic convertors
- Increase in overdoses, with 11 overdose deaths and 36 incidents where Narcan was administered

PUBLIC HEARINGS – Nothing scheduled

LAND USE – Approved

A. Consent

1. Consideration of a Planning Commission recommendation for approval of a request by Brent & Melissa Peacock for a Conditional Use Permit at 2532 Manitou Island. (Case No. 21-1-CUP). **Resolution No. 12731**
2. Consideration of a Planning Commission recommendation for approval of a request by Dave & Stephanie Herington for a variance at 2216 2nd Street. (Case No. 21-2-V). **Resolution No. 12732**

B. Non-Consent

Consideration of a Planning Commission recommendation for approval of a request by Heartland TC Gun Club for a Conditional Use Permit and variance at 4350 Centerville Road. (Case No. 21-2-CUP & 21-4-V). **Resolution No. 12733 with an amendment crafted by the city attorney that the applicant be responsible to ensure parking remains on the premises, otherwise the addition of signage and/or a fence may be required.**

UNFINISHED BUSINESS – Nothing scheduled

ORDINANCES

- A. First reading of an Ordinance adopting a ten year cable franchise agreement with Comcast

Tim Finnerty, RWSCC Director introduced League of Minnesota Cities enlisted Green-Espel Attorney John Baker, who provided a presentation covering the topic of a non-exclusive, ten-year cable franchise agreement between White Bear Lake and Comcast. Mr. Baker highlighted the following key points reached through mediation:

- Cities required by law to have franchise agreements for the use of public right of way
- 2019 FCC Order 621 meant fewer discounted or free services for cities (under appeal)
- Franchised fees are capped at 5% of gross revenues
- Gross revenues are better defined with regards to bundled services
- Upgrades to SCC cable systems are consistent with other area systems in our counties
- PEG Channels will be in HD and simulcast in HD
- Phased decline of PEG funding, but still higher than other entities
- Customers will pay 57% less in PEG funding than in previous years
- I-Net will be free for the next two years, then it will be charged at \$330 per site/mth
- If FCC law becomes more favorable, SCC has the ability to renegotiate terms
- SCC will no longer be under Comcast's rental agreement with White Bear Lake

NEW BUSINESS – Approved

- A. Resolution approving annual business license renewals. **Resolution No. 12734**
- B. Resolution approving annual liquor license renewals. **Resolution No. 12735**
- C. Resolution authorizing a road closure and approving a community event at Railroad Park. **Resolution No. 12736**
- D. Resolution accepting a donation for renovation of Geist Gazebo. **Resolution No. 12737**

CONSENT – Approved

- A. Acceptance of Minutes: February Planning Advisory Commission; January Environmental Advisory Commission; January White Bear Lake Conservation District
- B. Resolution authorizing food truck operations on public property at the Sports Center. **Resolution No. 12738**

DISCUSSION

- A. Housing Policy Initiative, expand scope to capture community discussion around more recent housing development proposals

City Manager Hiniker reported on the status of the Housing Policy Initiative, the application period having recently concluded and a roster to be approved at the March 23, 2021 City Council meeting. Ms. Hiniker sought and received approval to pursue options with

consultants on an expansion of the scope to include review of more recent development proposals and related engagement processes. The hope is to gather additional insight to inform future processes.

COMMUNICATIONS FROM THE CITY MANAGER

➤ Plans for reopening

Walk-in service has resumed at City Hall. Many of the staff will continue to alternate work from home to minimize numbers of employees in building at one time. All but Driver's License services are available in the License Bureau for walk-in service. Driver's License appointments must still be scheduled. Simple renewals that do not require change of name or address can be accomplished online.

Councilmember Biehn received confirmation that Dropbox Services will remain available 24-7, even beyond COVID.

- Main Street businesses are still struggling with COVID restrictions and staff intends to request the flexibility from Council at the next meeting to provide administrative approval for flexible outdoor use of public right-of-way and a continuation of Picnic in the Park.
- Automated Vehicle (AV) Pilot Project final contract will be between MN DOT and AECOM as project manager, which removes the City from administration. AE COM will be invited back to provide an overview of the AV Pilot Project
- The annual Deer Survey is conducted by Ramsey County Parks and Recreation and is a program the City continues to participate in to assess deer counts in White Bear Lake. As indicated on the overall map, White Bear Lake has very low numbers of deer again this year.

ADJOURNMENT – 9:17 p.m.