

**PLANNING COMMISSION MEETING
AGENDA
CITY OF WHITE BEAR LAKE, MINNESOTA**

The City of White Bear Lake Planning Commission will hold its regular monthly meeting on Monday, June 28, 2021 beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61.

1. Call to order and roll call.
2. Approval of the June 28, 2021 agenda.
3. Approval of the May 24, 2021 Planning Commission meeting minutes.
4. **CASE ITEMS:**
Unless continued, these cases will go to the City Council meeting on Tuesday, July 13, 2021. Cases G & H will also be heard on Tuesday, August 11, 2021
 - A. **Case No. 15-2-SHOPa:** A request by **Pam Preisler** for a six year extension to an existing Special Home Occupation Permit, per Code Section 1302.120, in order to operate a beauty salon out of her residence located at 3862 Crestwood Place.
 - B. **Case No. 21-14-V:** A request by **James Trusten** for a 25.5 foot variance from the 30.5 foot front yard average setback, per Code Section 1302.030, Subd.4.d, and a 2.5 foot variance from the five foot side yard setback, per Code Section 1302.030, Subd.4.e, in order to construct a garage in front of the home at 1783 Eugene Street.
 - C. **Case No. 21-15-V:** A request by **Brooke & Garrett Boesch** for a two foot variance from the four foot height limit, per Code Section 1302.030, Subd.6.h.3, in order to construct a six foot tall fence along the west property line of the property located at 2514 Oak Court.
 - D. **Case No. 21-16-V:** A request by **Joe Morris** for a two foot variance from the four foot height limit, per Code Section 1302.030, Subd.6.h.3, in order to construct a six foot tall fence along the west property line at the property located at 4926 Johnson Avenue.
 - E. **Case No. 21-11-V:** A request by **Paula & Mike Lobinsky** for four variances: a 10.5 foot variance from the 15 foot side yard setback on the south side and a 10 foot variance from the same on the north side, both per Code Section 1303.040, Subd.5.c; a 29 foot variance from the 35 foot street side setback for an attached garage and living area above it, per Code Section 1303.040, Subd.5.c.1; and a three foot variance from the 53 foot average lakeside setback for a deck, per Code Section 1302.040, Subd.4.c, all in order to demolish the existing home and reconstruct a new single family residence on the property located at 4372 Cottage Park Road.
 - F. **Case No. 21-6-CUP:** A request by **Independent School District #624** for a Conditional Use Permit Amendment per Code Section 1303.245, to allow two building additions to the existing South Campus building to facilitate conversion of the existing high school to a middle school at 3551 McKnight Road.

G. Case No. 21-2-Z & 21-5-CUP: A request by **Division 25, LLC** for a text amendment to the Sign Code Section 1202.040, Subd.2, to allow billboards; and a Conditional Use Permit, per the amended code, to allow installation of a two-sided V-shaped dynamic billboard at the property located at 4650 Centerville Road.

H. Case No. 21-1-Z: A **City-Initiated** text amendment to Zoning Code Section 1303.160 to allow interim use permits in the B-5 zoning district.

5. DISCUSSION ITEMS:

- A. City Council Meeting Summary from June 8, 2021.
- B. Park Advisory Commission Meeting Minutes from April 15, 2021.

6. ADJOURNMENT

Next Regular City Council Meeting July 13, 2021
Next Regular Planning Commission Meeting..... July 26, 2021

**MINUTES
PLANNING COMMISSION MEETING
CITY OF WHITE BEAR LAKE
MAY 24, 2021**

The regular monthly meeting of the White Bear Lake Planning Commission was called to order on Monday, May 24, 2021, beginning at 7:00 p.m. via WebEx, pursuant to a statement issued by the Mayor under Minnesota Statutes, section 13D.021 as a result of the COVID-19 pandemic, by Chair Ken Baltzer.

1. CALL TO ORDER/ROLL CALL:

MEMBERS PRESENT: Michael Amundsen, Ken Baltzer, Jim Berry, Pamela Enz (7:07 p.m.), Mark Lynch, Erich Reinhardt, and Peter Reis.

MEMBERS EXCUSED: None.

MEMBERS UNEXCUSED: None.

STAFF PRESENT: Anne Kane, Community Development Director, Samantha Crosby, Planning & Zoning Coordinator, and Ashton Miller, Planning Technician.

OTHERS PRESENT: Charles Beckmann, Len Schreier, Susan Welles, and Molly Theno.

2. APPROVAL OF THE MAY 24, 2021 AGENDA:

Member Lynch moved for approval of the agenda. Member Reis seconded the motion, and the agenda was approved (6-0).

3. APPROVAL OF THE APRIL 26, 2021 PLANNING COMMISSION MEETING MINUTES:

Member Berry moved for approval of the minutes. Member Reis seconded the motion, and the minutes were approved (6-0).

4. CASE ITEMS:

A. **Case No. 20-1-SHOPa:** A request by Teri Faison for a three year extension to an existing Special Home Occupation Permit, per Code Section 1302.120, in order to operate a massage therapy business out of the front/main level unit of a triplex at the property located at 4445 Lincoln Avenue.

Miller discussed the case. Staff recommended approval.

Member Baltzer opened the public hearing. As no one spoke to the matter, Member Baltzer closed the public hearing.

Member Reis moved to recommend approval of Case No. 20-1-SHOPa. Member Berry seconded the motion. The motion passed by a vote of 6-0. Member Enz abstained due to connectivity difficulties during the presentation.

- B. **Case No. 21-7-V:** A request by **Beckmann Custom Homes, LLC** for a minor subdivision to split one lot into two, per Code Section 1407.030, and two 20 foot variances from the 100 foot minimum lot width, per Code Section 1303.040, Subd.5.b, in order to create two 80 foot wide lots at the property located at 4783 Otter Lake Road.

Miller discussed the case. Staff recommended approval subject to the conditions listed in the report.

Member Amundsen pointed out that at least one of the concept plans exhibited a house that is 54 feet wide, larger than the buildable space presented by staff. He wondered if that would cause the applicants to seek variances in the future. Miller explained that attached garages with no livable space have lesser setbacks, so would be able to encroach into the buildable space demonstrated on the graphic.

Member Baltzer opened the public hearing. As no one spoke to the matter, Member Baltzer closed the public hearing.

Member Reinhardt moved to recommend approval of Case No. 21-2-LS & 21-10-V. Member Reis seconded the motion. The motion passed by a vote of 7-0.

- C. **Case No. 21-12-V:** A request by **Len Schreier** for a two foot variance from the 20 foot setback from a side yard for a pool, per Code Section 1302.030, Subd.20.b.2.b.1, and a ten foot variance from the 30 foot front yard setback for a fence, per Code Section 1302.030, Subd.6.h.4, in order to install an in-ground pool 18 feet from the west property line and a six foot fence 20 feet from the front property line at the property located at 4775 Brooke Court.

Crosby discussed the case. Staff recommended approval subject to the conditions listed in the report.

Member Reis questioned where the water would go when the pool is drained since runoff is a concern in the area. Crosby replied that residents are allowed to drain pool water into the street, so it would most likely go down the storm drain. She did not think it wise to drain the water into the rain gardens due to the chemicals and inability of the rain garden to soak up that much water in a timely manner.

Member Enz explained that the pool is not fully drained at the end of the season. Some of the water is retained over the winter.

Member Baltzer opened the public hearing.

Len Schreier, 4775 Brooke Court, applicant, confirmed that the pool will not be fully drained every year. He stated that they are considering a salt-water pool to reduce the amount of chemicals used.

Member Baltzer closed the public hearing.

Member Enz moved to recommend approval of Case No. 21-12-V. Member Reis seconded the motion. The motion passed by a vote of 7-0.

- D. **Case No. 21-13-V:** A request by **Susan Welles on behalf of Molly Theno** for a nine foot variance from the 30 foot setback required along a side abutting a public right-of-way, per Code Section 1303.230, Subd.5.a.4; a 7.1 foot variance from the 10 foot side yard setback required, per Code Section 1303.060, Subd.5.c.2; and a 17.5 foot variance from the 30 foot rear yard setback required, per Code Section 1302.030, Subd.4.e, in order to construct a new two car attached garage at the property located at 4870 Johnson Avenue.

Crosby discussed the case. Staff recommended approval as requested.

Member Reis commented that when he visited the site, he noticed some mold or mildew on the stucco along the north side of the home. He wondered if this was a concern throughout the rest of the house.

Member Baltzer opened the public hearing.

Susan Welles, Husnik Homes, applicant, explained that the north end has experienced water damage. The flat roof is essentially caving in, which is why they will be replacing it in conjunction with the addition of the two-car garage. They are unaware of further issues, but there are plans for major renovations to the home, so any damage that is uncovered will be addressed.

Member Baltzer closed the public hearing.

Member Berry expressed appreciation that the homeowner is opting to remodel the existing framework rather than tear down and rebuild the home. The eclectic group of housing styles in downtown adds to the uniqueness of the area.

Member Berry moved to recommend approval of Case No. 21-13-V. Member Enz seconded the motion. The motion passed by a vote of 7-0.

- E. **Case No. 17-1-CP:** Final review and adoption of the 2040 Comprehensive Plan

Kane provided an update on the revisions made to the 2040 Comprehensive Plan based on the collaborative efforts between the City and the Met Council. Staff recommended approval of the adoption of the 2040 Comprehensive Plan.

Member Reis asked about the status of the Rush Line Bus Rapid Transit project and whether the Met Council would have the final sign-off once all the details are determined.

Kane explained that the project is primarily led by Ramsey County. The project relies heavily on federal grants, which are competitive, so it is not necessarily a done deal, however the County has identified a local funding source to match should federal funds be secured. She acknowledged that a lot can change in the five years before the projected opening in 2026.

Kane noted that the Rush Line has been included in the City's Comprehensive Plan since at least 2000. Over time, it has become a lot more defined in terms of mode of transport and route. The environmental analysis just wrapped up last week and is now open for public comment. She does not believe there will be significant changes to the configuration going forward. It is up to Ramsey County to choose to proceed and secure funding.

Member Baltzer praised staff for all the work done on the Comp Plan.

Member Lynch moved to recommend approval of Case No. 17-1-CP. Member Reis seconded the motion. The motion passed by a vote of 7-0.

5. DISCUSSION ITEMS:

A. City Council Meeting Summary of May 11, 2021.

Crosby provided an update on the variance request for an increased amount of office space in the B-5 zoning district (Case Number 21-7-V). She explained that the City Council directed staff to amend the zoning code to allow for Interim Use Permits for properties zoned B-5. This would allow the current tenants of the building two years to find a new location.

Member Berry asked if the change in code has the possibility of changing the landscape of the downtown area. Crosby replied that as an interim use, a sunset date is required. She reiterated that the fire suppression requirements would make the change from retail to office cost prohibitive for some. Kane added that similar concerns were raised at the City Council meeting. The tenant can ask for an extension, but the Council has made it clear they want the clock started, so May 1st in two year time has been indicated as the tenant's completion date. She hoped that by then the City will be in a more knowledgeable post-covid retail environment.

In response to a question from Member Lynch, staff confirmed that either the tenant moves or they obtain the Interim Use Permit for two years.

Member Amundsen asked if there was any discussion on re-evaluating the retail to office ratios. Kane answered that while there was no discussion at the City Council meeting, the interim would be a good time to complete such an assessment.

Member Enz questioned if that sort of analysis would come from a Planning Commission recommendation. Kane confirmed that it could.

B. Park Advisory Commission Meeting Minutes of March 18, 2021.

Member Enz shared excitement about the work being done on the gazebo to bring it into working order.

Member Berry wondered if the whole Parks budget was being used on the retaining wall at Memorial Beach. Member Reis stated that during his time on the Parks Commission, they were given a certain amount from the City for park improvements, but still had other funds available.

6. ADJOURNMENT:

Member Berry moved to adjourn, seconded by Member Enz. The motion passed unanimously (7-0), and the May 24, 2021 Planning Commission meeting was adjourned at 8:04 p.m.



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Ashton Miller, Planning Technician

DATE: June 22 for the June 28, 2021 Planning Commission Meeting

SUBJECT: Pam Preisler, 3862 Crestwood Place – Case No. 15-2-SHOPa

BACKGROUND / REQUEST

The applicant was initially issued a Special Home Occupation Permit (SHOP) to conduct a beauty salon from her residence in December of 1985. The last renewal for the SHOP was in 2015, when Ms. Preisler was granted a six-year extension. She is requesting another six-year extension to continue operating her salon out of her home.

SITE CHARACTERISTICS

The site is located on the east side of Crestwood between Cedar Avenue and Oak Knoll Drive. The property contains a split level home with a 2-car “tuck under” garage. The salon area is located in the lower level, on the south side of the home with its own separate entrance. The driveway is 40 feet long.

ZONING

The property is zoned R-3, Single-Family Residential, as are all of the surrounding properties. Section 1302.120 of the Zoning Code specifically lists “barber and beauty services” as a type of home occupation that requires a conditional use permit.

ANALYSIS

The salon area constitutes approximately 20% of the first floor area of her home. Ms. Preisler continues to be the only employee and her hours of operation are from 8 am to 4:30 pm on Mondays, Wednesday, Thursdays, and Fridays by appointment only. Appointments are staggered to not overlap, so the business rarely generates more than one vehicle at a time and parking has not been problematic in the years past.

Time has shown that continuing to permit the home-based salon business has not had a negative impact on the surrounding residential neighborhood. The business continues to be incidental and secondary to the residential use of the property. Therefore, staff recommends approval.

Because the salon has been operating for the past three and a half decades without any documented complaints or concerns, the applicant has requested to have the renewal period

extended another six years, rather than the typical three years. Precluding any opposition from the neighboring property owners at the public hearing, staff supports this request for another extended renewal period.

RECOMMENDATION

Staff recommends approval of the Special Home Occupation Permit, subject to the following standard conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. This permit is issued for a six-year period with the expiration date being **July 13, 2027**, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
3. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
4. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that his monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered *de novo* without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The applicant shall comply with applicable zoning, building, fire and health department codes and regulations.

Attachments:

1. Draft Resolution Approving CUP
2. Location/Zoning Map
3. Applicant's Business Description
4. Site Plan & Floor Plans (3 pgs.)
5. Neighbor Comment of Support – Hoenie
6. Neighbor Comment of Support – Sweeney

RESOLUTION NO. _____

**RESOLUTION APPROVING
A SPECIAL HOME OCCUPATION PERMIT FOR PAMELA PREISLER
AT 3862 CRESTWOOD PLACE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (15-2-SHOPa) has been submitted by Pamela Preisler to the City Council requesting a Special Home Occupation Permit of the City of White Bear Lake for the following location:

LOCATION: 3862 Crestwood Place

LEGAL DESCRIPTION: Lot 8, Block 5, Lakewood Hills, Ramsey Co. Minn.
(PID #263022240061)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A six year Special Home Occupation Permit extension to allow a beauty salon business out of a home, per Code Section 1302.120, Subd.4; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.
7. That the special conditions attached in the form of a conditional use permit are hereby approved.

FUTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approved the request, subject to the following conditions.

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. This permit is issued for a six-year period with the expiration date being July 13, 2027, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
3. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
4. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered *de novo* without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The applicant shall comply with applicable building, fire and health department codes and regulations.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

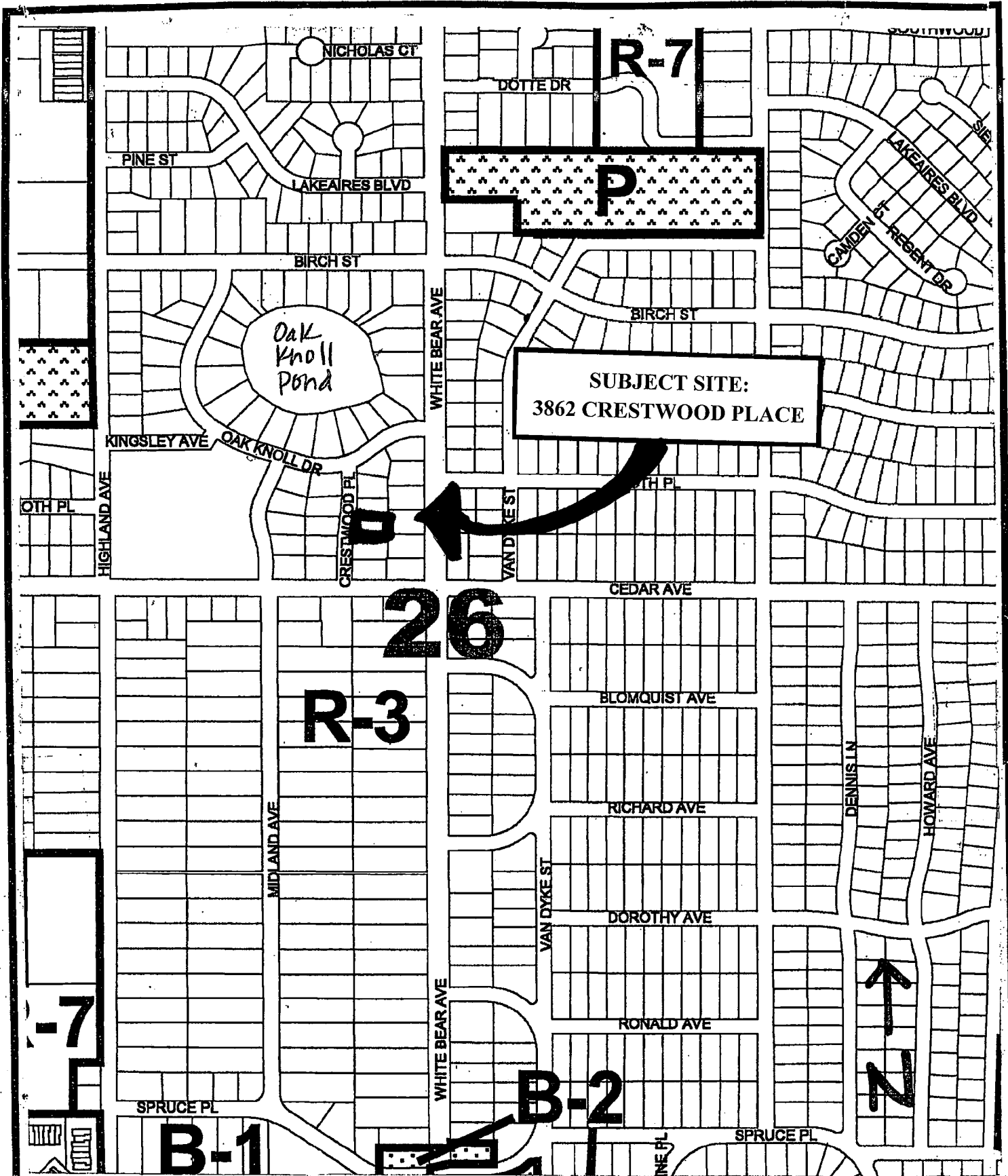
Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Pamela Preisler

Date



**SUBJECT SITE:
3862 CRESTWOOD PLACE**

26

R-3

B-2

B-1

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 15-2-3a
CASE NAME : Preisler
DATE : June 28, 2021

5/13/2021

Narrative for Request

I am requesting to re-establish my Home Occupational permit for my Beauty Salon in my home. I have been practicing for 35 years fully licensed and following all the codes and rules.

I will just state again what my business involves. My days and hours are Mondays, Wednesdays, Thursdays, and Fridays from 8:00am – 4:30pm by appointment only. I will see approximately 5 clients a day with plenty of parking for them in my driveway since I do not overlap appointments. I am the only one who is employed here in my salon. I as well do not advertise with any sort of signage claiming that I have a salon here in my home.

I am interested in extending the permit again for another 6 years or longer.

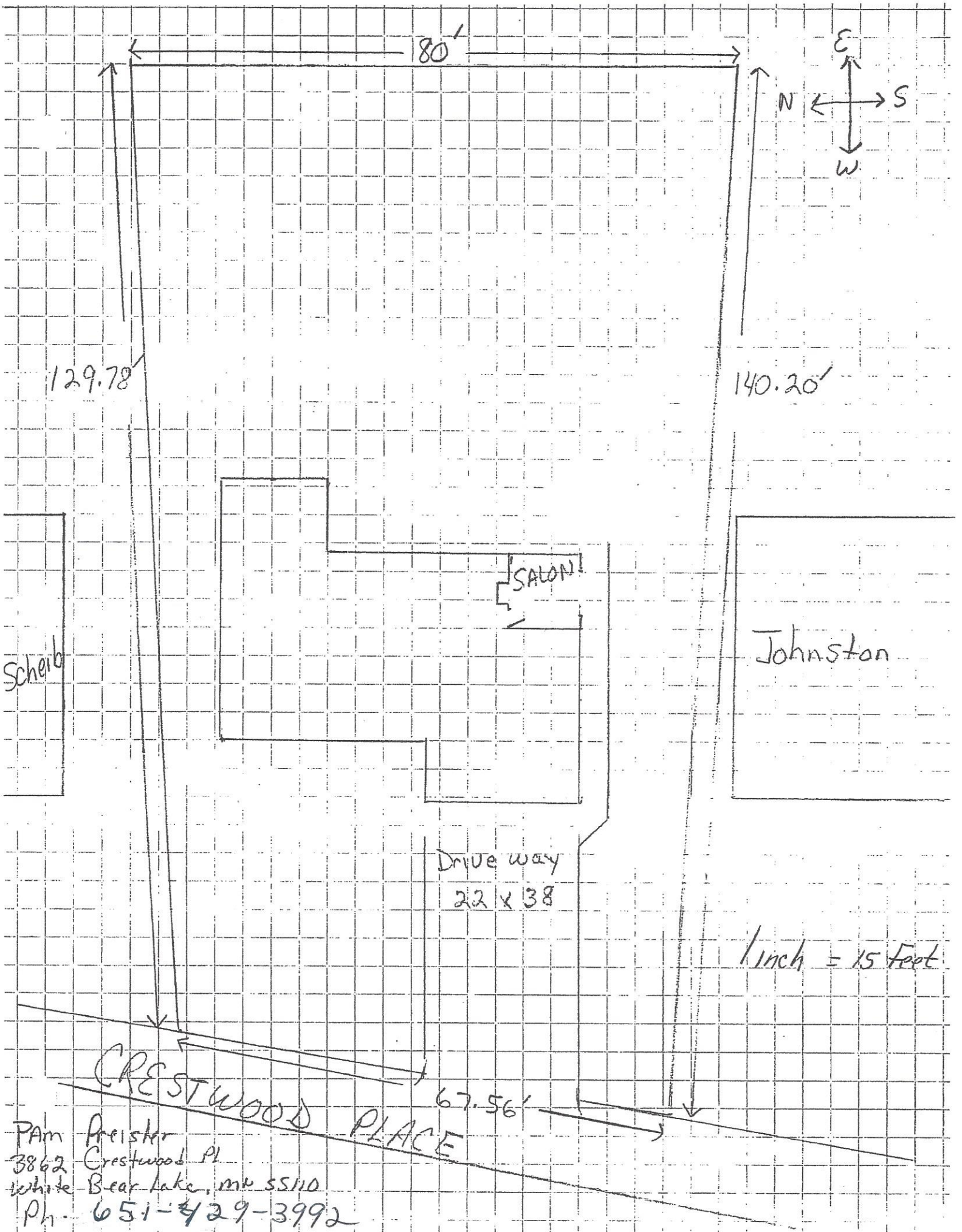
I have read through the General Provisions of the home occupation section of the City's code and fully continue complying with all of them.

I would hope that you consider this request for my salon.

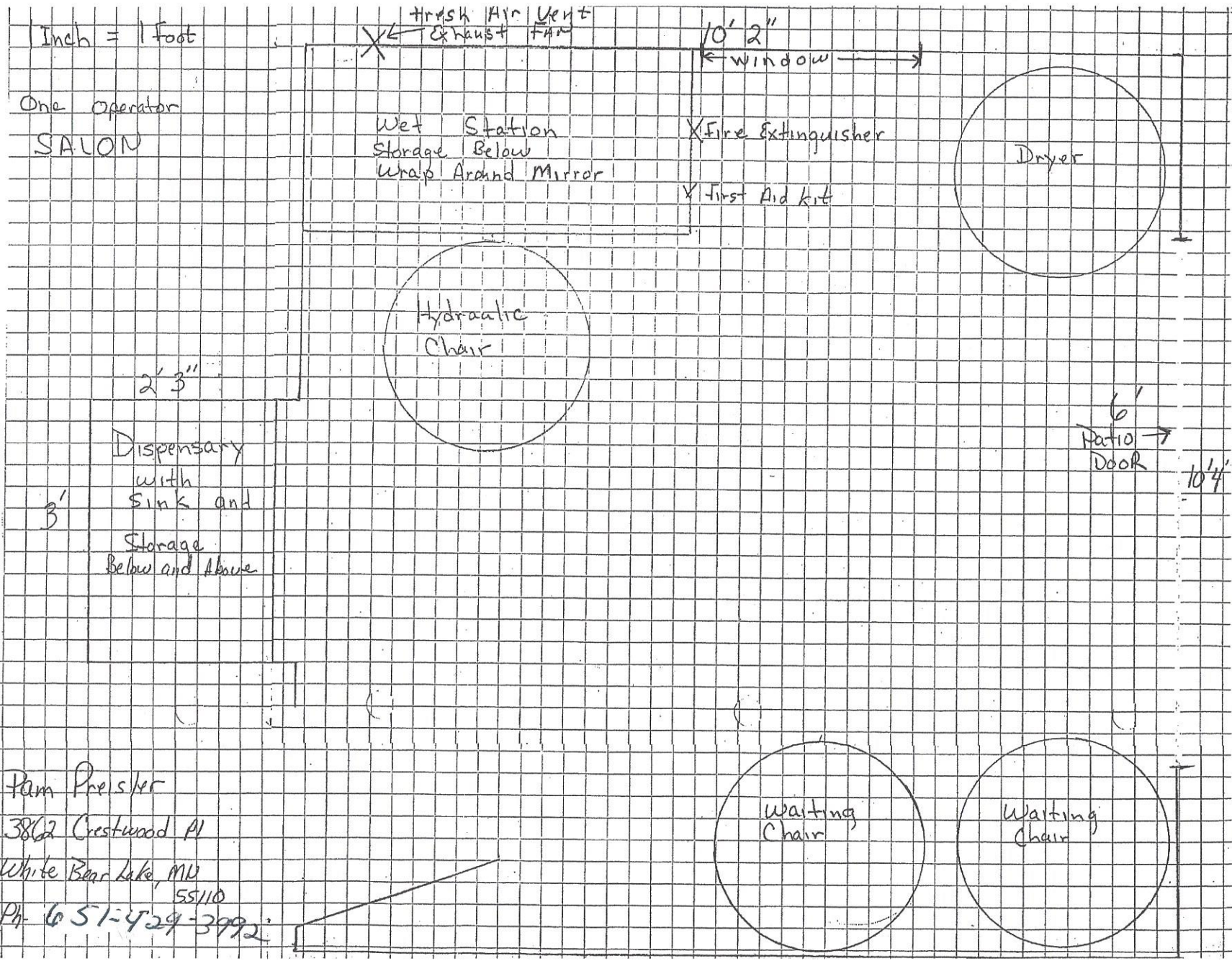
Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Pamela A. Burt". The signature is fluid and cursive, with a large initial "P" and "B".



Pam Freister
3862 Crestwood Pl
White Bear Lake, MN 55110
Ph. 651-429-3992



Den

$\frac{1}{4}$ inch = 1 Foot

Pam. Preister
3862 Crestwood Pl
White Bear Lk, MN
55110
Ph: 651-427-3992

Entry

Dining Room

Eat-in Kitchen

$\frac{3}{4}$ Bath

Salon

Down to
Basement

Up to
Kitchen

Living Room

up to
Bedrooms
and full bath

Garage

Red area is main level
Below Red: level is Full Basement

Yellow area is lower level
Above yellow area are
3 bedrooms and full bath

Entry

Entry

Ashton Miller

From: Peyton Hoenie <peytonhoenie1@gmail.com>
Sent: Tuesday, June 22, 2021 5:36 PM
To: Ashton Miller
Subject: Hearing for Pam Preisler

I believe the city should absolutely allow Pam to legally run a business out of her home. I personally do not know pam, but I'm appalled she needs to have a hearing to run a business out of her own home. Let alone have the privilege to pay taxes while doing so. What has the American dream become?

Ashton Miller

From: sweeneyjj <sweeneyjj@aol.com>
Sent: Wednesday, June 23, 2021 12:02 PM
To: Ashton Miller
Subject: Planning Committee's Consideration of Pam Preisler's application

To: Planning Commission

From: Nancy & Joe Sweeney

3855 Crestwood Place
White Bear Lake, MN 55110

Pam Preisler's Salon has never been a problem.

There has never been a problem with her customers or their traffic for the last six years.

Her Salon is impeccable.

She has been a perfect neighbor and her place of business for the last six years perfect.

We have been blessed to have her, her family, and her business as neighbors.

Sincerely,

Nancy & Joe



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

4.B

MEMORANDUM

TO: The Planning Commission

FROM: Ashton Miller, Planning Technician

DATE: June 23 for June 28, 2021 Planning Commission Meeting

SUBJECT: Trusten Variance, 1783 Eugene Street – Case No. 21-14-V

REQUEST

The applicant, James Trusten, is requesting a 25.5-foot front yard variance from the 30.5-foot front yard average setback and a 2.5-foot variance from the five-foot side yard setback, in order to construct a 616 square foot garage in front of the home.

SITE CHARACTERISTICS

The subject site is located on the north side of Eugene Street, west of 4th Avenue. The property is roughly 10,000 square feet in size and contains a single family home.

ZONING

The subject site is zoned R-3, Single Family Residential as are all of the immediately surrounding properties. The properties just east of the abutting properties are zoned R-4, Single Family – Two Family Residential.

BACKGROUND

According to Ramsey County, the home was constructed in 1974. In 2010, the applicant was granted a permit for the current driveway with the intention of building a garage in front of the home sometime in the future. The driveway was approved for a 3.5 foot setback, but was erroneously installed six inches from the lot line.

APPLICANT'S PRACTICAL DIFFICULTY

There is a 33-foot wide permanent utility easement, which runs north south through the western most 33 feet of the property. A 15-inch sanitary sewer line and an 18-inch storm sewer line are buried under the easement. Further, the swale along the easement area creates a change in grade that makes it virtually impossible to fit a driveway between the easement and home. All of this limits the space available for a garage.

ANALYSIS

The code states that detached garages are not permitted in front of the principal structure, but because the garage is proposed to be within six feet of the home, it is by the zoning code's definition,

4.B

considered attached.

1. A 25.5 foot variance from the 30.5 foot front yard setback average

Garages are required to meet the same setback as the principal structure, which, in this instance, is the average of the code (30') and the neighbor to the east (31'). The large variance request is the result of the curve in the right-of-way. If the front property line continued straight along the roadway, the garage would sit 28 feet back from the front property line, and hence would only require a 2.5-foot front yard variance, which could technically be approved through an administrative variance. The garage will generally be in line with the other structures along the road, and will not alter the character of the neighborhood, so staff is supportive of the variance.

2. A 2.5 foot variance from the 5 foot side yard setback

Originally, the applicant proposed a six-inch setback and a 24-foot wide garage to match the width of the driveway. After staff noted that at least a two-foot setback is desired, Mr. Trusten agreed to shrink the size of the garage to accommodate staff's request. The new garage is proposed to be 22 feet wide. It will abut the front sidewalk on the west side, so there is no room to shift the garage further west without removing a portion of the sidewalk and front stoop.

The proposed setback, which can fit the width of a person, will allow for maintenance along the side of the garage without encroachment onto the neighboring property. Staff is including a condition that the east side of the garage be guttered to prevent runoff from affecting the adjacent property.

Other

The code requires new single-family homes on lots of this size to provide at least one enclosed parking stall, so the proposal will bring the property into conformity with parking regulations.

A permit for the shed in the rear yard was not issued at the time of construction, so staff is including a condition that the shed be permitted and moved out of the easement. The applicant has indicated a willingness to move the shed.

SUMMARY

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comp Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

Staff recommends approval of the variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. The variances shall become null and void if the project has not been completed within one

(1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

3. A building permit shall be obtained before any work begins.
4. The applicant shall verify their property line and have the property pins exposed at the time of inspection.
5. The east side of the garage shall be guttered and water directed towards the driveway/road.
6. The shed shall be moved out of the easement area and a zoning permit shall be obtained.

Attachments:

1. Draft Resolution of Approval
2. Zoning/Location Map
3. Applicant's Narrative (1 page) & Plans (3 pages)
4. Staff Memo Dated 11/4/2010

RESOLUTION NO. _____

**RESOLUTION GRANTING TWO VARIANCES
FOR 1783 EUGENE STREET
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-14-V) has been submitted by James Trusten to the City Council requesting approval of a variance from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 1783 Eugene Street

LEGAL DESCRIPTION: The West 90 feet of the Southwest Quarter of the Southwest Quarter of Section 14, Township 30 North, Range 22 West, Ramsey County, Minnesota except the North 828 feet and except the South 353.76 feet thereof; subject to sewer easement over the west 33 feet thereof. (PID: 143022330083)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A 25.5 foot front yard variance from the 30.5 foot front yard setback, per Code Section 1302.030, Subd.4.d, and a 2.5 foot variance from the five foot side yard setback, per Code Section 1302.030, Subd.4.e, in order to construct a two-car garage; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variance will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.
2. The variance is a reasonable use of the land or building and the variance is the minimum required to accomplish this purpose.
3. The variance will be in harmony with the general purpose and intent of the City Code.

- 4. The variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
- 5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variance.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variance, subject to the following conditions:

- 1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
- 2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
- 3. A building permit shall be obtained before any work begins.
- 4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
- 5. The east side of the garage shall be guttered and water directed towards the driveway/road.
- 6. The shed shall be moved out of the easement area and a zoning permit shall be obtained.

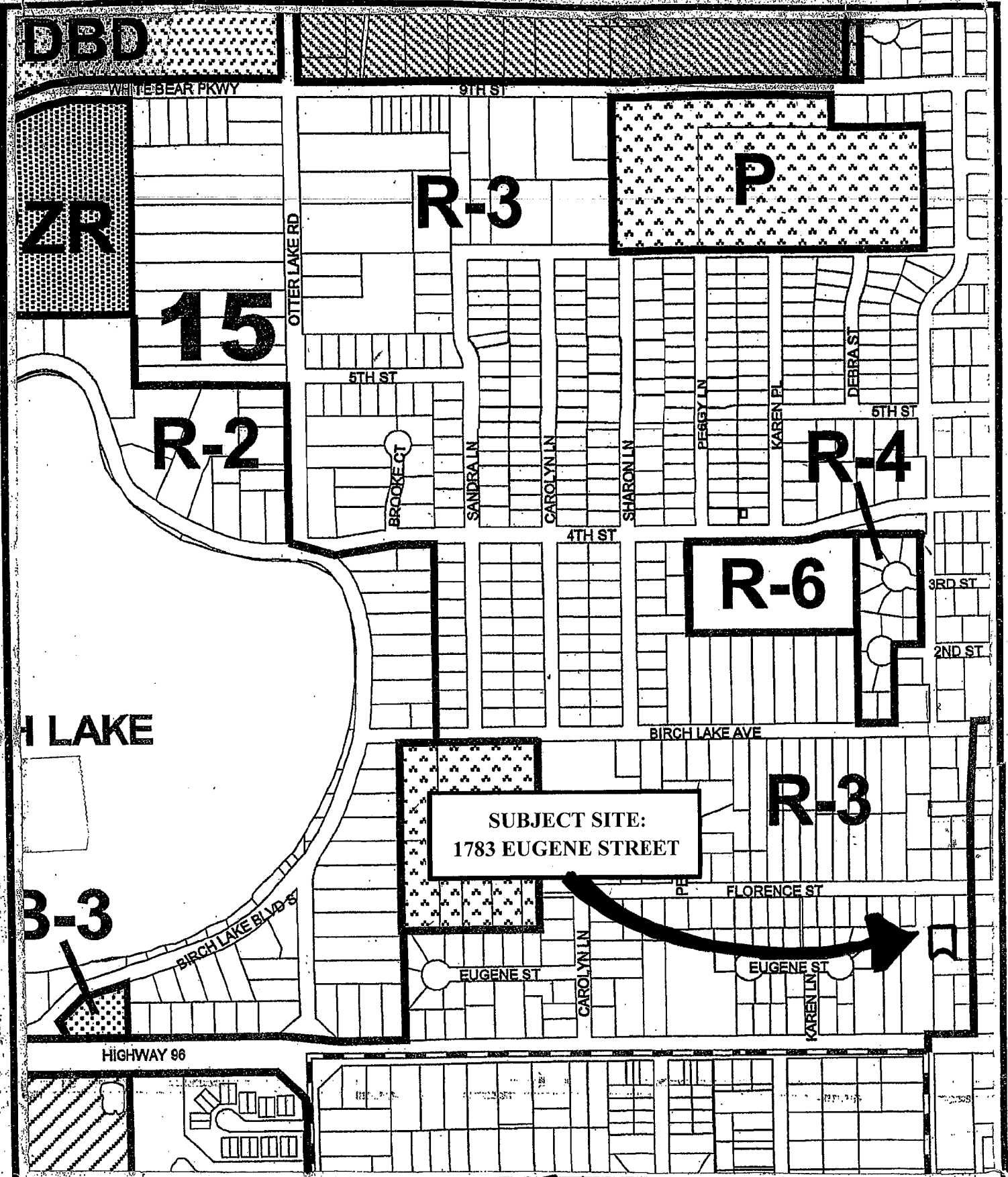
The foregoing resolution, offered by Councilmember and supported by Councilmember, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk



City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : **21-14-V**
CASE NAME : **Trusten**
DATE : **June 28, 2021**

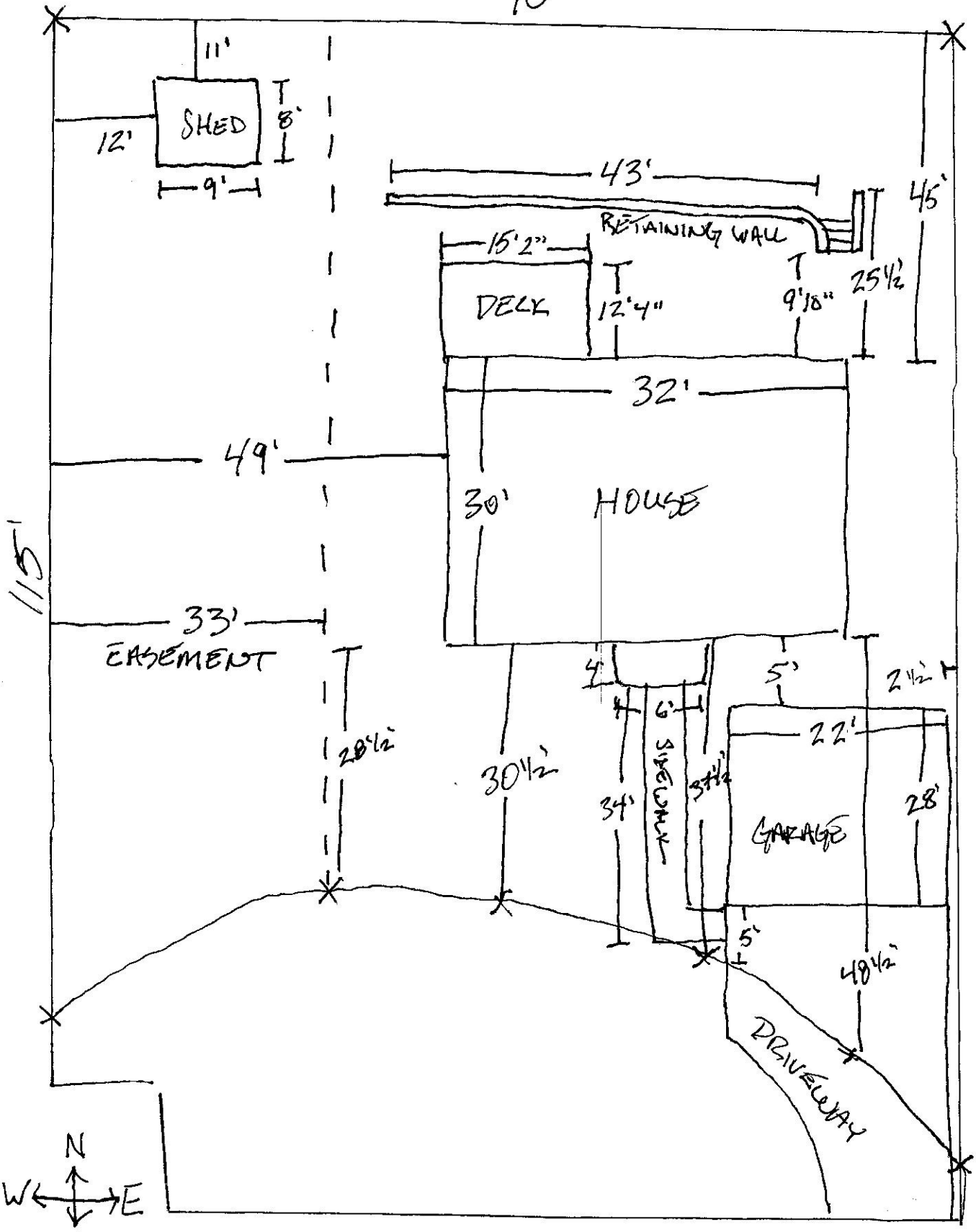
Requesting a 25.5' setback variance of structure from curb (South) property line House is centered on property instead of being offset to provide space for a garage due to a permanent utility easement which runs north-south through the western most 33 feet of property. This makes it impossible to build a garage on either side of the house or behind it. I'm requesting a 4' setback from south property line. This will line the front of the proposed garage to meet at end of the current driveway.

Requesting a 2.5' variance of structure from east property line due to the placement of the house structure and the proposed garage being slightly in front of the house, the garage will be 2.5 feet from the east property line, lining up with my current driveway. This has been communicated and agreed upon with my neighbor without any concerns; however, I understand a formal process is followed from the city if request is approved. The current residents have zero issues or concerns of the garage structure being in this location and are willing for me to build the proposed garage. Originally, the garage was proposed to be 24 feet wide and 6 inches from the property line to align with the driveway. After design changes and at the recommendation of staff, the garage will now be 22 feet wide and 2.5 feet from the side property line.

X = PROPERTY LINE

1783 EUGENE ST
TRUSTEE

90'



EUGENE ST

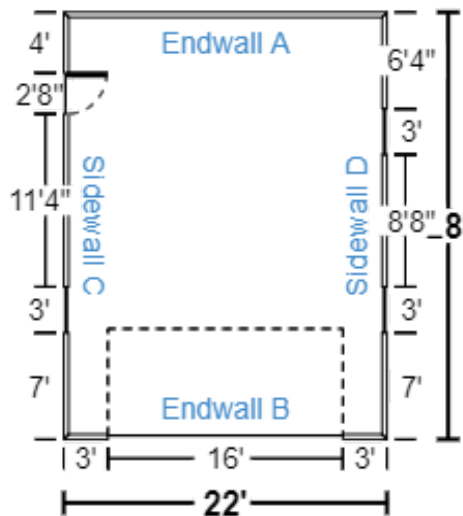
How to purchase at the store

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Garage Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Garage Estimator from the Project Center.
3. Select Search Saved Design.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your Garage to the cart and purchase.

Garage Image



Estimated Price: \$10,461.96

* Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

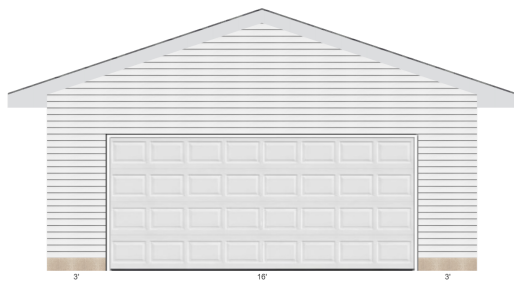
MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

Dimensions

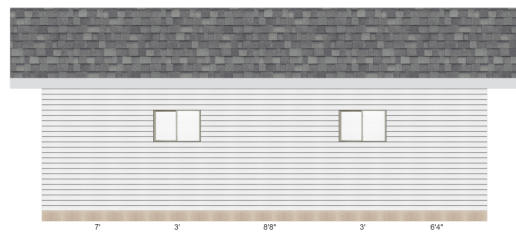
Wall Configurations

*Illustration may not depict all options selected.



ENDWALL B

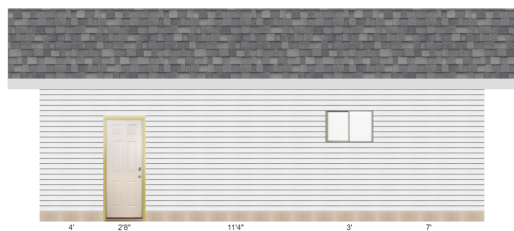
Ideal Door®; 4-Star 16' x 7' White Select Value Insulated Garage Door



SIDEWALL D

JELD-WEN®; 36"W x 24"H Better Series Vinyl Sliding Window with Nailing Flange

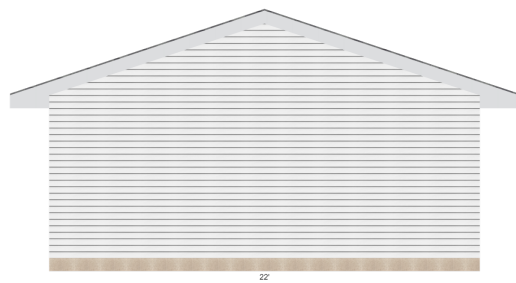
JELD-WEN®; 36"W x 24"H Better Series Vinyl Sliding Window with Nailing Flange



SIDEWALL C

Commander®; 32"W x 80"H Primed Steel 6-Panel Exterior Door

JELD-WEN®; 36"W x 24"H Better Series Vinyl Sliding Window with Nailing Flange



ENDWALL A

*Some items like wainscot, gutter, gable accents, are not displayed if selected.

NOTE TO FILE

TO: 1783 Eugene Street Address File

FROM: Sam Crosby, Associate Planner

DATE: November 4, 2010

RE: Driveway Permit # WB051633

There is 33-foot wide permanent utility easement which runs north-south through the western most 33 feet of the subject site. Staff estimates that the home is about 10 feet east of the easement. Our engineering records for this area (attached) show a 15-inch sanitary sewer line running under the west property line and an 18-inch storm sewer line located 13.5 feet east of the west property line. (That puts the storm line 19.5 feet from the eastern edge of the easement and about 29.5 feet west of the house.) The storm sewer line is buried 12 feet deep. Quite a wide trench would be required to access a line of this size at this depth. Therefore, the City is not willing to give up any easement width.

Not being able to build any structures within this easement area significantly hinders the placement options for accessory structures, such as a shed or garage, on the site. In addition to the easement, there is a fire hydrant and a drainage culvert in the right-of-way, slightly to the east of the easement. These features also hinder the placement options for a driveway. Consequently, the best location for a driveway is in front of the living area of the home. There does not appear to be enough room to squeeze a driveway past the east side of the home, therefore, if a garage were to be constructed it would likely be an attached garage in front of the home, requiring a least one variance (from the front yard setback).



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

4.C

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: June 23 for the June 28, 2021 Planning Commission Meeting

SUBJECT: Boesch Fence Variance, 2514 Oak Court – Case No. 21-15-V

REQUEST

The applicants, Brooke and Garrett Boesch, are requesting a 2 foot variance from the 4 foot height limit for a fence along a side abutting a public right-of-way in order to construct a 6-foot tall privacy fence along the west property line.

SITE CHARACTERISTICS

The subject site is located on the southeast corner of Bellaire Avenue and Oak Court, which is approximately a quarter mile south of County Road E. The property is 95 feet wide (when the code requires an 80 foot lot width) and contains a single family home and a two car detached garage.

ZONING

The subject site is zoned R-3, Single Family Residential and S, Shoreland Overlay, because of its proximity to Hiner's. All of the surrounding properties are also zoned R-3, but some are outside of the Shoreland Overlay.

BACKGROUND

The property was platted in 1977, and the home was constructed in 1979. According to Ramsey County, the current owners purchased the property in 2015.

APPLICANT'S PRACTICAL DIFFICULTY

See applicant's narrative.

ANALYSIS

The Bellaire Avenue right-of-way (ROW) is larger than a standard local ROW – 86 feet wide versus 60 feet wide. The street is wider as well; curb to curb it is 38 feet versus the standard 30 feet. The street is not centered within the right-of-way – the east side of the street has 30 feet of boulevard space between the road and the property line where the west side only has 18 feet of boulevard. The west side also has the public sidewalk. So while Bellaire Avenue is more substantial than other local roads, the "impact" is disproportionately distributed to the west side.

4.C

In 2010, the Zoning Code was revised to reduce the required setback for six-foot fences along a side abutting a public right-of-way from 17.5 feet to 12 feet in an effort to mitigate the number of fence height variance requests. Since the change, five variances have been approved. Those variances were mostly all along high traffic roads to provide increased privacy. For example, the City has in the past supported 6 foot tall fences along side yards abutting White Bear Avenue south of Orchard. That segment of roadway is a Minor Arterial under County jurisdiction with 16,600 trips per day and posted speed of 40 miles per hour. In comparison, this segment of Bellaire is a Major Collector (a lesser designation) under City jurisdiction with 4,150 trips per day and a posted speed of 35.

The code was written with the intent of discouraging a “gated community” appearance and encouraging soft-scape alternatives to maintain the character of the neighborhood. As the applicant points out, there are several mature lilac bushes and trees along Bellaire Avenue that already provide screening even taller than 6 feet. If year-round screening is desired, additional dense evergreens, such as arborvitaes could be planted. Staff finds that the if the fence were set back twelve feet from the property line (to allow the 6 foot height), there would still be ample space for backyard activities, particularly given the width of the lot. Conversely, a 4 foot tall fence without the 12 foot setback would comply with code and still provide a safe place for children to play.

DISCRETION

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

The characteristics of Bellaire Avenue have not changed since the applicant purchased the property. Staff recommends denial of the request, based on the following findings:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist, such as landscaping.
2. There are no unique physical characteristics to the lot which create a practical difficulty for the applicant.
3. The granting of the variance is contrary to the intent of the zoning code.
4. The ‘walled-off’ appearance of a tall privacy fence is not the existing nor the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City’s essential character.

Attachments:

1. Draft Resolution of Denial
2. Zoning/Location Map

3. Applicant's Narrative
4. Property Map
5. Example Fence Style
6. Site Photos

DRAFT RESOLUTION NO. _____

**RESOLUTION DENYING A FENCE VARIANCE
FOR 2514 OAK COURT
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-15-V) has been submitted to the City Council requesting approval of a fence height variance from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 2514 Oak Court

LEGAL DESCRIPTION: Lot 9 Block 1 of Lakewood North Second Addition, Ramsey County, MN (PID: 363022120064)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: A two foot variance from the four foot height limit for a fence along a side abutting a right-of-way, per Zoning Code Section 1302.030. Subd.6.h.4; and

WHEREAS, the Planning Commission held a public hearing, as required by the city Zoning Code, on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist, such as landscaping.
2. There are no unique physical characteristics to the lot which create a practical difficulty for the applicant.
3. The granting of the variance is contrary to the intent of the zoning code.
4. The ‘walled-off’ appearance of a tall privacy fence is not the existing nor the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City’s essential character.

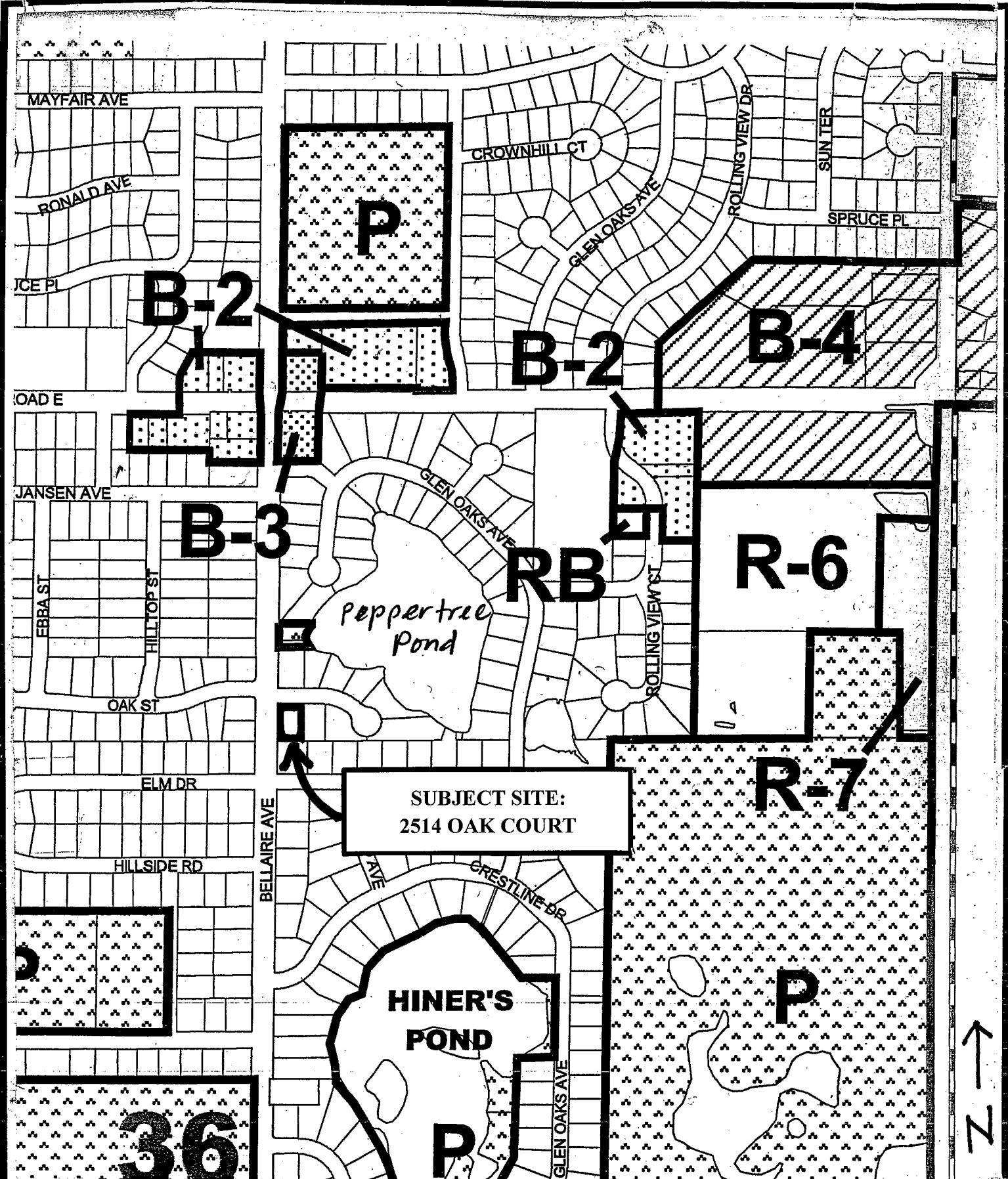
The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk



**SUBJECT SITE:
2514 OAK COURT**

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 21-15-V
CASE NAME : Boesch
DATE : June 20, 2021

5/10/2021

Re: 2514 Oak Court Land Use and Variance Request for 12-foot variance from the 12-foot setback for a 6-foot-tall fence along the side abutting a public right-of-way

Dear Planning Commissioners:

We own the home at 2514 Oak Court which is located on the corner of Oak Court and Bellaire Avenue. The front of our house faces Oak Court. We are planning to fence our backyard.

The City fence regulations states: "On corner lots, in residential districts, a fence up to six (6) feet in height may be allowed within a front yard which qualifies as an equivalent side yard abutting a public right-of-way, provided that it is set back at least 12 feet from the property line and does not impede safety by obstructing vision for pedestrians or motor vehicle operators."

We are requesting a variance because we want to install 80 feet of a 6-foot-high vinyl privacy fence along our property line in the backyard on the west side (Bellaire Avenue side). Bellaire Avenue is a very busy road. We want a fenced backyard for a safe place for our daughters, Vivian (3 years old) and Ivy (2 years old), to play. We want to retain as much of our yard space as possible. We would also like privacy from Bellaire Avenue because it has become so busy. Since the 2020 street reconstruction project, cars drive very fast on Bellaire Avenue often exceeding the posted 35 MPH speed limit. Bellaire Avenue is likely to become even busier in the future once the vacant lots at the intersection of County Road E and Bellaire Avenue are developed, which is two blocks north of our house. We plan to enclose the other three sides of our backyard with a 4-foot-high black chain link fence.

This property line on the west side is setback 30 feet from Bellaire Avenue. The 80-foot section of 6-foot-high vinyl privacy fence would start 90 feet south of the intersection of Oak Court and Bellaire and 160 feet north of the intersection of Elm Drive and Bellaire Avenue and will not obstruct vision for pedestrians or cars. The fence will enclose our backyard from the rear of our garage and house (not including our side yards).

The fence will be professionally installed by Classic Fence Company who have been in business over twenty years with an A+ Better Business Bureau (BBB) rating. We plan to use the Bufftech® vinyl privacy fence in white. The privacy fence will be on the inside of several mature lilac bushes and trees along Bellaire Avenue. This landscape will cover the majority of the fence along Bellaire Avenue.

I have included a map of the proposed fence and several photos.

Thank you for your time and consideration.

Sincerely,

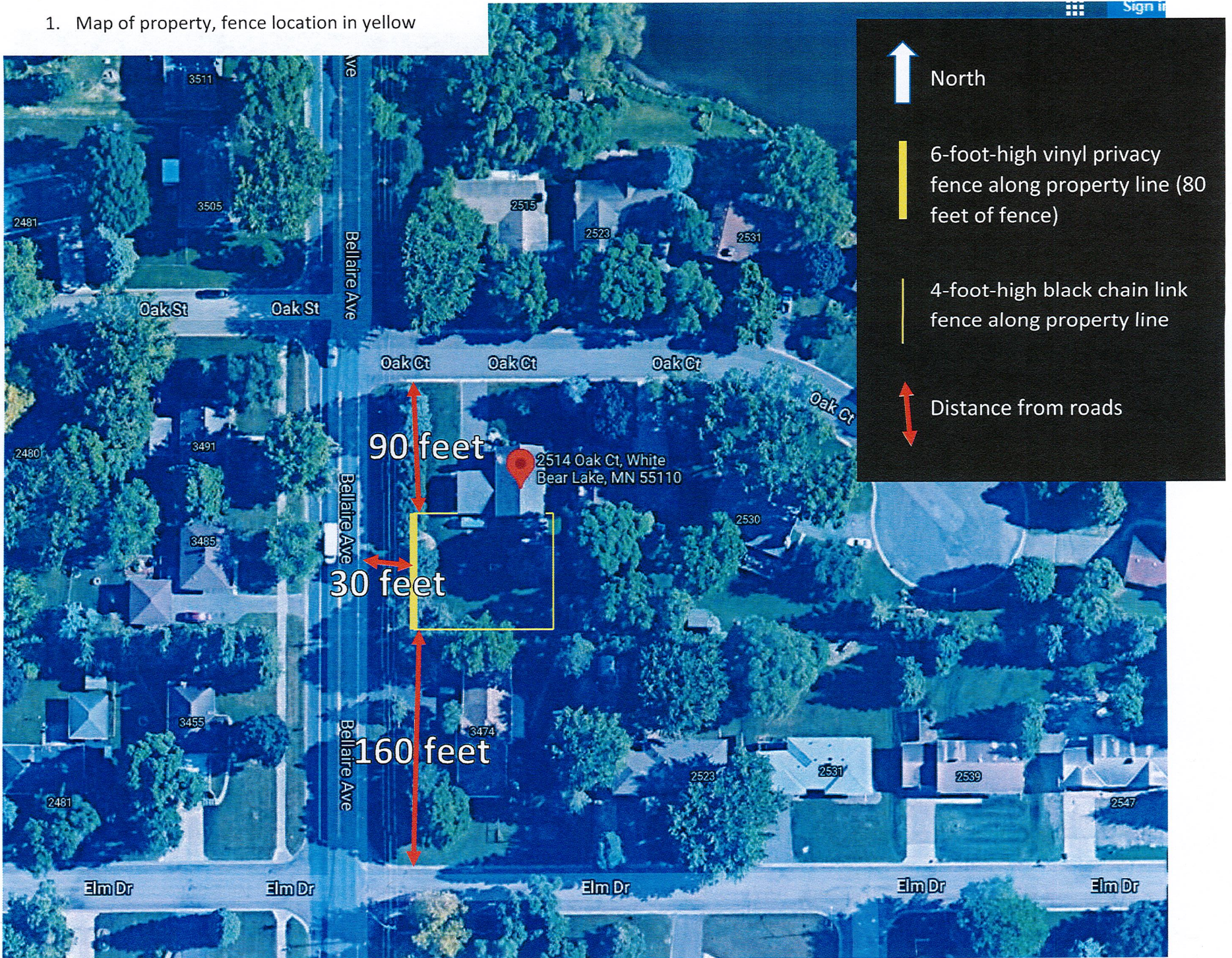


Brooke and Garrett Boesch

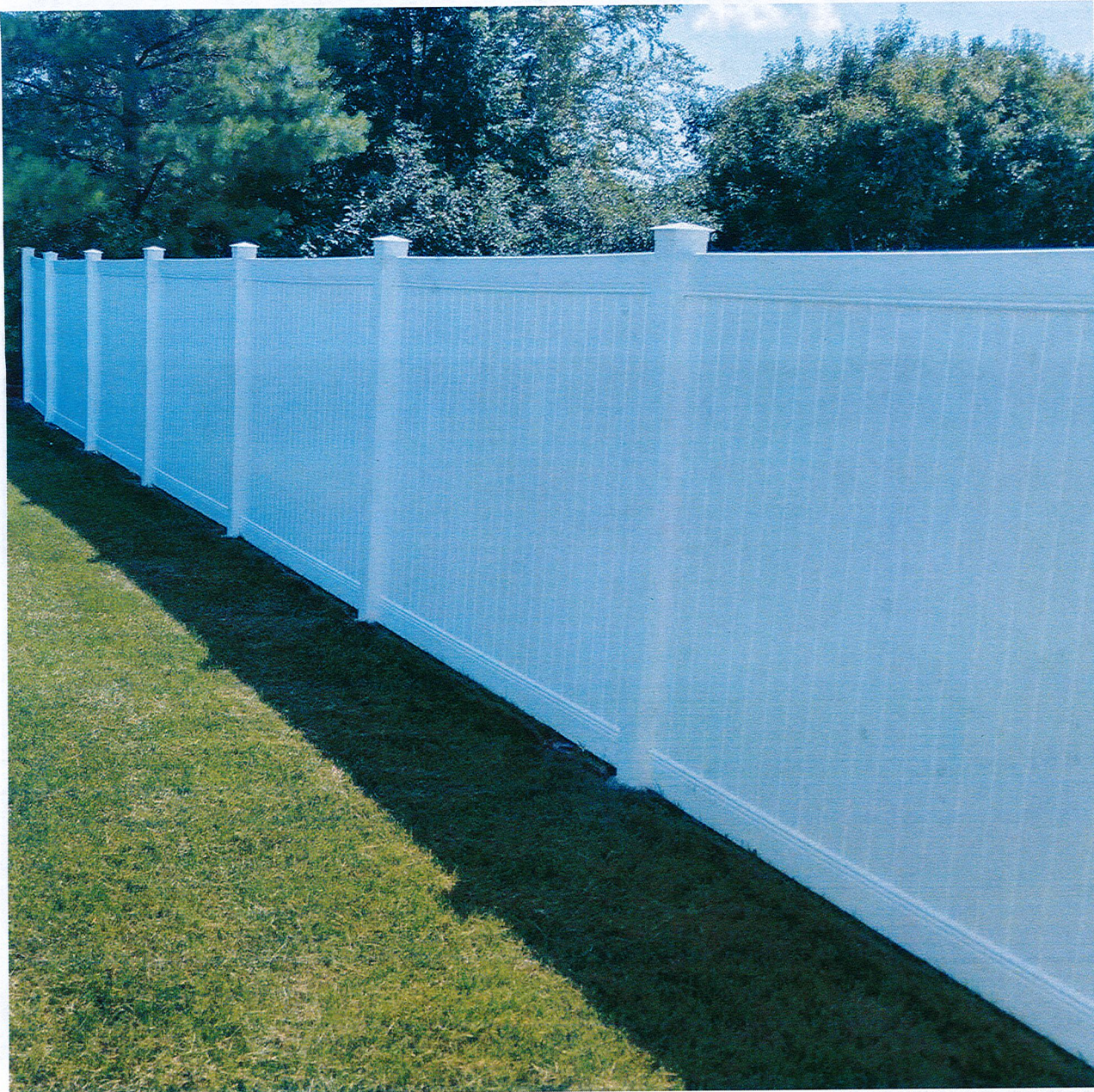
612-716-7482

2514 Oak Court, White Bear Lake, MN 55110

1. Map of property, fence location in yellow



2. 6-foot-high white vinyl privacy fence (Bufftech®), installed by Classic Fence Company (A+ BBB rating, 20 years of service)



3. Property line on Bellaire Avenue side (Bellaire Avenue on left), back of property facing north, fence location in yellow



4. Property line on Bellaire Avenue side (Bellaire Avenue on right), north side of backyard facing south, fence location in yellow



5. Backyard facing Bellaire Avenue, fence location in yellow (on the inside of lilacs)



6. Facing backyard from across Bellaire Avenue, fence location in yellow (behind lilacs and trees)





City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

4.D

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: June 23 for the June 28, 2021 Planning Commission Meeting

SUBJECT: Morris Variance, 4926 Johnson Avenue – Case No. 21-16-V

REQUEST

The applicant, Joe Morris, is requesting a 2 foot variance from the four foot height limit along a side abutting a public right-of-way in order to construct a 6-foot tall privacy fence along the west property line.

SITE CHARACTERISTICS

The subject site is located on the southeast corner of Johnson Avenue and 9th Street. The property is 75 feet wide, 11,632 square feet in size, and contains a single family home and a two car detached garage.

ZONING

The subject site is zoned R-4, Single and Two Family Residential and S, Shoreland Overlay, as are all of the surrounding properties.

BACKGROUND

The property was platted in 1887, and according to Ramsey County, the home was constructed in 1921. In 1973, the property was granted a 3 foot variance from the 5 foot side yard setback for the garage. The current owners purchased the property in December of 2020 and are currently renovating the home.

APPLICANT'S PRACTICAL DIFFICULTY

See applicant's narrative.

ANALYSIS

The proposed variance is not a slight variance – it is a 50% variance. And, as pointed out by the applicant, the ground grade of the subject site is elevated in comparison to the street. The applicant estimated the “berm” at 4.5 feet tall. This is a physical characteristic of the lot, but it is not one that creates a practical difficulty. If the yard were lower than the street grade, perhaps additional fence height might be warranted to compensate for the unfavorable topography. But having the higher ground will make the fence seem taller than it is and will provide enhanced screening as viewed from the outside.

4.D

In 2010, the setback requirement for a 6-foot tall fence was reduced from 17.5 feet to 12 feet. While some exceptions have been granted from this requirement since then, those exceptions are along high speed high volume roads. Johnson Avenue does not approach the higher volume roadways that would warrant a variance and does not align with precedent.

The distinct character of the Old White Bear neighborhood is passionately defended by its residents. A taller fence along a public right-of-way (other than an alley) would undoubtedly detract from the quaint charm of the area by deviating from the established development pattern. Again, there are alternatives available: dense evergreens, such as arborvitae could be planted; a 6 foot tall fence could be set back twelve feet from the property line; or a 4 foot tall fence at the property line would provide roughly 8 feet worth of privacy if the change in grade is as significant as the applicant estimates. Hence staff strongly recommends against a variance to allow any additional fence height.

DISCRETION

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

Staff recommends denial of the request, based on the following findings:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist, such as landscaping.
2. The variance requested is not the minimum necessary to alleviate a practical difficulty or unique physical condition.
3. The granting of the variance is contrary to the intent of the zoning code.
4. The 'walled-off' appearance of a tall privacy fence is not the existing nor the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City's essential character.

Attachments:

1. Draft Resolution of Denial
2. Zoning/Location Map
3. Applicant's Narrative
4. Lot Drawing & Survey
5. Example Fence Style
6. Auger Email, dated 6-23-21
7. Bonin Email, dated 6-24-21
8. Resident Letter, received 6-24-21
9. Will Email, dated 6-24-21

RESOLUTION NO. _____

**RESOLUTION DENYING A FENCE VARIANCE
FROM THE CITY OF WHITE BEAR LAKE ZONING CODE FOR
4926 JOHNSON AVENUE**

WHEREAS, a proposal (21-16-V) has been submitted by Joe Morris to the City Council requesting approval of a fence variance from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4926 Johnson Avenue

LEGAL DESCRIPTION: Lot 10 and the West half of Lot 11, block 19, Auerbach's Rearrangement of part of White Bear, Ramsey County, Minnesota, together with that portion of vacated 9th Street lying within 10 feet North of the North boundary of said Lot 10 and West half of said Lot 11 and bounded on the East by the East line of said West half of Lot 11 extended on the West by the West line of said Lot 10 extended. (PID #:133022220085)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: A 2 foot variance from the 4 foot maximum height limit, per Code Section 1302.030, Subd.6.h.3, in order to construct a 6 foot tall fence along the west property line; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council hereby denies the request, based upon the following findings:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist, such as landscaping.
2. The variance requested is not the minimum necessary to alleviate a practical difficulty or unique physical condition.
3. The granting of the variance is contrary to the intent of the zoning code.
4. The 'walled-off' appearance of a tall privacy fence is not the existing nor the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City's essential

character.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

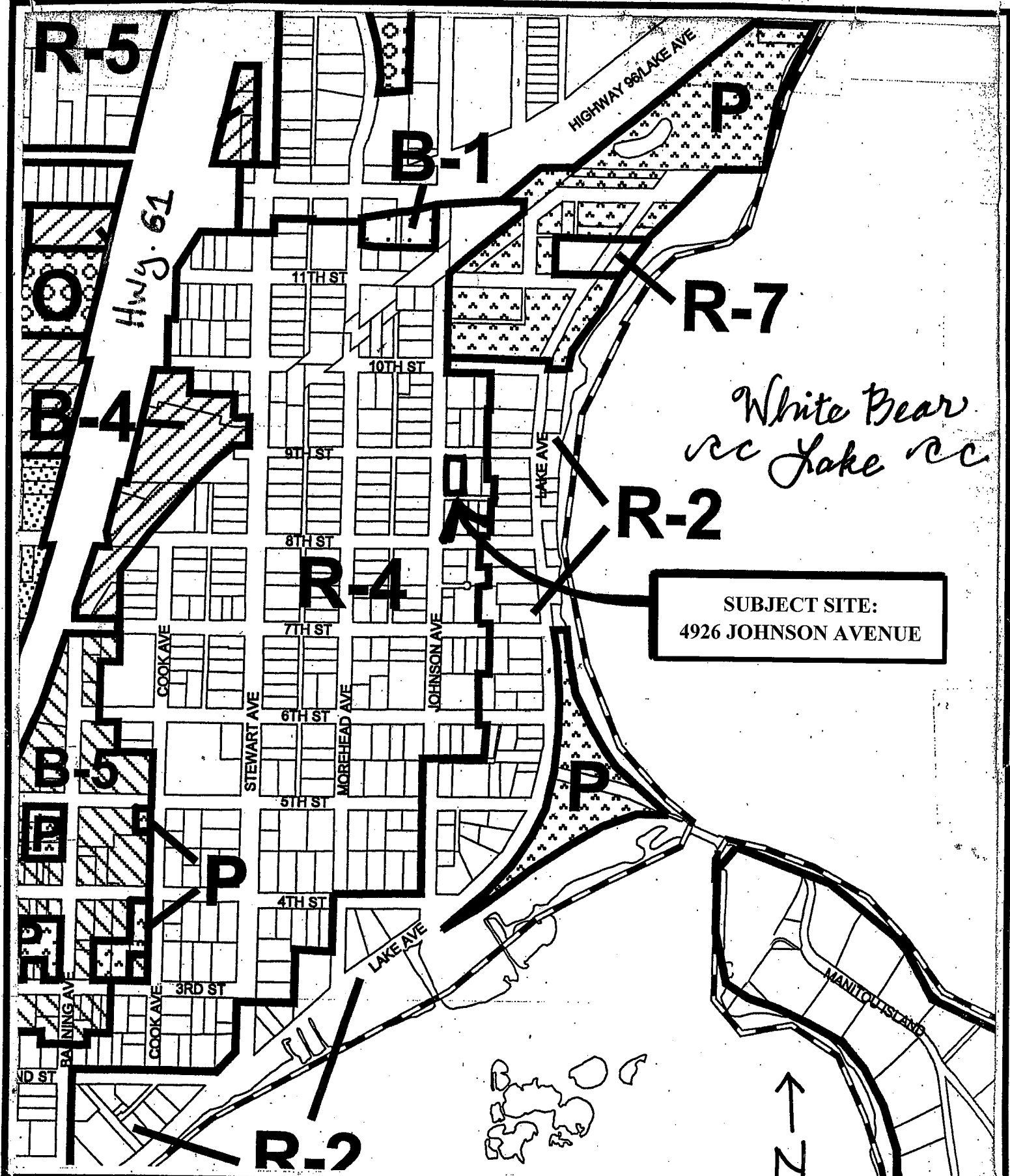
Nays:

Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk



*White Bear
cc Lake cc*

**SUBJECT SITE:
4926 JOHNSON AVENUE**

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 21-16-V
 CASE NAME : Morris
 DATE : June 20, 2021

To : White Bear Lake Planning Commission

This letter is written by Joe Morris and Debbie Whitaker the new owners of 4926 Johnson Ave.

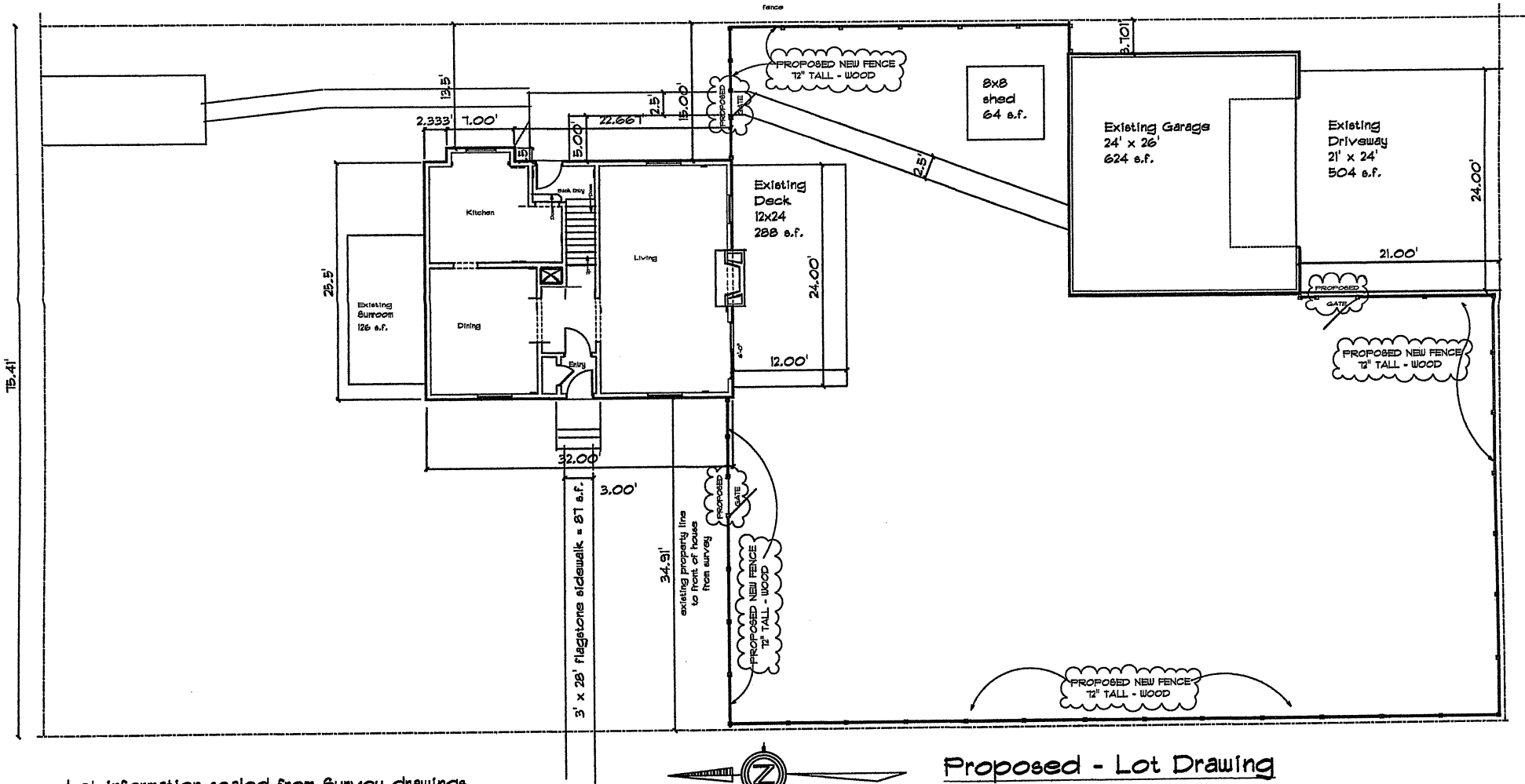
We are applying for a land use variance because we would like to build a slightly taller fence on our new property. The home is located on the corner of Johnson Ave and 9th St which does not give us a traditional backyard, privacy or security from the street or alley way. We are requesting to build a **6 ft** high fence down the property line which is set back more than 12 ft off the street. The property line is also elevated due to the rise in topography which will not impede on the neighbors line of sight. The fence will only enclose part of the yard in total giving us the desired privacy we'd like on the south side of our home. The style of fence will be a nice cedar tone natural wood with 1-2 inch openings between each board. This will allow for some light to come through but also give us the privacy desired from the street since parking in front of our house seems very likely during the warmer months. Our neighbors to the east of us have verbally agreed to the height and look of the fence especially since it will enclose their property as well. The more decorative side of the fence will be outward facing for all to see.

As many of you know we purchased this home this past winter and are working extremely hard to restore it to its original state. We are making thoughtful upgrades to the entire property while preserving the charm of the original home. We feel that this fence will in no way take away from the beautiful dutch colonial style first established on the property.

We are asking you kindly to grant us this request so we can complete our dream home for many years to come.

Regards,

Joe Morris & Debbie Whitaker



Lot Information scaled from Survey drawings



Proposed - Lot Drawing
Scale 1" = 10'

Guidinger Construction LLC
4955 Johnson Ave.
White Bear Lake, MN 55110
cell #651-325-6000
MN License #649996

NEW FENCE
Debbie Whitaker & Joe Morris
4926 Johnson Ave
White Bear Lake, MN 55110

6' FENCE
MAY
13
2021

**Proposed
NEW FENCE**

Example Fence Style:



From: Jean Auger <wbljean@hotmail.com>
Sent: Wednesday, June 23, 2021 7:32 AM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: 4926 Johnson Avenue Variance Request

To Whom it May Concern:

I would like it noted that I object to the Variance Request for a 6' fence on the property at 4926 Johnson Avenue.

I share the alley with the property mentioned. This alley is the only way to access our property. I believe this fence would make it harder than it already is, to exit the alley onto Johnson Avenue between 8th and 9th Streets. It is already hard to see as we creep out onto Johnson Avenue. I regularly babysit my 5 grandkids, and we use this entrance all the time to ride bikes and walk. It is already a busy little stretch of Johnson Avenue, being one block from the park.

I also think the height of this fence would be unattractive addition to our quaint little downtown feel, making it somewhat of a fortress due to the height.

The neighbors to the east are renters, so I don't know if they have spoken to the renters or the owners (as indicated in their proposal letter). I believe that renters or absentee owners would have less interest in the goings-on of the neighborhood.

We also do not have a traditional back yard, nor privacy at all from the alley, which IS literally our back yard. This is what we signed up for when we bought our house. They have a huge yard, not the traditional 'front' yard, but a large corner lot. These are the concessions you make when you buy a house in this highly sought after neighborhood.

These Codes are there for a reason, and I don't feel there is sufficient need for this high of a fence.

Jean and Mike Auger
4911 Lake Avenue

From: Molly Bonin <mmbonin47@gmail.com>
Sent: Thursday, June 24, 2021 7:52 AM
To: Ashton Miller <amiller@whitebearlake.org>
Subject: Variance

White Bear Lake Planning Commission.

My name is Molly Bonin and I live at 4905 Johnson Avenue.

I am writing in response to a variance application at 4926 Johnson Avenue, right across Johnson Avenue from my house.

I am not in favor of their request to erect a 6 foot high fence on their property. It will be placed on top of a hill and will be too high and impede my views. It will also be too commercial looking and imposing. The solid nature of the fence also will make it too big for the property.

Thank you for your time.

Molly Bonin

Planning Commission-Variance Committee

Re: Request for variance of fence at 4926 Johnson Av.

Reasons for denial:

-

The fence on the south side borders the alley and would block clear view of traffic on Johnson Av. This alley is very busy and serves as the only entrance to 8 houses on the block-this is a very busy alley and heavily used by the residents turning right or left onto Johnson.

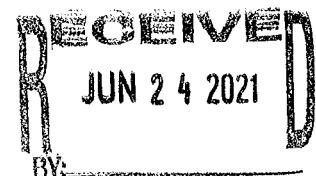
A fence of this height would change the appearance of the neighborhood. There is no fence of this size in this area.

The ground level height of the lot is at least 3 feet higher than the street level. Any fence built is like 3 feet higher than wall itself. So on the alley a 6 ft fence would appear and act as a 9 ft. fence.

This neighborhood is a very appealing and friendly one where residents care and help each other. That's what makes this a popular place to live. Fences of this size tend to isolate people rather than make it an open community. It is not an improvement but a deterrent.

Please consider these facts when making your decision.

Resident in this neighborhood



From: Mary Will <marelou55@gmail.com>
Sent: Thursday, June 24, 2021 11:38 AM
To: Samantha Crosby <scrosby@whitebearlake.org>
Subject: Re: Hi

In regards to the variance request by Joe Morris, Case No 21-16-V, we are opposed to this request. A 6 foot "fortress" is not in the best interests of the neighborhood. We live across the street from that residence, and it would truly be an eyesore. There was no mention of any bushes or gardens to help block the street side view of the fence. There were bushes all along that side that gave them all the privacy they needed. They tore them all down! If they did not like the quality or condition of said bushes, we understand. We would recommend that they install new bushes. This neighborhood is a place of great beauty and aesthetics really do matter to those of us who take great pride in it. Thank you for your consideration in this matter.

Sincerely, Ronald and Mary Will



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: June 23 for the June 28, 2021 Planning Commission Meeting

SUBJECT: Paula Lobinsky, 4372 Cottage Park Road - Case No. 21-11-V

REQUEST

The applicant is requesting 4 variances:

- A 10.5 foot variance from the 15 foot side yard setback on the south side;
- A 10 foot variance from the same on the north side;
- A 29 foot variance from the 35 foot street side setback for an attached garage and the living area above it; and
- A 3 foot variance from the 53 foot average lakeside setback for a deck;

in order to tear down the existing residence with two-car detached garage and construct a new single-family residence with a four-car attached garage.

SITE CHARACTERISTICS

The lot is located between White Bear Lake and Cottage Park Road at the north end of the neighborhood. The R-2 zoning district requires 15,000 square feet minimum lot area and 100 feet minimum lot width. The subject site is 55 feet wide at the road side and is 9,030 square feet in area. The lot contains a one story single-family residence with a two-car detached garage.

ZONING

The subject property is zoned R-2 - Single Family Residential and S - Shoreland Overlay. The homes to the north and south are also zoned R-2 and S. The properties to the west are zoned R-3 - Single Family Residential and S. White Bear Lake abuts the lot to the east.

BACKGROUND

The lot was platted in 1884 and the home was built in 1900. The home originally had an attached garage. In 1977 the City approved four setback variances to allow the current detached garage with a remodel of the previous garage into kitchen space and a 416 square foot addition off the lakeside. The current owner purchased the property in October of 2020.

APPLICANT'S PRACTICAL DIFFICULTY

See attached narrative.

ANALYSIS

The subject site is easily buildable without any variances. With a 54.9 foot wide lot, a 24.9 foot wide house could be constructed while still meeting the 15 foot side yard setbacks required by code. Likewise, a residence could be approximately 71.67 feet long while complying with both the street side and lakeside setbacks. That results in a 1,785 square foot building envelope for a home.

The requested variances inflate the size of the structure without stated reason. For example, the stairway is 11 feet wide when 6 feet is required by code. The width of the stairs leading to the second floor in City Hall is 8 feet 9 inches wide. The proposed hallways are 4 and 5 feet wide when only 3 feet is required by code. The front "stoop" is 10 feet by 7 feet versus 3 feet by 3 feet. The garage contains a second set of stairs leading to the basement. The entire house could narrow by a few feet without adversely impacting maneuverability, functionality or feel.

The applicant is asking to place the new structure where the old structure was, and this might be solid reasoning for reconstructing a house of a comparable height. But instead of a one story home, the applicant is proposing a home equivalent to 3 stories in height. With a three-fold increase floor area, reduced setbacks are not warranted. With remodel projects there are usually a myriad of existing conditions that need to be worked around. With a complete tear-down/rebuild on a lot such as this there is no reason the proposed layout cannot be closer to code than existing conditions rather than further from it.

1. *South Side Yard*

The home is proposed to be 4.5 feet from the south side property line when the R-2 zoning district requires a 15-foot side yard setback. Again, the reason for the proposed setback is it is where the previous house sat. However, the previous house was approximately 15 feet to the peak versus 35 feet to the peak. Staff finds that the impact of the reduced setbacks is amplified by the height of the proposed house. Rather than recommending the house comply with the full 15 foot setback, staff recommends that the pitch of the roof be modified to reduce the height of the home. The Klegin residence constructed in Cottage Park in 2016 was 30 feet to the peak. See comparison graphic. Staff recommends a 10 foot setback to the south side property line and a 30 foot maximum height as measured from the peak to the street side ground grade.

2. *North Side Yard*

The living area is proposed to be 10 feet from the north side property line, and the garage portion of the home (with living area above) is proposed to be 5 feet, when the R-2 zoning district requires a 15-foot setback. With the aforementioned reduction in the height of the house, staff supports this variance as requested.

3. *Front Yard (Street side)*

The R-2 district requires a 35 foot setback from the road. There are many homes in the neighborhood that do not comply with this setback. Staff finds that, given the historic development pattern of the immediate area, 35 feet may be unwarranted; however, staff also finds that the 6 foot setback superfluous, given the front-loaded design, the height and the size. If

the garage were a standard two car size, at 24 feet deep rather than the 40 feet proposed, the front yard setback would be 22 feet.

With the Klegin residence, staff supported a 5 foot setback but the garage was side-loading and we recommended a 15 foot setback for the second floor/living area. The second floor recommendation was based on the historic development pattern in the immediate area. Of the homes in Cottage Park which do have garages very close to the street-side property line, most have recessed second stories, reducing the visual mass of the structure by stepping back the façade. In this case, staff recommends redesigning the roofline to minimize the impact of the requested variance. Changing the garage portion of the home to a hipped roof style will “pull” the living area further back, both increasing the setback of the living area and reducing the height of this portion of the home.

The currently proposed height of the garage portion of the home is 28.5 feet to the peak. This is only 1.5 feet shorter than the maximum building height in the Old White Bear neighborhood. In further comparison, the height of the garage on the Farrell residence recently constructed on Lake Avenue is 22 feet to the peak. So with a similar sized structure, a second floor office space could easily be provided. Further, if the height of the rest of the home is reduced to 30 to the peak, a shorter peak for the garage portion will appear proportionally correct. Staff recommends that in addition to the hip roof style, the height of this part of the house be shorter than the rest of the home.

4. *Lakeside Deck*

The lakeside deck encroaches into the lakeside average setback by 3 feet. The portion that encroaches is only a small triangle that is 3 feet at the widest point and tapers quickly. The encroachment is mainly caused by the curvature of the lake in relation to the straight lines of the residence. Staff supports this variance as a de minimus amount related to a physical characteristic of the property.

Other

The proposed structure would be 44 feet tall from the lakeside grade to the peak. This is a very tall house. (Chateauguet is 4 stories and 52 feet in height, likewise, the Boartworks Commons is 4 stories and 45 feet to the mean.) The code limits the home to 35 feet – as measured from the *mean* ground grade to the *mean* of the highest gable – so the proposed structure meets code. (However, the code was written with the assumption that the required setbacks would be provided.) Reducing the height of the home to 30 feet to the peak (akin to Klegin residence) as measured from the street side grade will require each story to be a little shorter, however, there are tall ceilings and a lot of un-used attic space in the proposed design so there is plenty of room to accommodate this recommendation. This would reduce the height on the lakeside to 39 feet to the peak.

Properties within the Shoreland Overlay district may not exceed 30% impervious area. Currently, the property is 49.6% impervious. The proposed redevelopment will reduce the impervious area to 36.5%. The applicant proposes to mitigate the additional imperious area

above the 30% as required by code, but has not yet provided all the details for how this will be accomplished.

There are 4 trees on site which will hopefully not be impacted by this project, but if they are the applicant will need to meet provide the code-required tree replacement.

The applicant cited the Klegin residence that was granted a number of variances in 2016, and was modeled after a house that fronts on Highway 61. A home on Highway 61 is both rare and has a distinctly different neighborhood character – it fronts on a state trunk highway whereas this home fronts a quaint residential street. The proximity of the homes to each other along Highway 61 helps to create a barrier between the highway and the lake, blocking highway noise and lights. Staff does not support that tight of a development pattern elsewhere. Also, the Klegin residence was on a lot that was not buildable without variances. There is no correlation between the two other sites and this site except the Klegin residence is located on the same street.

DISCRETION

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

Staff finds that not all of the variances are reasonable. The variances are not the minimum necessary to alleviate a practical difficulty. However, when the height of the house is scaled down, and the south side pulled back to match the setback north side, the impact of the proposed site design would be lessened. In short, staff recommends the following:

<u>SUMMARY CHART</u>	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>RECOMMENDATION</u>	<u>RESULTING VARIANCE</u>
Street side setback	35 ft.	N/A (detached)	6 ft.	6 ft. (Compromise with redesign)	Same as requested
South side setback	15 ft.	4.6 ft.	4.5 ft.	10 feet (denial w/ lesser variance)	5 ft. variance
North side setback	15 ft.	5 ft. (garage) 10.5 ft. (living)	5 ft. & 10 ft.	5 ft. & 10 ft. (Approval with redesign)	Same as requested
Lake side Setback (Deck)	53 ft.	39 ft.	50 ft.	50 ft. (Approval)	Same as requested

RECOMMENDATION

Staff recommends:

- Denial of the south side setback variance, but approval of a lesser variance with design modifications.
- Approval of the north and street side setback variances, but only with design modifications.
- Approval of the lake side setback variance as requested.

Staff bases the recommendations for denial on the following findings:

1. The variances as requested are not necessary for the reasonable use of the land or buildings; other design options exist.
2. The variances requested are not the minimum necessary to alleviate a practical difficulty or unique physical condition.
3. The granting of the variances is contrary to the intent of the zoning code.
4. The mass of structure resulting from the accumulation of the requested variances is not in harmony with the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City's essential character.

Staff makes the recommendations for approval subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. Porous pavers, rain gardens or other mitigative features used to off-set impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.
4. A building permit shall be obtained before any work begins.

Prior to the issuance of a building permit:

5. The plan shall be revised to provide a 10 foot side yard setback from the south side property line.
6. The height to the peak of the highest gable shall be reduced to 30 feet as measured from

the street side grade.

7. The roof over the garage portion of the home shall be a hip-style design with the peak at least 4 feet shorter than the highest gable.
8. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.
9. The patio under the deck shall be added to the impervious area calculations or removed from the architectural plans.
10. The plans submitted for building permit shall comply with the Engineering Comments dated 6-8-21.
11. If grading extends closer than 50 feet to the OHWL, a grading plan must be submitted to the Rice Creek Watershed District for review and approval.
12. The applicant shall verify their property lines and have the property pins exposed at the time of inspection.

Attachments:

1. Draft Resolution
2. Zoning/Location Map
3. Applicant's Narrative
4. Colored Graphics (3 pages)
5. Survey, Site & Grading Plans (3 pages)
6. Architectural Plans (5 pages)
7. Engineering Comments, email dated 6-8-21
8. Klegin Overlay Graphics

RESOLUTION NO. _____

**RESOLUTION DENYING ONE VARIANCE AND
APPROVING FOUR VARIANCES WITH CONDITIONS FOR
4372 COTTAGE PARK ROAD
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-11-V) has been submitted by Paula Lobinsky to the City Council requesting approval of four variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4372 Cottage Park Road

LEGAL DESCRIPTION: Lot 1, Block 2, of South Shore Rearrangement of part of Blocks 1, 2, 3, and 4 of Cottage Park White Bear Lake, Ramsey County, Minnesota. Also a strip of land along the Northerly side of Lot 3 of Block 2 of the same, described as follows: Beginning at a point which is at the Northwest corner of Lot 3; thence running Southerly along the West line of said Lot 3, a distance of 6.5 feet to a point; thence in an easterly direction a distance of 129.65 feet to a point; thence North a distance of 1.5 feet to a point on the North line of Lot 3; thence West on the North line of Lot 3 a distance of 129.8 feet to the point of beginning. (PID # 233022130010)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: a 10.5 foot variance from the 15 foot side yard setback on the south side and a 10 foot variance from the same on the north side, both per Code Section 1303.040, Subd.5.c; a 29 foot variance from the 35 foot street side setback for an attached garage and living area above it per Code Section 1303.040, Subd.5.c.1, and a 3 foot variance from the 53 foot average lakeside setback for a deck, per Code Section 1302.040, Subd.4.c, all in order to demolish the existing home and reconstruct a new single family residence

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed request upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas; and

WHEREAS, the City Council finds that some aspects of the project are reasonable with certain design modifications;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council hereby denies the 10.5 foot variance from the 15 foot side yard setback along the south side, based upon the following findings:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist.
2. The variance requested is not the minimum necessary to alleviate a practical difficulty or unique physical condition. The City herewith approves of a lesser variance.
3. The granting of the variance is contrary to the intent of the zoning code.
4. The mass of structure resulting from the accumulation of the requested variances is not in harmony with the desired character of the neighborhood.
5. Deviation from the code without reasonable justification will slowly alter the City's essential character.

NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of White Bear Lake that the City Council hereby approves the three other requested variances and a 5 foot variance from the 15 foot side yard setback along the south side subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. Porous pavers, rain gardens or other mitigative features used to off-set impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.
4. A building permit shall be obtained before any work begins.

Prior to the issuance of a building permit:

5. The plan shall be revised to provide a 10 foot side yard setback from the south side property line.
6. The height to the peak of the highest gable shall be reduced to 30 feet as measured from the street side grade.
7. The roof over the garage portion of the home shall be a hip-style design with the peak at least 4 feet shorter than the highest gable.
8. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.

- 9. The patio under the deck shall be added to the impervious area calculations or removed from the architectural plans.
- 10. The plans submitted for building permit shall comply with the Engineering Comments dated 6-8-21.
- 11. If grading extends closer than 50 feet to the OHWL, a grading plan must be submitted to the Rice Creek Watershed District for review and approval.
- 12. The applicant shall verify their property lines and have the property pins exposed at the time of inspection.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

LVMU

WHITE BEAR
LAKE

SUBJECT SITE:
4372 COTTAGE PARK ROAD

P

R-3

R-2

GOOSE LAKE

P



RISHWORTH LN

B-2

DOUGLAS LN

LAKEVIEW AVE

SOUTH SHORE BLVD

HAZEL ST

LILAC LN

GARDENETTE DR N

GARDENETTE DR S

R-3

FLORAL DR

MCKNIGHT RD

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 21-11-V
CASE NAME : Lobinsky
DATE : June 20, 2021

UPDATED: NARRATIVE FOR VARIANCE APPLICATION REQUEST

PROJECT: *Owners: Paula & Mike Lobinsky*

HOMESITE: *4372 Cottage Park Road, White Bear Lake MN 55110*

Upon determining that the existing home consisted of (3) separate foundation types, which had been added/revised at various periods in the history of improvements made to the property (a crawl space, an original stone foundation and more recently a walkout block basement) a contractor was consulted to determine the viability of an extensive re-model project for the existing space.

It was decided that the short-term advantages of a re-model project vs the tearing down of the existing structure and building of a replacement new construction home was not the preferable option. The original stone basement is located in between the other two additions/modifications that have been made to the house footprint, it was identified as the area of the existing structure that was most in need of repair/replacement and not recommended to be used to build upon. For longevity purposes we decided to take on the additional time frame, expense and consideration involved in removing the existing structure and re-building with new construction.

It was very important to maintain, or ultimately improve, the lake views of the neighboring property owners located on the northside of this lot by pulling the proposed structure away from the lake and towards the street where possible, and therefore maintaining sightlines to the lake views of existing adjacent properties.

Variance request pertaining to the proposed garage type (and size) was determined by a need for a family of 4 (all drivers) to park off-street, complying with local parking ordinances and out of MN weather, and additionally to afford for indoor options for lake lot related effects to be stored minimizing hazards and undesirable views for neighbors or the immediate community at the lake side of the property. The proposed design allows for the retaining of the general location and design elements of the existing front loading two-car garage on the new (street-side) elevation and replication of the existing driveway proportions in the proposed driveway design. A front load "tandem" garage in the proposed design allows for parking of 4 full-size vehicles and additional storage options while reducing the need for further impermeable driveway surface greatly and was preferred over a side loading garage design for several reasons.

The proposed garage design permits for the installation of two protracted gutter systems to control and direct run-off rainwater (via downspouts then drain tile) efficiently to the proposed rain garden/s or potential trench drain. Furthermore, retaining the approximate proportions of the existing driveway in the proposed design still allows for (1) additional off-street parking site for visitors and guests (eliminate further need for impermeable surface on the street side of the proposed structure.) It is worth noting that the proposed site plan replaces an extensive (existing) concrete parking pad area with permeable surface and provides a sufficient site for the proposed rain garden to be installed to assist in meeting all permeable surface requirements.

A landscape architect has been identified for the project, in an ongoing commitment to understanding the impervious surface requirements in place. The landscape architect will be providing a detailed proposal to further meet, or improve upon, the impervious surface percentages for the completed homesite. The homeowners plan to mitigate any additional hard surface areas, such as walkways, added to subsequent landscaping plans by incorporating the following, 2 rain garden areas - located at the SW corner of the property and immediately off screened porch, the addition of gutter and trench drain locations and will be selecting porous materials to complete the landscaping of the site wherever available. The owners of this project have had discussions and positive feedback from the (4) closest in proximity neighbors when sharing the plans and proposed project details.

Summary of variances being requested:

10.5ft variance from the 15ft minimum setback on the side yard along the south side of the lot.

29ft variance from the 35ft setback from the street side property line for the living area above garage

10ft variance from the 15ft setback on the side yard along the north side of the lot.

3' variance from the lakeside average setback for deck.

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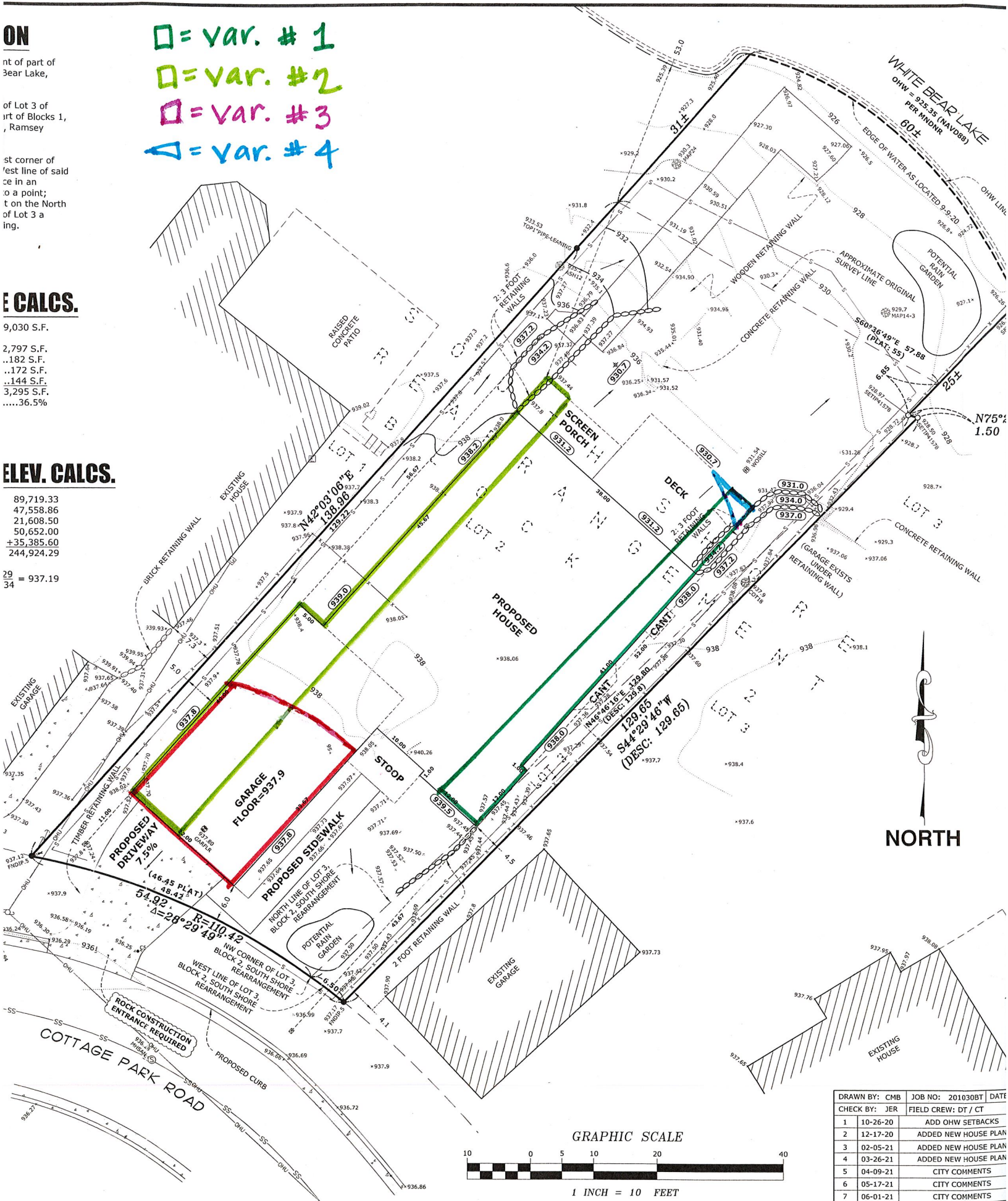
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- 2,797 S.F.
- ..182 S.F.
- ..172 S.F.
- ..144 S.F.
- 3,295 S.F.
-36.5%

ELEV. CALCS.

- 89,719.33
- 47,558.86
- 21,608.50
- 50,652.00
- +35,385.60
- 244,924.29

29
34 = 937.19



NORTH

GRAPHIC SCALE



DRAWN BY:	CMB	JOB NO:	201030BT	DATE
CHECK BY:	JER	FIELD CREW:	DT / CT	
1	10-26-20	ADD OHW SETBACKS		
2	12-17-20	ADDED NEW HOUSE PLAN		
3	02-05-21	ADDED NEW HOUSE PLAN		
4	03-26-21	ADDED NEW HOUSE PLAN		
5	04-09-21	CITY COMMENTS		
6	05-17-21	CITY COMMENTS		
7	06-01-21	CITY COMMENTS		

IMPROVEMENTS

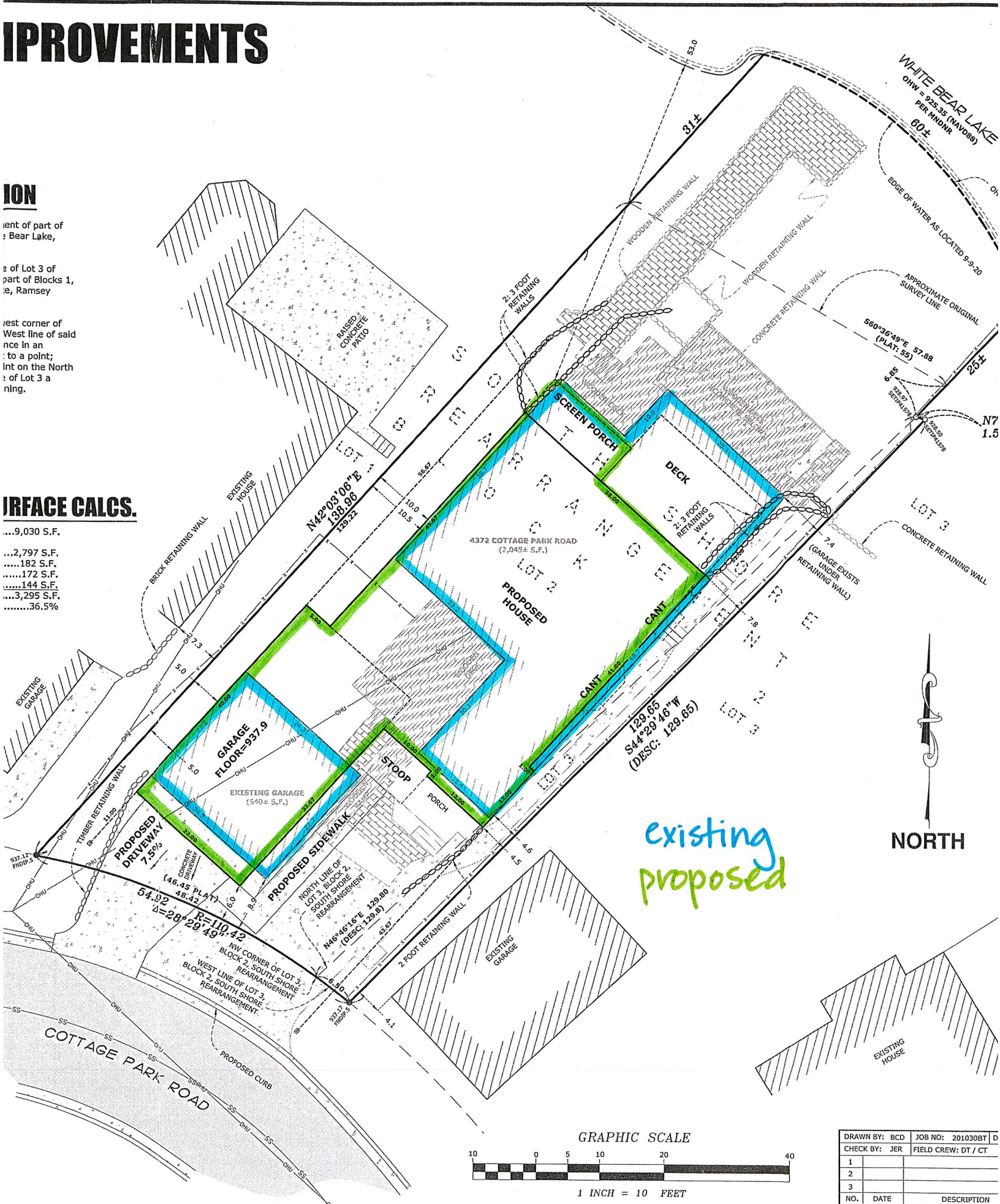
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- ...3,295 S.F.
- ...36.5%



existing
 proposed

NORTH

GRAPHIC SCALE



1 INCH = 10 FEET

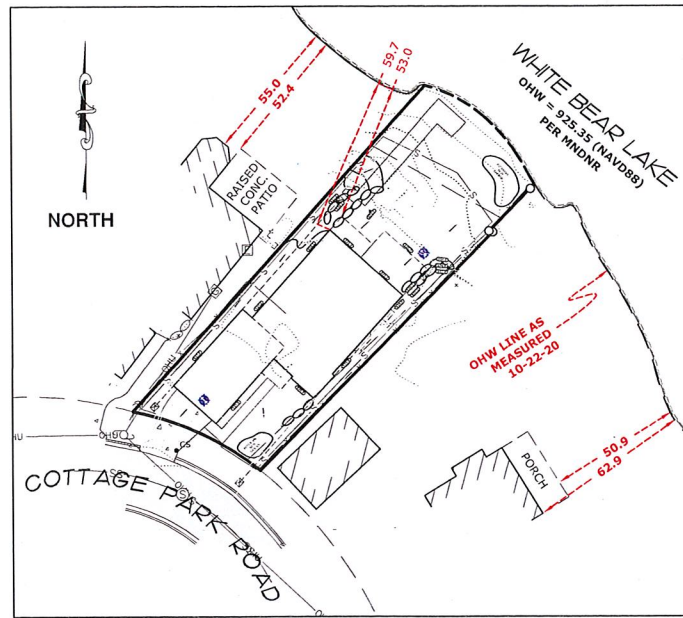
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GRADING PLAN

~for~ PAULA AND MIKE LOBINSKY
 ~of~ 4372 Cottage Park Road
 White Bear Lake, MN

LAKE SETBACK DETAIL

(SCALE: 1" = 40')



LEGAL DESCRIPTION

Lot 2, Block 2, of South Shore Rearrangement of part of Blocks 1, 2, 3, and 4 of Cottage Park White Bear Lake, Ramsey County, Minnesota.

Also a strip of land along the Northerly side of Lot 3 of Block 2 of South Shore Rearrangement of part of Blocks 1, 2, 3, and 4 of Cottage Park White Bear Lake, Ramsey County, Minnesota, described as follows:

Beginning at a point which is at the Northwest corner of Lot 3; thence running Southerly along the West line of said Lot 3, a distance of 6.5 feet to a point; thence in an easterly direction a distance of 129.65 feet to a point; thence North a distance of 1.5 feet to a point on the North line of Lot 3; thence West on the North line of Lot 3 a distance of 129.8 feet to the point of beginning.

IMPERVIOUS SURFACE CALCS.

TOTAL LOT AREA9,030 S.F.

HOUSE AND GARAGE2,797 S.F.
 STOOP AND SCREEN PORCH182 S.F.
 DRIVEWAY172 S.F.
 SIDEWALK144 S.F.
 TOTAL IMPERVIOUS SURFACE3,295 S.F.
 PERCENT IMPERVIOUS36.5%

AVERAGE FINISHED GRADE ELEV. CALCS.

GARAGE:	95.67 X 937.8 =	89,719.33
WEST HOUSE WALL:	50.67 X 938.6 =	47,558.86
FRONT HOUSE WALL:	23.00 X 939.5 =	21,608.50
EAST HOUSE WALL:	54.00 X 938.0 =	50,652.00
REAR HOUSE WALL:	+38.00 X 931.2 =	+35,385.60
	261.34	244,924.29
		<u>937.19</u>
		261.34

DIAG: 107.67 X 44.00 = 116.31
 (9 FOOT POURED WALL WALKOUT)

PROPOSED ELEVATIONS

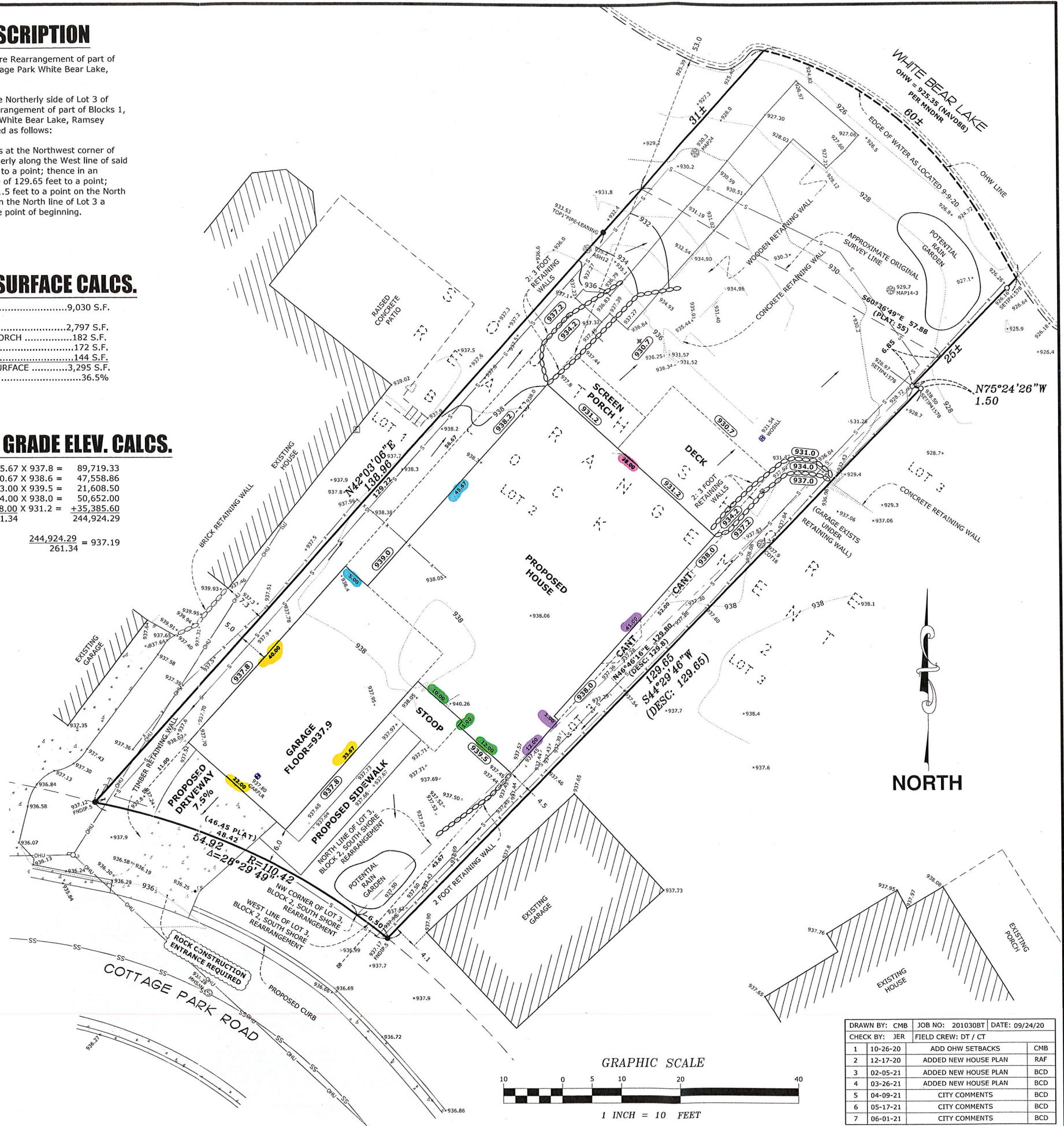
TOP OF BLOCK = 940.2
 GARAGE FLOOR = 937.9 (DROP 24")
 LOWEST FLOOR = 931.5
 TOP OF FOOTING = 931.2

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 09/09/20, and 10/22/20.
- Bearings shown are on an assumed datum.
- Parcel ID Number: 23-30-22-13-0010.
- Curb shots are taken at the top and back of curb.
- This survey was prepared with the benefit of title work. Title Commitment No. 618465 as prepared by Stewart Title Guaranty Company was used to supplement this survey.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 6/1/2021 License No. 41578



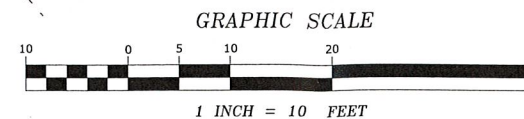
LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES AIR CONDITIONING UNIT
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES GUY WIRE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES PROPOSED RETAINING WALL
- DENOTES PROPOSED CONTOURS
- DENOTES EXISTING CONTOURS
- SS DENOTES EXISTING SANITARY SEWER
- OHU DENOTES OVERHEAD UTILITY
- S DENOTES SILT FENCE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES WOODEN DECKING/STAIRS
- DENOTES PAVER SURFACE

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

E.G. RUD & SONS, INC.
 EST. 1977 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com



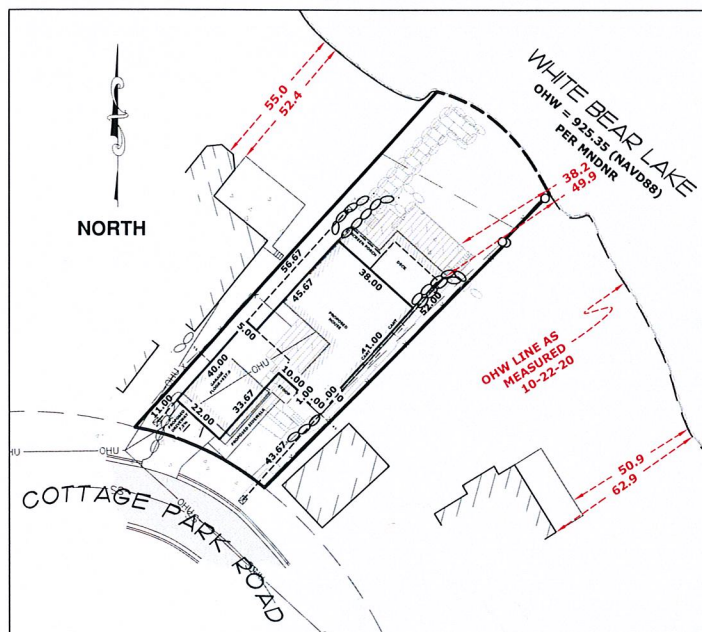
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CHECK BY:	JER	FIELD CREW:	DT / CT		
1	10-26-20	ADD OHW SETBACKS	CMB		
2	12-17-20	ADDED NEW HOUSE PLAN	RAF		
3	02-05-21	ADDED NEW HOUSE PLAN	BCD		
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5	04-09-21	CITY COMMENTS	BCD		
6	05-17-21	CITY COMMENTS	BCD		
7	06-01-21	CITY COMMENTS	BCD		

SITE PLAN - EXISTING AND PROPOSED IMPROVEMENTS

~for~ PAULA AND MIKE LOBINSKY
 ~of~ 4372 Cottage Park Road
 White Bear Lake, MN

LAKE SETBACK DETAIL

(SCALE: 1" = 40')



LEGAL DESCRIPTION

Lot 2, Block 2, of South Shore Rearrangement of part of Blocks 1, 2, 3, and 4 of Cottage Park White Bear Lake, Ramsey County, Minnesota.

Also a strip of land along the Northerly side of Lot 3 of Block 2 of South Shore Rearrangement of part of Blocks 1, 2, 3, and 4 of Cottage Park White Bear Lake, Ramsey County, Minnesota, described as follows:

Beginning at a point which is at the Northwest corner of Lot 3; thence running Southerly along the West line of said Lot 3, a distance of 6.5 feet to a point; thence in an easterly direction a distance of 129.65 feet to a point; thence North a distance of 1.5 feet to a point on the North line of Lot 3; thence West on the North line of Lot 3 a distance of 129.8 feet to the point of beginning.

PROPOSED IMPERVIOUS SURFACE CALCS.

TOTAL LOT AREA	9,030 S.F.
HOUSE AND GARAGE	2,797 S.F.
STOOP AND SCREEN PORCH	182 S.F.
DRIVEWAY	172 S.F.
SIDEWALK	144 S.F.
TOTAL IMPERVIOUS SURFACE	3,295 S.F.
PERCENT IMPERVIOUS	36.5%

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- X — X — DENOTES FENCE
- ○ — ○ — DENOTES RETAINING WALL
- ○ — ○ — DENOTES PROPOSED RETAINING WALL
- SS — SS — DENOTES EXISTING SANITARY SEWER
- OHU — OHU — DENOTES OVERHEAD UTILITY
- [] — [] — DENOTES BITUMINOUS SURFACE
- [] — [] — DENOTES CONCRETE SURFACE
- [] — [] — DENOTES WOODEN DECKING/STAIRS
- [] — [] — DENOTES PAVER SURFACE

NOTES

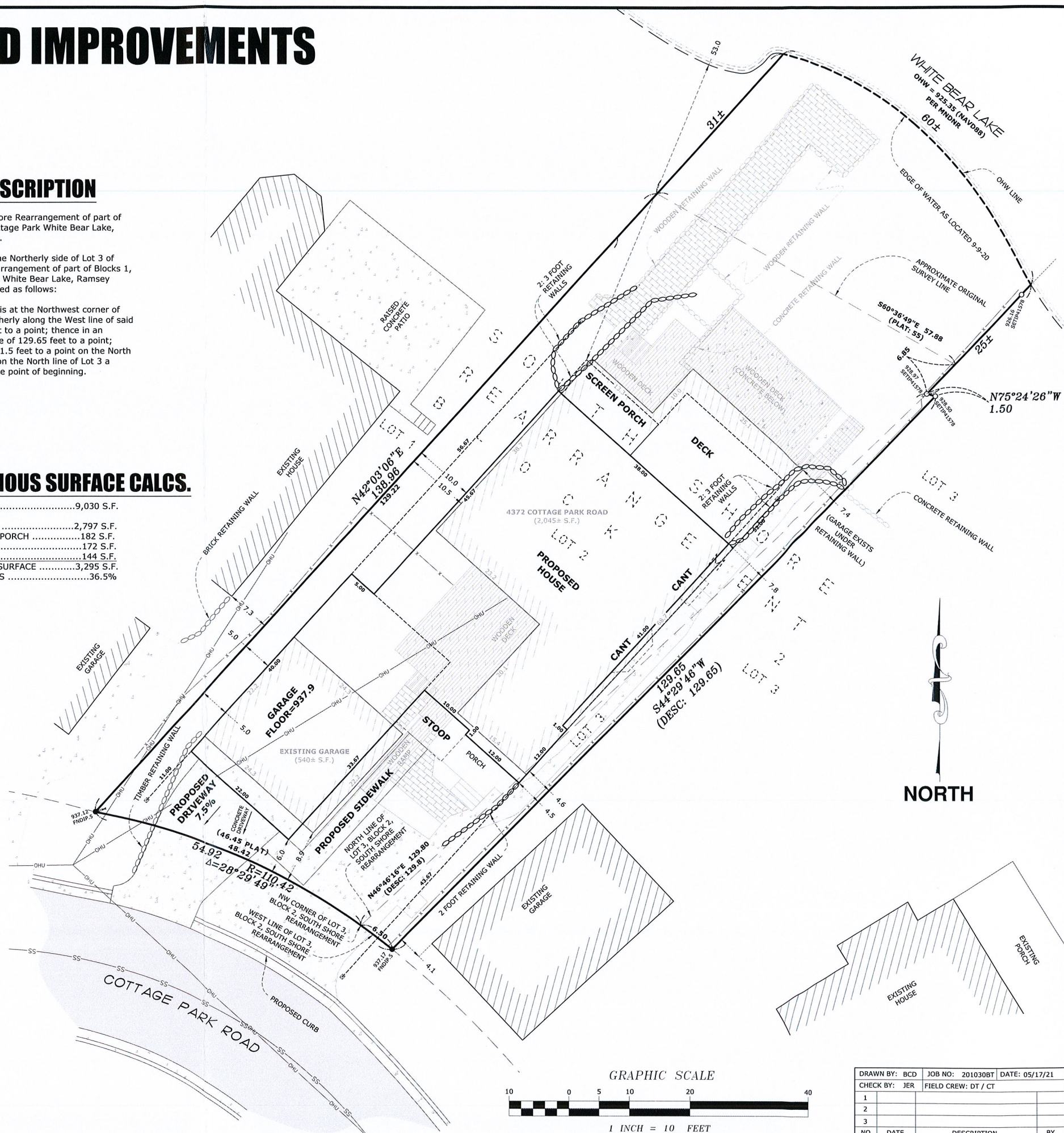
- Field survey was completed by E.G. Rud and Sons, Inc. on 09/09/20, and 10/22/20.
- Bearings shown are on an assumed datum.
- Parcel ID Number: 23-30-22-13-0010.
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TREE DETAIL

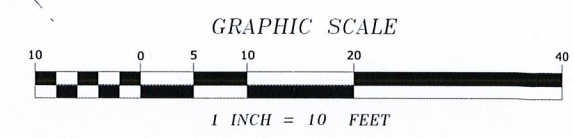
- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 5/17/2021 License No. 41578



NORTH



DRAWN BY: BCD	JOB NO: 201030BT	DATE: 05/17/21	
CHECK BY: JER	FIELD CREW: DT / CT		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

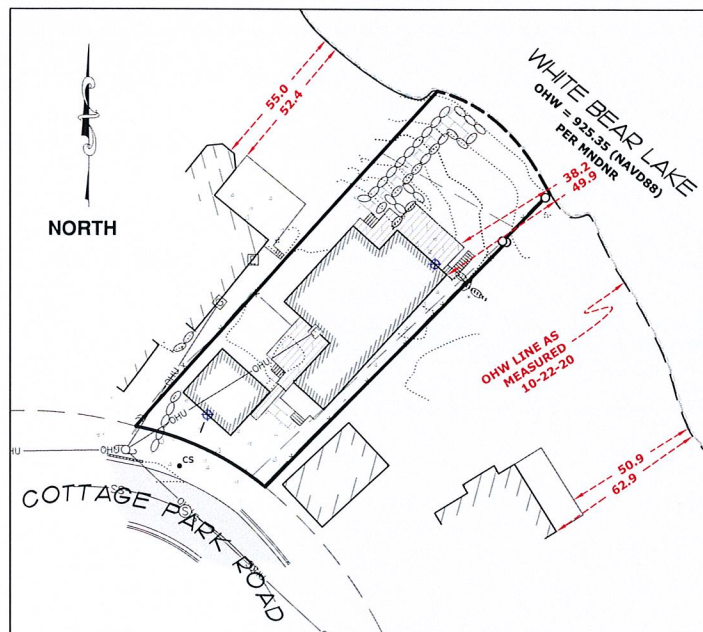
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EXISTING CONDITIONS SURVEY

~for~ PAULA AND MIKE LOBINSKY
 ~of~ 4372 Cottage Park Road
 White Bear Lake, MN

LAKE SETBACK DETAIL

(SCALE: 1" = 40')



LEGAL DESCRIPTION

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EXISTING IMPERVIOUS SURFACE CALCULATIONS

TOTAL LOT AREA9,030 S.F.

HOUSE AND PORCH2,156 S.F.
 CONCRETE1,303 S.F.
 GARAGE540 S.F.
 PAVERS484 S.F.
 TOTAL IMPERVIOUS SURFACE4,483 S.F.
 PERCENT IMPERVIOUS49.6%

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES AIR CONDITIONING UNIT
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES GUY WIRE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES OVERHEAD UTILITY
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
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- DENOTES PAVER SURFACE

TREE DETAIL

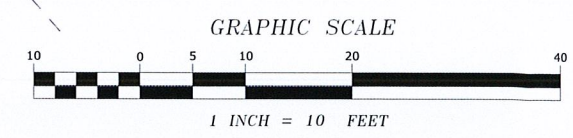
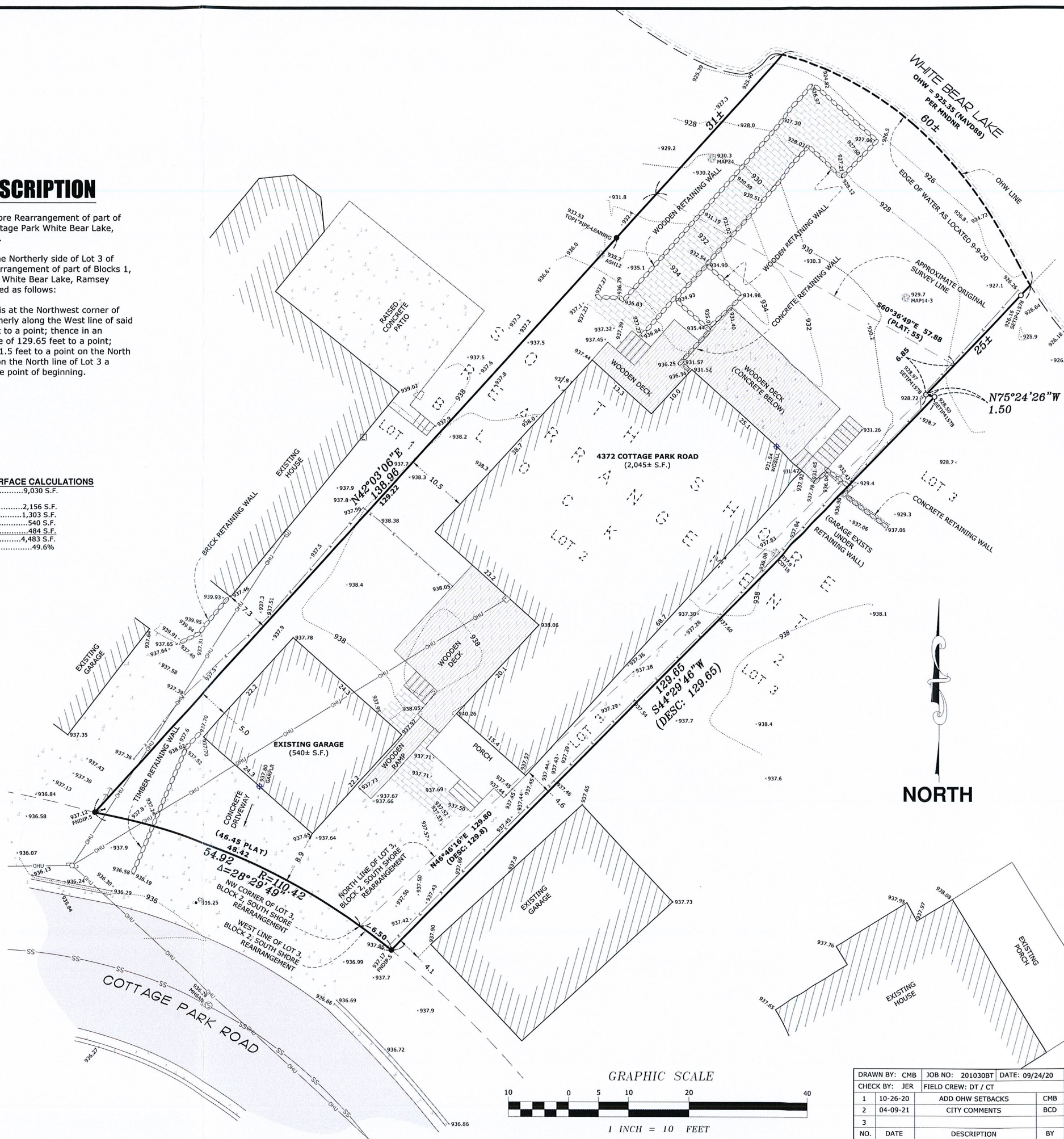
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NOTES

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 4/9/2021 License No. 41578



DRAWN BY: CMB	JOB NO: 201030BT	DATE: 09/24/20	
CHECK BY: JER	FIELD CREW: DT / CT		
1 10-26-20	ADD OHW SETBACKS	CMB	
2 04-09-21	CITY COMMENTS	BCD	
3			
NO.	DATE	DESCRIPTION	BY

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GRADING PLAN

~for~ PAULA AND MIKE LOBINSKY
 ~of~ 4372 Cottage Park Road
 White Bear Lake, MN

LEGAL DESCRIPTION

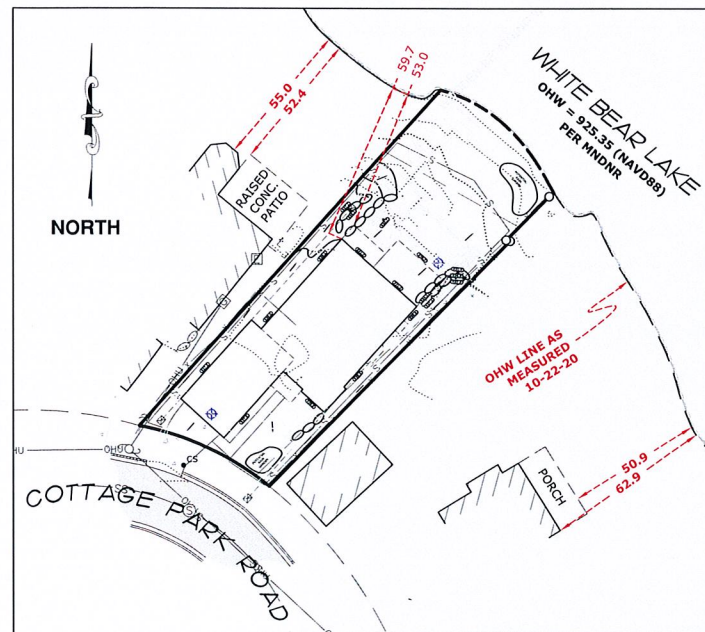
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LAKE SETBACK DETAIL

(SCALE: 1" = 40')



IMPERVIOUS SURFACE CALCS.

TOTAL LOT AREA9,030 S.F.

HOUSE AND GARAGE2,797 S.F.
 STOOP AND SCREEN PORCH182 S.F.
 DRIVEWAY172 S.F.
 SIDEWALK144 S.F.
 TOTAL IMPERVIOUS SURFACE3,295 S.F.
 PERCENT IMPERVIOUS36.5%

AVERAGE FINISHED GRADE ELEV. CALCS.

GARAGE: 95.67 X 937.8 = 89,719.33
 WEST HOUSE WALL: 50.67 X 938.6 = 47,558.86
 FRONT HOUSE WALL: 23.00 X 939.5 = 21,608.50
 EAST HOUSE WALL: 54.00 X 938.0 = 50,652.00
 REAR HOUSE WALL: +38.00 X 931.2 = +35,385.60
 261.34 244,924.29

244,924.29 = 937.19
 261.34

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- AC DENOTES AIR CONDITIONING UNIT
- CS DENOTES CURB STOP
- EB DENOTES ELECTRICAL BOX
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- GM DENOTES GAS METER
- GW DENOTES GUY WIRE
- PP DENOTES POWER POLE
- SM DENOTES SANITARY SEWER MANHOLE
- SS DENOTES FENCE
- RW DENOTES RETAINING WALL
- PRW DENOTES PROPOSED RETAINING WALL
- PC DENOTES PROPOSED CONTOURS
- EC DENOTES EXISTING CONTOURS
- ESW DENOTES EXISTING SANITARY SEWER
- OHU DENOTES OVERHEAD UTILITY
- S DENOTES SILT FENCE
- BS DENOTES BITUMINOUS SURFACE
- CS DENOTES CONCRETE SURFACE
- WD DENOTES WOODEN DECKING/STAIRS
- PV DENOTES PAVER SURFACE

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

DIAG: 107.67 X 44.00 = 116.31
 (9 FOOT POURED WALL WALKOUT)

PROPOSED ELEVATIONS

TOP OF BLOCK = 940.2
 GARAGE FLOOR = 937.9 (DROP 24")
 LOWEST FLOOR = 931.5
 TOP OF FOOTING = 931.2

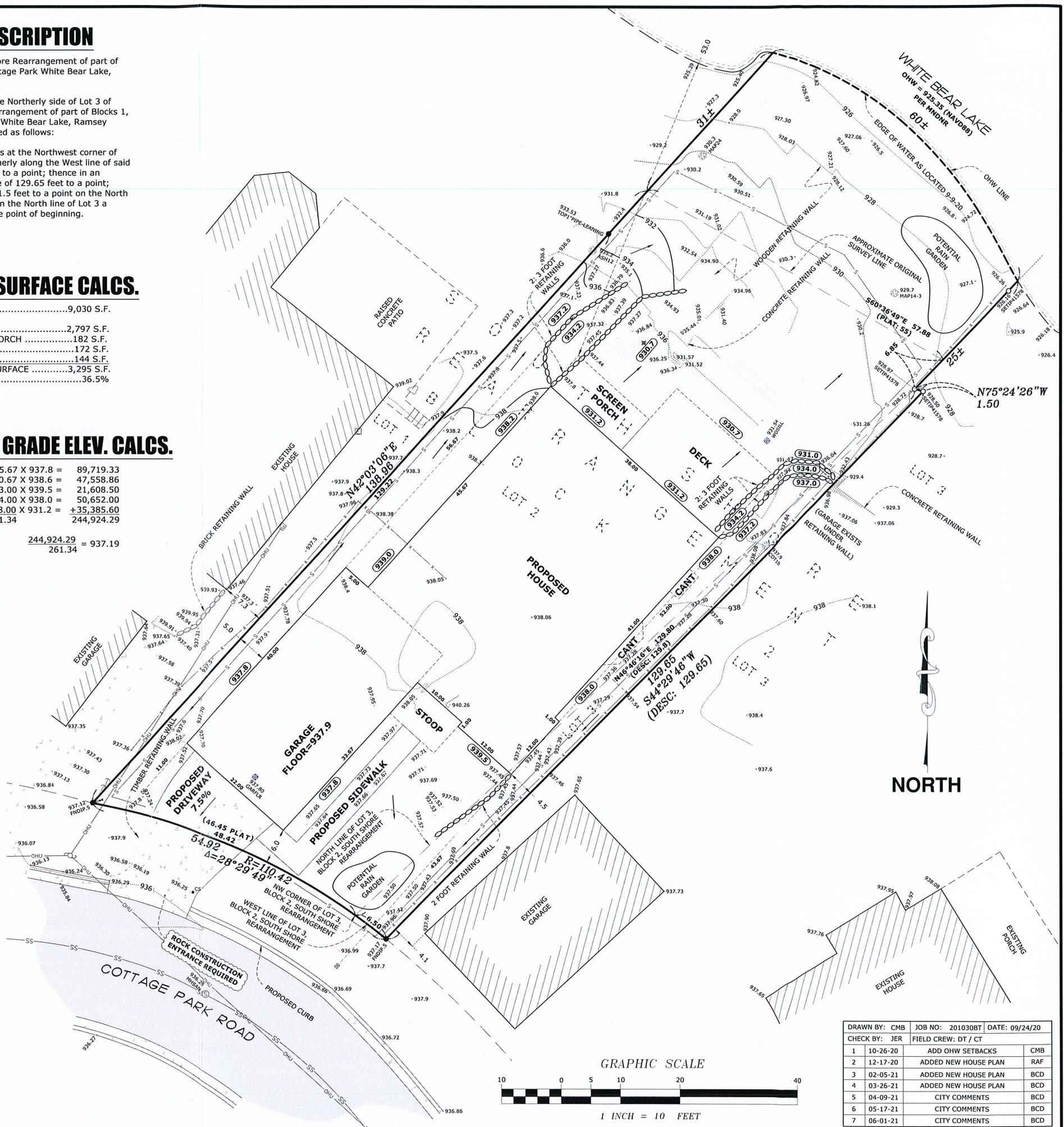
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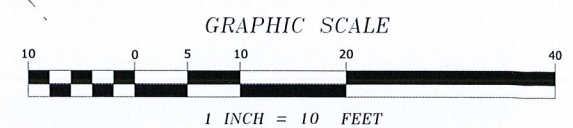
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

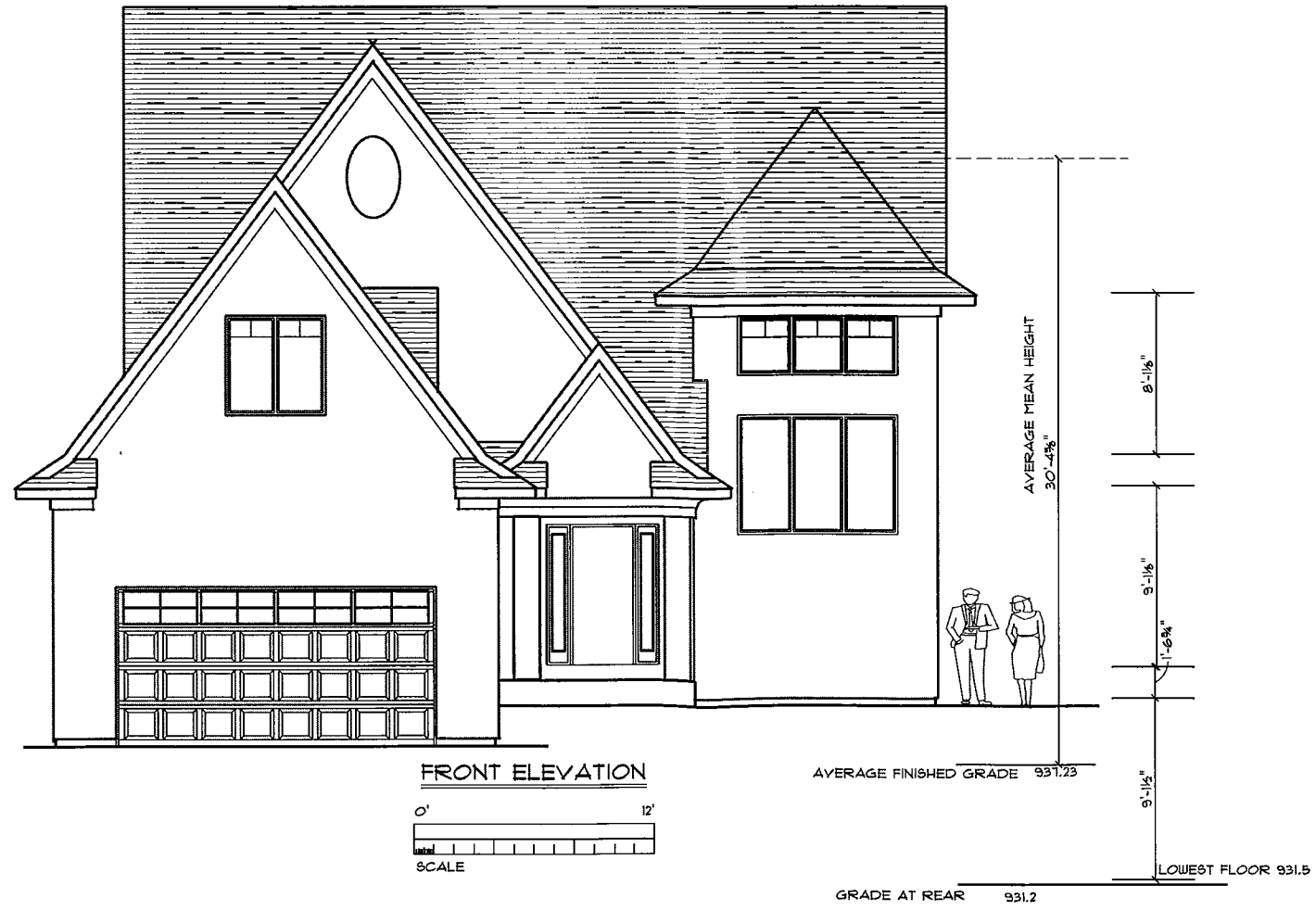
Date: 6/1/2021 License No. 41578



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7	06-01-21	CITY COMMENTS	BCD	



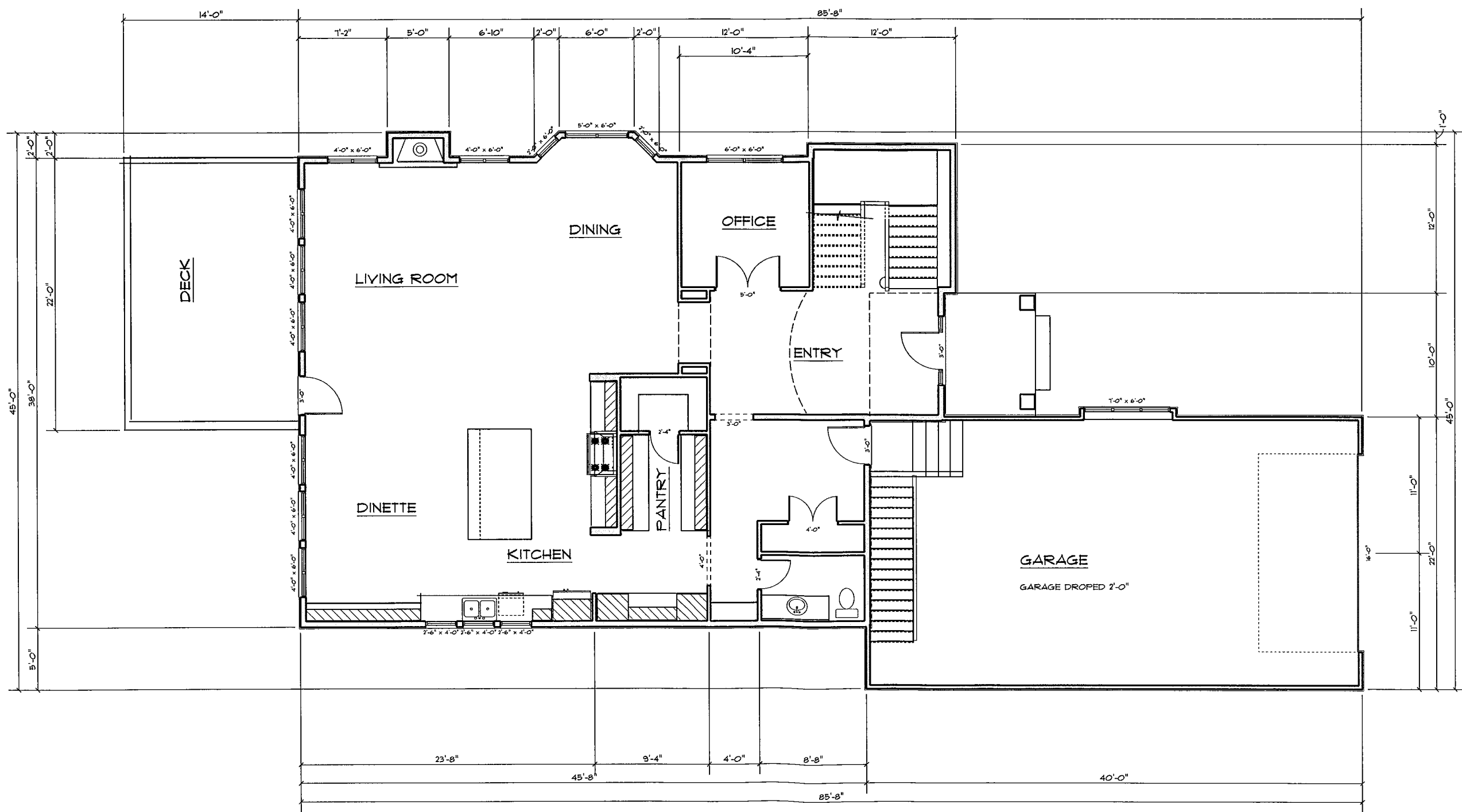
NOTICE: THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF HOME PLANNING ASSOCIATES INC. AND ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF HOME PLANNING ASSOCIATES INC.

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN DESIGNING AND PREPARING THESE PLANS AND CHECKING FOR ACCURACY, THE INSTALLER, OWNER, OR CONTRACTOR MUST VERIFY ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION.

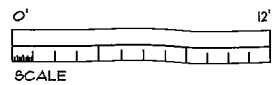
REVISIONS

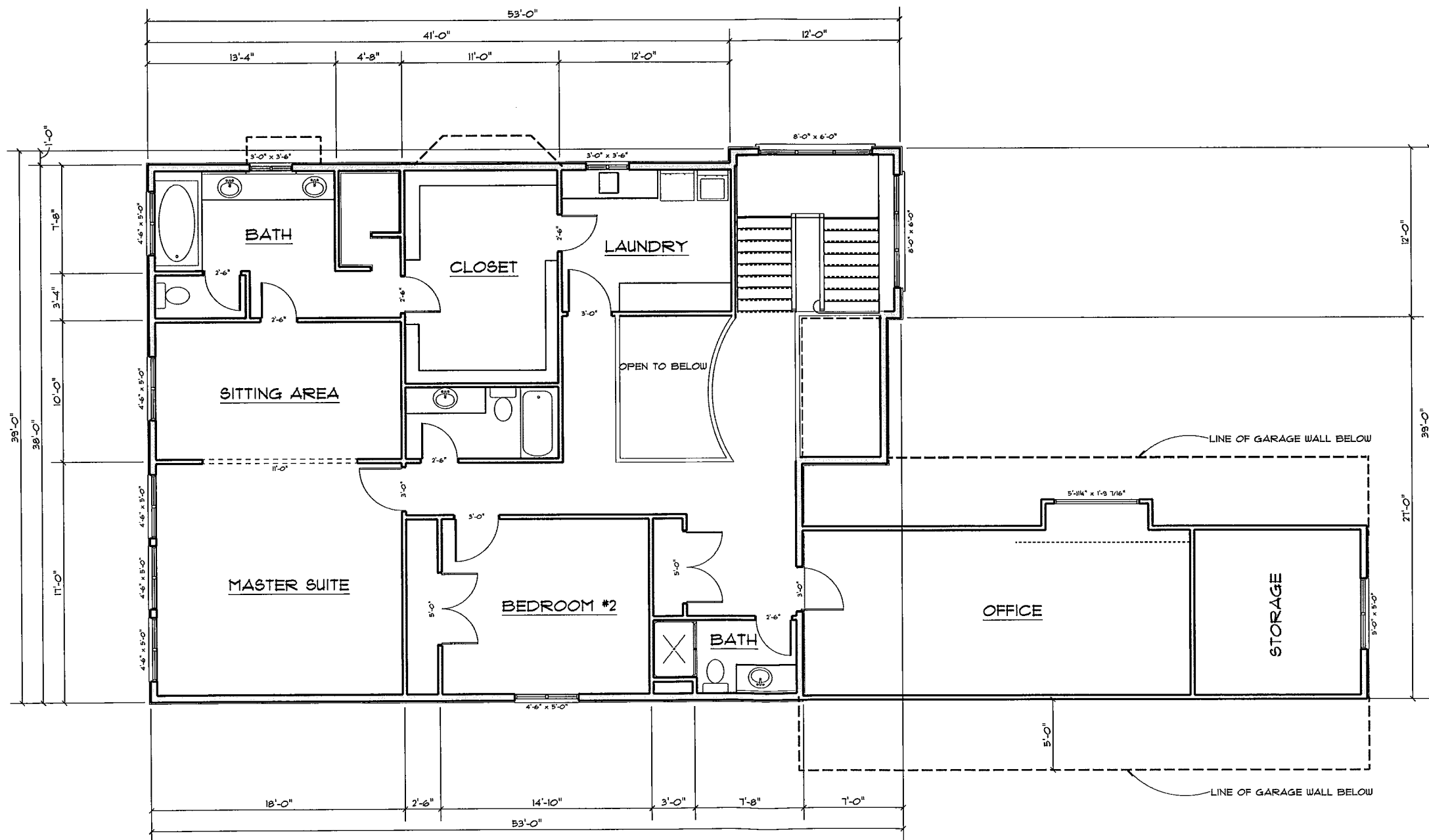
HOME PLANNING ASSOCIATES INC. <small>8335 CENTRAL AVENUE NE SPRING LAKE PARK, MINNESOTA 55432 (763) 786-4008 FAX (763) 786-5850 SPRING LAKE PARK LUMBER BLDG</small>	PAULA AND MIKE LOBINSKY <small>DATE: 5-11-21 SQ. FT.</small>
SHEET NUMBER ONE OF SHEETS	PLAN NUMBER 20134

1915 SF



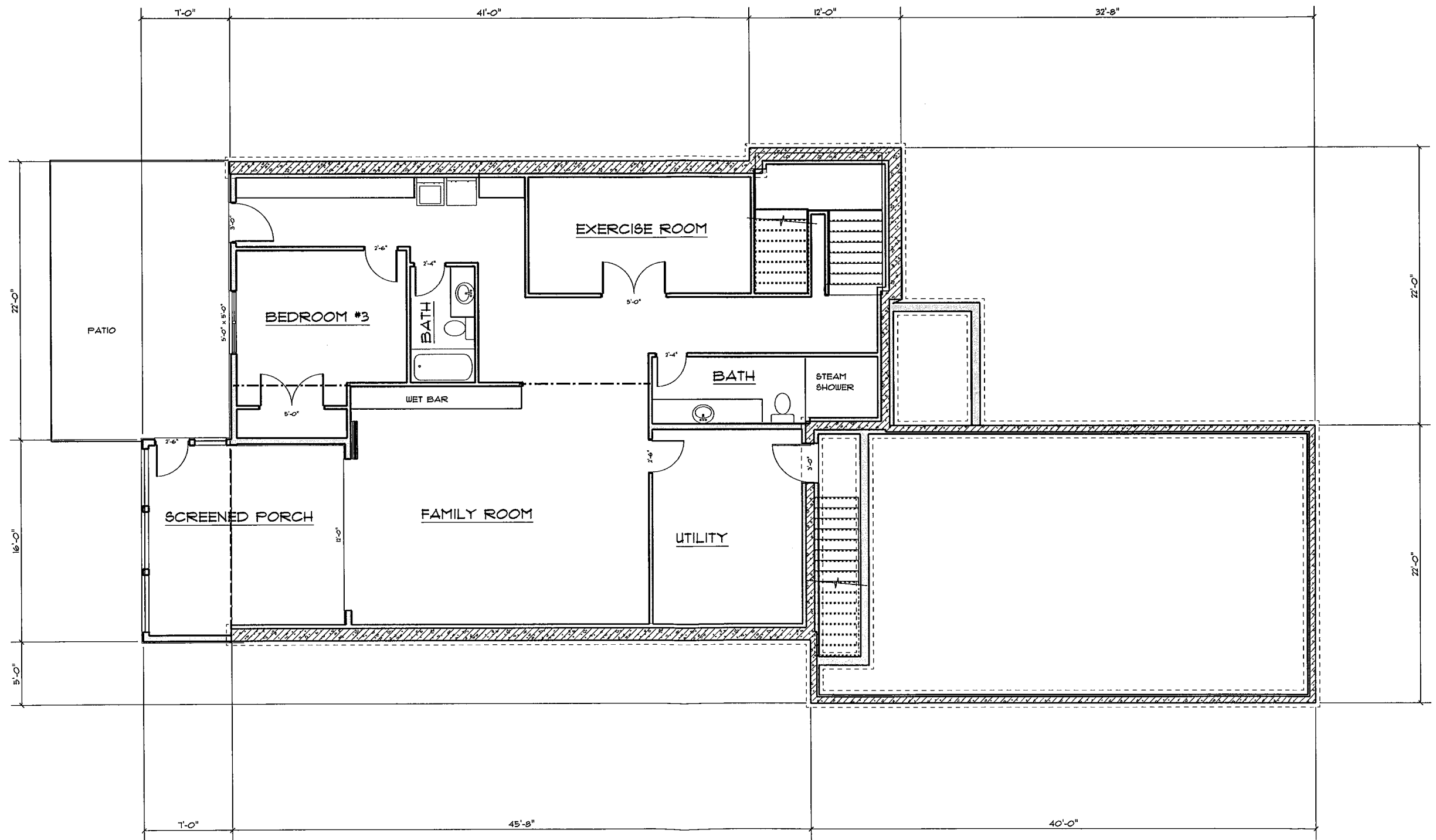
MAIN FLOOR PLAN





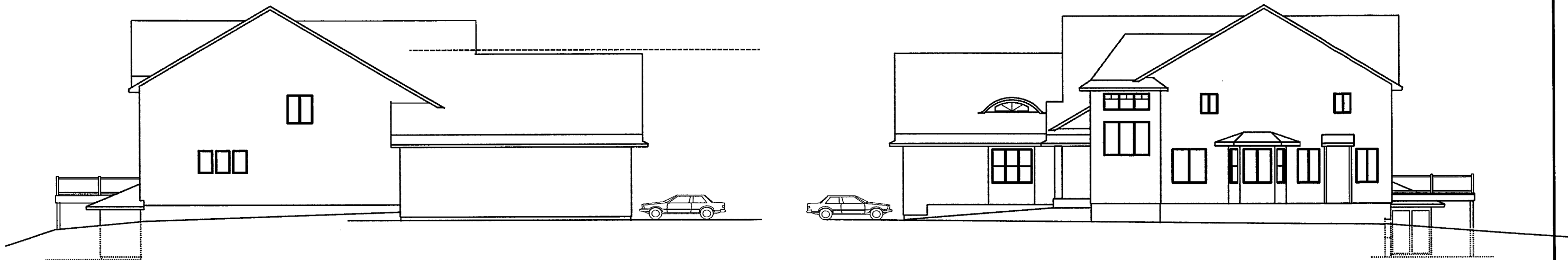
SECOND FLOOR PLAN

1837
 + OFFICE
 0' 12'



BASEMENT PLAN

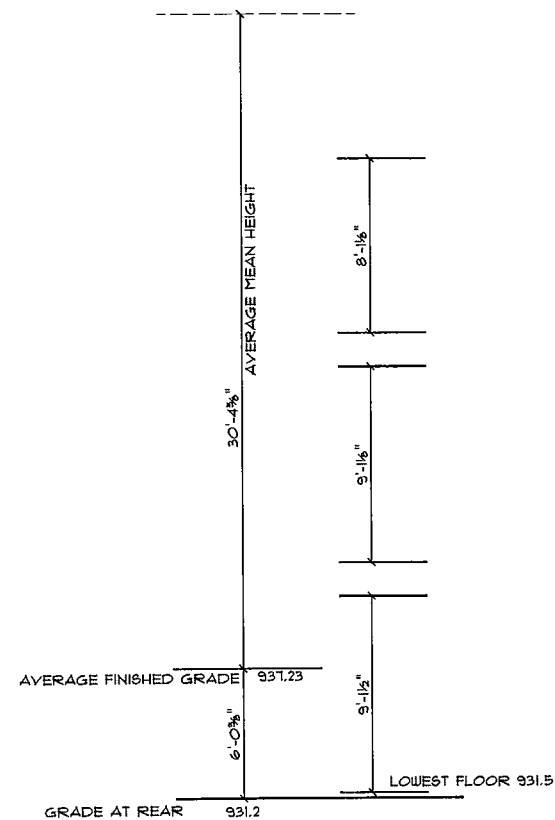




LEFT ELEVATION



RIGHT ELEVATION



MEAN HEIGHT

REAR ELEVATION



PLAN NUMBER: 20134

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND BE RESPONSIBLE FOR SAME

SHEET OF

From: Samantha Crosby
Sent: Tuesday, June 08, 2021 8:52 AM
To: 'Paula Lobinsky' <paula@nextmovegrp.com>
Cc: 'Jason Rud' <jrud@egrud.com>; Connie Taillon <ctaillon@whitebearlake.org>
Subject: Eng Comments

Morning, Paula,

Our engineers have reviewed the grading plan and have the following comments. Please note that none of these comments need to be addressed at this time. The comments should be addressed with building permit submittal. Please call me if this does not make sense about the timing.

- Retaining walls shall be included in impervious area calculations. Please add them.
- Mitigation shall be completed per code requirements. Calculations, cross sectional drawings and design details required. Final design subject to engineering review and approval.
- All stormwater features (both pavers and rain gardens) shall maintained by the homeowner to preserve design capacity.
- The potential rain garden location is too close to the lake. Infiltration basins such as raingardens will not function near water bodies due to high ground water. The narrative describes the rain garden as being located off the screen porch. Please revise the plan to show it in the described location.
- It appears that the flow arrows may be indicating drainage swales. Please verify by labeling these swales on the plan. Runoff must be kept away from adjacent properties/buildings.
- Fix the drainage arrow directions on the north side of the garage to correspond to the proposed grades.
- Silt fence should be located at the edge of the grading limits only. Please revise accordingly.
- Double silt fence is required upstream of the lake. Please show and label this on the grading plan.
- Please label the existing wooden retaining wall and stairs as “to be removed”.
- Please note that any soil disturbance requires a silt fence down slope of the activity. Please keep this in mind during demo activity as well.
- Please show the 100 year elevation on the grading plan. The low floor elevation must be minimum of 3 feet above the 100 year elevation.
- Please show all lake setback lines on the grading plan and label them. (Not just in the inset drawing, but on the grading plan drawing.)
- Cottage Park Road was reconstructed in 2020. Please be careful not to damage the street or curb. Any damage from construction activity must be repaired to previous (existing) conditions.

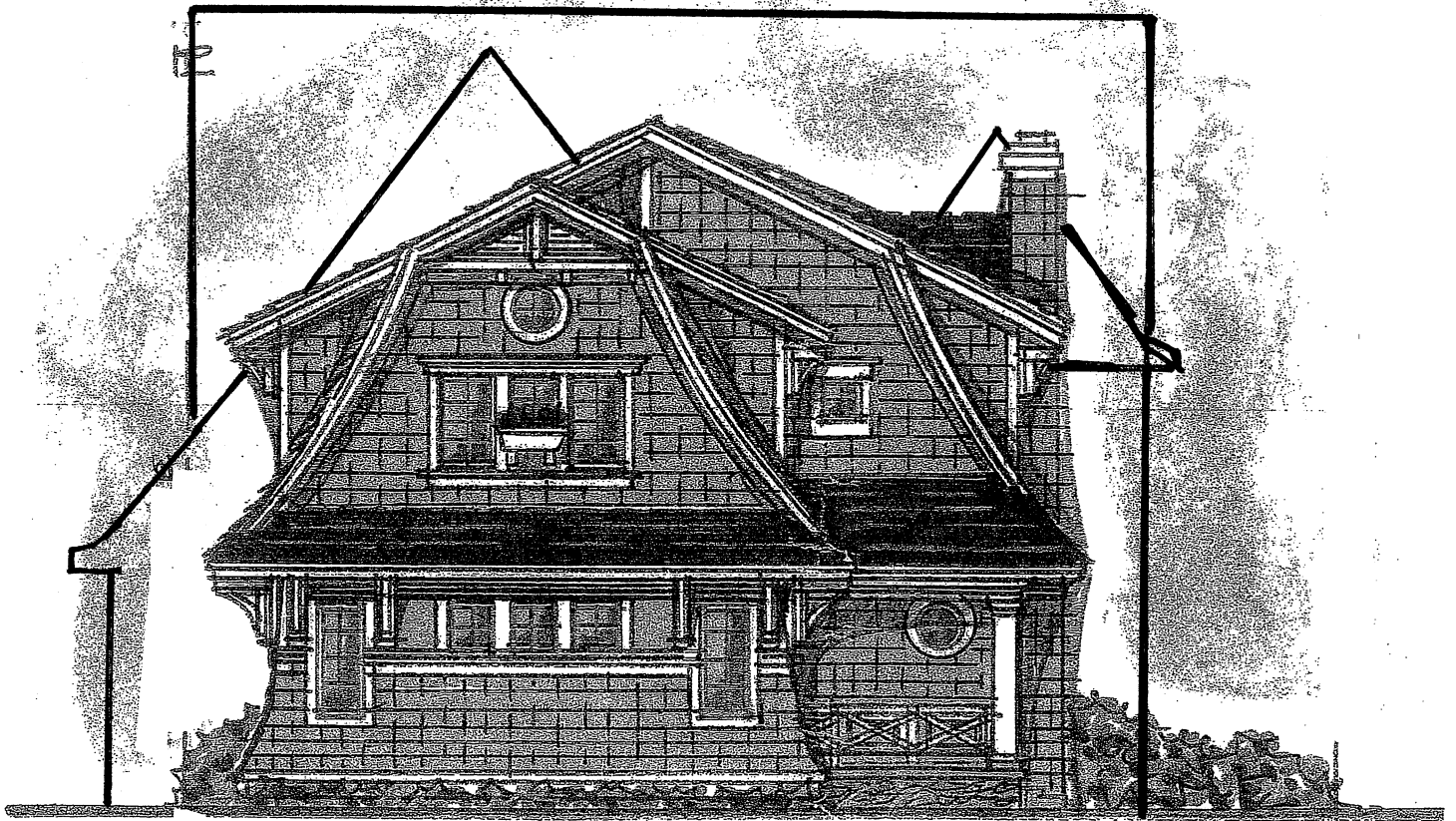
If you, Jason, or the demo contractor have any questions please give me a ring.

Thanks,

~ Sam

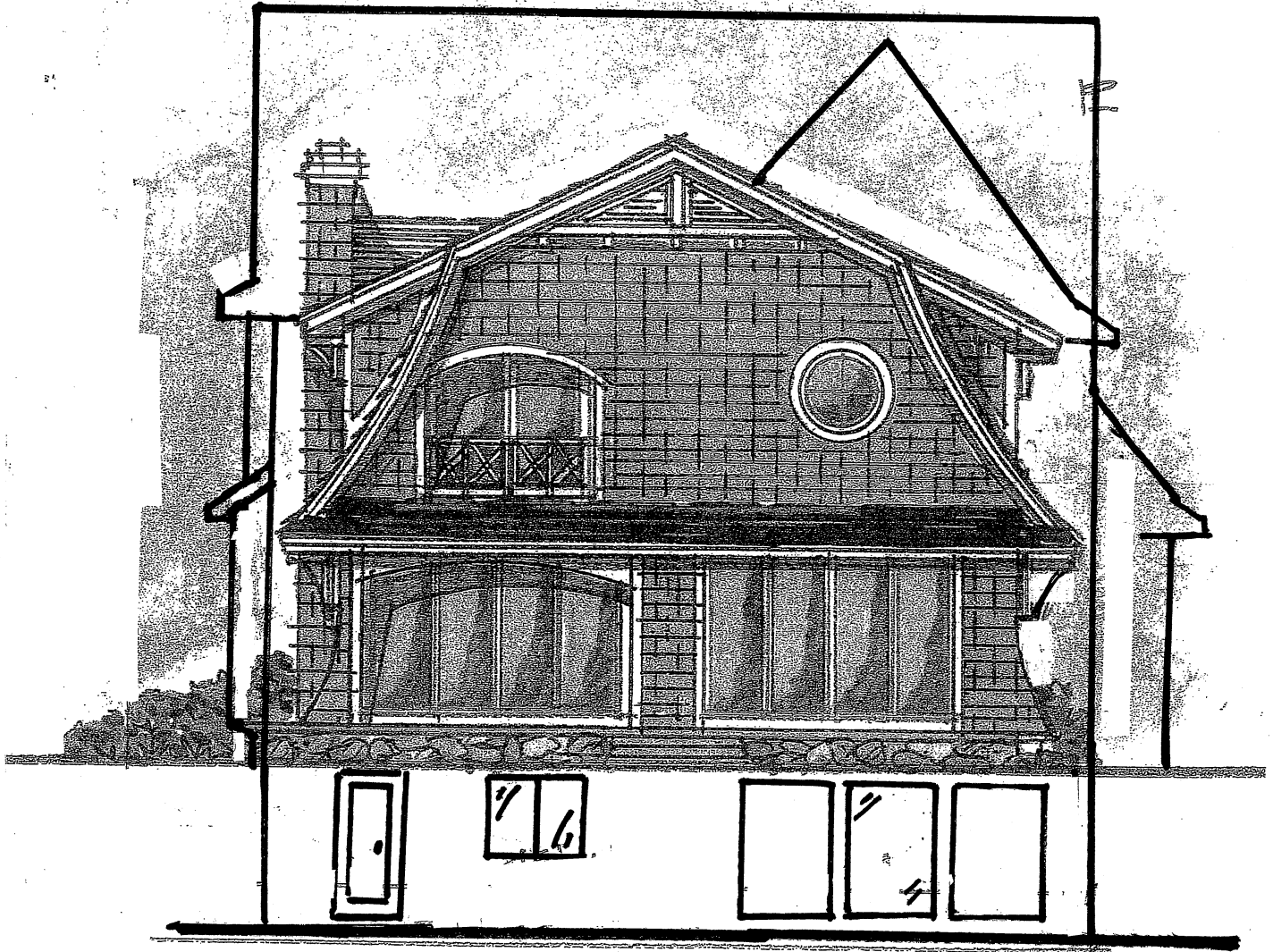
Samantha Crosby
Planning & Zoning Coordinator
City of White Bear Lake
Office Phone: 651-429-8534
Home Office/Work Cell: 612-444-1337
4701 Highway 61
White Bear Lake, MN 55110

KLEGIN OVERLAY
GRAPHIC - STREET SIDE



STREET SIDE

KLEGIN OVERLAY GRAPHIC-LAKESIDE



LAKE SIDE



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission

From: Anne Kane, Community Development Director

Date: June 24th for the June 28, 2021 Planning Commission Meeting

Subject: **Case No. 21-6-CUPa: White Bear Area ISD 624/New Entry and Classroom Addition to South Campus**

REQUEST

The White Bear Area Public School District 624 is requesting a conditional use permit to allow an approximately 16,500 square foot addition to the South Campus of White Bear Lake High School located at 3551 McKnight Road. The building expansion will provide a new secure main entrance and administrative offices along with a classroom addition located on the east side of the existing school building. In line with the voter-approved referendum in 2019, South Campus will be converted from an 11-12th grade high school to a middle school in four years (2024-25 academic year). See applicant's narrative, attached.

SITE CHARACTERISTICS

The high school campus is approximately 54 acres in size and the existing school is approximately 290,000 square feet in area. The school fronts on McKnight Road to the east with visitor parking in front and student and faculty parking located south of the school building along Elm Drive. Athletic fields and the stadium are situated on the western portion of the campus, with a new 20,000 square foot gymnasium under construction near the northwest corner of the school building. The ground gently slopes down from north to south, with the homes along County Road E to the north slightly higher in elevation than the campus.

ZONING

The subject site is zoned P – Public. As are many of the surround properties, including Fire Station No. 2 to the northeast; the Sheet Metal Workers training facility to the west, and Varney Lake Park to the south of the campus. All other surrounding properties are zoned R-3 – Single Family Residential and are improved with existing single family homes. In the Public zoning district, all lot requirements, setbacks and other requirements such as parking and landscaping are to be comparable to other similar uses that are allowed in other districts. This provision provides flexibility when reviewing development proposals.

BACKGROUND

The school was originally constructed in 1974 as Mariner High School. The school has constructed a number of expansions and building additions over the years to accommodate a growing student population.

ANALYSIS

The District is proposing to construct two building additions along the eastern façade of the existing school: a smaller 2,000 square foot addition will provide a secured main entrance for both students and visitors alike; and a 14,500 square foot addition the will offer 8 new classrooms, restroom facilities, student locker area, and a mechanical room. The classroom addition will also serve as a required storm shelter that will accommodate the full campus occupancy in accordance with recent updates to the Minnesota State Building Code/2018 International Building Code.

Site Plan/Traffic Configuration

In preparation for the conversion of this campus to a middle school, the District is also proposing to incorporate a designated student drop-off/pick-up loop off the existing guest/visitor parking lot located in front of the school. Traffic is designed to flow in a counter-clockwise manner and will enter and exit the campus using the existing curb cuts along McKnight Road. School buses will use a separate entrance from McKnight Road and will use angled spots along the northern row of parking in the lot south of the building for student pick-up/drop-off. Special education buses will use an accessible location for student pick-up/drop-off on the driveway north of the school.

Setbacks

The current school building maintains approximately 275 feet from the eastern property line. The proposed addition will extend an additional 135 feet reducing the front setback along McKnight to 145 feet, this is above existing setbacks at other school campuses throughout the City and will provide adequate buffering from the adjacent residential properties.

Elevations

The existing building is constructed of square (8x8) clay bricks in a variety of neutral tones with a metal panel cap. The classroom addition proposes to carry on a similar architectural design, but some of the actual clay material is no longer commercially available. Therefore, the project architect has relied on selecting similar brick tones from the same family and a modified metal panel of similar color. The new entrance/office addition will incorporate exterior materials and design consistent with the recent gymnasium addition. A metal canopy and hardscape design elements will further highlight the entrance for guests and visitors to the school.

Parking

High schools are required to provide one parking space for each 3 students based on design capacity plus one for every 3 classrooms. While the building addition creates eight new classrooms, and the City could require additional parking in the short term; the District plans to convert this campus to a junior high for the 2024-25 school year and the parking needs on this campus will be significantly reduced. Staff does not recommend additional parking be required for the proposed building additions.

Landscape Plan/Tree Replacement Chart

The Landscape Plan will need to provide details on the tree preservation and replacement plan for the project area with species, caliper inches, condition and location of all trees proposed for removal.

Exterior Lighting

Lighting specifications and details, as well as a photometric plan, is required prior to the issuance of a building permit. Staff recommends shields be installed to so that the light is cast downward and the light source is not visible from surrounding residences.

Mechanical Screening

All rooftop mechanical equipment proposed to be located on the two additions will be screened with a system designed to block visibility from the adjacent right-of-way and residential properties.

Interior Restroom Design

The floor plan for the classroom addition depicts private toilet rooms with lavatories in a common area. The State Plumbing Code requires separate bathroom facilities for men and women and defines a bathroom facility inclusive of a toilet and lavatory. Staff reached out for guidance and the Department of Labor has indicated that the City may approve the proposed design through an alternative method of design review process. Staff recommends the toilet room be reviewed through this alternate process.

SUMMARY

The City's discretion in reviewing a conditional use permit is limited to whether or not the changes meet the standards outlined in the Zoning Ordinance. Staff has reviewed the development proposal for the building additions at South Campus and finds that the standards will be satisfied.

RECOMMENDATION

Staff recommends approval of the conditional use permit, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after granting the conditional use permit, the use as allowed by the permit shall not have been completed or utilized, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.
3. This conditional use permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The applicant shall obtain any necessary building permits prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

5. Provide additional information and details as required by the Fire Marshal, detailed in the attached memo dated June 3, 2021.
6. Ensure plans comply with the 2020 Minnesota State Building Code.
7. Provide evidence of project approval from the Ramsey-Washington Metro Watershed District.
8. Provide a SAC determination from the Metropolitan Council.
9. Submit a landscaping plan with a detailed tree preservation chart, including details on the plantings proposed for the infiltration basin, for staff review and approval.

10. A separate sign permit for exterior signage will be required.
11. Submit lighting details and a photometric plan for staff review and approval. All new or relocated lights shall be shielded so that the light source is not visible from surrounding residences.
12. Engineering/Stormwater Conditions:
 - a. On-site utilities, including hydrants, will be private utilities owned and maintained by the School District, not part of the City's public system;
 - b. Ramsey County Permit will be required for excavation in McKnight Road ROW;
 - c. Stormwater calculation/report to be submitted; final engineering design subject to review & approval.
 - d. See WBL Engineering Design Standards for Stormwater Management for rate control, volume control, water quality requirements, freeband requirements, etc... <https://www.whitebearlake.org/engineering/page/design-standards-stormwater-management>
 - e. Provide a minimum of one soil boring at the location of each infiltration/filtration basin.

ATTACHMENTS

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Fire Department Review Letter to Project Architect, dated June 3, 2021
4. Applicant's Narrative and Presentation Packet

RESOLUTION NO. _____

**RESOLUTION APPROVING A
CONDITIONAL USE PERMIT AMENDMENT
FOR ISD #624 WHITE BEAR LAKE SOUTH CAMPUS
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-6-CUPa) has been submitted by The White Bear Lake Area Public School District #624 to the City Council requesting approval of a conditional use permit for the following location:

LOCATION: 3551 McKnight Road

LEGAL DESCRIPTION: [to be inserted]

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING PERMIT: A conditional use permit amendment, per Code Section 1303.245, Subd.2.c.4, for two building additions along the eastern façade of the existing school:

- A 14,500 square foot classroom addition; and,
- A 2,000 square foot office addition with a new secure entry vestibule.

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on June 28, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake after reviewing the proposal, that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

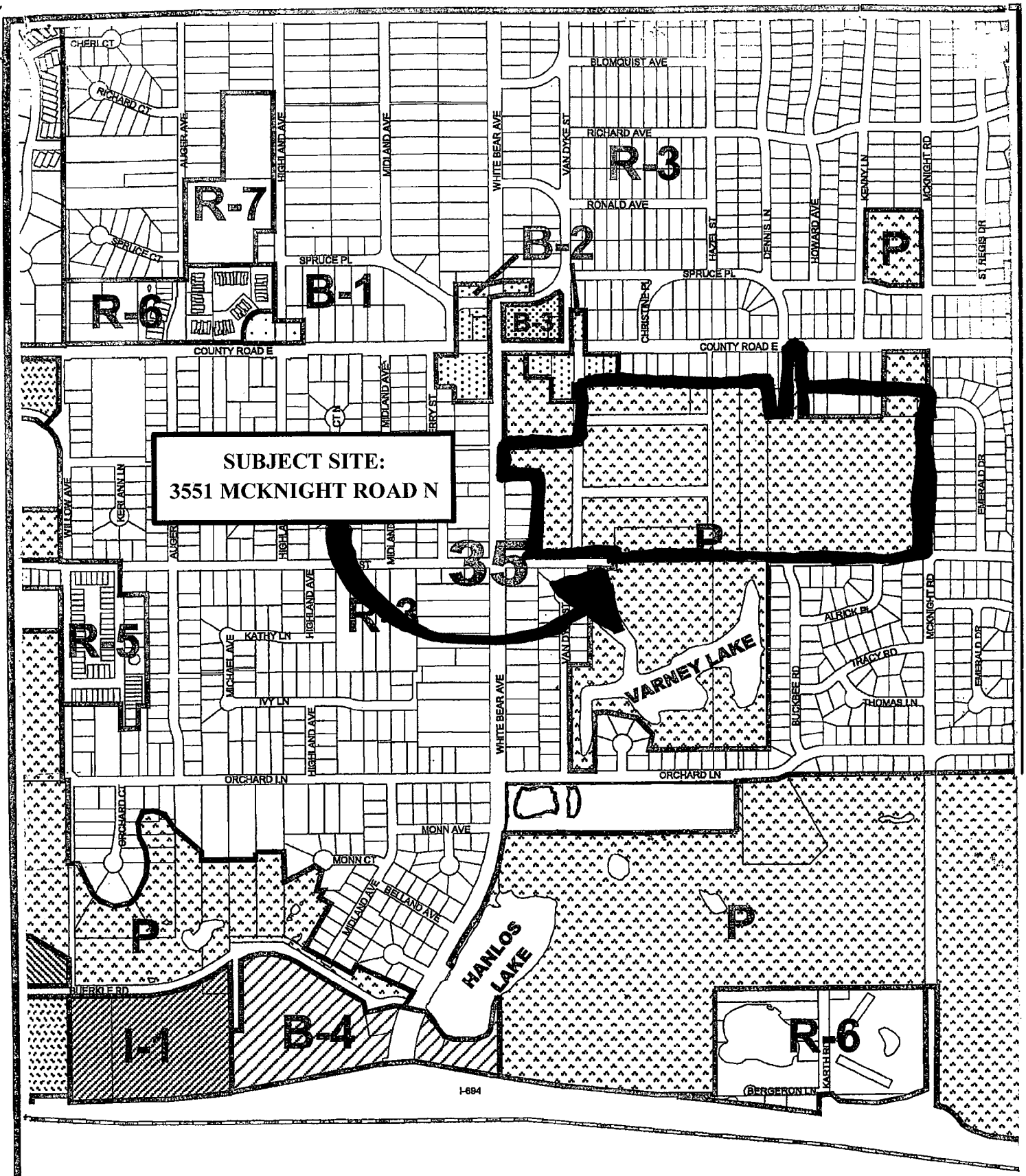
7. The special conditions attached in the form of conditional use permits are hereby approved.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the conditional use permit, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after granting the conditional use permit, the use as allowed by the permit shall not have been completed or utilized, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.
3. This conditional use permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The applicant shall obtain any necessary building permits prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

5. Provide additional information and details as required by the Fire Marshal, detailed in the attached memo dated June 3, 2021.
6. Ensure plans comply with the 2020 Minnesota State Building Code.
7. Provide evidence of project approval from the Ramsey-Washington Metro Watershed District.
8. Provide a SAC determination from the Metropolitan Council.
9. Submit a landscaping plan with a detailed tree preservation chart, including details on the plantings proposed for the infiltration basin, for staff review and approval.
10. A separate sign permit for exterior signage will be required.
11. Submit lighting details and a photometric plan for staff review and approval. All new or relocated lights shall be shielded so that the light source is not visible from surrounding residences.
12. Engineering/Stormwater Conditions:
 - a. On-site utilities, including hydrants, will be private utilities owned and maintained by the School District, not part of the City's public system;



SUBJECT SITE:
3551 MCKNIGHT ROAD N

City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 21-6-CUPa
 CASE NAME : South Campus
 DATE : June 28, 2021



White Bear Lake Fire Department
4701 Hwy 61
White Bear Lake, MN 55110
Tel. (651) 429-8568 Fax. (651) 429-8501

June 3, 2021

Wold Architechcs
332 Minnesota St. STE W2000
St. Paul, MN 55101

RE: General Building Plan Review

Project: White Bear Lake South Campus Classroom/Office Addition
3551 McKnight Rd.

The plans for the above project have been reviewed. Please review the comments listed below and let me know if you have any questions.

Specific Comments

- For all Fire related questions or inspections, please call (651) 762-4842.



White Bear Lake Fire Department
4701 Hwy 61
White Bear Lake, MN 55110
Tel. (651) 429-8568 Fax. (651) 429-8501

General Comments

1. All roads and drive lanes shall meet the 2020 MSFC and White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes. All roads shall be constructed of asphalt or concrete.
2. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. City permit required **prior** to initiation of work.
4. The sprinkler system shall be current on annual inspection and testing. Any deficiencies noted during those reports shall be corrected.
5. The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required **prior** to initiation of work.
6. The sprinkler system shall be properly monitored by a qualified monitoring company.
7. Additional fire hydrants shall be added as stated in the district letter dated 12/1/2020. Fire hydrants shall be in approved locations.
8. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
9. Install compliant exit signage as required by the 2020 MSFC.
10. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
11. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.



White Bear Lake Fire Department
4701 Hwy 61
White Bear Lake, MN 55110
Tel. (651) 429-8568 Fax. (651) 429-8501

12. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.
13. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.
14. The fire department key box shall be relocated to an approved location.

Codes and Standards Used for this Review

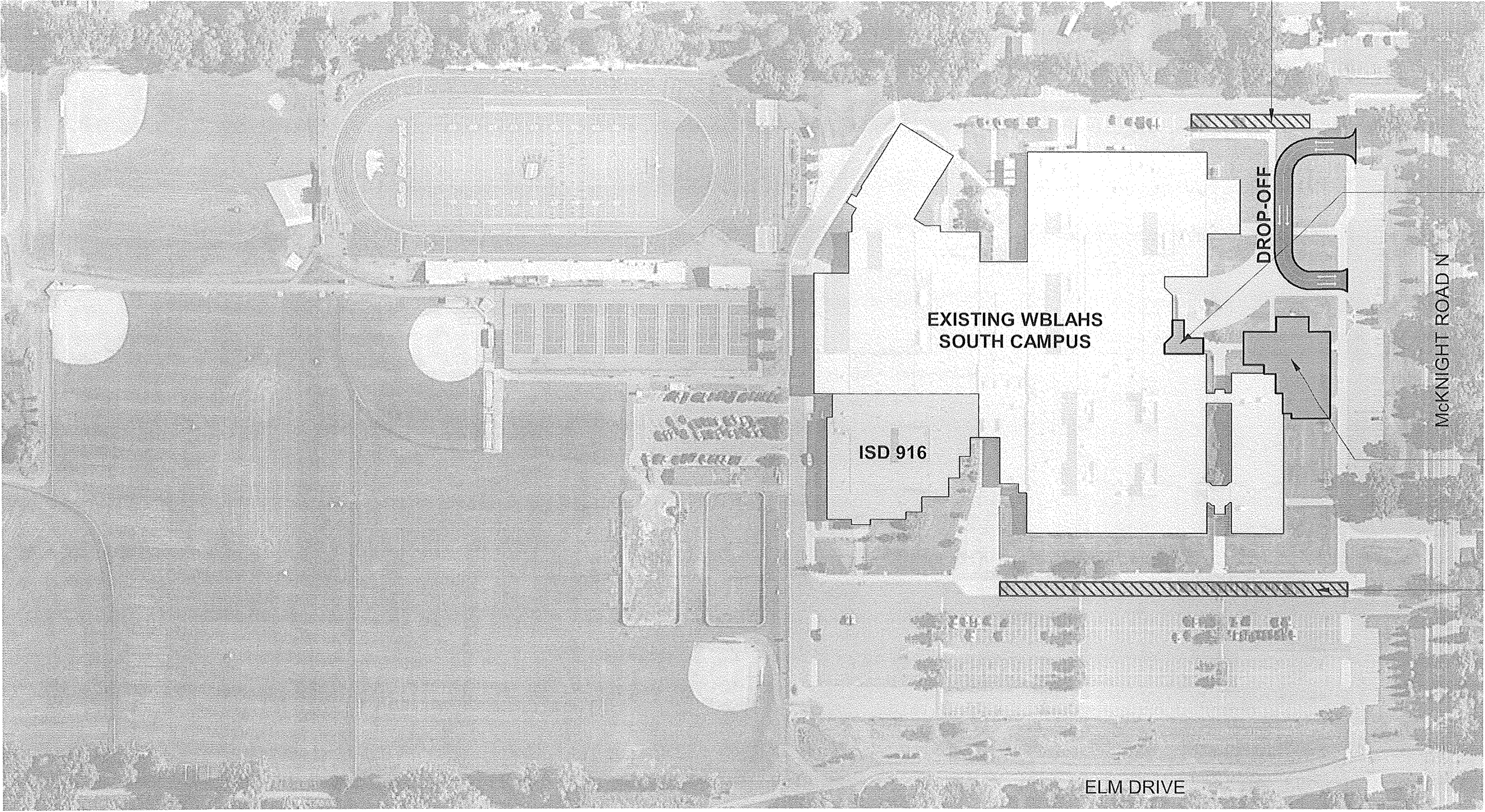
- ❖ This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.
 - 2020 Minnesota State Fire Code
 - NFPA 72, 2016 edition
 - NFPA 13, 2016 edition

Thank You,

Kurt Frison
Assistant Fire Chief / Fire Marshal
(651) 762-4842



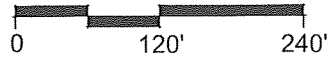
SPECIAL EDUCATION BUS DROP OFF / PICK UP



1

PROPOSED SITE PLAN

1" = 160'-0"



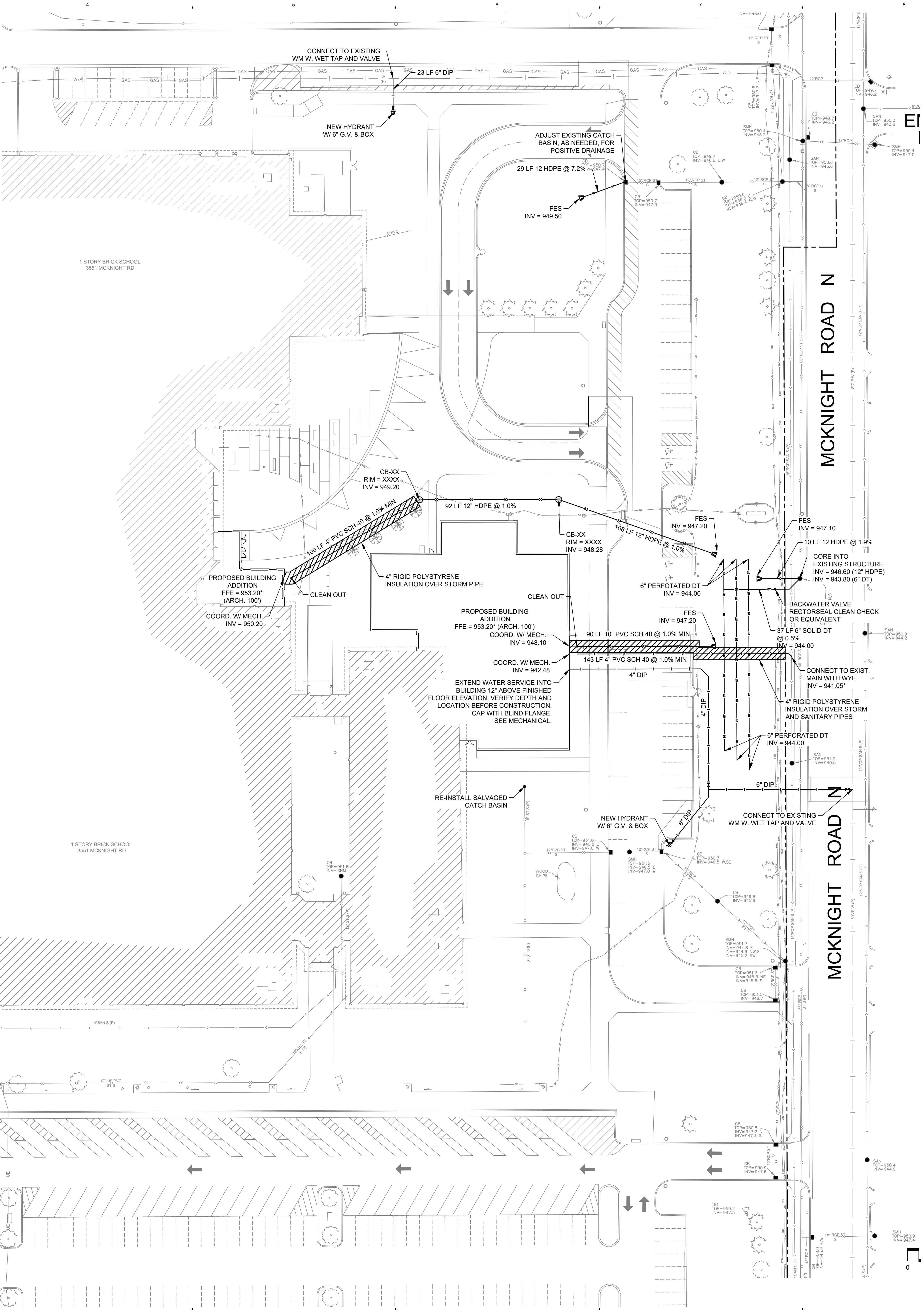
MN

LEGEND

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▲ FLARED END
- SANITARY MANHOLE
- HYDRANT
- ⊕ GATE VALVE & BOX
- ⊕ WATER SHUTOFF
- ☼ LIGHT POLE
- CTV
- OE
- UE
- FO
- GAS
- T
- ST
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAIN TILE PIPE

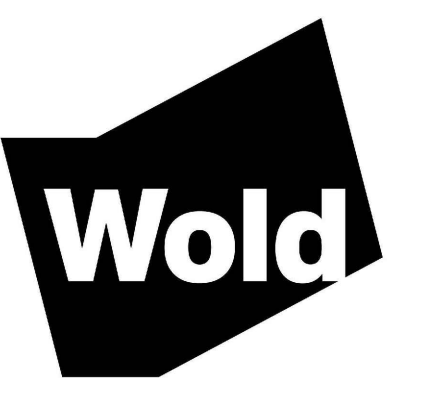
UTILITY NOTES

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
6. HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
7. All RCP pipe shown on the plans shall be MNDOT class 3.
8. Maintain a minimum of 7 1/2' of cover over all water lines and sanitary sewer lines. Where 7 1/2' of cover is not provided, install 2" rigid polystyrene insulation (MNDOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
9. Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
10. All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
11. See Project Specifications for bedding requirements.
12. Pressure test and disinfect all new watermains in accordance with state and local requirements.
13. Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
14. A structure adjustment shall include removing and salvaging the existing casting assembly, removing existing concrete rings to the precast section. Install new rings and salvaged casting to proposed grades, cleaning casting flange by mechanical means to insure a sound surface and install an external chimney seal from casting to precast section. Chimney seals shall be Infi-Shield Uni-Band or an approved equal.



WHITE BEAR LAKE AREA HIGH SCHOOL SOUTH CAMPUS PHASE 2
 3551 Mcknight Road North
 White Bear Lake, MN 55110

INDEPENDENT SCHOOL DISTRICT #624
 4855 Bloom Avenue,
 White Bear Lake, MN 55110



WOLD ARCHITECTS AND ENGINEERS
 332 Minnesota Street, Suite W2000
 Saint Paul, MN 55101
 woldae.com | 651.227.7773

Larson Engineering, Inc.
 3524 Labore Road
 White Bear Lake, MN 55110
 651.481.9120 (f) 651.481.9201
 www.larsonenr.com

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NOTE: NOT FOR CONSTRUCTION - CUP SUBMITTAL

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.
Greg A. Buchal
 Greg A. Buchal, P.E.
 Date: 04.16.2021 Lic. No.: 23793

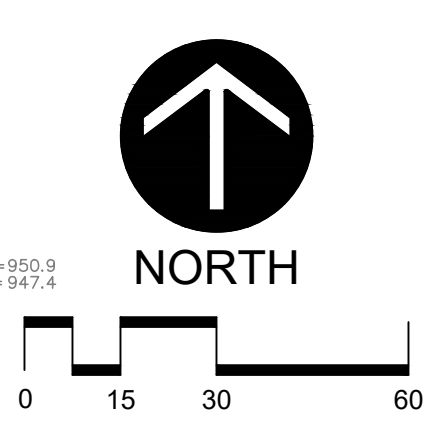
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	Date	Num

Comm: 12206164
 Date: 04.16.2021
 Drawn: TJR
 Check: GAB

UTILITY PLAN ALTERNATE

Scale: As Indicated

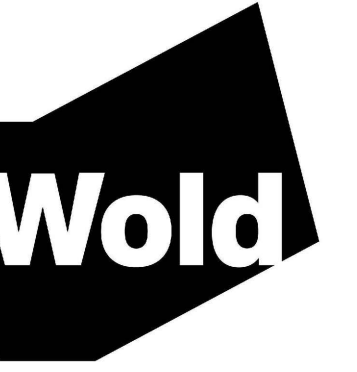
C4.01



**WHITE BEAR LAKE
AREA HIGH SCHOOL
SOUTH CAMPUS
PHASE 2**

3551 McKnight Road North
White Bear Lake, MN 55110

**INDEPENDENT SCHOOL
DISTRICT #624**
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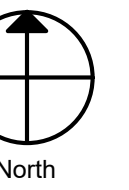
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Buchal
Greg A. Buchal, P.E.

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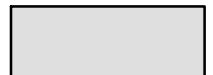

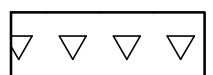
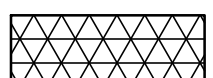



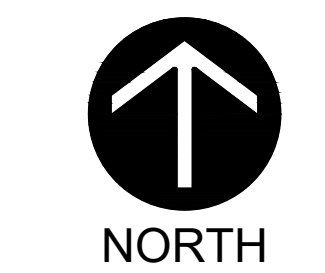
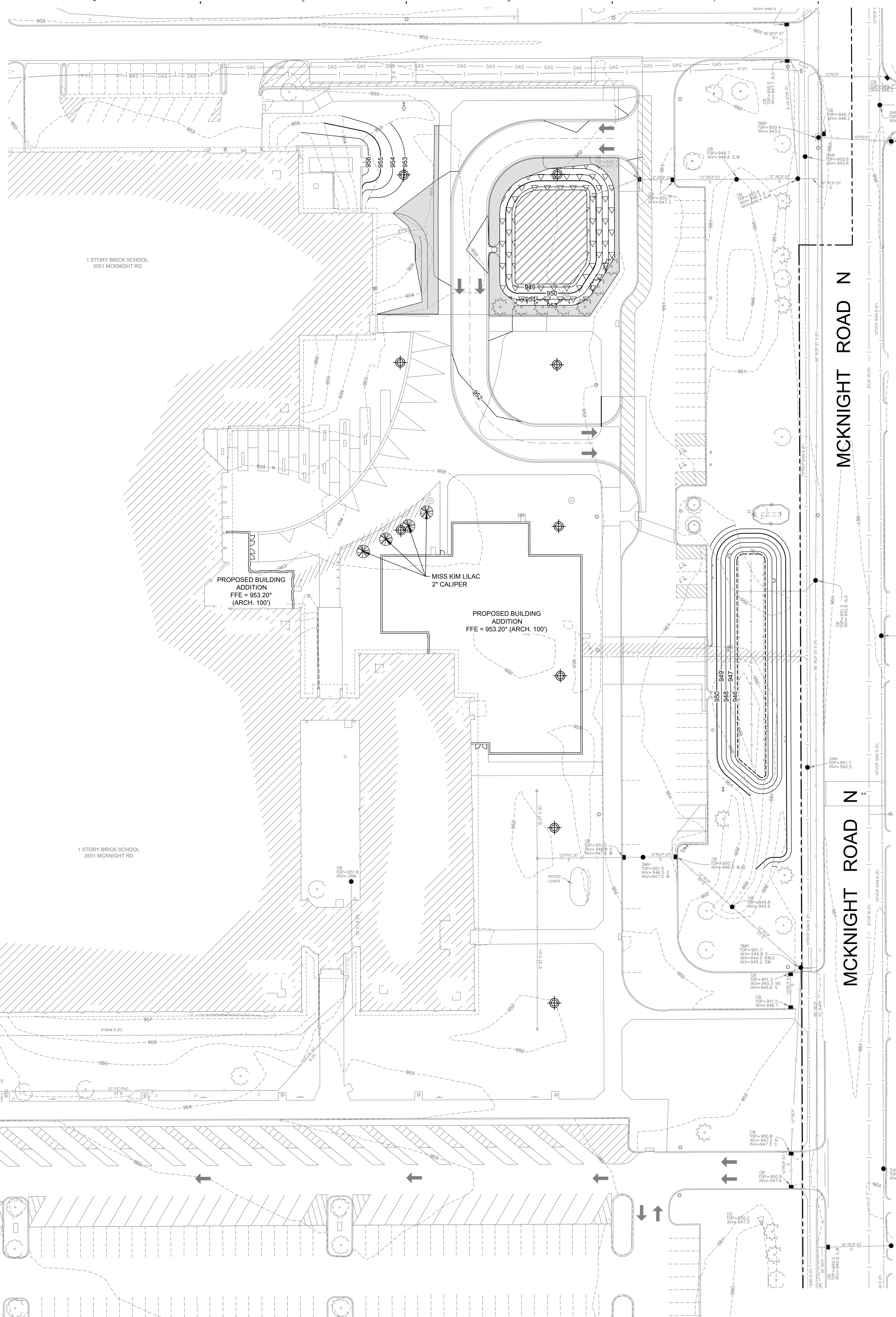
**LANDSCAPING
PLAN
ALTERNATE**

Scale: As indicated

C5.01

SYMBOL LEGEND

-  SOD
-  SEED
-  EROSION CONTROL BLANKET AND SEED
-  LANDSCAPE ROCK
-  6' TALL BLACK HILLS SPRUCE TREE (± 13' SPACING) 5 TREES TOTAL



0 15 30 60
NORTH

MN

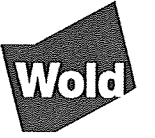
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MN

**WHITE BEAR LAKE
AREA HIGH SCHOOL
SOUTH CAMPUS
PHASE 2**

3551 Mcknight Road North
White Bear Lake, MN 55110

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Greg A. Bucher
Greg A. Bucher, P.E.

Date: 04.16.2021 Lic. No.: 23793

Revision	Date	By
1	April 23, 2021	1
2	April 26, 2021	2
3	June 18, 2021	3

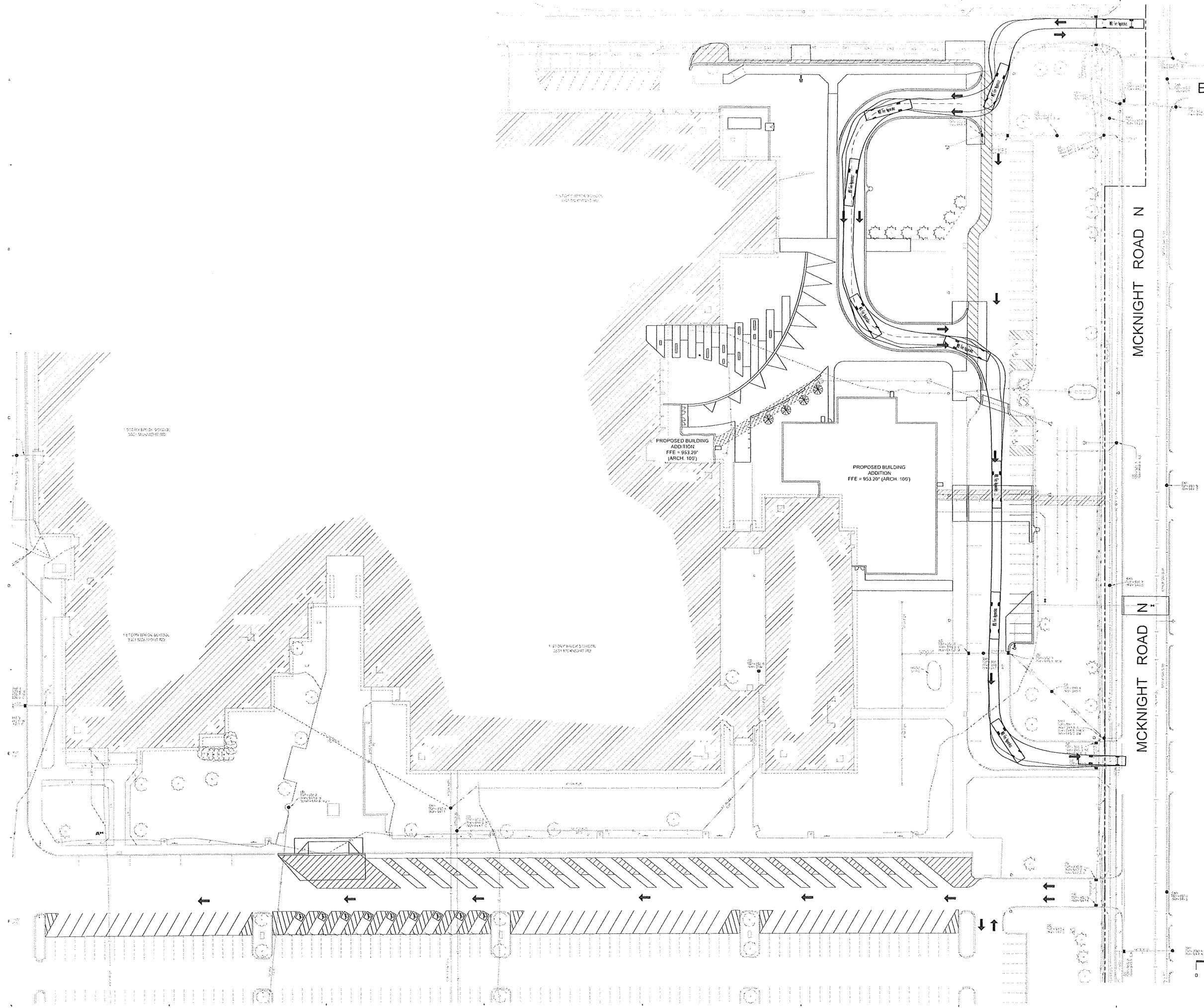
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Date: 04.16.2021
Drawn: TJB
Check: GAB



**FIRE TRUCK
TURNING
EXHIBIT**

Scale: As indicated

C7.00



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NORTH



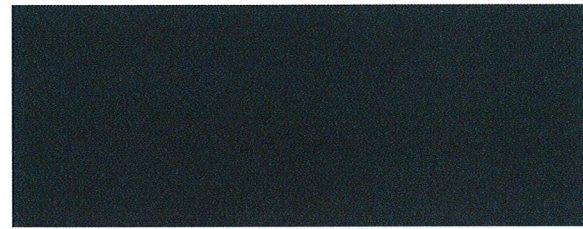




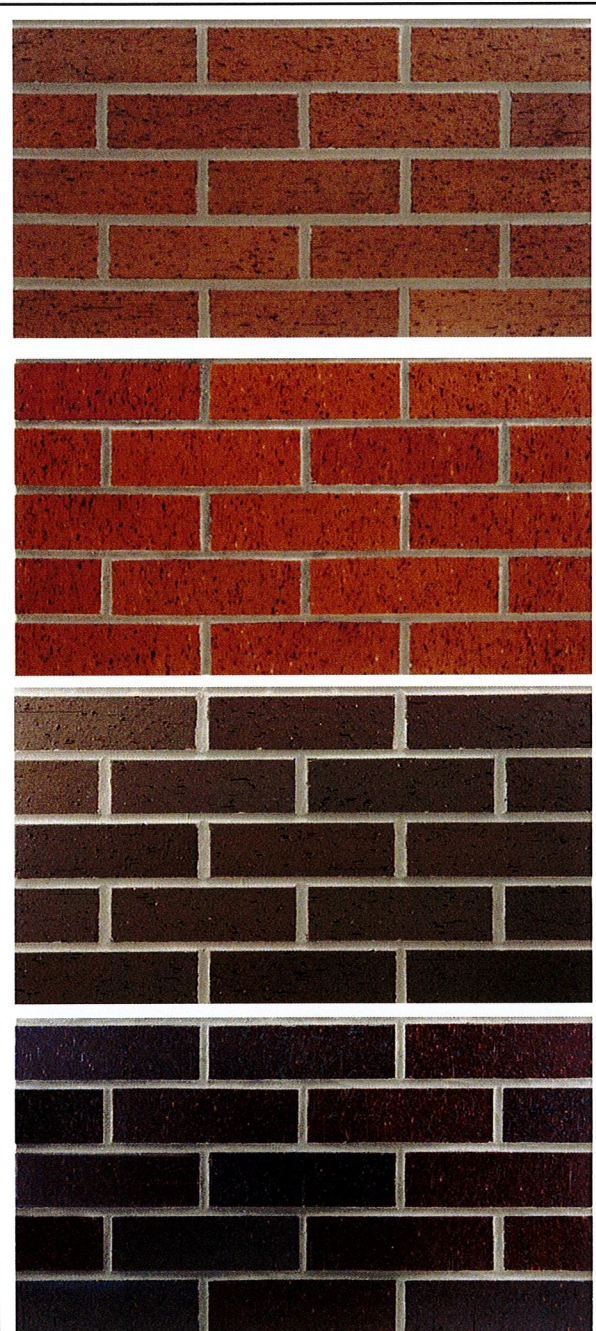
CLASSROOM ADDITION



EXISTING BUILDING



METAL PANEL

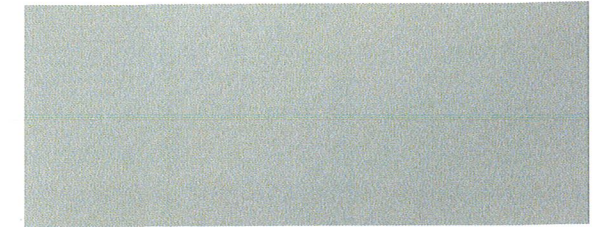


ENDICOTT BRICK BLEND

OFFICE ADDITION



GYM ADDITION
(CURRENTLY UNDER CONSTRUCTION)



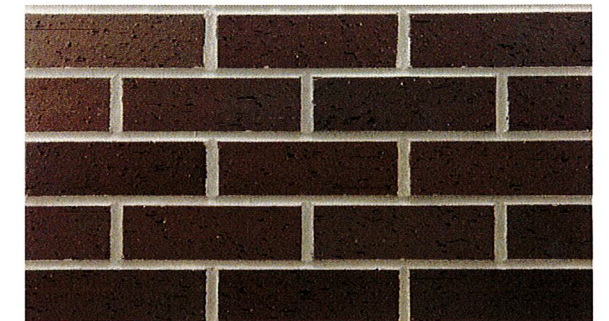
METAL PANEL



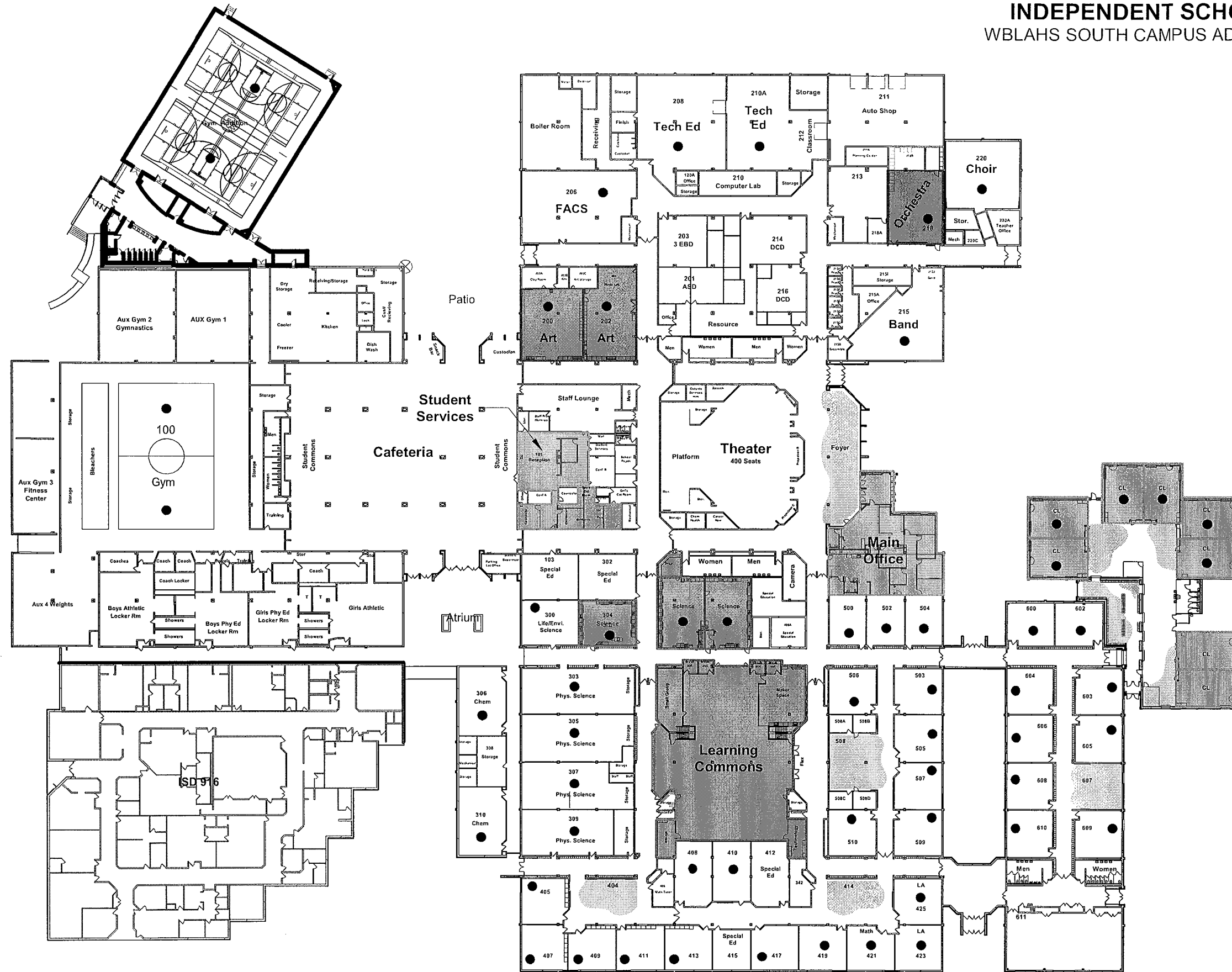
BRICK #2: ENDICOTT GOLDEN BUFF



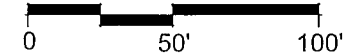
BRICK #3: ENDICOTT LIGHT SANDSTONE

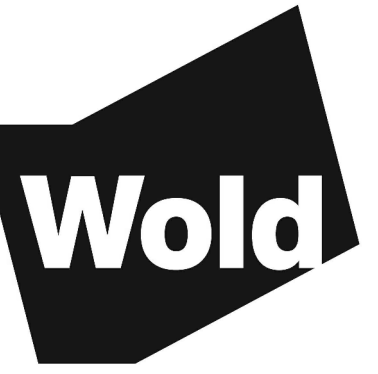


BRICK #4: ENDICOTT DARK SANDSTONE

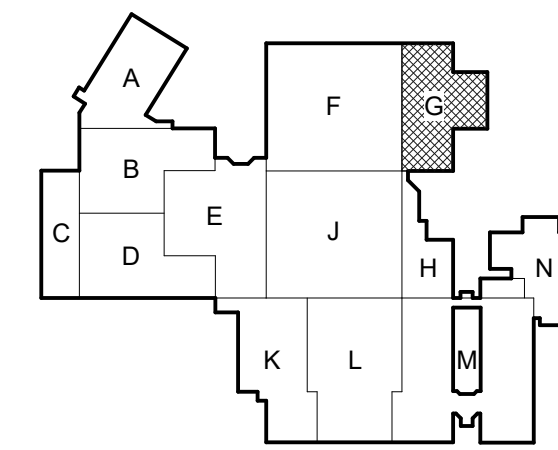


1 **WBLAHS SOUTH CAMPUS OVERALL PLAN**
 1 : 800





NOTE: NOT FOR CONSTRUCTION - CUP SUBMITTAL



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA.

Paul A. Aplikowski
PAUL APLIKOWSKI
License Number: 42737 Date: 4/16/2021

Description	Revisions	
	Date	Num

Comm: 192238
Date: 4/16/2021
Drawn: AB
Check: JW
North

MAIN LEVEL FLOOR PLAN - AREA G

PLAN GENERAL NOTES

- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL GYP. WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE. MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SWELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

FLOOR PLAN KEY NOTES:

- DOOR HCAP ACTUATOR - COORDINATE WITH ELECTRICAL.
- EMERGENCY EYE WASH - SEE MECHANICAL.
- FIRE BLANKET & FIRE EXTINGUISHER.
- AT REMOVED CONCRETE SLAB, INFILL 4" CONCRETE SLAB AND VAPOR BARRIER (RECESS FOR MORTAR BED AS OCCURS). SEE DETAIL D7/A4.702.
- PATCH VCT AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PATCH CONCRETE AT REMOVED BLK WALL LOCATION. PAINT TO MATCH ADJACENT WALL.
- PATCH CARPET AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PROVIDE P. TILE WAJNSCOT AND PAINT WALL ABOVE PT 6A. SEE DETAIL C3/A4.702.
- PROVIDE P. TILE FULL HEIGHT OF WALL. SEE DETAIL C1/A4.702.
- BRICK PLASTER - SEE DETAIL C7/A5.503.
- BRICK PLASTER CORNER - SEE DETAIL B7/A5.503.
- WALL MOUNTED MONITOR PROVIDED BY OWNER (NIC) & PROVIDE 4" x 8" x 3/4" SOLID PLYWOOD BACKING INSIDE STUD CAVITY. SEE ELECTRICAL AND COORDINATE WITH OWNER FOR FINAL LOCATION. EXTERIOR LIGHTING - SEE ELECTRICAL.
- EXTERIOR SIGNAGE.
- PAINTED MECHANICAL EQUIPMENT - SEE MECH.
- AT REMOVED WALL, TOOTH IN CONC. BLK TO CREATE NEW JAMB FOR NEW OPENING. TOOTH IN CONC. BLOCK ABOVE NEW OPENING FOR LINTEL AS REQ. PAINT TO MATCH ADJACENT WALL.
- NOT USED.
- PROVIDE MANUAL ROLLER SHADE FULL LENGTH OF GLAZING.
- TOOTH IN CMU AT INFILL.
- PAINT HM FRAME PT 4B.
- PAINT EXISTING WALL AND PROVIDE NEW VINYL BASE TO MATCH ADJACENT WALL.
- CONCRETE STOOP - SIZE AS INDICATED. SEE ALSO STRUCTURAL.
- PATCH LINOLEUM AT REMOVED DISPLAY CASE TO MATCH ADJACENT LINOLEUM.
- CUBICLE CURTAIN TRACK. REFER TO RCP.
- INSTALL NEW DOOR AS SCHEDULED IN EXISTING H.M. FRAME (SEE DOOR SCHEDULE). MODIFY EXISTING H.M. FRAME AS REQUIRED TO ACCEPT NEW DOOR AND HARDWARE. PAINT EXISTING H.M. FRAME TO MATCH EXISTING.
- INSTALL SALVAGED CASEWORK. PROVIDE NEW SOLID SURFACE COUNTERTOP.
- AT REMOVED WALLS AND/OR LOCKER BASES PATCH EXISTING CONC. SLAB USING SELF LEVELING TOPPING (MIN 5" WIDE) TO FEATHER FLOOR LEVEL DISCREPANCIES.
- PROVIDE NEW LOCKER END CAP FROM FINISH FLOOR TO TOP OF SLOPED TOP. COLOR TO MATCH ADJACENT LOCKERS.
- ACCESS PANEL #1.
- STUDENT DISPLAY WALL - SEE DETAIL F1/A4.702.
- EXTENTS INDICATED.
- PROVIDE ABUSE RESISTANT GYP BD AT ROOM INDICATED.
- LOCKER TYPE 1. SEE DETAIL B5/A4.701.
- LOCKER TYPE 1. SEE DETAIL B6/A4.701.
- GOGGLE CABINET.
- FIRE EXTINGUISHER.
- PATCH PLASTER ON UNDERSIDE OF SOFFIT AT NEW PIPE PENETRATION TO MATCH ADJACENT PLASTER.
- PROVIDE NEW BACKSPASH AT CUT COUNTERTOP TO MATCH EXISTING.
- FILL EXISTING CONCRETE BLOCK WITH MASONRY CORE INSULATION. PROVIDE RESILIENT SOUND ISOLATION CLIPS WITH 2 LAYERS GYP BD AND SEAL ALL PENETRATIONS AT WALL NOTED. PROVIDE FULL WIDTH AND HEIGHT OF WALL. SEE DETAIL B3/A4.701.
- PROVIDE BROOM AND MOP HOLDER.
- HIGH DENSITY OPERABLE STORAGE - PROVIDE ONE 15" DEEP END UNIT AND SIX 30" DEEP CARRIAGE UNITS. ALL 6" LONG.
- DISHWASHER.
- HANDICAP ACCESSIBLE LOCKER.
- PROVIDE FRP WALL PANEL 4' W x 8'

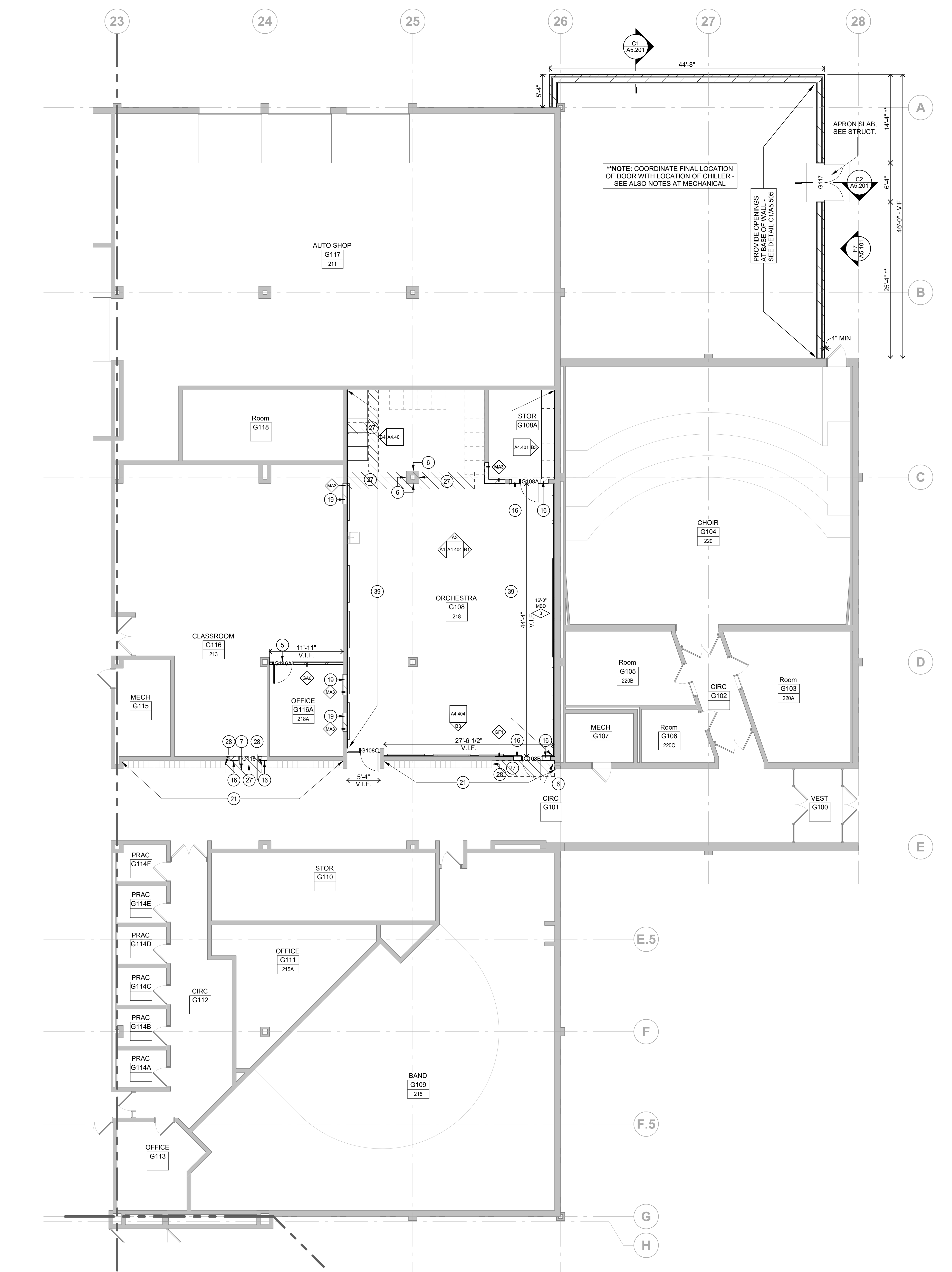
ROOM FINISH SCHEDULE - MAIN LEVEL AREA G												
ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL		REMARKS
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN	
G108	ORCHESTRA	CPT 1	VB	EXIST / C BLK	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
G108A	STOR	CPT 1	VB	EXIST	PT 6A	EXIST	PT 6A	EXIST / C BLK	PT 6A	EXIST / C BLK	PT 6A	
G116	CLASSROOM	EXIST	EXIST	EXIST		EXIST / C BLK	PT 6A	EXIST / C BLK / GYP BD	PT 6A	EXIST		1
G116A	OFFICE	EXIST	EXIST	GYP BD	PT 6A	EXIST	PT 6A	EXIST	PT 6A	EXIST	PT 6A	1

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
- REFER TO MATERIAL FINISH COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "1".

ROOM FINISH SCHEDULE REMARKS

- PROVIDE VINYL BASE AT NEW WALLS TO MATCH EXISTING.
- SEE INTERIOR ELEVATIONS FOR FINISH INFORMATION.
- SEE FLOOR FINISH PLAN FOR FINISH INFORMATION.
- SEE DETAIL E1/A4.702 FOR WALL TILE PATTERN INFORMATION.
- DO NOT PAINT EXISTING BURNISHED BLOCK.
- PROVIDE P. TILE 1 WAJNSCOT AT ROOM INDICATED. SEE DETAIL C3/A4.702.
- SEE DETAIL C1/A4.301 FOR FLOOR PATTERN.



F2 MAIN LEVEL FLOOR PLAN - AREA G
1/8" = 1'-0"

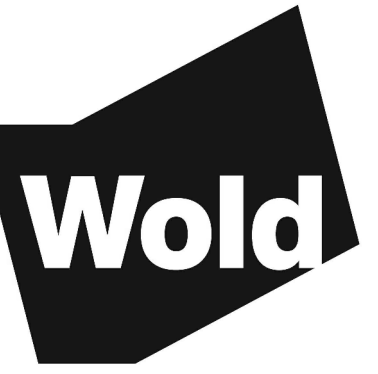
MN

A

WBLAHS SOUTH CAMPUS ADDITION & RENOVATIONS

3551 McKnight Road
White Bear Lake, MN 55110

INDEPENDENT SCHOOL DISTRICT #624
4855 Bloom Avenue
White Bear Lake, MN 55110



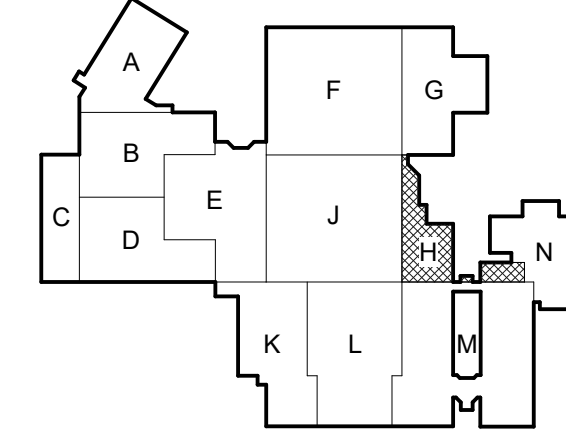
WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651 227 7773



KRAUS-ANDERSON
501 South Eighth Street
Minneapolis, MN 55404
krausanderson.com | 612.332.7281

NOTE: NOT FOR CONSTRUCTION - CUP SUBMITTAL



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA.
Paul A. Alikowski
PAUL APLIKOWSKI
License Number: 42737 Date: 4/16/2021

Description	Revisions	
	Date	Num

Comm: 192238
Date: 4/16/2021
Drawn: AB
Check: JW
North

MAIN LEVEL FLOOR PLAN - AREA H

Scale: As indicated
A2.01H

FLOOR PLAN LEGEND

- RECESSED FLOOR SLAB SEE SPOT ELEVATIONS ON PLAN FOR DEPTHS

PLAN GENERAL NOTES

- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL GYP. WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE. MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

FLOOR PLAN KEY NOTES:

- DOOR HCAP ACTUATOR - COORDINATE WITH ELECTRICAL.
- EMERGENCY EYE WASH - SEE MECHANICAL.
- FIRE BLANKET & FIRE EXTINGUISHER
- AT REMOVED CONCRETE SLAB, INFILL 4" CONCRETE SLAB AND VAPOR BARRIER (RECESS FOR MORTAR BED AS OCCURS). SEE DETAIL D7/A4.702
- PATCH VCT AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PATCH CONCRETE AT REMOVED BLK WALL LOCATION. PAINT TO MATCH ADJACENT WALL.
- PATCH CARPET AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PROVIDE P. TILE WAINSCOT AND PAINT WALL ABOVE PT 6A. SEE DETAIL C3/A4.702
- PROVIDE P. TILE FULL HEIGHT OF WALL. SEE DETAIL C1/A4.702
- BRICK PILASTER - SEE DETAIL C7/A5.503
- BRICK PILASTER CORNER - SEE DETAIL B7/A5.503
- WALL MOUNTED MONITOR PROVIDED BY OWNER (NIC) & PROVIDE 4" x 8" x 3/4" SOLID PLYWOOD BACKING INSIDE STUD CAVITY. SEE ELECTRICAL AND COORDINATE WITH OWNER FOR FINAL LOCATION.
- EXTERIOR LIGHTING - SEE ELECTRICAL
- EXTERIOR SIGNAGE
- PAINTED MECHANICAL EQUIPMENT - SEE MECH.
- AT REMOVED WALL, TOOTH IN CONC. BLK TO CREATE NEW JAMB FOR NEW OPENING. TOOTH IN CONC. BLOCK ABOVE NEW OPENING FOR LINTEL AS REQ. PAINT TO MATCH ADJACENT WALL.
- NOT USED
- PROVIDE MANUAL ROLLER SHADE FULL LENGTH OF GLAZING.
- TOOTH IN CMU AT INFILL
- PAINT HM FRAME PT 4B
- PAINT EXISTING WALL AND PROVIDE NEW VINYL BASE TO MATCH ADJACENT WALL.
- CONCRETE STOOP - SIZE AS INDICATED. SEE ALSO STRUCTURAL.
- PATCH LINOLEUM AT REMOVED DISPLAY CASE TO MATCH ADJACENT LINOLEUM
- CUBICLE CURTAIN TRACK. REFER TO RCP
- INSTALL NEW DOOR AS SCHEDULED IN EXISTING H.M. FRAME (SEE DOOR SCHEDULE). MODIFY EXISTING H.M. FRAME AS REQUIRED TO ACCEPT NEW DOOR AND HARDWARE. PAINT EXISTING H.M. FRAME TO MATCH EXISTING.
- INSTALL SALVAGED CASEWORK. PROVIDE NEW SOLID SURFACE COUNTERTOP.
- AT REMOVED WALLS AND/OR LOCKER BASES PATCH EXISTING CONC. SLAB USING SELF LEVELING TOPPING (MIN 5" WIDE) TO FEATHER FLOOR LEVEL DISCREPANCIES.
- PROVIDE NEW LOCKER END CAP FROM FINISH FLOOR TO TOP OF SLOPED TOP. COLOR TO MATCH ADJACENT LOCKERS
- ACCESS PANEL #1
- STUDENT DISPLAY WALL - SEE DETAIL F1/A4.702
- PROVIDE CPT 1 AND VINYL BASE TO APPROX EXTENTS INDICATED
- PROVIDE ABUSE RESISTANT GYP BD AT ROOM INDICATED
- LOCKER TYPE 1. SEE DETAIL B5/A4.701
- LOCKER TYPE 1. SEE DETAIL B6/A4.701
- GOGGLE CABINET
- FIRE EXTINGUISHER
- PATCH PLASTER ON UNDERSIDE OF SOFFIT AT NEW PIPE PENETRATION TO MATCH ADJACENT PLASTER
- PROVIDE NEW BACKSPLASH AT CUT COUNTERTOP TO MATCH EXISTING
- FILL EXISTING CONCRETE BLOCK WITH MASONRY CORE INSULATION. PROVIDE RESILIENT SOUND ISOLATION CLIPS WITH 2 LAYERS GYP BD AND SEAL ALL PENETRATIONS AT WALL NOTED. PROVIDE FULL WIDTH AND HEIGHT OF WALL. SEE DETAIL B3/A4.701
- PROVIDE BROOM AND MOP HOLDER
- HIGH DENSITY OPERABLE STORAGE - PROVIDE ONE 15" DEEP END UNIT AND SIX 30" DEEP CARRIAGE UNITS. ALL 6' LONG.
- DISHWASHER
- HANDICAP ACCESSIBLE LOCKER
- PROVIDE FRP WALL PANEL 4" W x 8'

ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL		REMARKS
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN	
H100	VESTIBULE	CPT 9	VB	GYP BD / GYP BD	P. TILE 1 / PT 6A	GYP BD / GYP BD	PT 6A / PT 6A	EXIST / GYP BD	P. TILE 1 / PT 6A	EXIST / GYP BD	PT 6A / PT 6A	2
H101	RECEPTION	CPT 1	VB	EXIST / GYP BD	PT 6A / PT 6A	GYP BD / GYP BD	P. TILE 1 / PT 6A	GYP BD / GYP BD	PT 6A / PT 6A	EXIST / GYP BD	PT 6A / PT 6A	2
H102	TOILET	P. TILE	P. TILE	GYP BD	C. TILE	GYP BD	C. TILE	GYP BD	C. TILE	GYP BD	C. TILE	4
H103	PRINCIPAL	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H104	ASSOCIATE PRINCIPAL	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H105	DEAN OF STUDENTS	CPT 1	VB	GYP BD	PT 6A	EXIST / C BLK	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H106	FLEX OFFICE	CPT 1	VB	GYP BD	PT 6A	EXIST / C BLK	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H107	CIRC	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H107B	STORAGE	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H108	FLEX OFFICE	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H109	CONF	CPT 1	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
H110	HEALTH	VCT	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	7
H111	TOILET	P. TILE	P. TILE	GYP BD	C. TILE	GYP BD	C. TILE	GYP BD	C. TILE	GYP BD	C. TILE	4
H113	FOYER	CPT 1 / CPT 9	P. TILE	EXIST	P. TILE 1 / PT 6A	EXIST	P. TILE 1 / PT 6A	EXIST / GLASS	P. TILE 1 / PT 6A	EXIST	P. TILE 1 / PT 6A	6

ROOM FINISH SCHEDULE GENERAL NOTES

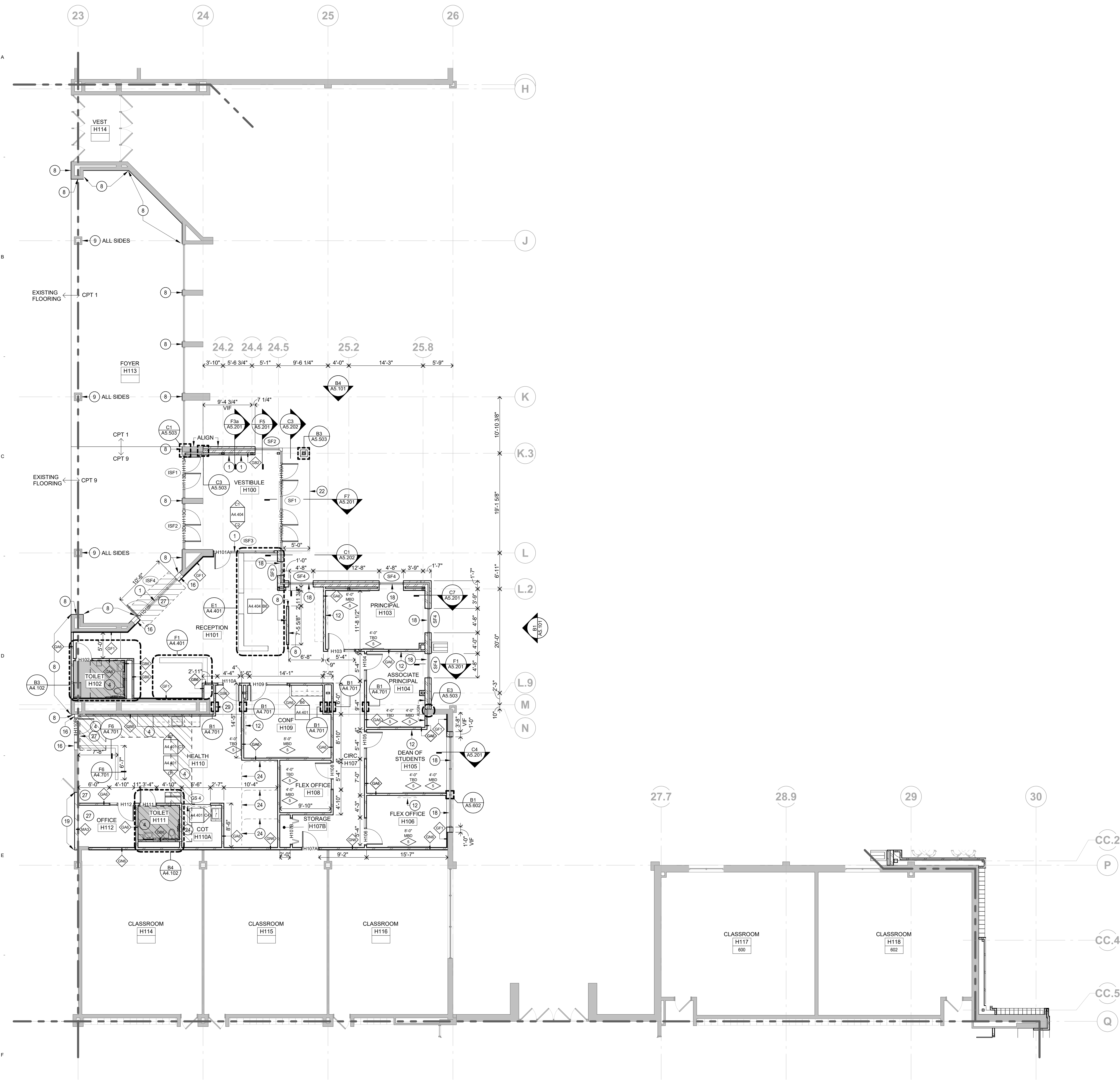
- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
- REFER TO MATERIAL FINISH / COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "Y".

ROOM FINISH SCHEDULE REMARKS

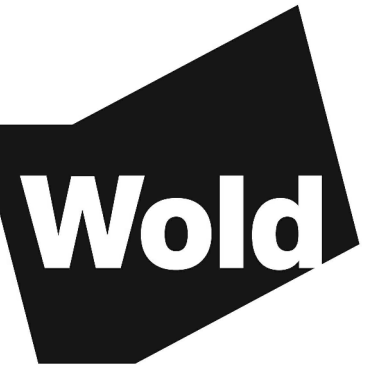
- PROVIDE VINYL BASE AT NEW WALLS TO MATCH EXISTING.
- SEE INTERIOR ELEVATIONS FOR FINISH INFORMATION.
- SEE FLOOR FINISH PLAN FOR FINISH INFORMATION.
- SEE DETAIL E1/A4.702 FOR WALL TILE PATTERN INFORMATION.
- DO NOT PAINT EXISTING BURNISHED BLOCK.
- PROVIDE P. TILE 1 WAINSCOT AT ROOM INDICATED. SEE DETAIL C3/A4.702.
- SEE DETAIL C1/A4.301 FOR FLOOR PATTERN.

MN

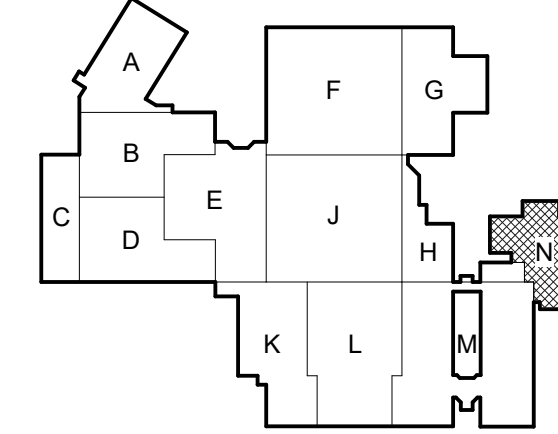
A



F1 MAIN LEVEL FLOOR PLAN - AREA H
1/8" = 1'-0"



NOTE: NOT FOR CONSTRUCTION - CUP SUBMITTAL



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT MINNESOTA
Paul A. Alikowski
PAUL APLIKOWSKI
License Number: 42737 Date: 4/16/2021

Description	Revisions	
	Date	Num
Addendum No. 1	04/23/2021	1

Comm: 192238
Date: 4/16/2021
Drawn: AB
Check: JW
North

MAIN LEVEL FLOOR PLAN - AREA N

PLAN GENERAL NOTES

- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL GYP. WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
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- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SIDELET OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.

FLOOR PLAN KEY NOTES:

- DOOR HCAP ACTUATOR - COORDINATE WITH ELECTRICAL.
- EMERGENCY EYE WASH - SEE MECHANICAL.
- FIRE BLANKET & FIRE EXTINGUISHER.
- AT REMOVED CONCRETE SLAB, INFILL 4" CONCRETE SLAB AND VAPOR BARRIER (RECESS FOR MORTAR BED AS OCCURS). SEE DETAIL D7/A4.702.
- PATCH VCT AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PATCH CONCRETE AT REMOVED BLK WALL LOCATION. PAINT TO MATCH ADJACENT WALL.
- PATCH CARPET AND VINYL BASE TO MATCH EXISTING AT AREA INDICATED FOR EXTENT OF NEW WORK.
- PROVIDE P. TILE WANSCOT AND PAINT WALL ABOVE PT 6A. SEE DETAIL C3/A4.702.
- PROVIDE P. TILE FULL HEIGHT OF WALL. SEE DETAIL C1/A4.702.
- BRICK PILASTER - SEE DETAIL C7/A5.503.
- BRICK PILASTER CORNER - SEE DETAIL B7/A5.503.
- WALL MOUNTED MONITOR PROVIDED BY OWNER (NIC) & PROVIDE 4" x 8" x 3/4" SOLID PLYWOOD BACKING INSIDE STUD CAVITY. SEE ELECTRICAL AND COORDINATE WITH OWNER FOR FINAL LOCATION.
- EXTERIOR LIGHTING - SEE ELECTRICAL.
- EXTERIOR SIGNAGE.
- PAINTED MECHANICAL EQUIPMENT - SEE MECH.
- AT REMOVED WALL, TOOTH IN CONC. BLK TO CREATE NEW JAMB FOR NEW OPENING. TOOTH IN CONC. BLOCK ABOVE NEW OPENING FOR LINTEL AS REQ. PAINT TO MATCH ADJACENT WALL.
- NOT USED.
- PROVIDE MANUAL ROLLER SHADE FULL LENGTH OF GLAZING.
- TOOTH IN CMU AT INFILL.
- PAINT HM FRAME PT 4B.
- PAINT EXISTING WALL AND PROVIDE NEW VINYL BASE TO MATCH ADJACENT WALL.
- CONCRETE STOOP - SIZE AS INDICATED. SEE ALSO STRUCTURAL.
- PATCH LINOLEUM AT REMOVED DISPLAY CASE TO MATCH ADJACENT LINOLEUM.
- CUBICLE CURTAIN TRACK. REFER TO RCP.
- INSTALL NEW DOOR AS SCHEDULED IN EXISTING H.M. FRAME (SEE DOOR SCHEDULE). MODIFY EXISTING H.M. FRAME AS REQUIRED TO ACCEPT NEW DOOR AND HARDWARE. PAINT EXISTING H.M. FRAME TO MATCH EXISTING.
- INSTALL SALVAGED CASEWORK. PROVIDE NEW SOLID SURFACE COUNTERTOP.
- AT REMOVED WALLS AND/OR LOCKER BASES PATCH EXISTING CONC. SLAB USING SELF LEVELING TOPPING (MIN 5" WIDE) TO FEATHER FLOOR LEVEL DISCREPANCIES.
- PROVIDE NEW LOCKER END CAP FROM FINISH FLOOR TO TOP OF SLOPED TOP. COLOR TO MATCH ADJACENT LOCKERS.
- ACCESS PANEL #1.
- STUDENT DISPLAY WALL - SEE DETAIL F1/A4.702.
- PROVIDE CPT 1 AND VINYL BASE TO APPROX EXTENTS INDICATED.
- PROVIDE ABUSE RESISTANT GYP BD AT ROOM.
- LOCKER TYPE 1. SEE DETAIL B5/A4.701.
- LOCKER TYPE 1. SEE DETAIL B6/A4.701.
- GOGGLE CABINET.
- FIRE EXTINGUISHER.
- PATCH PLASTER ON UNDERSIDE OF SOFFIT AT NEW PIPE PENETRATION TO MATCH ADJACENT PLASTER.
- PROVIDE NEW BACKSPLASH AT CUT COUNTERTOP TO MATCH EXISTING.
- FILL EXISTING CONCRETE BLOCK WITH MASONRY CORE INSULATION. PROVIDE RESILIENT SOUND ISOLATION CLIPS WITH 2 LAYERS GYP BD AND SEAL ALL PENETRATIONS AT WALL NOTED. PROVIDE FULL WIDTH AND HEIGHT OF WALL. SEE DETAIL B3/A4.701.
- PROVIDE BROOM AND MOP HOLDER.
- HIGH DENSITY OPERABLE STORAGE - PROVIDE ONE 15" DEEP END UNIT AND SIX 30" DEEP CARRIAGE UNITS. ALL 6' LONG.
- DISHWASHER.
- HANDICAP ACCESSIBLE LOCKER.
- PROVIDE FRP WALL PANEL 4' W x 8' T.

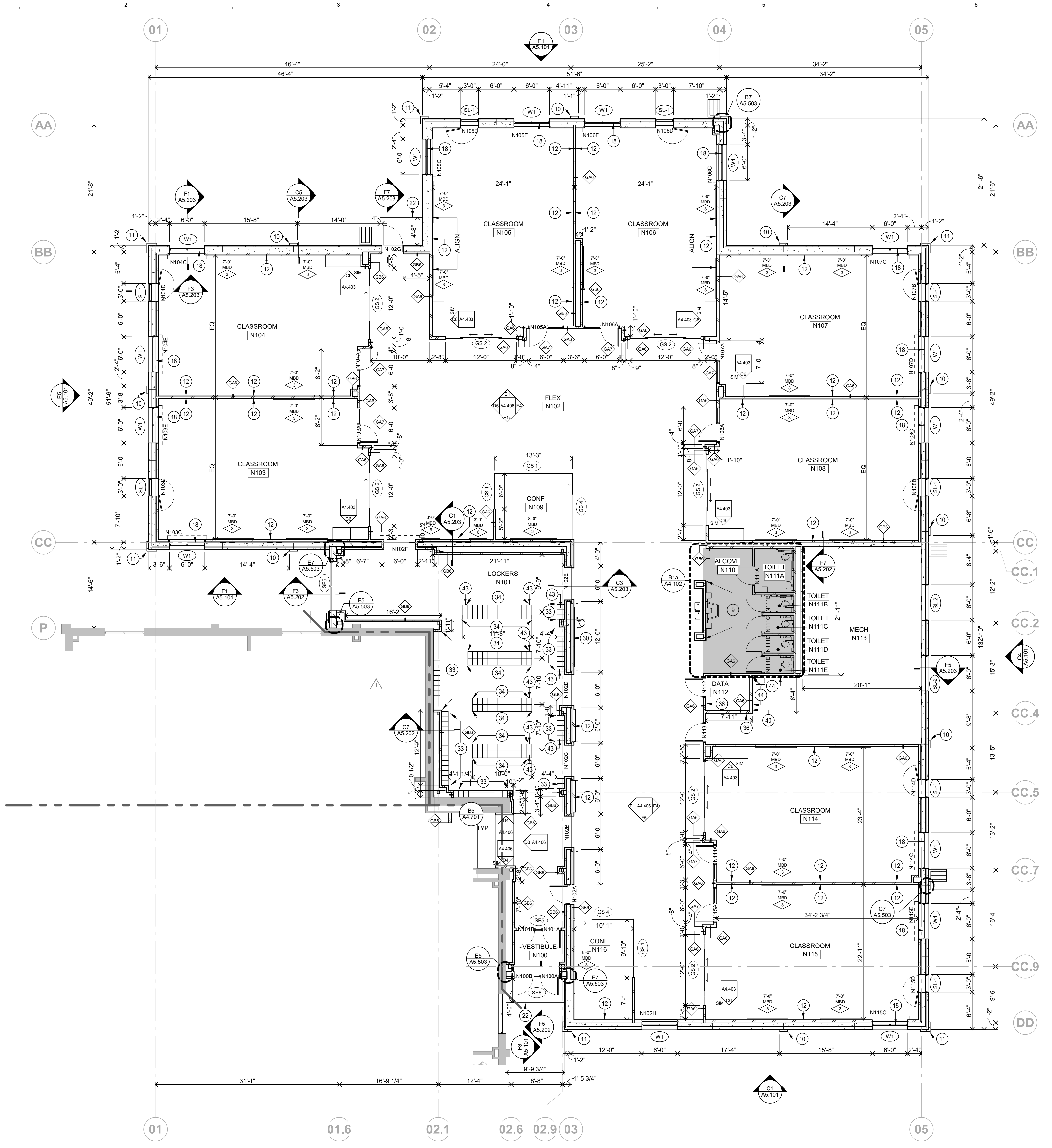
ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP				E WALL		S WALL		W WALL		REMARKS
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN			
N100	VESTIBULE	CPT 9	VB	GYP BD	PT	CONC	PT	GYP BD	PT	EXIST	-	-	2, 3, 6, 7	
N101	LOCKERS	CPT 1, 4	P. TILE	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	1, 2 / PT 6A	
N102	FLEX	CPT 3, 4	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	1, 2 / PT 6A, 6B, 6C	
N102A	FLEX	CPT	P. TILE	-	-	GYP BD	-	GYP BD	-	GYP BD	-	GYP BD	-	
N103	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N104	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N105	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N106	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N107	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N108	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N109	CONF	CPT 3	VB	GYP BD / GL	PT 6A	GYP BD / GL	PT 6A	GYP BD / GL	PT 6A	GYP BD / GL	PT 6A	GYP BD / GL	PT 6A	
N110	ALCOVE	P. TILE	1	GYP BD	PT 6A	P. TILE 1 / PT 6A	GYP BD	P. TILE 1 / PT 6A	GYP BD	P. TILE 1 / PT 6A	GYP BD	P. TILE 1 / PT 6A	1, 6	
N111A	TOILET	P. TILE	1	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	
N111B	TOILET	P. TILE	1	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	
N111C	TOILET	P. TILE	1	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	
N111D	TOILET	P. TILE	1	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	
N111E	TOILET	P. TILE	1	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	GYP BD	C. TILE 1/3	
N112	DATA	SEALED CONC.	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N113	MECH	SEALED CONC.	VB	PRECAST	PT 6A	PRECAST	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N114	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N115	CLASSROOM	CPT 3	VB	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	
N116	CONF	CPT 3	VB	GYP BD / GL	PT 6A	GYP BD / GL	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	GYP BD	PT 6A	

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE.) CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
- REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "C".

ROOM FINISH SCHEDULE REMARKS

- PROVIDE VINYL BASE AT NEW WALLS TO MATCH EXISTING.
- SEE INTERIOR ELEVATIONS FOR FINISH INFORMATION.
- SEE FLOOR FINISH PLAN FOR FINISH INFORMATION.
- SEE DETAIL E1/A4.702 FOR WALL TILE PATTERN INFORMATION.
- DO NOT PAINT EXISTING BURNISHED BLOCK.
- PROVIDE P. TILE 1 WANSCOT AT ROOM INDICATED. SEE DETAIL C3/A4.702.
- SEE DETAIL C1/A4.301 FOR FLOOR PATTERN.



F1 MAIN LEVEL FLOOR PLAN - AREA N
1/8" = 1'-0"

MN

A



innovative
generations ahead
equipment
of the next best solution
screens

No roof penetrations, attractive, code compliant and long lasting...

Envisor® equipment screens offer architects the flexibility to create affordable, elegant, **customized screening solutions** that blend into the overall design, all with **no rooftop penetration**. Our patented roof screen system provides practical solutions for **municipal screening requirements** of HVAC units, chillers, air handlers, power exhausts, roof stacks, communication equipment - you name it!



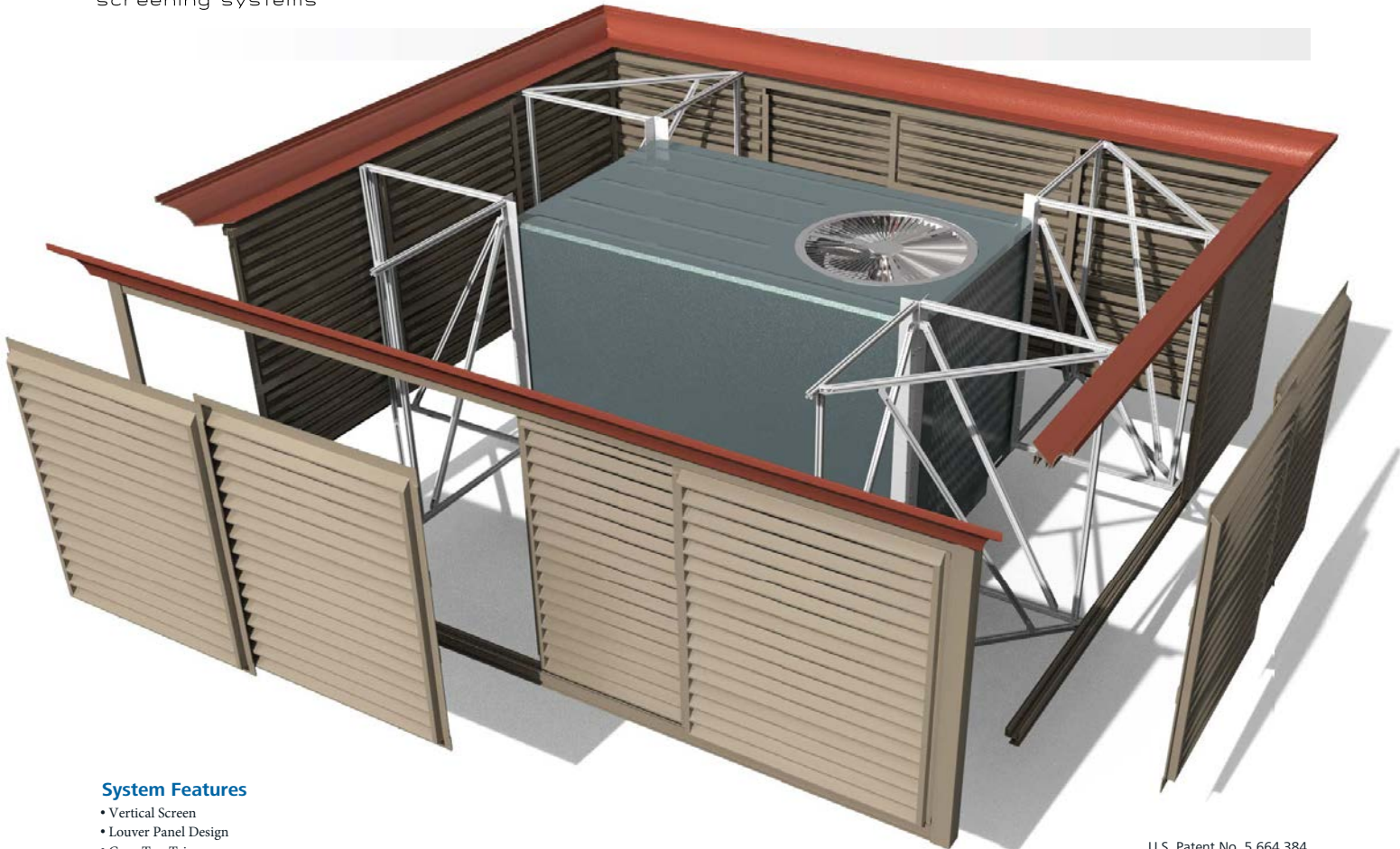
The Ohio State University Foundation - Columbus, Ohio

Customizing a screen to fit your needs is easy...

Simply choose your style, panel design, trim option and color and tell us about the units you want to screen then let our project manager take care of it from there.



52" Louver Panels



System Features

- Vertical Screen
- Louver Panel Design
- Cove Top Trim
- Panel Color: Oyster
- Top Trim Color: Terra Cotta

U.S. Patent No. 5,664,384
U.S. Patent No. 7,000,362
U.S. Patent No. 7,707,798

Step 1: Choose a Vertical or Canted System



VERTICAL



CANTED

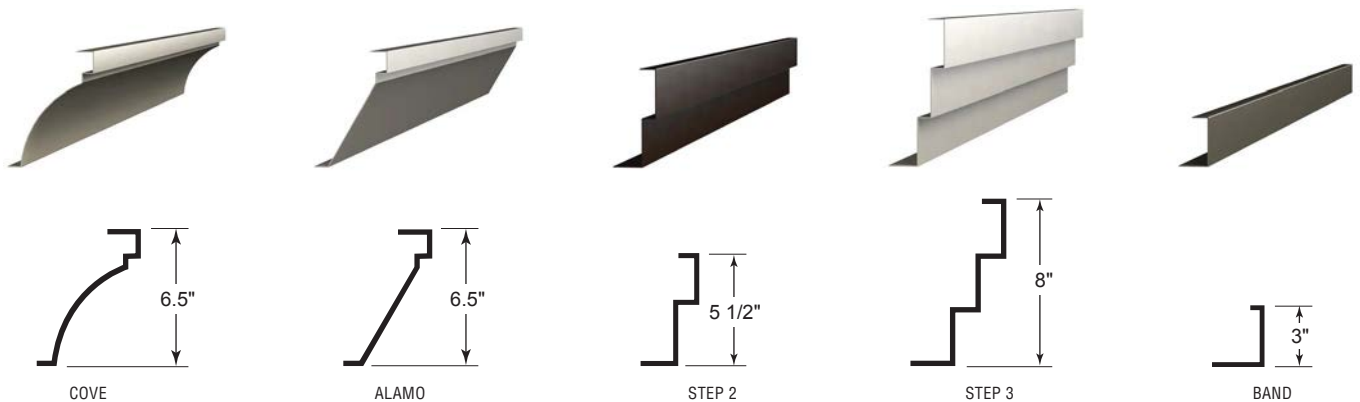
Envisor screens are the perfect alternative to parapet walls and they satisfy even the strictest screening code requirements. Both styles feature our patented attachment method, which secure our screens directly to the equipment with no rooftop penetration. Screen heights are available to screen virtually anything you desire.

Step 2: Decide on a Panel Style



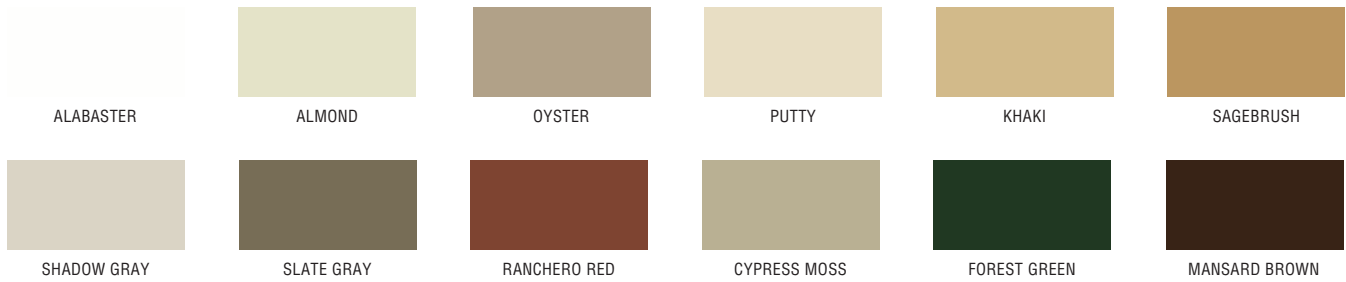
Panels are available in 5 standard styles allowing you to control the project without sacrificing the essential elements of the building design. The panels are constructed of thermoformed high impact ABS with co-extruded UV protective layer on both sides. The panels are held firmly in place using a rust-free, double tracked aluminum rail system. This enables the panels to slide side-to-side for easy access to the unit during servicing and maintenance. Don't see a panel that fits your project? Tell us and we'll make one that you design.

Step 3: Select a Top Trim (optional)



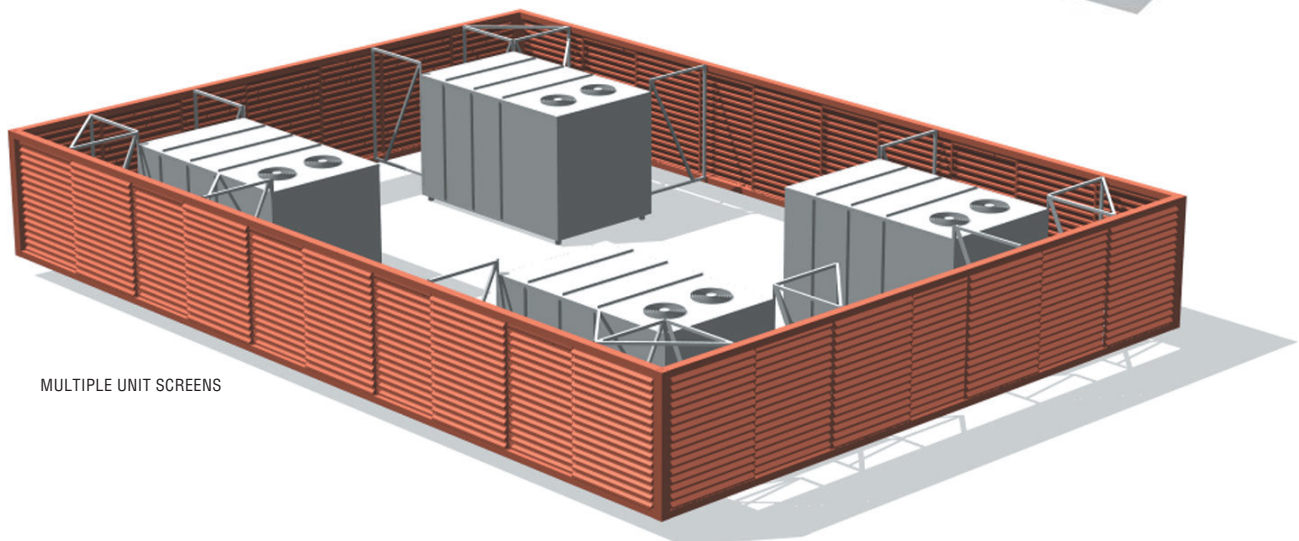
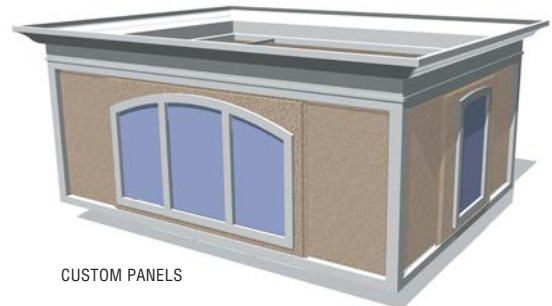
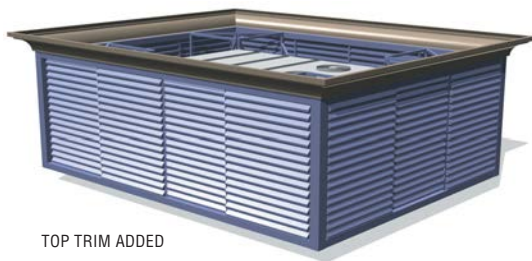
Decorative top trim options offer the flexibility to further customize the elegant appearance of the screens by **picking up on your building design elements** and incorporating those details into the screen itself. Although optional, they offer one more way to make screens part of the design, not part of the problem. We can manufacture any size and shape top trim you create.

Step 4: Pick a Designer Color



Our designer colors complement most architectural applications, but don't let standard colors limit your creativity. We have the ability to match to any cross-referenced color specifications. Send us samples to match. We've even matched a color to a rock! Colors are only approximate. Please call for actual samples.

Step 5: Custom Designed Solutions



Envisor equipment screens can be manufactured in a limitless combination of shapes and configurations to help reduce cost, add to the aesthetics of a building, or both. Let us design one for you! Just tell us the equipment manufacturer, the model numbers, and the special requirements you might have. Call for a complete design kit today or visit our website at www.cityscapesinc.com.

Product Features

No Rooftop Penetration

Pre-Engineered Screening System

Screening Code Solution

Attractive Alternative to Parapet Walls

Multiple Panel Designs

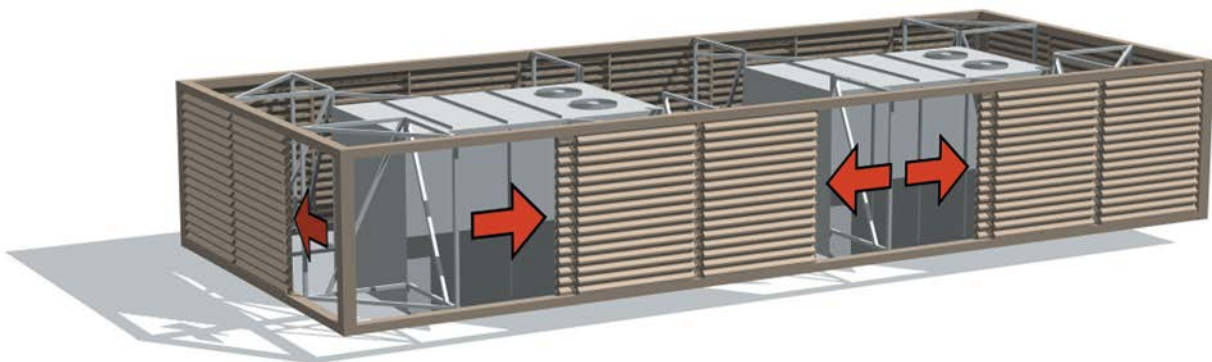
Designer Top Trim Accents

Vertical or Canted Designs

Wide Range of Designer Colors

Panels Slide for Easy Service Access

Custom Design Capabilities



Our panels are designed to slide side-to-side in either direction for easy access to the equipment for servicing and routine maintenance.

Equipment Vendors

Commercial HVAC and Chiller Equipment Vendors who have installed **Envisor** Rooftop Equipment Screens include:

Trane
Lennox
York
Carrier
Heil
AAON
Liebert
Rheem
Reznor

Hussmann
Airwise
Bryant
McQuay
BAC
Hill Phoenix
American Standard
Munters
Engineered Air

Retail Clients

Some of the clients utilizing **Envisor** Rooftop Equipment screens on their HVAC and Chiller Equipment include:

Aldi
AMC Theaters
Avis
Best Buy
Blockbuster
Costco
CVS
Hertz
Home Depot
Kohl's
Lowe's

McDonald's
Meijer
Mobil Oil
Muvico
Rite Aid
Sam's Club
Sears
Target
Walgreens
Walmart
Wendy's



by CityScapes International
4200 Lyman Court
Hilliard, OH 43026
Toll Free: 877.727.3367
Fax: 800.726.4817

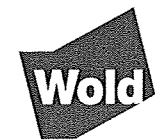


WBLAHS SOUTH CAMPUS ADDITION & RENOVATIONS

3551 McKnight Road
White Bear Lake, MN 55110

INDEPENDENT SCHOOL DISTRICT #624

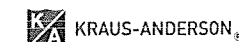
4855 Bloom Avenue
White Bear Lake, MN 55110



WOLD ARCHITECTS AND ENGINEERS

332 Missouri Street, Suite W 3000
St. Paul, MN 55104

wold.com | 651.227.7773



501 South Eighth Street
Minneapolis, MN 55404
krausanderson.com | 612.332.7261

ROOF PLAN GENERAL NOTES

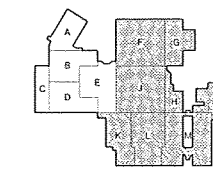
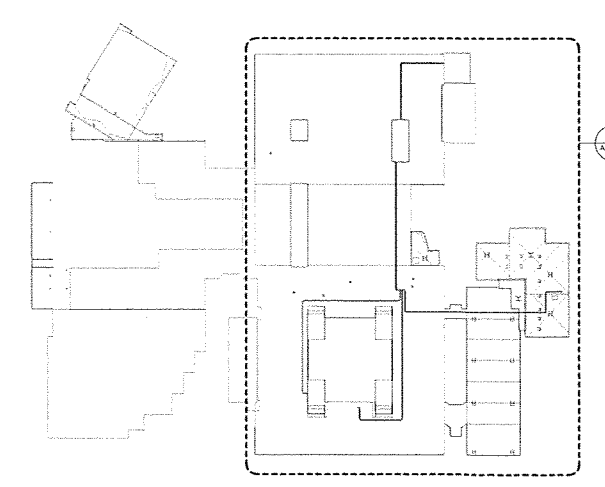
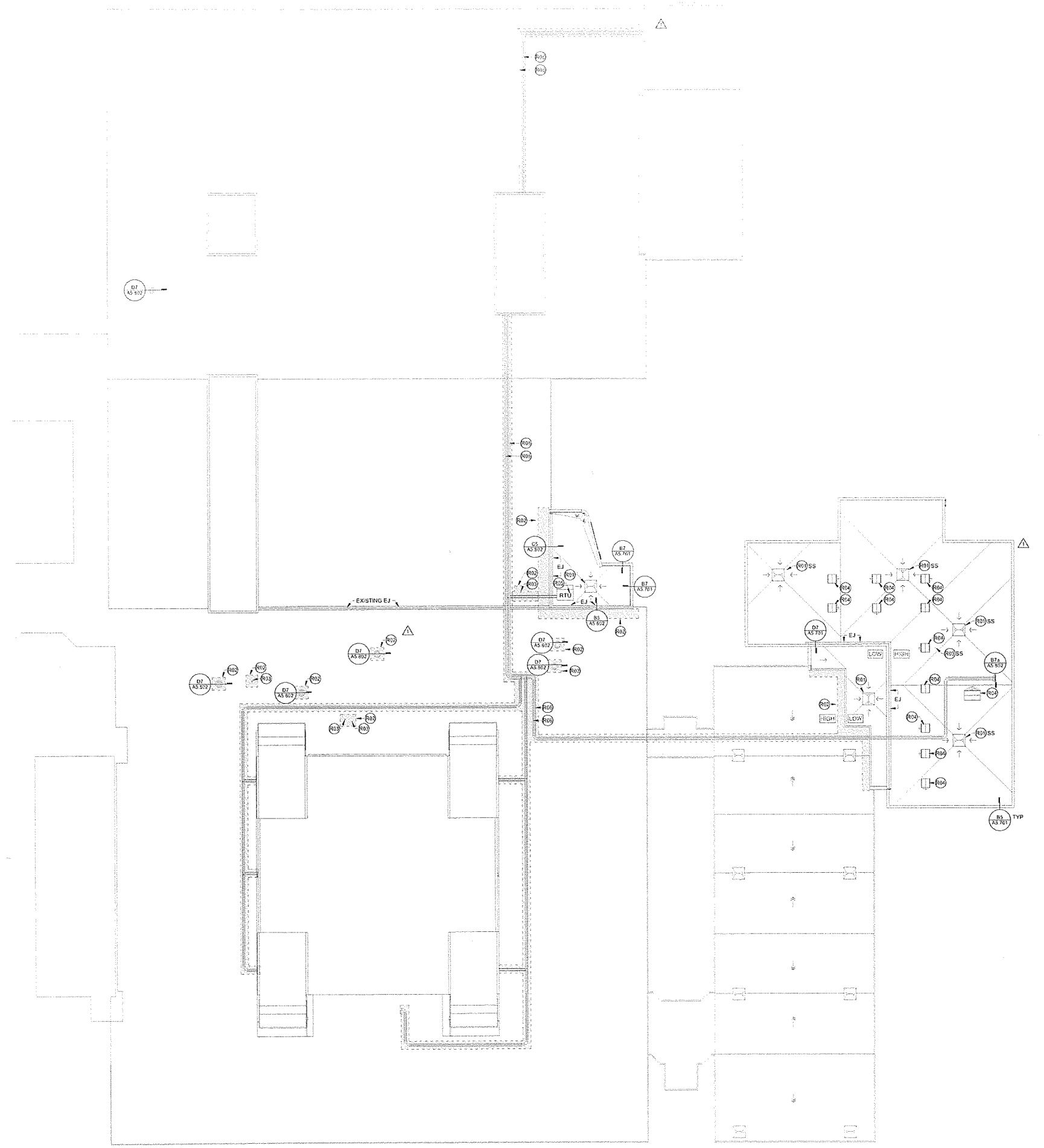
1. TAPERED ROOF INSULATION AND CRICKETS SHALL SLOPE AT 1/4" PER 1'-0". THE THICKNESS OF THE BASE INSULATION IS TO BE 3/4".
2. SHOP DRAWING DESIGN AND INSTALLATION OF TAPERED INSULATION MUST ACCOUNT FOR GAMBIT IN STRUCTURE TO INSURE THAT THE ROOF DRAINS AS DESIGNED.
3. AT MECH. CRACKS AND CURBS ON ROOF, PROVIDE CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE OR CUT OPENINGS IN FREE STANDING CURBS AS AN ALTERNATIVE.
4. MECHANICAL ITEM LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO MECH. DRAWINGS FOR EXTENT OF MECH. EQUIP. AND SIZE AND LOCATION OF ALL ROOF PENETRATIONS.
5. ALL MECHANICAL AND ELECTRICAL ROOFTOP EQUIPMENT, PIPING, CONDUIT, ETC. TO BE PAINTED.
6. COORDINATE ROOF AND OVERFLOW DRAIN LOCATIONS WITH STRUCTURAL COMPONENTS TO AVOID LOCATING ROOF OR OVERFLOW DRAINS OVER TOP OF BEAMS OR JOISTS.
7. REFER TO EXTERIOR ELEVATIONS FOR LOCATION OF OVERFLOW SCUPPERS AND OUTFLOWS.
8. AT ALL LADDERS, TOP AND BOTTOM, PROVIDE AND INSTALL A 4'-0" X 4'-0" CONCRETE PAYER LANDINGS.
9. ROOF LADDERS WITH NUMBER IN PARENTHESIS INDICATE RELATIVE ROOF DECK ELEVATION DIFFERENCES. NOT INCLUDING PARAPET. VERIFY EXACT LADDER HEIGHT REQUIREMENTS.

ROOF LEGEND

- ROOF DRAIN (R.D.)
- OVERFLOW DRAIN (O.R.D.)
- MECH. HOOD
- EQUIPMENT CURB AT MECHANICAL EQUIPMENT
- ROOF EXHAUST
- EQUIPMENT CURB SUPPORTING PIPING OR CONDUIT. INSTALL MAXIMUM SPACING OF 8'-0" O.C.
- VENT STACK, PIPE OR CONDUIT
- COMBUSTION STACK
- SKYLIGHT
- CRICKET FOR POSITIVE DRAINAGE
- SLOPE OF TAPERED INSULATION
- DIAMOND CRICKET (SEE TYPICAL DETAIL)
- SLOPED STRUCTURE
- ROOF LADDER

ROOF PLAN KEY NOTES:

- R01 - ROOF DRAIN AND WITH OVERFLOW - SEE DETAIL G7A5 801. SEE ALSO MECHANICAL AND STRUCTURAL (SS) - STORM SHELTER - SEE ALSO DETAIL D3A5 801.
- R02 - PATCH EXISTING ROOF TO THE EVENTS SHOWN AND AS REQUIRED AT KEY WORK.
- R03 - VENT THROUGH ROOF - SEE DETAIL B1A5 801 (SS) - STORM SHELTER - SEE DETAIL D1A5 801.
- R04 - ROOF HOOD - SEE MECHANICAL. PROVIDE CURB AND FLASHING - SEE DETAIL B7A5 802.
- R05 - RTU - SEE DETAIL F7A5 807. SEE ALSO MECHANICAL.
- R06 - PIPING - SEE MECHANICAL. PROVIDE SUPPORTS AS INDICATED PER MECHANICAL AND AS REQUIRED. MODIFY EXISTING ROOF AT SUPPORTS AS REQUIRED.



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT

under the laws of the State of MINNESOTA
Paul A. Plukowski
PAUL A. PLUKOWSKI
License Number: 42727 Date: 4/16/2021

Description	Date	Plan
Addendum No. 2	04/29/2021	1

Contn: 192218
Date: 4/16/2021
Drawn: KS
Check: JW

ROOF PLAN

Scale: As indicated

A2.095

F1 ENLARGED ROOF PLAN
3/16" = 1'-0"

F7 ROOF PLAN (OVERALL)
1" = 100'-0"

MN

A



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Anne Kane, Community Development Director

DATE: June 24, 2021 for the June 28th Planning Commission Meeting

SUBJECT: **DIVISION 25, LLC/Proposed Sign Code Text Amendment to allow Dynamic Billboards (Case No. 21-2-Z)**

REQUEST

Division 25, LLC is requesting a text amendment to the Section 1202.040 Subd. 2 of the Sign Code to allow billboard signs, including dynamic display billboards, in certain commercial and industrial districts.

BACKGROUND

In the fall of 2015, the City adopted a six (6) month moratorium on the issuance of any permit for the installation of any billboard to allow a comprehensive study of the Sign Code in light of a 2015 decision of the U.S. Supreme Court in the case of *Reed v. Town of Gilbert*. It found that cities should not treat signs differently based upon the message conveyed. The following year, White Bear Lake repealed and replaced its entire Sign Code to provide “content neutral regulations” for signs and removed any discretion the City has in approving or denying the signs. As part of that streamlining, the provisions allowing for billboards and dynamic display billboards (adopted in 2007) were removed in their entirety from the Sign Code.

Concurrent to the city’s re-examination of the Sign Code in 2015 was the consideration of the phased planned unit development proposal of the former Lande property located at 4650 Centerville Road by Division 25, LLC. As the Commissioners may recall, Mrs. Lande had a pre-existing billboard on her property with two signs oriented towards southbound traffic on I-35E. The developer had originally indicated a desire to upgrade the static billboard to a v-shaped dynamic display billboard but subsequently revised the PUD application to retain the existing billboard for the time being. In 2017, MnDOT constructed a sound barrier along I-35E that obstructed view of the billboard and due to maintenance requirements for the base and support structure, removed the billboard altogether last year.

ANALYSIS

The draft text amendment was submitted by Division 25, LLC and staff compared the proposed provisions to the billboard regulations reviewed and adopted by the City in 2007. Before the specifications for the actual dynamic display billboard can be reviewed and approved through a

Conditional Use Permit, the technical criteria for billboard signs must be agreed upon. The following table **highlights in red text** design and operational standards applicable to billboard signs staff would like to review in detail and will seek direction from the Planning Commission with regards to the proposed text amendment.

STANDARD	2007 Billboard Regulations	2021 Proposed Regulations
Zoning Districts	I-1, I-2 and BW	I-1, I-2, BW, B-3, B-4 & PZ
Approval Method	Conditional Use Permit	Permitted Use (by right)
Message Duration	Twenty (20) minute minimum	Eight (8) second static display
Resolution	Maximum 25 mm pixel pitch	Not Specified
Transition	Instantaneous/No movement	Instantaneous/No movement
Maximum Brightness	Maximum 0.3 footcandles with automatic dimmer control	Limited to a level necessary for viewing
Minimum Spacing	2600' to nearest billboard 1300' to residential zoned property	750 feet minimum distance between billboards
Design	Not specified	Single Pole with brick or masonry
Size	500 SF per side	700 SF per side
Height	35 feet	45 feet*
Setback	50 feet from interstate highway	10 feet from trunk highway
<i>*or at a height above any physical barrier subject to review and approval of the City</i>		

DISCRETION

The City has a relatively high level of discretion in approving or denying a Sign Code text amendment because the ordinance is one of the enforcement tools used to implement the goals and standards set forth in the Comprehensive Plan. Any changes to the text of the Sign Code should be consistent with the Comprehensive Plan’s policies and objectives.

RECOMMENDATION

Staff supports the general concept of amending the City’s Sign Code to allow both static and dynamic billboards once again; however, there remain operational and design details and specifications that need to be ironed out to ensure the regulations are consistent with the previously adopted billboard regulations (2007) and revisited in 2016 to create provisions for on-site dynamic display signs in close collaboration with the White Bear Area Chamber of Commerce and local business representatives. Staff requests feedback and direction from the Planning Commission so that we are able to revise the proposed text amendment to a format that staff will be in position to forward a recommendation for approval as presented.

Attachments:

1. Proposed Text Amendment prepared by Division 25, LLC
2. Tower Crossing PZ Narrative and Presentation Packet, dated May 17, 2021
3. Previous Billboard Sign regulations (Ord. 07-09-1045 - adopted 9/12/2007)
4. Case No. 21-5-CUP Continuation Memo

§1202.100 SIGNS PROMOTING THE CENTRAL BUSINESS DISTRICT.

Signs which promote the Central Business District and Special Service District may be owned and erected by the City only in any zoning district, provided said signs have had their size, design and location approved by the City Council.

§1202.110 BILLBOARDS.

Billboards shall be permitted with a Conditional Use Permit on properties adjacent to Highway 35E and Highway 694 only, and only within Zoning Districts I-1, I-2, and BW. The Conditional Use Permit shall be processed in accordance with the procedures outlined in Code Section 1301.050, pursuant to the following requirements:

Subd. 1. Spacing. No billboard sign may be located closer than one thousand three hundred (1,300) feet from any other advertising sign. Billboards shall maintain a setback of fifty (50) feet from any property line, and five hundred (500) feet from the nearest intersecting street corner right-of-way lines. Billboards shall be oriented towards the main highway.

Subd. 2. Size. The maximum area of a sign face, whether a single sign face or each face of two back-to-back or V-type signs, shall not exceed five hundred (500) square feet per side. There shall be no more than two (2) signs per face. Said sign shall not exceed thirty-five (35) feet in height above grade at the sign base.

Subd. 3. Billboard signs shall not be counted towards the maximum allowed signage on a property.

Subd. 4. Billboards shall require a sign permit prior to erection.

Subd. 5. Any Billboard of a dynamic display type, in whole or in part, must meet the following standards: (Ref. Ord. 07-09-1045, 9/12/07)

- a) Duration. The image or any portion thereof must have a minimum duration of 20 minutes and must be a static display. No portion of the image may flash, scroll, change color, imitate movement in any manner, or otherwise meet the characteristics of a flashing sign. (Ref. Ord. 07-09-1045, 9/12/07)
- b) Transition. When the full billboard image or any portion thereof changes, the change sequence must be accomplished by means of instantaneous re-pixelization. The image may not change in a manner or by a method characterized by motion or which depicts action or a special effect to imitate movement (such as fades or bursts). (Ref. Ord. 07-09-1045, 9/12/07)
- c) Brightness. The sign must have an automatic dimmer control to produce a distinct illumination change between the higher day-time illumination level and the lower night-time level for the time period between one half-hour before sunset and one half-hour after sunrise. Day or night, no sign may be of such intensity or brilliance as to impair the vision of a reasonably eye-sighted motor vehicle driver with or to otherwise interfere with the driver's operation of a motor vehicle. Also, no sign may be of such intensity or brilliance that it interferes with the effectiveness of an official traffic sign, device or signal. (Ref. Ord. 07-09-1045, 9/12/07)

§1202.110 BILLBOARDS. (continued)

- d) Legibility. Every line of copy and/or graphics in the dynamic display must be at least 12 inches in height. In addition, the images and messages displayed must be complete in themselves, without continuation in content to the next image or message or to any other signs. The sign must be designed and equipped with a means to freeze the device or immediately discontinue the display if a malfunction occurs. (Ref. Ord. 07-09-1045, 9/12/07)
- e) Spacing. The sign may not be located closer than 2,600 feet from any other billboard or closer than 1,300 feet from any residentially zoned parcel. (Ref. Ord. 07-09-1045, 9/12/07)
- f) Audio. Audio speakers in association with a billboard are prohibited. (Ref. Ord. 07-09-1045, 9/12/07)
- g) A dynamic display billboard must meet all of the size, height, setback and glare requirements as a non-dynamic display type billboard. (Ref. Ord. 07-09-1045, 9/12/07)

§1202.120 DIRECTIONAL SIGNS FOR RELIGIOUS INSTITUTIONS, HOSPITALS AND NURSING HOMES.

Subd. 1. Religious institution, hospital, and nursing home directional signs shall be permitted in all districts for those religious institutions, hospitals, and nursing homes located within the City. Two (2) off-site directional signs shall be permitted for each religious institution, hospital, or nursing home provided that the sign(s) is located on the public right-of-way, or on private property immediately adjacent to, a collector, arterial, or minor arterial road leading to the religious institution, hospital, or nursing home. Approval of the proposed sign(s) and its/their location(s) must be obtained from the governing transportation jurisdiction or property owner and the City. Such sign(s) shall not exceed four (4) square feet of surface area per face and shall not be erected higher than eight (8) feet above grade. A sign permit shall be required, and an additional fee charged for installation. Sign materials and installation shall be provided by City personnel.

§1202.130 SIGNS IN RESIDENTIAL AND OPEN SPACE ZONING DISTRICTS (DISTRICTS O, R-1 THROUGH R-7 AND R-MH).

All signs require a sign permit unless otherwise noted.

Subd. 1. Wall Signs. For nonresidential uses only, one wall sign is permitted per property of up to forty (40) square feet. For residential apartment complexes of nine (9) or more units, one wall sign or one canopy or awning sign of up to ten (10) square feet is permitted on the main building.

Subd. 2. Monument Signs. Monument signs in residential districts are permitted for residential subdivisions and multi-family developments of nine (9) or more units, and for all legal nonresidential uses. Monument signs shall be a maximum of twenty-five (25) square feet per side, or thirty-five (35) square feet per side for properties over one (1) acre in size. Said sign shall be a maximum of six (6) feet in height, measured from ground grade, and shall be set back at least ten (10) feet from all property lines. The sign shall be designed to be architecturally compatible with the



City of White Bear Lake
COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Anne Kane, Community Development Director

DATE: June 24, 2021 for the June 28th Planning Commission Meeting

SUBJECT: **TOWER CROSSINGS/Conditional use Permit for a Dynamic Billboard
(Case No. 21-5-CUP)**

Staff requests the Planning Commission open and continue the Public Hearing regarding this application for a Conditional Use Permit for a dynamic billboard located at Tower Crossings to allow the design and operational standards for billboards in Section 1202.040 of the White Bear Lake Sign Code are in a final draft format the Planning Commission is recommending to the City Council for approval and adoption.

Tower Crossings PZ

Billboard Sign Submittal Narrative

**Submitted By: Division 25, LLC
May 17, 2021**

The Tower Crossings development is located on the northeast quadrant of Highway 96 and Centerville Road. The site is a remnant parcel from a former farmstead. The senior assisted living facility, Pillars of White Bear Lake, was approved with the Tower Crossings PZ in 2015, was constructed and is operational. The Lunds and Byerlys was approved in 2017 and constructed in 2018. The site totals approximately 8.47 acres. A City of White Bear Lake water tower is located near the center of the site on a separate parcel.

We are proposing to replace the billboard sign that was located along Interstate 35E. MnDOT constructed a sound wall in 2017 that obstructed 2/3 of the existing Clear Channel billboard sign. Thus, Clear Channel removed the sign in 2020 due to the sign obstruction. We are proposing to replace the previous billboard sign with a new dynamic billboard that will be able to be seen above the MnDOT sound wall.

The required applications include Request for a Text Amendment and Conditional Use Permit. Division 25, LLC is the owner of the Lunds and Byerlys property. They have a signage easement from the senior housing facility for the billboard sign, which is depicted on the attached ALTA Survey.

eProposed White Bear Lake City Code Modifications to Allow for Billboard Signs

1202.020: **DEFINITIONS:**

Definitions: The following words and terms, when used in this section, shall have the following meanings, unless the context clearly indicates otherwise:

A-FRAME SIGN: A movable freestanding sign hinged at the top, or attached in a way that forms a shape similar to the letter "A" when viewed from the side, also commonly known and referred to as a sandwich board or a springboard sign. Also called sandwich board signs. A-Frame signs are only allowed on a temporary basis and may not be used as permanent signage.

ABANDONED SIGN: Any sign and/or its supporting sign structure which has been removed or whose display surface remains blank for a period of one year or more. Signs applicable to a business temporarily suspended because of a change in ownership or management of such business shall not be deemed abandoned unless the property remains vacant for a period of one year or more. Any sign remaining after demolition of a principal structure shall be deemed to be abandoned. Any sign within the city may be subject to the definition of abandonment, regardless of whether those signs are legal non-conforming uses or authorized pursuant to a conditional use permit or variance.

AWNING: A roof-like cover, often of fabric, plastic, metal or glass designed and intended for protection from the weather or as a decorative embellishment and which projects from a wall or roof of a structure primarily over a window, door, walk or the like.

AWNING SIGN: A building sign or graphic printed on or in some fashion attached directly to the awning material.

BANNER: A sign constructed of cloth, paper, plastic or other material upon which copy is written and supported fastened to buildings or other permanent structures and that is supported or anchored on two (2) or more edges or at three (3) or more corners. Banners also include such signs which are anchored along one edge, or two (2) corners, with weights installed that substantially reduce the reaction of the sign to wind. Banners are only allowed on a temporary basis and may not be used as permanent signage.

BILLBOARD: Any off-premises advertising sign in excess of 300 square feet designed to display posters or other composite graphic or dynamic advertisements for products and services sold elsewhere.

BUILDING: Any structure intended for the shelter, support, or enclosure of persons, animals, or property of any kind; where separated by party walls without openings, each portion of such building is considered a separate building.

BUILDING SIGN: Any sign attached to or supported by any structure used or intended for supporting or sheltering any use or occupancy. Examples of building signs include roof signs and wall signs.

BUSINESS: Any occupation, employment or enterprise wherein merchandise is exhibited or sold, or where services are offered for compensation.

§1202.020 BUILDING REGULATIONS §1202.020

1202.030: ADMINISTRATION

Subd. 2 General Provisions:

B. Size: No individual sign shall exceed three hundred (300) square feet in area other than billboards which are regulated in Section- §1202.040 (H).

C. Signs which utilize electricity must be installed in accordance with the current electrical code and all necessary electrical and building permits must be obtained prior to placement. Exposed wiring or conduit shall not be allowed.

D. Prohibited Signs: The following signs are prohibited:

1. Any sign, signal, marking or device which purports to be or is an imitation of or resembles any official traffic control device or railroad sign or signal, or emergency vehicle signal, or which attempts to direct the movement of traffic or which hides from view or interferes with the effectiveness of any official traffic control device, roadway, intersection or any railroad sign or signal.
2. Changeable copy message signs that comprise more than 70% of a sign.
3. Roof signs.
4. Signs painted, attached, engraved, etched or in any other manner affixed to public utility poles, bridges, towers, streetlights, or similar public structures, or to trees, rocks or other natural features.
5. Off-premises signs, other than billboards which are regulated in Section- §1202.040 (H).
6. Flashing signs.
7. Shimmering signs.
8. Portable signs, except A-frame signs as otherwise provided herein.

E. Area: The area within the frame shall be used to calculate the square footage, and if such letters or graphics be mounted directly on a wall or fascia or in such way as to be without a frame, the dimensions for calculating the square footage shall be the area formed around such letters or graphics in a plane figure bounded by straight lines connecting the outermost points thereof. Symbols, pictures, wording, figures or other forms of graphics painted on or attached to walls, awnings, freestanding structures, or free standing structures are considered a sign and are included in calculating the overall square footage. The area of a sign with more than one visible sign face will be calculated as the sum of the area of each sign face divided by the number of sign faces.

§1202.040 BUILDING REGULATIONS §1202.040

1202.040: REGULATIONS BY ZONING DISTRICT:

Subd. 2 Commercial and Industrial Districts:

H. Billboard Signs.

1. Maximum Number in City.

a) The maximum number of billboards allowed in the City will be the number of billboards currently existing and in use in the City as of the date of June 1, 2019.

b) Existing billboard signs may be upgraded and modernized to the most current technology for either a static or dynamic sign face(s), or relocated, subject to the general requirements listed in this Section.

2. General requirements.

a) Billboards may be erected along and intended to be viewed from only Interstate Highways 35E, I-694, Trunk Highway 96 and only allowed in Zoning Districts I-1, I-2, BW, B-3, B-4, PZ.

b) The maximum allowable size of any billboard is 700 square feet. The maximum allowable extensions shall not exceed 15 percent of the total sign area.

c) The maximum allowable height of any billboard is 45 feet, or at a height that places the billboard above any physical barrier so that the sign is visible to the road it is facing, subject to the review and approval of the City.

d) The minimum allowable distance between billboards as measured along the centerline of I-35E and I-694 is 750 feet.

e) The minimum allowable proximity of any billboard to any interstate or state trunk highway right-of-way is ten feet, and the maximum distance from the same is 200 feet.

f) Any upgrade, modernization, or relocation of an existing billboard shall be limited to a billboard containing two sign faces that may be static or dynamic, and shall include a single pole with brick, stone, or similar type material at the base of the billboard.

g) No portion of any billboard shall occupy air space above any parking stalls.

h) No billboard may display any moving parts, nor shall it be illuminated with any flashing or intermittent lights.

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3. Lighting. Lighting shall be limited to a level necessary for viewing.

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4. Additional requirements for dynamic signs.

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a) Billboards may contain up to two dynamic sign faces that have no animation or moving parts.

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b) The minimum duration of the image can be no less than eight seconds.

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c) The image must have a change sequence accomplished by means of instantaneous re-pixelization (eliminating fading between images).

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d) The sign image must contain a complete message and not be continued to a subsequent image.

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e) Dynamic signs must provide to the city a minimum of five hours (2,250 eight-second spots) per month per enhanced dynamic display sign in the city for community and public service messages at such times as shall be equitably scheduled throughout the day by the city.

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EXIT 117
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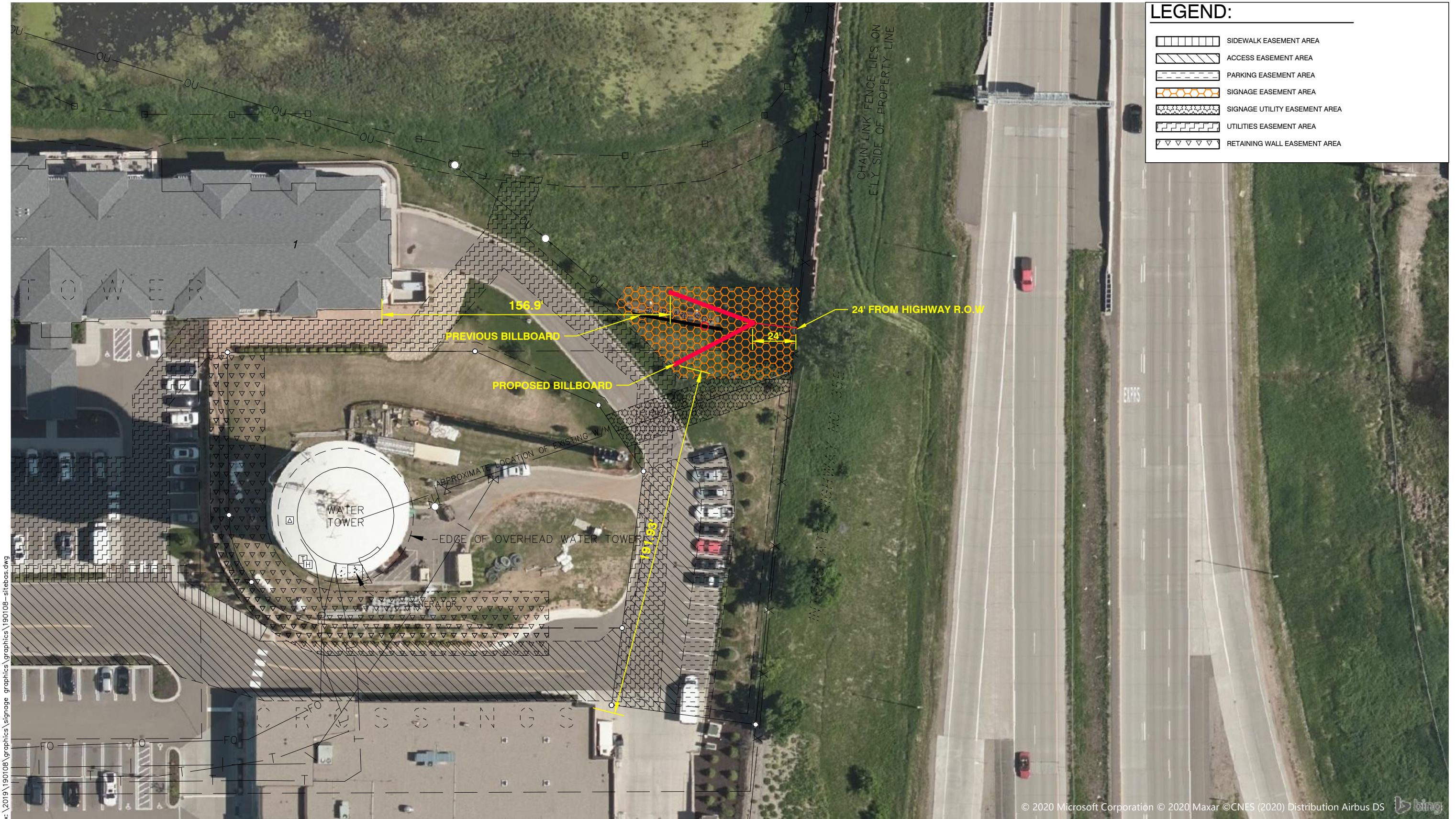


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Google Earth



LEGEND:

	SIDEWALK EASEMENT AREA
	ACCESS EASEMENT AREA
	PARKING EASEMENT AREA
	SIGNAGE EASEMENT AREA
	SIGNAGE UTILITY EASEMENT AREA
	UTILITIES EASEMENT AREA
	RETAINING WALL EASEMENT AREA

PROPOSED BILLBOARD LOCATION
I-35 & COUNTY ROAD 96, WHITE BEAR LAKE, MN

DATE: 5-17-2021
 DRAWN BY: cks
 SCALE: 1" = 50' (11x17)

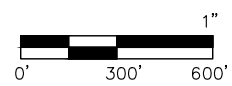


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BILLBOARD PROXIMITY

I-35 & COUNTY ROAD 96, WHITE BEAR LAKE, MN



DATE: 5-17-2021
 DRAWN BY: cks
 SCALE: 1" = 600' (11x17)





EXISTING CONDITIONS | NB 35E - 250'

I-35 & County Road 96, White Bear Lake, MN 55439



ALLIANT

5-17-2021



55' BILLBOARD SIGN | NB 35E - 250'

I-35 & County Road 96, White Bear Lake, MN 55439



ALLIANT

5-17-2021



EXISTING CONDITIONS | SB 35E - 150'

I-35 & County Road 96, White Bear Lake, MN 55439



ALLIANT
5-17-2021



55' BILLBOARD SIGN | SB 35E - 150'

I-35 & County Road 96, White Bear Lake, MN 55439



ALLIANT

5-17-2021



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Anne Kane, Community Development Director

DATE: June 24, 2021 for the June 28, 2021 Planning Commission Meeting

SUBJECT: **Text Amendment – Interim Use Permits in the B-5 Central Business District (Case No. 21-1-Z)**

BACKGROUND

As the Planning Commission may recall, a variance request to exceed the 30% maximum ground floor office/professional use was submitted earlier this year for the property located at 4701 Banning Avenue. The property owners cited challenges presented by COVID-19 business restrictions, as well as the property's location on the perimeter of the central core of Downtown White Bear Lake as hurdles in attracting a retail tenant to the storefront tenant space. Both the Planning Commission and City Council expressed concern for the short-term challenges landlord's face in filling vacant spaces but cautioned against reactive measures that may have long-term impact and erode the retail environment of Downtown White Bear Lake.

ANALYSIS

Working in collaboration with the City Attorney, a draft text amendment to allow interim uses in the B-5 Central Business District was drafted for the Commission's consideration. The amendment is narrowly drafted to allow "professional uses" to exceed the 30% rule for linear and percent of first floor square footage in the B-5 district on a temporary basis with a specified end date for termination. The City Council had suggested a timeframe of two years be considered for the particular tenant in the 4701 Banning Avenue property. The draft text amendment is simple and straight-forward and requires that any Interim Use Permit be processed in the same manner as Conditional Use Permits, with a Public Hearing before the Planning Commission with final determination by the City Council.

DISCRETION

The City has a relatively high level of discretion in approving or denying a Zoning Code text amendment because the Zoning Code is one of the enforcement tools used to implement the goals and standards set forth in the Comprehensive Plan. Any changes to the text of the Zoning Code should be consistent with the Comprehensive Plan's policies and objectives.

RECOMMENDATION

The proposed code changes supports a Guiding Principle of the Land Use Section of the recently

adopted 2040 Comprehensive Plan: “Support and strengthen Downtown as the “heart” of the community. Continue to strengthen the critical mass of retail, restaurants, residential, office, service, and entertainment offerings in and around the downtown.” Staff finds the proposed amendment to be consistent with the Comprehensive Plan and recommends approval of the ordinance and additional parameters may be included as the Planning Commission finds appropriate.

Attachments:

1. Draft Ordinance
2. Zoning Map of B-5 District
3. Section 1303.160 of the Municipal Code of the City of White Bear Lake

**CITY OF WHITE BEAR LAKE
ORDINANCE NO. _____**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE
OF THE CITY OF WHITE BEAR LAKE TO ALLOW INTERIM
USE PERMITS IN THE B-5 CENTRAL BUSINESS DISTRICT**

The Council of the City of White Bear Lake does ordain as follows:

ARTICLE I. Central Business District Interim Use Permits. Section 1303.160 of the Municipal Code of the City of White Bear Lake is hereby amended by adding a new subdivision 6 regarding interim use permits and renumbering the remaining subdivisions as follows:

Subd. 6. Interim Use. The City Council may issue an interim use permit to temporarily allow a professional use to exceed the percentage of floor area and linear street frontage on a parcel in the B-5 Central Business district. A request for an interim use permit shall be submitted and processed in accordance with Section 1301.050 of this Code and the following.

- a) The interim use permit must identify the specific date or event that can be identified with certainty on which the interim use permit will terminate.
- b) The City Council may impose any conditions on an interim use permit which it deems necessary or expedient to protect the public health, safety or welfare or to assure that permission for the interim use will not impose additional costs on the public if it is necessary or expedient to take the property in the future.
- c) The interim use permit is not valid unless the applicant agrees to the conditions imposed on the permit by the City Council. The applicant shall either expressly agree in writing to the conditions imposed on the interim use permit or shall be deemed to have agreed to all such conditions without exception or reservation if the applicant undertakes the use allowed by the permit.
- d) The issuance of an interim use permit does not entitle the applicant or any subsequent owner to the issuance of any additional interim use permits for the use or property. Upon the termination of an interim use permit, the use must be brought into full compliance with this Code.
- e) The use must otherwise comply with the requirements of this Code.

ARTICLE II. Incorporation. The City Clerk shall renumber the remaining subdivisions in the amended section, and make such other non-substantive edits, as may be needed to incorporate the new subdivision 6 into the section.

ARTICLE III. Effective Date. This ordinance shall become effective on the first day of publication after adoption.

Adopted by the City Council of the City of White Bear Lake, Minnesota on the ___ day of _____ 2021.

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

(~~Strike out~~ indicates matter to be deleted, double underline indicates new matter.)

First Reading: _____

Initial Publication: _____

Second Reading: _____

Final Publication: _____

Codified: _____

Posted on web: _____

§1303.160 "B-5", CENTRAL BUSINESS DISTRICT

Subd. 1. Purpose. The purpose and intent of the B-5, Central Business District is to sustain the economic viability of the White Bear Lake Central Business District by preserving its historic character and allowing for compatible redevelopment. It is intended that the mixed-use, small-scale, and pedestrian-oriented character associated with the Central Business District will be strengthened through improvements to existing properties and new-infill development that is consistent with its distinct historic scale, architecture, and landscape architecture. The desired mix of uses shall consist of retail, service, and limited office establishments on the ground floor with office and residential above the ground floors. Development shall be carefully controlled to protect neighboring residential properties from impact while at the same time permitting needed revitalization and redevelopment. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 2. Applicability. Where the standards contained in this Section conflict with other sections of the Zoning Ordinance the standards of Section 1303.160 shall be controlling, including the following: (Ref. Ord. 10-1-1063, 1/12/10)

- a. All provisions and procedural requirements outlined in the B-5, Central Business District, shall supersede the provisions and procedural requirements outlined in the City's Shoreland District at City Code Section 1303.230 for the following properties:

All properties zoned B-5, Central Business District and also lying within the Shoreland Overlay District of White Bear Lake as depicted on the City's official zoning map.

- b. Notwithstanding paragraph (a), all new development or redevelopment proposals for any of the properties located in the B-5, Central Business District and the Shoreland Overlay District, which require a conditional use permit as outlined in Subd. 5 of this Section, shall also be forwarded to the Minnesota Department of Natural Resources for its review and comment.
- c. All new development and/or redevelopment shall adhere to best stormwater management practices for urban sites, as determined by the Public Works Director. (Ref. Ord. 12-03-1012, 12/9/03)
- d. All redevelopment in the Shoreland District will be encouraged to provide ten percent (10%) pervious surfacing to promote stormwater infiltration. (Ref. Ord. 04-04-1016, 4/13/04)

Subd. 3. Permitted Uses. Any proposed exterior structural change, or exterior remodeling exceeding twenty five hundred (\$2,500.00) dollars in value shall require the unanimous approval of the City Engineer, City Building Official, City Planner, and Zoning Administrator. The following are permitted uses in the B-5, Central Business District: (Ref. Ord. 10-1-1063, 1/12/10)

- a. Commercial uses. Commercial uses are limited to the following: banks (without drive-thru facilities), food services, hotels, bed and breakfast inns, printing process/supply, clubs and lodges, home improvement showrooms and studios, upholstery shops, restaurants (without drive-in or drive-thru facilities), indoor recreation, retail shops, grocery stores, and art, music and dance studios and personal service establishments.
- b. Civic/institutional and transportation uses. Community centers, education/ academic facilities, libraries, museum art/galleries, indoor and outdoor public parks/open space, post offices,

customer service facilities, public studios and performance theaters and time transfer and transit stations.

- c. Offices, professional uses, located above the ground floor.
- d. Offices, professional uses located at ground floor level, limited to no more than 30% of both the gross floor area and linear street frontage on any parcel in the B-5 District. Upper story offices shall be permitted uses and will not be included in determining this percentage. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 4. Accessory Uses. The following are permitted accessory uses in the B-5, Central Business district:

- a. All permitted accessory uses in the B-4 district. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 5. Conditional Uses. The following are conditional uses in the B-5, Central Business district, which require a conditional use permit based on the procedures and provisions set forth in and regulated by Section 1301.050 of this Code: (Ref. Ord. 10-1-1063, 1/12/10)

- a. Residential uses. Residential uses shall be limited to multiple family and senior citizen residential dwellings limited to apartments and condominiums.
- b. Liquor Lounges. Liquor lounges up to 1,500 square feet in area with not less than 30 nor more than 35 indoor seats, and not more than 20 outdoor seats. (Ref. Ord. 14-6-1095, 6/10/14)
- c. Microbreweries. Microbreweries up to 5,000 square feet in area provided a minimum 20 percent of the floor area is devoted to use as a brewer taproom and accessory retail sales display area. (Ref. Ord. 12-07-1081, 7/10/12)
- d. Mixed-use development provided all buildings are multistory and meet the following requirements:
 - 1. The ground floor building area is devoted to any of the uses listed as permitted uses above at 3a, 3b or 3d of this subdivision.
 - 2. Upper level uses are devoted to uses listed as permitted uses above at Subd. 3a, 3b and 3c and Subd. 5a, Conditional Uses of this district provided that within the same building, residential uses will not be located on the same building floor as non-residential uses.
- e. Drive-through facilities for pharmacies and financial institutions. (Ref. Ord. 12-03-1012, 12/9/03)
- f. Any new building or building addition in excess of 500 square feet. (Ref. Ord. 10-1-1063, 1/12/10)

Subd. 6. Prohibited Uses. The following shall be considered prohibited uses in the B-5, Central Business District.

- a. Convenience food restaurants with drive-through or drive-in facilities.

- b. Motor oil and/or fuel dispensing operations.
- c. Automobile repair minor and automobile repair major uses.
- d. Car washes, automated and mechanical.
- e. Sales of any of the following: new and/or used automobiles, trucks and recreational vehicles.
- f. Contractor shops and/or yards for any of the following: plumbing, heating, glazing, landscaping, painting, paper hanging, roofing, ventilation, air conditioning, appliance repair, masonry, electrical or refrigeration and the like.
- g. Billboards.
- h. Adult establishments as defined and regulated at Section 1124 of the Municipal Code.
- i. In-vehicle sales or services not including drive-through facilities associated with a pharmacy or financial institution as outlined in Subd. 5.c. of this Section.
- j. Any uses not listed as either permitted, accessory or conditional uses in this district.
- k. Tattoo parlors. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 7. Special Allowable Uses.

- a. Special Allowable Commercial Uses: Due to the relative size for their respective private capital investment as of the date of the amendments to Section 1303.160, the B-5, Central Business District, all existing commercial uses in the B-5, Central Business District that would otherwise be nonconforming are hereby declared to be special allowable uses.
- b. Special Allowable Residential Uses: Due to the longstanding residential nature of particular properties as of the date of establishment of amendments to Section 1303.160, the B-5, Central Business District, all residential uses in the Central Business District which would otherwise be nonconforming at their respective locations are hereby declared to be special allowable uses, provided that they shall be in conformance with the City's Minimum Housing Standards (as outlined in Section 502 of the Municipal Code) that had been in effect as of the date of the establishment of amendments to Section 1303.160 the B-5, Central Business District.
- c. Such special allowable uses shall be considered to be permitted for all purposes of the Zoning Ordinance, including the right of the present and future owners to be allowed to continue to maintain such uses, rebuild any building to original size in the event of any partial or complete destruction, and to renovate or expand in compliance with all applicable provisions of this Zoning Ordinance, notwithstanding that such use of the premises would not otherwise be permitted in the B-5, Central Business District. The above listed uses will lose their status as a special allowable use if one of the following occurs: 1) if they are converted to a permitted use, or 2) if any of the special allowable uses are left vacant or abandoned for a period of one (1) year, or 3) in the event of destruction of 50% or more of the total square footage of the building and/or structure, as determined by the City's Building Official, by fire or by any means not within the control of the property owner unless a building permit is acquired for its repair or replacement within a period of one (1) year. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 8. Specific Use Standards for Conditional Uses: In addition to the specific use standards, all conditional uses shall be required to meet all applicable standards of the Zoning Ordinance and all other city codes.

- a. Drive-through facilities:
 1. Drive-through facilities shall be located at the rear of buildings, and where possible, the building shall extend over the drive-through aisles to maintain the street wall. Drive through facilities in the Central Business District shall be limited to no more than two (2) drive-through lanes; no more than ten (10) feet in width per lane.
 2. Drive-through facilities shall be designed with adequate stacking spaces so that waiting vehicles will not impede traffic flow. A minimum of 3 stacking spaces shall be provided per each drive-through window or facility.
 3. Drive-through facilities for pharmacies shall be restricted to prescription drug pick-up only.
- b. Multiple family and senior citizen residential dwellings shall be limited to above-ground floor level uses.
- c. Senior citizen housing shall also comply with the following:
 1. The permanent residents shall be limited to persons who are 55 years of age or over except that one other person may reside in any senior or elderly housing unit including his or her spouse, parent, foster parent, or legal guardian. An exception is allowed for all owner-occupied senior housing whereby up to 20 percent of the total project's units may be occupied by person(s) who are less than 55 years of age. When determining the number of non-senior units allowed, calculations resulting in a fraction shall not be rounded to allow for an additional unit.
 2. To continue to qualify for senior citizen housing classification, the owner or agency shall annually file with the City Clerk and the Zoning Administrator a certified copy of a monthly census of the residents of the dwelling structure, listing the number of tenants by age and clearly identifying and setting forth the relationship of all occupants under 55 years of age to the other residents of the dwelling structure. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 9. Bulk Requirements:

- a. Purpose and Intent: The purpose and intent of the bulk requirement is to ensure that buildings are appropriately located on a site and of a size that is compatible with the size, and scale of existing buildings in the B-5, Central Business District and surrounding residential properties. (Ref. Ord. 12-03-1012, 12/9/03)

B-5 District Yard and Bulk Regulations Table White Bear Lake, Minnesota	
Yard and Bulk Regulations	
Minimum Lot Area – Non Residential	No Minimum Lot Area
Minimum Lot Width	No Minimum Lot Width
Minimum Lot Area per Multiple Family Dwelling Unit	1,360 Square Feet
Minimum Lot Area per Multiple Family Senior Dwelling Unit	870 Square Feet
Minimum Dwelling Unit Size ¹ Efficiency 1 bedroom 2 bedroom 3 bedrooms or more	400 Square Feet 600 Square Feet 900 Square Feet 1,100 Square Feet
Yards (feet)	
Maximum Front and Corner Side Yard Setback from all Right-of-Ways except Highway 61.	5 Feet
Minimum Front and Corner Side Yard Setback from all Right-of-Ways except Highway 61.	None
Minimum Rear & Side Yard Setback (abutting any residential use in an R-4 dist.) First Floor Second Floor Third Floor	10 Feet 15 Feet 20 Feet
Minimum Rear Yard Setback Abutting Non-residential Property	None
Minimum Interior Side Yard Setback	None
Minimum Setback from Highway 61	20 Feet
Maximum Setback from Highway 61	None
Maximum Building Height, Principal Buildings (feet) (see Section 1301.030, Definitions)	3 Stories or 38 Feet (whichever is lower)
Maximum Building Height, Accessory Buildings (feet)	15 Feet

Subd. 10. Building Scale and Design Standards:

- a. Purpose and Intent: The following design standards, together with the other regulations of this District, are intended to encourage high-quality, scale-appropriate building design that respects the historic character of the B-5, Central Business District. While the building scale and design standards do not dictate a particular architectural style, it is the intent of the City to encourage building design that compliments the architecture of its historically significant buildings located within the B-5, Central Business District.

- b. Building Scale Standards. The following regulations shall apply to all new construction, additions and exterior remodeling in the B-5, Central Business District:
1. Buildings shall be designed with a definable base, middle and top. Cornices and parapets are encouraged to define these sections of the building.
 2. Facades of large buildings over 7,500 square feet shall be visually broken into bays to avoid the appearance to large, blank walls. Visual breaks in the façade shall be accomplished by alterations in the plane of the façade; height of the façade; changes in materials, color, texture, or pattern; and/or the addition of columns, pilasters, and/or windows.
 3. Punched openings in the wall plane shall be provided in which to set windows and doors. Flush mounted windows and doors are prohibited.
 4. The first floor of buildings in the district shall be designed with a minimum ceiling height of twelve (12) feet and fourteen (14) feet is encouraged.
 5. One-story buildings taller than eighteen (18) feet in height shall be architecturally detailed to simulate a two-story appearance.
 6. No individual retail business shall be larger than 10,000 square feet in gross floor area. Basement areas and upper level mezzanine areas utilized for non-retail purposes shall not be included in this calculation. Retail businesses may be allowed up to 15,000 square feet in gross floor area provided a second story with at least 60% of the area of the first floor is provided. (Ref. Ord. 04-06-1020, 6/8/04)
- c. Building Access Standards
1. Pedestrian Access: Each ground floor space with street frontage shall have its primary entrance on the public sidewalk. Additional entrances may be provided off of a parking area or an access corridor.
 2. Parcels with frontages on both Trunk Highway 61 and a local street(s) will have their primary entrance on the public sidewalk of the local street frontage.
 3. Vehicular Access: Front access drives disrupt the continuous building line, and have a detrimental effect on the pedestrian orientation of the B-5, Central Business District, and therefore are discouraged. Buildings on lots less than 150 feet wide shall have parking located in the rear of the site, with rear access whenever possible. When such access is not possible, it shall be encouraged that the width of the individual drive lanes be limited to ten (10) feet.

d. Building Design Standards

1. Architectural Style: Conformance to established architectural styles is encouraged, but not required. However, the exterior design of buildings shall emphasize traditional architectural themes consistent with older buildings in the B-5, Central Business District.
2. Exterior Materials: In order to adapt to changing technology, the development of new materials, and so as not to limit the designer, additional materials other than those specified in this section may be used. The right to use alternative materials shall be reviewed on a case-by-case basis, in the context of each individual project.
 - a) The following materials are permitted for use on exterior elevations.
 - i. Clay brick
 - ii. Natural or cast stone
 - iii. Cementitious stucco
 - iv. Stained or painted wood lap siding
 - v. Other materials may be considered by the City provided that they are not expressly prohibited below.
 - b) The following materials are prohibited:
 - i. Concrete masonry units (CMU)
 - ii. King-size, queen-size or jumbo brick
 - iii. Aluminum, vinyl, or steel siding or panel systems
 - iv. Exposed aggregate (rough finish) concrete wall panels
 - v. Exterior insulating finish systems (EIFS, "Dryvit")
 - vi. Glass curtain wall systems
 - vii. Plastic
 - viii. T-111 Composite plywood siding
 - ix. Clear finished wood
3. Door & Window Design: In order to promote and maintain the small town, historic character of the B-5, Central Business District, glazed surfaces on front façade(s) shall be double hung, casement, or fixed picture windows, within discernable wall elements. Windows designed as true divided lights shall be encouraged. Sliding or jalousie windows shall not be permitted.
4. Door and Storefront Window Materials: All windows on front and corner side facades on all stories, or serving public entrances, shall be wood or wood clad with aluminum. It is encouraged that all ground level doors on front and corner side facades be constructed of wood. The design of doors made of materials other than wood shall be compatible with the design of the building. The use of vinyl windows and trim is prohibited.

5. Storefront Display Windows: In order to recognize the pedestrian orientation of the B-5, Central Business District, the following are requirements for display windows:
 - a) Along the length of façade(s) facing any public street 50% of the first floor façade shall be display type windows where retail sales, personal service, and/or office use is located on the first floor. A minimum 18-inch high knee wall shall be required beneath glazing and the bottom edge of such windows shall not be higher than thirty (30) inches above grade so as to allow pedestrians to see into the windows.
 - b) First story glass shall be clear and non-tinted; tinting of second and third story glass shall not vary by more than 20%. Reflective glass is prohibited.
- e. Accessory Buildings, Structures and Uses
 1. Coordination with Principal Building. All accessory buildings and structures shall compliment and coordinate with the principal buildings on the lot, both in architectural style and material selection.
- f. Permitted Encroachments. The following encroachments shall be permitted into required yards in the B-5, Central Business District:
 1. Bay and oriel windows no more than 24 inches.
 2. Balconies no more than 24 inches.
 3. Sills, cornices, roofs, eaves, gutters, corbelled chimneys and ornamental features projecting no more than 24 inches.
 4. Steps, ramps, and stoops no more than 16 square feet in area and projecting no more than 6 feet into the required rear or side yard.
 5. Awnings and canopies no more than 5 feet into required yards. Awnings and canopies may also extend up to 5 feet out over the public sidewalk, where approved by the City.
- g. Site Development Standards.
 1. Purpose and Intent: The purpose and intent of the site development standards is to ensure that site improvements, including landscaping, parking, lighting and signage, complement high quality building design and enhance the historic character of White Bear Lake and the pedestrian orientation of the B-5, Central Business District.
 2. Perimeter site landscaping/screening: A site in the B-5, Central Business District that abuts a single or two-family residential use in the R-4 district shall provide the required side or rear yard setback, per Subd. 9. This setback area shall consist of a buffer yard improved and maintained in conformance with the following:

- a) Required Rear and Side Buffer Yards. A rear and side buffer yard that is a minimum of ten (10) feet in width shall be provided where a rear or side yard setback is required. Within the rear and side buffer yard, a visual barrier that is a minimum of six (6) feet in height shall be installed. The screen shall consist of either an opaque stone or brick wall or solid wood decorative fence. Fences shall be installed with the finished side facing the adjacent residential property. In addition, within the required rear and side buffer yard, a minimum of one (1) shade or ornamental tree with a trunk size a minimum of one and one half (1-1/2) inches in caliper shall be planted for each twenty five (25) feet of length of the rear property line abutting the residential district. The trees may be grouped or staggered to maximize their effect.
 - b) The remainder of the buffer yard areas shall be planted with shrubs, turf, and/or other plantings.
3. Parking lot landscape requirements.
- a) Interior Parking Lot Landscaping. For parking lots consisting of twenty (20) or more spaces, interior parking lot landscaping shall be required. Interior parking lot islands shall be required at a rate of one (1) parking lot island for every ten (10) parking spaces. Landscaping areas located along the perimeter of a parking lot beyond the curb or edge of pavement shall not be included toward satisfying this requirement. Interior parking lot landscaping areas shall be a minimum of one hundred and forty-four (144) square feet in area and shall be a minimum of eight (8) feet in width, as measured from back of curb to back of curb. The landscaped areas shall be improved as follows:
 - i. Interior parking lot landscaping areas shall consist of planting islands or planting strips at least six (6) inches above the surface of the parking lot that are protected with concrete curbing and shall be dispersed throughout the parking lot in a design and configuration that corresponds to the size and shape of the parking lot.
 - ii. The primary plant materials used in parking lots shall be shade tree species. Ornamental trees, shrubbery, hedges and other plant materials may be used to supplement the shade tree plantings, but shall not be the sole contribution to such landscaping. One (1) shade tree with a trunk size a minimum of two and one-half (2-1/2) inches in caliper shall be provided for every one-hundred and forty-four (144) square feet of landscaping area.
 - iii. A minimum of fifty percent (50%) of every interior parking lot landscaping area shall be planted with an approved groundcover in the appropriate density to achieve complete cover within two (2) years. Mulch may only be used around the base of the plant material to retain moisture.

b) Perimeter Parking Lot Landscaping/Screening.

Perimeter parking lot landscaping provides for the enhancement and screening of parking lots by requiring a scheme of pedestrian walls and/or landscaping along public streets. Perimeter landscaping is required for all parking lots and shall be established along the edge of the parking lot. The landscape treatment shall run the full length of the parking lot and be located between the property line and the edge of the parking lot. All perimeter parking lot screening areas shall be protected with raised concrete curbs. The landscaped area shall be improved as follows:

- i. The perimeter parking lot landscaping area shall be at least 10 feet in width, as measured from the right-of-way line to the back of curb in order to accommodate vehicle bumper overhang and ensure planting areas that are adequate in size.
 - ii. One tree measuring two and one-half (2-1/2) inches in caliper shall be planted for each twenty-five feet of landscaped area length. Trees may be grouped or staggered to maximize their effect as approved by the City.
 - iii. One shrub, measuring a minimum of 18 inches at planting and not to exceed 5 feet at maturity, for every 3 feet of landscaped area length, spaced linearly to adequately screen vehicle bumpers, and/or a low pedestrian wall the height of which provides effective screening to a maximum height of 3 1/2 feet.
 - iv. Landscaped areas outside of shrub and tree masses shall be planted in turf or other groundcover
- c) Screening of loading areas. For uses with loading docks, they shall be located at the rear of the building, where possible, and shall be adequately screened with a wall, fence and/or landscaping that is a minimum of 6 feet in height, unless such screening is determined to be unnecessary by the City.
- d) Maintenance. All plant material shall be maintained in good condition so as to present a healthy, neat, and orderly appearance and shall be kept free of refuse and debris. Fences and walls shall be maintained in good repair and neat appearance. Landscaping shall be trimmed so as not to obstruct public or private sidewalks, parking lots, and driveways. All landscape areas shall have automatic irrigation system installed and properly maintained to promote the health of the plant material and conservation of water including rain gauge shut-offs. The owner of the premises and any tenant shall be jointly responsible for maintenance, repair, and replacement of all landscape materials, fences, and barriers.

h. Parking Requirements

It is recognized that the pedestrian character and small lot sizes within the B-5, Central Business District make the provision of individual private on-site parking facilities difficult and detrimental to the traditional character of the district. In addition to on-street parking and public parking spaces, business owners are encouraged to pursue shared and off-site parking arrangements at the rear of properties in the B-5, Central Business District.

1. Number of Required Parking Spaces in the B-5, Central Business District
 - a) Multiple family residential uses with five or fewer units in any one development: No parking required.
 - b) Multiple family residential with five to twenty units in one development: 1.0 parking spaces/dwelling unit with two bedrooms or less; 2.0 parking spaces/dwelling unit with three or more bedrooms.
 - c) Multiple family residential with greater than twenty units in one development: 1.5 spaces/dwelling unit with two bedrooms or less; 2.0 parking spaces/dwelling unit with three or more bedrooms.
 - d) For senior citizen housing, the on-site parking requirements may be reduced by 50% of the above-referenced requirements.
 - e) For residential uses it shall be encouraged that at least one of the required spaces per dwelling unit be enclosed and located within the building or in an accessory garage building. These requirements shall apply to new residential development and not to existing nonconforming residential developments.
 - f) Non-residential uses of 5,000 sf of gross floor area or less: No on-site parking required.
 - g) Non-residential uses with more than 5,000 sf of gross floor area: 1 parking space/400 sf of gross floor area above the initial 5,000 sf of gross floor area.
2. Parking Lot Location. Parking lots shall be located at the rear of buildings such that buildings separate parking areas from the street. The City may permit parking to the side of a building if the lot is a minimum of 150' in width. The need for parking on the side of the buildings will be evaluated by the City on a case-by-case basis and shall only be permitted where the configuration of the site and/or need for on-site parking makes locating all parking at the rear of the building infeasible.

i. Lighting

Lighting standards and fixtures shall be consistent with the historic character of the B-5, Central Business District. All lighting poles and luminaries shall be consistent with the ornamental lighting adopted by the City. All on-site lighting shall be equipped with shielding and cut-off devices, such that no light shall shine directly upon adjacent residentially zoned property. In keeping consistent with the pedestrian scale of the B-5, Central Business District, light poles shall be maximum height of fifteen (15) feet as measured from the finished grade. Light intensity shall not exceed 0.4 foot candle as measured at any residential property line and 1 foot candle as measured at all other property lines. (Ref. Ord. 12-03-1012, 12/9/03)

Subd. 11. Termination of Moratorium:

- a. On July 8, 2003, the White Bear Lake City Council adopted Ordinance No. 03-07-1006, "An Interim Ordinance Establishing a Moratorium on Large Retailer and Drive-Through Facilities in the B-5, Central Business District".
- b. Said Moratorium is hereby terminated upon publication and the effective date of this ordinance establishing amended Code Section 1303.160. (Ref. Ord. 12-03-1012, 12/9/03)

CITY COUNCIL MEETING SUMMARY

June 8, 2021

APPROVAL OF MINUTES – Approved

- A. Minutes of the Regular City Council Meeting on May 25, 2021

APPROVAL OF THE AGENDA – Approved

City Manager Hiniker added 9C.

VISITORS AND PRESENTATIONS

- A. Wold Architects provided an initial design phase for the Police Squad Garage and Fire Apparatus Bay Project

PUBLIC HEARINGS – Nothing scheduled

LAND USE – Approved

- A. Consent

1. Consideration of a Planning Commission recommendation for approval of a request by Therese Faison for a Special Home Occupation Permit extension at 4445 Lincoln Avenue (Case No. 20-1-SHOPa). **Resolution No. 12792**
2. Consideration of a Planning Commission recommendation for approval of a request by Beckmann Custom Homes, LLC for a minor subdivision and two variances at 4783 Otter Lake Road. (Case No. 21-2-LS & 21-10-V). **Resolution No. 12793**
3. Consideration of a Planning Commission recommendation for approval of a request by Len Schreier for two variances at 4775 Brooke Court. (Case No. 21-12-V). **Resolution No. 12794**
4. Consideration of a Planning Commission recommendation for approval of a request by Susan Welles on behalf of Molly Theno for three variances at 4870 Johnson Avenue. (Case No. 21-13-V). **Resolution No. 12795**
5. Consideration of a Planning Commission recommendation to adopt the 2040 Comprehensive Plan. **Resolution No. 12796**

- B. Non-Consent - Nothing scheduled

UNFINISHED BUSINESS – Nothing scheduled

ORDINANCES – Nothing scheduled

NEW BUSINESS – Approved

- A. Resolution accepting bids and awarding contract for Sewer Lining Projects (21-07). **Resolution No. 12797**

B. Resolution approving the issuance of a massage therapist license. **Resolution No. 12798**

CONSENT – Approved

A. Acceptance of Minutes: April Environmental Advisory Commission, April Park Advisory Commission, April White Bear Lake Conservation District, May Planning Commission

B. Acceptance of proposed revisions to Article III of the Municipal Code

DISCUSSION – Nothing scheduled

COMMUNICATIONS FROM THE CITY MANAGER

- In-person City Council meetings will continue to operate under the Mayor's electronic notice until the Governor lifts the emergency order. This will continue to allow some flexibility for remote attendance
- June 15, 2021 Work Session at 6:00 p.m. in the Expansion Room to discuss the East Goose Adaptive Lake Management Program
- Schedule July Work Session to review License Bureau operations – July 20, 2021 at 6:00 p.m. in City Hall. Discussion about the South Shore Blvd project will also be added to this work session.
- City Engineer / Public Works updates by Director Paul Kauppi
 - Mill and Overlay Projects are underway and on schedule
 - Gazebo roof has been lifted off and the columns and stairwell are being fixed. After which the building will be sandblasted, primed and painted next week. The floor will be delivered next week for a test fit and lower column fiberglass covers are expected in a couple weeks.
 - Lack of rain and the heat wave are putting pressure on the water supply system, but depleted water storage are being replenished overnight. Residents are asked to conserve water use and observe watering restrictions during daytime hours. One of three primary wells has been fixed after two weeks being down.
- Councilmember Walsh asked for the water fountains to be returned to service.
- Community Development updates by Director Anne Kane
 - Thursday at 7:00 p.m. is the first Community Housing Forum (registration required)
 - Planning Commission will return to in-person meetings in the Council Chambers beginning June 28, 2021 with a large agenda
 - School projects plans are in the process of review currently
 - New Assistant Building Official starts Monday
- Modeled after a similar initiative with the City of Roseville and Roseville School District, the City of White Bear Lake and the White Bear Lake School District in partnership with the Humanities Center plan to prepare four monthly community sessions on the topic of racism. Members of the Welcoming and Inclusive Community Task Force will attend these sessions will help to inform their summary report to Council. All Councilmembers

expressed support of the City's involvement, with the understanding the potential for a financial contribution not to exceed \$5,000.

- Mayor Emerson reported receiving a letter from a Birch Lake School fourth-grader expressing concern with racism, who suggested an essay contest on the topic of ending racism – the results of which he hoped would be given to the President of the United States. Mayor Emerson suggested the Welcoming and Inclusive Committee take on this initiative.

ADJOURNMENT – 7:45 p.m.

Park Advisory Commission Meeting Minutes

APRIL 15, 2021

6:30 P.M.

WEBEX MEETING

MEMBERS PRESENT	Bill Ganzlin, Bryan Belisle, Victoria Biehn, Mark Cermak, Mike Shepard
MEMBERS ABSENT	Anastacia Davis, Ginny Davis
STAFF PRESENT	Andy Wietecki, Paul Kauppi
VISITORS	
NOTE TAKER	Andy Wietecki

1. CALL TO ORDER

The meeting was called to order at 6:33 pm.

2. APPROVAL OF MINUTES

Approval of the minutes from March 18, 2021 was moved by Mark Cermak and seconded by Victoria Biehn.

3. APPROVAL OF AGENDA

Approval of the April 15, 2021 agenda was moved by Bryan Belisle and seconded by Mark Cermak.

4. UNFINISHED BUSINESS

a) Update on Matoska Gazebo

Andy Wietecki reported to the Park Advisory Commission members that the City Council awarded the contract for the Geist Gazebo restoration to Pelco Construction on Tuesday, April 13th. The contract was signed Wednesday afternoon with a short meeting on site to go over some basic information with the contractor before the start of the project. Pelco is a local contractor with deep roots in the community. Pelco Construction has completed many projects for the City of White Bear Lake in the past with the most recent being the flag pole restoration project at 3rd Street and Hwy 61. Paul Kauppi mentioned that the request for proposals was sent to three contractors. The unique way the City is constructing the Gazebo limits the number of contractors able to handle such a diverse project.

The contract gives a July 1st due date but with the building materials supply chain issues it might not be completed on schedule. The City is working aggressively to unveil the updated Gazebo during Manitou Days this summer.

b) Update on the Memorial Beach Wall

Andy Wietecki updated the Commission on the retaining wall project that is anticipated to be built this year. The landscape contractor provided us with dollar amounts to determine if the project will fit our budget. The option with larger boulders to match the rest of the walls at the beach with wall, steps, railings, plants and mulch for roughly \$100,000 or less with the City staff planting and mulching. The second option with the large style blocks would cost roughly \$150,000 to complete the project.

Paul Kauppi did mention that the City Council would like the Parks Advisory Commission to start looking at projects on the south side of town since it seems a lot of effort has been put into parks on the North side of town. Andy mentioned that the wall is last piece that needs to be addressed in this area. This project will be a dramatic improvement in a heavily used park in the City's park system.

5. NEW BUSINESS**a) Park Inspection Findings**

The Park Advisory Commission members were tasked with performing an inspection of a few parks each and then report back with what was found during their adventure.

The members were asked to look for:

- How the park is being used?
- The number of park users
- Condition of infrastructure: buildings, playgrounds, picnic tables, benches, garbage cans, grills, fences, basketball nets/poles, bike racks, drinking fountains, yard lights, boardwalks, signature, etc.
- Park hazards
- Overall condition and appearance
- Improvements both long and short term
- Challenges with the park

Findings will be attached to the end of the minutes for each park.

b) Summer Park Tours

Now that summer is upon us, the Park Advisory Commission is moving their meetings to a different park every month. Andy Wietecki has come up a list of parks that haven't been visited in recent years. Andy suggested that since we are celebrating Arbor Day at Ebba Park planting trees along the Water Treatment Facility that is only fitting to start our tour there.

The Summer Park Tour list is as follows:

- May – Ebba Park
- June – Jack Yost Park
- July – Matoksa Park
- August – Lions Park
- September – Memorial Beach

Andy and Bryan suggested that the July and August tours may be reversed so the Commission can visit Matoska once the Gazebo is finished.

6. OTHER STAFF REPORTS

a) Early Spring – Parks are Open

Andy reported to the Park Advisory Commission that the City parks were opened earlier than normal this year due to an early spring. The launch docks are already in at Matoska as well as the sail boat mooring buoys. The City did not have any ice damage to the Boatworks Marina this year and it was opened a month earlier than scheduled. Andy Wietecki is very hopeful that all park restrooms will be open by the first weekend in May. Andy also mentioned that both West Park and Lakewood Hills Parks have park reservations this coming weekend – April 24th and 25th. He projects that this year will be another busy year for park rentals.

7. COMMISSION REPORTS

None.

8. OTHER BUSINESS

None.

9. ADJOURNMENT

The next meeting will be held on May 20, 2021 at 6:30 p.m.

There being no further business to come before the Park Commission, the meeting was adjourned. Moved by Mark Shepard and seconded by Victoria Biehn.

Park Inspection Reports

Anastacia Davis

Podvin Park:

Podvin is a wonderful example of a multi-use park. I visited the park at 4pm on a weekday. I observed folks in fields, on the basketball courts, on the skate park ramp, using the covered picnic area for a birthday party. All picnic tables were being used for family picnics- it was a warm day. I wonder if there is some other use for the hockey rink during the off season. I think we talked about this in the last meeting - drawing court lines or something.

Weyerhaeuser Park:

We arrived as baseball practice was starting. Teams in all fields. It did seem like there could be a couple more benches/tables, as teams were setting up on the ground for what looked like a team picnic or giveaways for other teams. Is there a sign designating this as a White Bear park? I see Babe Ruth signs, but not White Bear Lake.

Bill Ganzlin

Matoska Park:

There is significant erosion of the shoreline by dog park. I understand that you have already identified a contractor to install a retaining wall. What is the status of this project? Old White Bear Facebook Group commented on the erosion problem and were concerned that nothing was happening to stop the erosion. There are many panels kicked out on Gazebo (this is not anything new). The rain garden in good shape! City staff did a good job removing trees and saplings. The bathrooms are locked; and porta-potty is in use.

West Park:

The bathrooms are locked and there is no porta-potty. The picnic tables and benches are in good shape except for one bench on the NE corner (needs to have board replaced on seat). The picnic shelter is beautiful. The seeded grass area is beginning to sprout. I would recommend planting 2 trees in far north parcel (across road from play equipment) where large tree was removed.

Memorial Beach:

The bathrooms are locked. The volleyball net is in good condition as well as the benches.

Bryan Belisle:

Inspected both Stellmacher and Ramaley Parks on April 11th at 11:30 am. The temperature was about 50 degrees and cloudy. The conditions have been rainy and cool the last week, with the next few days about the same. So, I only saw a couple of park users. Just a thought, maybe next year we should inspect the parks in May.

Stelmacher Park:

I observed one adult and child walking. The playground equipment was in very good condition. Shelter, tables, benches, basketball court/hoops, trails, baseball field all were in very good condition. The restroom was closed. On the South side of the park there was a newly planted tree line which will add future benefits. This park is adjacent to many apartments. It probably has more residents living within a few blocks, then any other park White Bear Lake park. I didn't see any park hazards and cannot think of any improvements needed at this time.

Ramaley Park:

I observed one adult walking a dog. The playground equipment was in very good condition. The shelter, tables, benches, basketball court/hoops, baseball field all are in very good condition. The restroom was closed. I didn't see any park hazards. I can't think of any improvements needed at this time. This park has great pine trees. One of the trees looks in perfect condition and has to be one of the largest and oldest in the city.

Mark Cermak**Lakeview Park:** (inspected on 4/15/21 at 9:30 am)

This is a very nice small park in the heart of Cottage Park. It was trash free, nice and clean. The park looked very nice along the shores of White Bear Lake. I really didn't know there was a park located in that area.

Lakewood Hills Park: (inspected on 4/15/21 at 10:00 am)

The playground was very nice and clean. There were kids playing on the equipment having a great time. I walked the grounds and found them to be very nice and clean. I didn't observe any trash. I checked out all the shelters and they were debris free and looked great. I walked the ballfields and found them to be groomed. The walking paths were very clean and neat. The parking lot in the Southeast corner had a lot of dirt piles, not sure if that's part of the Parks Dept. clean up. Overall the park looked very nice and clean and I did not see and problems or concerns that need to be addressed.

Mike Shepard**Railroad Park:**

There was a bunch of wood piled up by the pavilion. Will something be planted along the driveway of the bank?

Yost Park:

The stumps should be grounded or removed.

Victoria Biehn**Spruce Park:**

1. How being used: Play area equipment only

2. # of users: 7 (2 adults, 3 small children, 2 middle schooler's) – Saturday afternoon, cloudy & cool
3. Conditions: Good condition.
 - a. 1 of the basketball hoops rope was torn/gone. Other metal hoop in good shape.
 - b. One picnic table by restroom has some white paint on the top of it.
4. Park Hazards: Some broken glass around garbage by play area (I picked up larger pieces)
5. Overall Conditions: Good
6. Improvements: None
7. Any Challenges: Play area is very close to McKnight which is a pretty busy road for little kids to run into. Not sure if there is any consideration of a fence on that side of the park?

Rotary Park:

1. How being used: Walking, biking, running
2. # of users: 7 – around 5 p.m. on Sunday
3. Conditions: Great condition
4. Park Hazards:
 - a. Part of the path starting to buckle (1 down by Birch Street (caused by tree roots); other by the start of the decking going across wetland, path side of park)
 - b. A few of the boards on the decking across wetland starting to rot
5. Overall Conditions: Very good
6. Improvements:
 - a. Decking across wetland; when you reach “dirt path” side, some of the brush is growing over the decking.
 - b. Wondering if there could be any benches placed by wetland area for people to sit and view (for example, when you reach end of decking by dirt path side).
 - c. Some of the signage is starting to look weathered.
7. Any Challenges: Not really a challenge, but if you go across the decking to the other side and follow the wooded path, you end up on WB Parkway and there is no longer a path. Not sure it is an option to pave the WB Parkway side to make a “full loop” walking path from parking lot.

Veterans Park:

1. How being used: Monday morning, cloudy & cool; no visitors
2. # of users: 0
3. Conditions: Great
4. Park Hazards: 5 of the electrical outlets on the light posts on dock do not have plastic covering. Not sure that is a hazard?
5. Overall Conditions: Great
6. Improvements: None
7. Any Challenges: No

Ginny Davis:

I went early this evening to visit my assigned parks. All of the parks are in good condition. Nothing of big concern stood out to me. All 3 parks were in use on some level which was nice to see as well. Below, I will list each park individually...

Bossard Park:

One young boy was on the playground equipment. Everything looked in order. No one else was in the park at the time.

Ebba Park:

A family with 2 small children were just leaving as I arrived. No one else was present. This small park seems like a nice location for the neighboring houses. One of the picnic tables looked like the plastic coating had melted off in the center of the table (perhaps someone set something hot on the table). Otherwise, everything looks good.

McCarty Park:

A group of 4 young men were playing basketball. The playground equipment and climbing web all seem in good condition. I noticed the free little library on the corner of the park which is nice to see as well.