



**AGENDA
PLANNING COMMISSION OF THE
CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, JANUARY 31, 2022
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

2. APPROVAL OF AGENDA

3. APPROVAL OF THE MINUTES

- A. Minutes of the Planning Commission meeting on November 29, 2021

4. CASE ITEMS

- A. **Case No. 21-1-P & 21-2-PUD:** A request by **Jeff McDonnell / Tice Estate** for a Preliminary Plat, per Code Section 1402.020, to subdivide one parcel into six lots, and a Planned Unit Development, per Code Section 1301.070, in order to construct four twin homes at the property located at 1788 Highway 96 E.
- B. **Case No. 21-20-V:** A request by **Keith Hisdahl** for a five foot variance from the ten foot setback required from a drive aisle, per Code Section 1202.040, Subd.2.b.1, in order to construct a freestanding monument sign with a dynamic display five feet from the drive aisle at the property located at 1978 Highway 96 E.
- C. **Case No. 22-1-V:** A request by **Steve Anderson** for a two foot variance from the five foot side yard setback, per Code Section 1302.030, Subd.4.e, and a seven foot variance from the twenty foot rear yard setback, per Code Section 1302.030, Subd.4.h.2, in order to demolish and reconstruct a new detached garage at the property located at 4881 Johnson Avenue.
- D. **Case No. 22-3-V:** A request by **Cabin 61** for a two foot height variance from the four foot fence height limit, per Code Section 1302.030, Subd.6.h.7 and a 37.5 foot variance from the 75 foot required setback from the Ordinary High Water Level, per Code Section 1303.230, Subd.5.a.3, in order to retain a six foot fence and unenclosed deck at the property located at 4150 Hoffman Road.
- E. **Case No. 22-1-O:** A request by **Wold Architects and Engineers on behalf of the City of White Bear Lake** for Site Plan Approval, per Code Section 1303.245, Subd.5 to allow for significant capital improvements planned for the White Bear Lake Public Safety Building located at 4701 Highway 61.

5. DISCUSSION ITEMS

- A. City Council Meeting Summary of January 11, 2022
- B. Park Advisory Commission Meeting of October 21, 2021
- C. Chair and Vice-Chair Elections

6. ADJOURNMENT

Next Regular City Council Meeting February 8, 2022

Next Regular Planning Commission Meeting February 28, 2022

**MINUTES
PLANNING COMMISSION MEETING
CITY OF WHITE BEAR LAKE
NOVEMBER 29, 2021**

The regular monthly meeting of the White Bear Lake Planning Commission was called to order on Monday, November 29, 2021, beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61, White Bear Lake, Minnesota by Chair Ken Baltzer.

1. CALL TO ORDER/ROLL CALL:

MEMBERS PRESENT: Michael Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt and Andrea West.

MEMBERS EXCUSED: None.

MEMBERS UNEXCUSED: None.

STAFF PRESENT: Anne Kane, Community Development Director and Ashton Miller, Planning Technician.

OTHERS PRESENT: Maggie Briggs & Aaron Briggs, Reid Larson, and John Johannson.

2. APPROVAL OF THE NOVEMBER 29, 2021 AGENDA:

Kane explained that staff is requesting that item 4.D be continued to the next Planning Commission meeting due to both staff and applicant illness.

Member Berry moved for approval of the agenda. Member West seconded the motion, and the agenda was approved (7-0).

3. APPROVAL OF THE OCTOBER 25, 2021 PLANNING COMMISSION MEETING MINUTES:

Member Enz moved for approval of the minutes. Member Lynch seconded the motion, and the minutes were approved (7-0).

4. CASE ITEMS:

A. **Case No. 21-1-P & 21-2-PUD:** A request by **Jeff McDonnell / Tice Estate** for a Preliminary Plat, per Code Section 1402.020, to subdivide one parcel into six lots, and a Planned Unit Development, per Code Section 1301.070, in order to construct four twin homes at the property located at 1788 Highway 96 E. **(Continued)**

Staff recommended the case be continued to the January meeting.

Member Lynch moved to recommend continuation of Case No. 21-1-P & 21-2-PUD. Member Amundsen seconded the motion. The motion passed by a vote of 7-0.

- B. **Case No. 21-1-CPA, 21-5-Z & 21-3-LS:** A request by **White Bear Hotel** for a Comprehensive Plan Amendment to reguide a parcel from “Medium Density Residential” to “Downtown”, a rezoning of the same parcel, per Code Section 1301.040, from R-4 – Single and two Family Residential to B-4 – General Business, and a recombination subdivision to convey a portion of city-owned land to white Bear Hotel, all in order to construct a parking lot at the property located at 2241 8th Street. **WITHDRAWN BY APPLICANT**

Kane informed the Planning Commissioners that the proposal has been withdrawn by the applicant.

- C. **Case No. 99-2-Sa3 & 20-3-CUPa1:** A request by **Tside1 LLC** for two Conditional Use Permit amendments, per Code Section 1303.227, Subd.4.f, to reconfigure the docks and reallocate slips between the two properties located at 4441 Lake Avenue S and 4453 Lake Avenue S. **(Continued)**

Kane recommended continuation of the case indefinitely.

Member Amundsen asked if continuing indefinitely meant it would appear on every agenda. Kane responded that it just meant the applicants would not need to resubmit the application or fee. It will not be on every agenda. Everyone will be re-noticed when the applicants decide to move forward with the request.

Member Amundsen moved to continue Case No. 99-2-Sa3 & 20-3-CUPa1. Member Enz seconded the motion. The motion passed by a vote of 7-0.

- D. **Case No. 21-20-V:** A request by **Keith Hisdahl** for a five foot variance from the ten foot setback required from a drive aisle, per Code Section 1202.040, Subd.2.b.1, in order to construct a freestanding monument sign with a dynamic display five feet from the drive aisle at the property located at 1978 Highway 96.

Kane recommended the case be continued to the next meeting.

Member Baltzer opened the public hearing. As no one spoke, Member Baltzer continued the public hearing.

Member Enz moved to continue of Case No. 21-20-V. Member Amundsen seconded the motion. The motion passed by a vote of 7-0.

- E. **Case No. 21-3-SHOP:** A request by **Aaron Briggs** for a Special Home Occupation Permit, per Code Section 1302.120, in order to operate a personal training business out of the garage at the property located at 1919 4th Street.

Miller discussed the case. Staff recommended approval of the request.

Member Baltzer opened the public hearing. As no one spoke, Member Baltzer closed the public hearing.

Member Enz recused herself due to a connection to the applicant.

Member Reinhardt moved to recommend approval of Case No. 21-3-SHOP. Member Lynch seconded the motion. The motion passed by a vote of 6-0. Member Enz abstained.

- F. **Case No. 21-21-V:** A request by **Reid Larson** for a 7 foot variance from the 25 foot setback required along a side abutting a public right-of-way (4th Avenue), per Code Section 1303.060, Subd.5.c.2, in order to construct a home 18 feet from the eastern lot line at the property located at 18XX Clarence Street.

Miller discussed the case. Staff recommended approval subject to the standard conditions.

Member Lynch asked what happens to the variance if issues such as tree preservation and grading are not resolved. Miller replied that the variance is good for one year, but the applicant can request an extension if work has not begun.

Member Amundsen wondered about the possibility of another variance being required once the applicant begins addressing the grading issue and if a condition should be included in the resolution. Kane explained that the City has recently started permitting raingardens in the right-of-way that are maintained by the homeowner and this site may provide such an opportunity. Rather than attach conditions to the variance, she thinks it best to rely on the Engineering Department to apply current stormwater management regulations.

Member Baltzer opened the public hearing.

Reid Larson, applicant, 1831 Clarence Street, stated that the property next door, which he owns, had a sump pump that was directed towards the vacant lot and used to run constantly. He has made modifications to the site and installed drain tile, which has already made the area less wet. He is open to ideas on how to address runoff.

Member Baltzer closed the public hearing.

Member Amundsen moved to recommend approval of Case No. 21-21-V. Member Enz seconded the motion. The motion passed by a vote of 7-0.

- G. **Case No. 21-5-CUP:** A request by **Division 25, LLC** for a Conditional Use Permit, per Code Section 1202.040, Subd.2, and a 25 foot variance from the 50 foot maximum height for a billboard, per Code Section 1202.040, Subd.2.2.d, to allow installation of a 75 foot tall two-sided V-shaped dynamic billboard at the property located at 4650 Centerville Road.

Kane discussed the case. Staff recommended approval with the addition of a condition acknowledging the five hours of community time reserved each month.

Member Reinhardt asked about the orientation of the old billboard, which had two panels facing southbound traffic and wondered if the safety of this particular location had been analyzed. Kane replied that the old sign was constructed in the 1970's, so may predate any sign regulation. Static billboards were permitted by the Federal Highway Association for a while, but were later prohibited after the push for scenic byways along the Country's interstates. She stated that it is not ideal to have two dynamic displays side by side, which would be more distracting to drivers and that there has not been a study regarding driver distraction in this exact location. Previous studies shared with the Commissioners indicate that dynamic displays are not more distracting than static billboards.

In response to a question from Member Lynch, Kane stated that she did not know the height of the Culver's sign adjacent to Interstate 694, but would have that information available by the City Council meeting.

Member Baltzer opened the public hearing.

John Johannson, applicant, thanked staff for all the time and effort put into the case. He commented that they met with the residents of the Pillars for two hours to discuss the billboard. The increased height is really at the behest of the residents. He agreed with the conditions proposed by staff and stated that there would be no issue with the allotted community time each month.

Member Amundsen asked if increasing the height of the billboard allowed the applicant to clear the tree line. He finds it more distracting to drivers to have obscured billboard messages, so he thinks the increased height improves safety. Mr. Johannson confirmed that the sign would not be blocked by the trees. He noted that one was damaged in a storm and was taken down by MNDOT.

Member Baltzer closed the public hearing.

Member Enz commented that she appreciates the positive email exchange between the applicant and the management of the Pillars. It is great that the residents feel heard.

Member Lynch noted that he was uncomfortable with the proposed height of the billboard, but indicated he would vote in favor of the request based on the circumstances. He did not want a precedent to be set, commenting that future cases will be considered independently of this one.

Member Amundsen concurred with Member Lynch, stating that the environment warrants a taller billboard.

Member Amundsen moved to recommend approval of Case No. 21-5-CUP. Member Reinhardt seconded the motion. The motion passed by a vote of 7-0.

5. DISCUSSION ITEMS:

A. City Council Meeting Summary of November 9, 2021.

No Discussion

B. Park Advisory Commission Meeting Minutes of September 16, 2021.

No Discussion

6. ADJOURNMENT:

Member Enz moved to adjourn, seconded by Member West. The motion passed unanimously (7-0), and the November 29, 2021 Planning Commission meeting was adjourned at 7:47 p.m.



City of White Bear Lake
Community Development Department

MEMORANDUM

To: The Planning Commission
From: Samantha Crosby, Planning & Zoning Coordinator
Date: January 31, 2022
Subject: Rose's Park View Addition – 1788 Highway 96, Case No 21-2-PUD & 21-1-P

REQUEST

The Tice Estate is requesting a Planned Unit Development and Preliminary Plat approval to subdivide one lot into 6: one lot for the existing single-family residence facing Highway 96, one shared lot for stormwater, and four duplex lots - for a total of 8 new units.

BACKGROUND

At the October 25 Planning Commission meeting, 11 people spoke in opposition to the project. In response, the Planning Commission decided to continue the case to allow the City Council time to make a decision regarding the 5th Avenue right-of-way issue. The City Council held the public hearing for the 5th Avenue right-of-way issue on November 9th and continued the item to the December 14th Council agenda, in order to allow the City Attorney additional time to conduct further legal research and fully evaluate the issue. The attorney's research concluded that the City continues to hold all of the 5th Avenue right-of-way south of the north side of Clarence Street. The Council decided that no action was necessary. Staff subsequently forwarded the City attorney's research to the County, asking that they address the issue by correcting their maps and they have.

UPDATE

Since the October Planning Commission meeting, staff has conducted additional research and discovered that without the "envelope" lot design, the site cannot support 4 duplexes. Only two duplexes and two single-family residences would fit. The issue is the 33-foot wide drainage and utility easement that runs north-south along the west side of the site. This easement encumbers the property in such a way that, while sufficient lot area is available, the buildings must sit so far east on the property that the lot shapes are skewed.

Despite this discovery, staff continues to recommend approval of the proposal for the following reasons. First, the easement is a significant encumbrance on a single property; while the original property owner may have received compensation for the easement, it severely restricts the potential capacity of the property to the benefit of the entire neighborhood. Second, the property is guided as Low Density Residential, which aims for a density range of 3 to 9 units per acre. The proposal of 9 units yields 5 units per acre which is still less than the mid range of the

allowable density. A reduced project would yield 3.8 units per acre. In a time of an extreme housing shortage, the minimal difference between the two is worthy of consideration. Third, the current design provides an increased opportunity for home ownership, which can help to generate wealth in the community. If a more traditional layout is proposed, two of the duplex units must be rentals. With the current “envelope” lot design, all of the units could be owner-occupied. Also, a homeowners association provides a more consistent level of building and grounds maintenance. Finally, duplexes are a type of housing unit that is not widely represented in the city. Providing a diversity of housing type is an important housing goal.

In an attempt to address the building appearance concerns expressed by the Planning Commission at the October meeting, staff has included two new conditions. First, since the garage is a forward-facing feature, that its design be enhanced with a non-stock/non-steel panel door with increased detailing and decorative wall-mounted light fixtures on either side of the garage door. Second, that the stone base be expanded to extend the full length of the front of the home.

SUMMARY

The subject site has access to the Clarence Street end and therefore development of the property has the right to utilize that access if the City approves the project. Consequently, staff has removed condition #6 from the resolution of approval. The Planning Commission had previously opened and closed the public hearing, therefore the public comment period is over. The applicant has patiently waived the 60-day statutory review period while the City worked through the right-of-way issue; the Planning Commission should forward a recommendation to the City Council at this time.

RECOMMENDATIONS

Staff continues to recommend approval subject to the conditions listed in the revised draft resolution of approval, attached.

ATTACHMENTS

Revised Draft Resolution of Approval
City Attorney’s Memo, dated December 2, 2021
Original Staff Report, dated October 20, 2021 (without attachments)
Site Plans & Graphics

RESOLUTION NO.

**RESOLUTION APPROVING A
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAT OF
ROSE'S PARK VIEW ADDITION AT
1788 COUNTY HIGHWAY 96 EAST
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-2-PUD & 21-1-P) has been submitted by the Tice Estate to the City Council requesting a Planned Unit Development (PUD) & Preliminary Plat from the City of White Bear Lake at the following site:

ADDRESS: 1788 County Highway 96 East

EXISTING LEGAL DESCRIPTION: The west ten (10) rods of the Northwest Quarter (NW ¼) of the Northwest Quarter (NW ¼) of Section twenty-two (22), Township thirty (30), Range twenty-two (22), except the south 3 acres thereof, according to the United States Government Survey thereof, subject to Easement for drainage ditch and roads as now established upon said premises, including easement for improvement of Highway 96, the taking now pending. (PID #: 233022220161)

PROPOSED LEGAL DESCRIPTION: Lots 1 through 6, Block 1, Rose's Park View Addition

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A Planned Unit Development, per Zoning Code Section 1301.070 and a Preliminary Plat, per Chapter 1400, in order to subdivide one lot into 6: one lot for the existing single-family residence, one shared lot for stormwater, and four duplex lots; and

WHEREAS, the Planning Commission has held a public hearing as required by the City Zoning Code on October 25, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission considering the effect of the proposed PUD & Preliminary Plat upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake after reviewing the proposal, that the PUD and Preliminary Plat abide by the intent of the City's ordinances, codes and the Comprehensive Plan, and that the developer has petitioned for or will construct all necessary improvements required by code; and

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FURTHER, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City accepts and adopts the following findings of the Planning Commission:

1. Because the project provides infill development that fits with the character of the surrounding neighborhood and the density is well below 4.2 units per acre, the proposal is consistent with the City's Comprehensive Plan and with existing and future land uses in the area.
2. The proposal conforms to the Zoning Code requirements.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested preliminary plat subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted by the applicant shall become part of the subdivision.
2. The hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the City Planner with two final approved reproducible mylar copies of the plat.
3. Per Section 1402.020, Subd.6.c if within one (1) year after approving the Preliminary Plat, the applicant has not submitted a final plat, (consistent with the approved preliminary plan) the preliminary plat shall become null and void unless a petition for an extension of time has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
4. If the final plat varies significantly from the preliminary plat, Planning Commission review and comments will be required.
5. The applicant shall execute a City approved development agreement covering the construction of all public improvements and will also supply the City Planner with an irrevocable certified letter of credit.
6. ~~The approval of this project is dependent upon the resolution of the Fifth Avenue right-of-way access issue prior to the recording of the final plat with Ramsey County.~~

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7. All public utility, electrical, cable and telephone lines shall be constructed underground within easements as per Section 1405.050.
8. The applicants shall agree to re-apportion any pending or actual assessments on the original parcel or lot of record in accordance with the original assessment formula on the newly approved parcels as per the City of White Bear Lake's Finance Office Schedule for Assessment.
9. **The building elevations shall be revised:**
 - a. **The garage door shall be a non-stock/non-steel panel door with increased detailing and decorative wall-mounted light fixtures on either side of the garage door.**
 - b. **The stone base shall be expanded to extend the full length of the front of the home.**
10. The developer must dedicate public rights-of-way and utility easements as illustrated on the preliminary plan or as approved by the City Planner and City Engineer. Easements must also include an east-west easement between the end of the cul-de-sac and Columbia Park for pedestrian access.
11. No construction permits may be issued to the applicants for improvements on this subdivision site prior to approval and recording of the subdivision's Final Plat.
12. No new construction may adversely impact the adjacent parcels with respect to drainage.
13. The site design shall be revised to meet the 10 foot setback from the east property line as required by code.
14. The project shall comply with the Fire Memo dated September 27th and the Engineering Memo dated October 7, 2021.
15. At least one tree per lot shall be planted within the right-of-way, in addition to the tree replacement requirement of the zoning code.

Prior to City Council approval of the final plat:

16. **Final construction level design drawings shall be provided to and approved by the Engineering Department**
17. An initial escrow deposit of \$2,500 shall be established to cover outside legal costs of drafting a plat opinion and development agreement. Actual costs may vary.
18. A development agreement shall be finalized.
19. Homeowner Association Documents shall be approved by staff. Covenants in the association documents shall reference the replaced trees shall be maintained by future owners, with an

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exhibit illustrating said trees.

Prior to the issuance of a building permit for ANY work on site, the applicant shall:

20. Provide proof of having executed and recorded both the Homeowner Association Documents and the final plat.
21. Submit a final grading and drainage plan to be approved prior to the issuance of a building permit.
22. Extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every year until released in writing by the City. The amount of the letter shall be based on a cost estimate of the outside and public improvements, to be approved by the City prior to the issuance of the letter of credit. The applicant shall also provide a timetable in which such improvements will be completed.
23. A development agreement shall be entered into prior to Council consideration of the final plat.
24. Black Locust trees are not exempt from tree replacement; the tree replacement calculation shall be revised to comply with code.

Prior to the issuance of a building permit for EACH lot:

25. A final grading and drainage plan shall be submitted for that lot. Frost footings shall be constructed 42 inches below existing grade unless otherwise approved by the Building Official.
26. Watershed District approval shall be obtained prior to issuance of a grading permit for any of the proposed lots within the subdivision.
27. The Metropolitan Council's SAC (Sewer Availability Charge) and City SAC and WAC (Water Availability Charge) for the lot must be paid.
28. Park dedication shall be collected at the time of building permit for each lot.
29. Water and sewer hook-up fees shall be collected for each new lot within the subdivision at the time that the building permit is issued for that lot.

Prior to the release of the letter of credit:

30. Any relevant terms entered into by the development agreement shall be satisfied.

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- 31. The applicant shall provide an as-built drawing meeting the current engineering requirements for such.
- 32. All replacement trees must be planted and have survived one full growing season.
- 33. The street trees, and any other required plantings, have been installed and have survived one full growing season.
- 34. The applicants shall provide the City with the required the two reproducible mylar copies of the final plat.
- 35. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Berry Tice, Executor, Tice Estate Date

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CHARTERED

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MEMORANDUM

To: White Bear Lake City Council

From: Troy Gilchrist, City Attorney

Date: December 2, 2021 (for December 14, 2021 Council Meeting)

Re: Vacation of a Portion of 5th Avenue

The Council is aware of the proposal to subdivide the Tice parcel located at 1788 Hwy 96 (“**Property**”) into six lots to be platted as Rose’s Park View Addition (“**Development**”). As the City worked to process the applications for the Development, questions arose regarding the status of 5th Avenue (“**Street**”). The Street is located to the east of the Property and the proposed access to the Property is from Clarence Street across a small portion of the Street. The City has received a variety of objections to the Development, including that the portion of the Street proposed to be crossed was vacated in 1977 and so cannot serve as access to the Property. I previously provided the Council a copy of the letter I wrote in response to one of the property owner’s objections and I promised the Council I would follow up with a memo discussing the legal status of the Street more generally.

Brief History

- The Street was dedicated to the public in 1883 as part of the Ramaley’s Park plat.
- The City received the easements for all of the streets and alleys shown on the plat upon its recording with the County.
- In 1977, the Council was presented two petitions requesting the vacation of different portions of the Street. One petition sought the vacation of the portion of the Street from the southern boundary of Lot 8, Block 24 north to Hwy 96 (“**Northern Portion**”)(shown in blue on the attached map) and other sought the vacation of the portion of the Street

from the southern boundary of Lot 8, Block 24 south to Whitaker Street (“**Southern Portion**”)(shown in red on the attached map).

- At its June 14, 1977 meeting, the Council adopted Resolution 3408 approving the vacation of the Northern Portion. At the same meeting, the Council discussed the vacation of the Southern Portion, but took no action as it noted the petition was not signed by a majority of the adjacent owners.
- On June 27, 1977, the City mistakenly recorded an unnumbered resolution (“**Unnumbered Resolution**”) purporting to vacate the Southern Portion. However, the Council had not actually acted to vacate the Southern Portion. It is clear the City had intended to record Resolution 3408 vacating the Northern Portion as it had specifically delayed consideration of the vacation of the Southern Portion until the petition was complete.
- At its July 12, 1977 meeting, the petition presumably having been made complete, the Council discussed the vacation of the Southern Portion and the minutes indicate it decided not to approve the vacation.
- On August 30, 1977, the City recorded Resolution 3408 vacating the Northern Portion.
- On September 1, 1977, the City Attorney recorded an affidavit (“**Affidavit**”) indicating the Council did not vacate the Southern Portion and that the Unnumbered Resolution was recorded in error.
- On October 25, 2021, the Planning Commission conducted a public hearing regarding the requested Development. Some of the neighboring property owners opposed the Development and questioned the proposed access across what they claimed was their property due to the vacation referenced in the Unnumbered Resolution. The Planning Commission continued the hearing twice and is scheduled to take the matter up at its January 31, 2022 meeting.
- On November 9, 2021, the Council conducted a public hearing, after notice having been provided, on the proposed vacation of portions of the Southern Portion. The City proposes to vacate all of the Southern Portion except those portions at the end of Clarence Street, Park Street, and Hinckley Street to allow access to the properties to the west (shown in yellow boxes on the map). In light of the issues raised regarding the status of the Southern Portion, the Council continued the matter to its December 14, 2021 meeting to allow time for the City Attorney to review the matter and advise the Council.

Timing

- Development: The applicant has waived the 60-day rule and so there is no particular deadline by which a final decision must be made on the applications for the Development. The Planning Commission is scheduled to resume its hearing on the matter and make its recommendation at its January 31, 2022 meeting. The matter is

anticipated to come before the Council for review and a final decision at its February 8, 2022 meeting. While there is no particular deadline due to the waiver, the City still needs to act in a reasonably timely manner on whether to issue the requested approvals for the Development.

- Vacation: There is no set timeline for acting on the vacation, but this is a matter that needs to be clarified and so I do not recommend the Council delay in acting on the vacation. If the Council acts at its December 14, 2021 meeting to adopt the vacation resolution, which requires at least a four-fifths vote, my office will prepare a notice of completion for the Clerk and work to get it recorded with the County.

Findings

Those owners claiming an interest in the Southern Portion are doing so based solely on the mistakenly recorded Unnumbered Resolution. They ignore, or attempt to disregard, the Affidavit making it clear the Council never actually vacated the Southern Portion and that the resolution was recorded in error. All of the owners in the plat have an interest in the streets dedicated as part of the plat and the owners adjacent to the Street cannot claim the City's easement no longer exists based on a vacation that never actually occurred. In fact, the City acted almost immediately upon discovering the mistake to record an Affidavit to correct the record so no one would rely on the Unnumbered Resolution.

While the City has not improved the Southern Portion, it has continually relied on the portion adjacent to Clarence Street since before 1977 for City utilities that run across the Property and through the Southern Portion to serve the properties along Clarence Street. The fact utilities ran through the Southern Portion helps to explain why the Council refused to vacate it.

The owners also point to the County's online map that no longer shows the Street as proof it was vacated. However, the "Lot Info" layer of the map shows the Southern Portion and references "VAC DOC #1969239", which is a reference to document recording number for the Unnumbered Resolution. Thus, it appears someone at the County adjusted the map based on the Unnumbered Resolution, but missed the Affidavit recorded shortly thereafter. Regardless, a County's GIS map error does not serve to convey real property and cannot be relied upon for determining property ownership. In fact, the notice a user must click through to access the map states in all caps: "THE COUNTY DOES NOT REPRESENT OR WARRANT THE ACCURACY OF THIS DATA." The notice goes on to further disclaim liability for any damages the viewer may incur based on any reliance on the information.

Finally, the owners claim they have been paying taxes on the property that is under the Southern Portion. I did not attempt to search tax records or contact the County regarding the tax history of these properties. The City has no control over how the County determines the area of a property subject to taxation or how it applies property taxes, it simply certifies its levy to the County for collection.

A real estate paralegal in my office researched the titles of the properties along the Southern Portion and found nothing to support a claim their title includes any claimed vacation of the

Southern Portion. There is one general reference in the Doyle deed indicated the property included “any part of vacated street accruing to said lot by reason of vacation thereof”, but that reference was only added immediately prior to her acquisition of the Property (both deeds were recorded on the same date) and is reasonably limited to the vacation of the Northern Portion that is adjacent to that property. Here is a summary of the findings.

Owner	Address	PID	Comments
Karin M. Doyle	1801 Clarence St	23-30-22-22-0162	My letter to the owner’s attorney dated November 9, 2021 sets out why she cannot claim to be a bona fide purchaser who took the property free of the right-of-way easement over the Southern Portion.
Judy Murray & Eleanor Clagherty	0 Clarence St	23-30-22-22-0163	The archived tract search page shows both the Unnumbered Resolution and Affidavit. The vesting quit claim deed does not reference vacated Street.
Brian Mann	1815 Park St	23-30-22-22-0164	The archived tract search does not show the Unnumbered Resolution or Affidavit. The Torrens certificate for the property does not include reference to the vacation of the Street.
Patrick & Mary Kenny	1800 Park St	23-30-22-22-0165	The archived tract search page shows both the Unnumbered Resolution and Affidavit. The legal description in vesting deed and Torrens certificate include references to the vacation of a portion of Park St, but not 5 th Ave.

Opinion and Recommendations

It is my opinion the City continues to hold a right-of-way easement over the Southern Portion. Therefore, the City has the authority to vacate the Southern Portion and has the option to retain (not vacate) the street ends as shown on the attached map and as proposed in the vacation resolution. It is clear from the comments made at the public hearings the issue regarding the status of the Street is being raised primarily to stop the Development. However, I encourage the Council to view the proposed vacation separately from the approvals requested for the Development. Cleaning up the confusion around the status of the Southern Portion is in everyone’s best interests. If approved, the vacation will actually vacate the vast majority of the Southern Portion, leaving only the small portions at the ends of Clarence, Park, and Hinckley to allow access from those streets to the west.

As I mentioned in my November 9, 2021 letter, the owners who have concerns regarding what they had understood to be the vacated Southern Portion will need to raise those issues with their title insurers and the County.



5th Avenue ROW

- Northern Portion
- Southern Portion
- Tice Parcel Access Area
- Park Str. & Hinckley Str. Access Areas

- 1801 Clarence:
Karin M. Doyle
- 0 Clarence:
Judy E. Murray &
Eleanor L. Clagherty
- 1815 Park:
Brian M. Mann
- 1800 Park:
Patrick & Mary Kenny



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

M E M O R A N D U M

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: October 20, 2021 for the October 25, 2021 Planning Commission Meeting

SUBJECT: Rose's Park View Addition - 1788 Highway 96 Case No. 21-2-PUD & 21-1-P

REQUEST

The Tice Estate is requesting a Planned Unit Development and Preliminary Plat approval to subdivide one lot into 6: one lot for the existing single-family residence facing Highway 96, one shared lot for stormwater, and four duplex lots - for a total of 8 units. The new cul-de-sac extension of Clarence Street would be a public road. See applicant's narrative.

SITE CHARACTERISTICS

The subject site is located on the south side of County Highway 96 East, just east of Columbia Park in White Bear Township. The site is 1.85 acres in size. The site contains one single-family residence. The site is extremely flat with a few mature trees scattered throughout. There is a 33 foot wide utility easement that runs north-south along the western boundary of the property and a 60 foot wide utility easement that runs east-west through the property in line with Clarence Street.

ZONING

The property is zoned R-4 - Single and Two Family Residential, as are the properties to the east. The property to the south is zoned P - Public Facilities. The parcel to the west (the township park) is zoned R-2 "Urban Residential". The properties across Highway 96, to the north, are zoned R-3 - Single Family Residential.

BACKGROUND

The land has not yet been platted. The current residence was constructed in 1951. There are notes in the address file about conversations with both Paul Tice and Rose Tice back in 1995 regarding the subdivision of their land. The general gist of those conversation was in regards to density. It was made clear that no matter the layout of the road or parcels, no more than 4 new lots is permitted by code. Current city staff also met with Ms. Tice a few years ago about the development potential of the property. If the Tice's had not wanted to see the land developed they could have placed covenants and restrictions on the land, but they did not.

COMPREHENSIVE PLAN

The site is guided “Low Density Residential” which aims for an overall density of 3 to 9 units per acre. At 1.8 acres, that is 5 to 16 units. The proposed development would be 9 units, which is 5 units per acre – towards the bottom of the allowed density range.

ANALYSIS

Planned Unit Development

The development is a planned community with a homeowners association proposed to manage the maintenance of the common areas: the lawns, the driveways and, most significantly, the stormwater pond. However, this type of development (smaller, low maintenance units) is in high demand by empty nesters wanting to downsize but stay in the general area. The shared lot is the only reason for the “Planned Unit Development” part of the land use approval. If the project did not have shared amenities maintained by an association, the applicant could still create four duplex lots with a total of 8 new units.

The code provides for breaking the PUD approval down into two parts – concept stage and development stage. This project is not so complicated as to require a two-step process. Other examples of less-complex PUDs that wrapped both stages together include Hisdahl’s Trophies and the White Bear Center for the Arts. The applicant has submitted detailed, development level plans, consequently, the request is for both concept stage and development stage approval at this time.

The R-4 zoning district requires an 80 foot lot width and 5,000 square feet per unit. The subject site is 165 feet wide and, without the homestead lot or the new cul-de-sac, it is 1.03 acres in size. The site can yield 4 lots that are 82.5 feet wide and 5,610 square feet per unit; see appendix A of the applicant’s narrative. Because the applicant has proposed “envelope” lots, (they envelope the building only) the proposed lots do not meet with size or width requirements, however, that is a function of the development type. The lots are such that the residents independently own only the building footprint and they collectively own everything else, much like a condominium plat. Again, that is the reason for the PUD.

The proposed site design meets all setback requirements except for the 10 foot setback from the east property line. Staff does not support this deviation and has included a condition that the plan be revised to meet the 10 foot setback from the east property line.

Access / 5th Avenue Vacation

The current county records reflect a recording error. The 5th Avenue right-of-way between the north side of Clarence Street and the north side of Whitaker Street was never vacated by the City Council. See attached memo and graphic. In short, staff is proposing to correct the issue by vacating that portion which abuts the neighboring properties but retaining the street ends for access. This issue will also be considered by the City Council on the November 9th agenda. The subject land use request is contingent upon the outcome of the access issue (see condition #6).

Parking / Traffic

For duplexes, the code requires at least two rent-free spaces per unit, one of which must be fully-enclosed. The proposal meets code. Neighboring residents have expressed concern that the

parking required by code will be insufficient and fear that these residents will park on the street in front of their home. The residents of these new homes may park on the street just like everyone else, but will likely do so as close to their own home as possible; therefore, if any on-street parking is generated by this development it will likely be within the cul-de-sac. There is enough room for approximately 6 cars before parking would overflow out of the cul-de-sac.

The new public street meets all the requirements for public dedication. The development of this parcel into the proposed subdivision has been envisioned for a long time and the roadway capacity of the feeder streets are sufficient to handle the projected 58 trips per day increase in traffic generated by this project (per ITE).

Clarence Street is a narrow road - only about 22 feet wide. The reconstruction of Clarence Street is currently at the end of the 5-year CIP. Staff estimates a 2026 project, but that can change with budgets and other projects. Clarence Street will be widened at the time of reconstruction. The new street width will probably be 28 or 30 feet from face of curb to face of curb. That decision won't be made until the final design phase of the project which is typically the winter before the project.

Staff is recommending a pedestrian easement at the end of the cul-de-sac order to provide the neighborhood the right to access (by foot) the Township park. The cut-through need not be paved or plowed, but will preclude the owners of these lots from erecting a fence in this area. The path would not be labeled or be conspicuous in any other way and would probably not be known to or used by anyone other than those living in the neighborhood.

Stormwater

The stormwater run off will be directed to two new infiltration basins located on the west side of the property. Their location is due to both topography and the presence of a 33 foot wide (un-buildable) utility easement which runs north-south along the west side of the property. There is a large storm sewer line in the easement. All of Lot 2, including the infiltration basins located therein, will be blanketed by a drainage and utility easement while owned and maintained by the Homeowner's Association.

It has been mentioned that, many years ago, there was a dump in the area. It is believed that the dump was mostly on the City-owned parcel to the south of the subject site. The applicant is aware of the history and if any issues are found during construction the proper reporting and abatement procedures would be required as they would for any construction project that encounters such conditions.

Tree Preservation / Landscaping

Unfortunately, all of the trees on site must be removed to accommodate the proposed development. The applicant will need to revise the tree replacement calculation to meet code.

Section 1406.030, Subd.6 of the Subdivision Regulations requires street trees (trees planted in the city's right-of-way) at the rate of one per lot. The plans propose some trees that are very close to but not actually in the right-of-way. These would be acceptable, but they are already being counted as replacement trees, and they cannot be counted as both.

Utilities

Sewer and water service mains already run east-west through the property. The main lines were extended southward from Highway 96 through the Township park, and then turned 90 degrees eastward, in line with the Clarence Street end crossing the Tice parcel to serve the single family residences on Clarence Street. These mainlines were built in the late 60's to early 70's. As a side note: had the City approved the vacation of the 5th Avenue right-of-way all the way down to Whitaker, it would have required an easement over the utilities in this area. The lack of easement is evidence that the vacated ROW is a county recording error and was never approved by the City.

Elevations/Floor Plans

The homes will be 1,473 square feet of living area with two bedrooms and two bathrooms. The main entry for each unit is on the side of the homes. The exterior design, while garage forward, is space efficient and the exterior materials are modest with some decorative elements.

Other

The City is asking for an escrow deposit of \$2,500 to cover the legal costs of a plat opinion and drafting/ finalizing a development agreement. This is what was required for Blustone Villas, the preliminary plat for Rooney's Farm.

DISCRETION

The City's discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the Zoning Ordinance and Subdivision Regulations. If it meets these standards, the City must approve the plat.

The City's discretion in approving or denying both the concept stage and the development stage PUD is high. A PUD must be consistent with the Comprehensive Plan. It is up to the City to decide whether the flexibility requested from code is a reasonable trade-off for the quality of development proposed. In this case, staff is recommending denial of the only variance requested, leaving the format of the development – with envelope lots and a shared common lot as the only reason for the PUD. Staff is supportive of this format; it is a desirable both in regards to lower city maintenance and higher market demand. Similar to a CUP, the City may impose reasonable conditions it deems necessary to promote the general health, safety and welfare of the community and surrounding area.

RECOMMENDATION

The project offers an opportunity to provide much-needed additional housing sites. The cul-de-sac proposal is a logical and orderly design that fits with the neighborhood and meets the requirements of the Zoning and Subdivision Codes. Consequently, staff recommends approval of the request when subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted by the applicant shall become part of the subdivision.
2. The hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the City Planner with two final approved reproducible mylar copies of the plat.

3. Per Section 1402.020, Subd.6.c if within one (1) year after approving the Preliminary Plat, the applicant has not submitted a final plat, (consistent with the approved preliminary plan) the preliminary plat shall become null and void unless a petition for an extension of time has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
4. If the final plat varies significantly from the preliminary plat, Planning Commission review and comments will be required.
5. The applicant shall execute a City approved development agreement covering the construction of all public improvements and will also supply the City Planner with an irrevocable certified letter of credit.
6. The approval of this project is dependent upon the resolution of the Fifth Avenue right-of-way access issue.
7. All public utility, electrical, cable and telephone lines shall be constructed underground within easements as per Section 1405.050.
8. The applicants shall agree to re-apportion any pending or actual assessments on the original parcel or lot of record in accordance with the original assessment formula on the newly approved parcels as per the City of White Bear Lake's Finance Office Schedule for Assessment.
9. The developer must dedicate public rights-of-way and utility easements as illustrated on the preliminary plan or as approved by the City Planner and City Engineer. Easements must also include an east-west easement between the end of the cul-de-sac and Columbia Park for pedestrian access.
10. No construction permits may be issued to the applicants for improvements on this subdivision site prior to approval and recording of the subdivision's Final Plat.
11. No new construction may adversely impact the adjacent parcels with respect to drainage.
12. The site design shall be revised to meet the 10 foot setback from the east property line as required by code.
13. The project shall comply with the Fire Memo dated September 27th and the Engineering Memo dated October 7, 2021.
14. At least one tree per lot shall be planted within the right-of-way, in addition to the tree replacement requirement of the zoning code.

Prior to City Council approval of the final plat:

15. An initial escrow deposit of \$2,500 shall be established to cover outside legal costs of drafting

a plat opinion and development agreement. Actual costs may vary.

16. A development agreement shall be finalized.
17. Homeowner Association Documents shall be approved by staff. Covenants in the association documents shall reference the replaced trees shall be maintained by future owners, with an exhibit illustrating said trees.

Prior to the issuance of a building permit for ANY work on site, the applicant shall:

18. Provide proof of having executed and recorded both the Homeowner Association Documents and the final plat.
19. Submit a final grading and drainage plan to be approved prior to the issuance of a building permit.
20. Extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every year until released in writing by the City. The amount of the letter shall be based on a cost estimate of the outside and public improvements, to be approved by the City prior to the issuance of the letter of credit. The applicant shall also provide a timetable in which such improvements will be completed.
21. A development agreement shall be entered into prior to Council consideration of the final plat.
22. Black Locust trees are not exempt from tree replacement; the tree replacement calculation shall be revised to comply with code.

Prior to the issuance of a building permit for EACH lot:

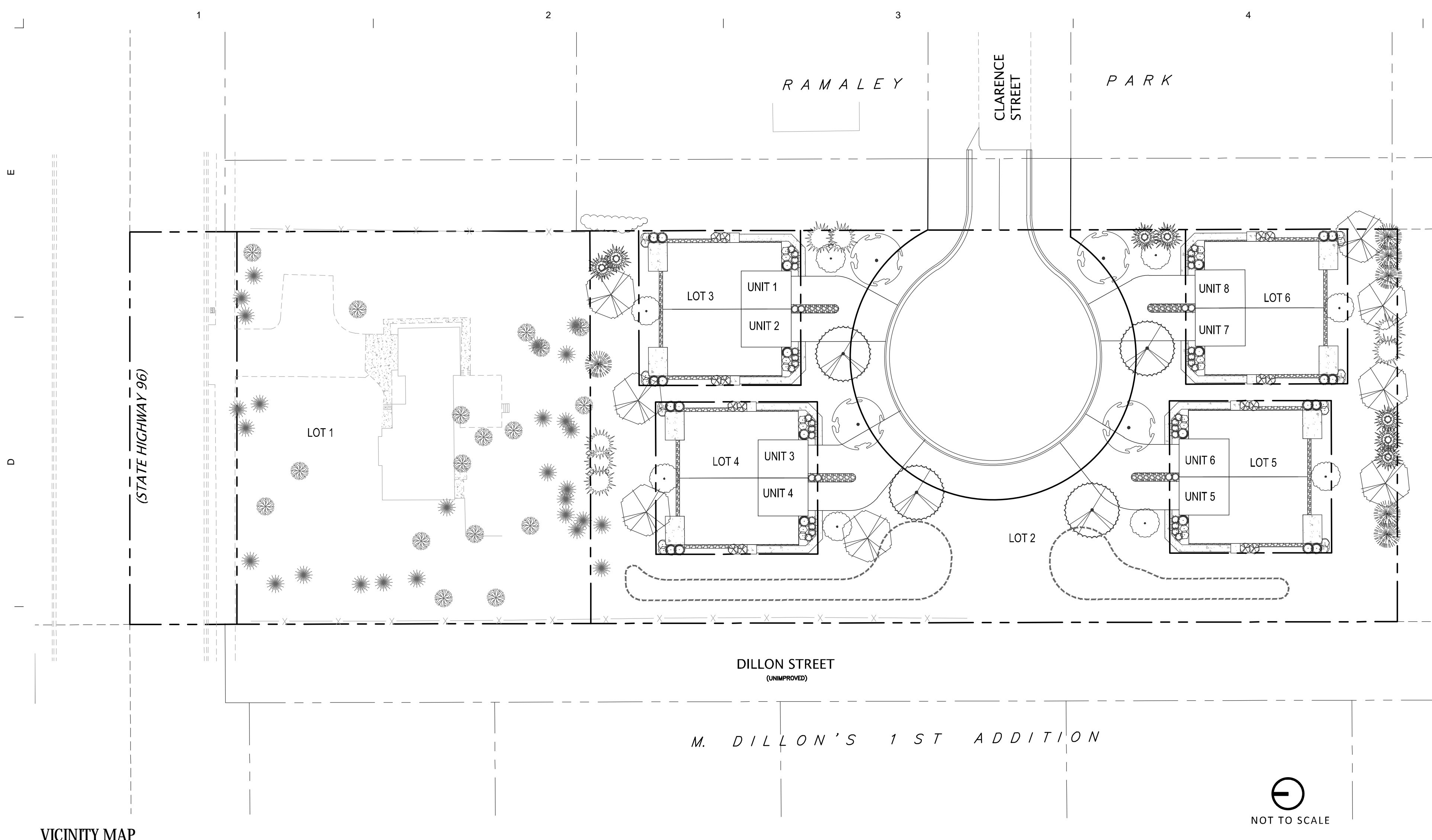
23. A final grading and drainage plan shall be submitted for that lot. Frost footings shall be constructed 42 inches below existing grade unless otherwise approved by the Building Official.
24. Watershed District approval shall be obtained prior to issuance of a grading permit for any of the proposed lots within the subdivision.
25. The Metropolitan Council's SAC (Sewer Availability Charge) and City SAC and WAC (Water Availability Charge) for the lot must be paid.
26. Park dedication shall be collected at the time of building permit for each lot.
27. Water and sewer hook-up fees shall be collected for each new lot within the subdivision at the time that the building permit is issued for that lot.

Prior to the release of the letter of credit:

28. Any relevant terms entered into by the development agreement shall be satisfied.
29. The applicant shall provide an as-built drawing meeting the current engineering requirements for such.
30. All replacement trees must be planted and have survived one full growing season.
31. The street trees, and any other required plantings, have been installed and have survived one full growing season.
32. The applicants shall provide the City with the required the two reproducible mylar copies of the final plat.
33. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners.

Attachments:

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Narrative Request, dated September 13, 2021
4. Elevation Email dated September 17, 2020
5. Site Plans and Graphics ()
6. Fifth Avenue Memo and Graphic
7. Fire Memo dated September 27, 2021
8. Engineering Memo dated October 7, 2021
9. Friend Email dated October 18, 2021
10. Samson Email dated October 18, 2021
11. GDO Law Letter dated October 20, 2021
12. Monigold Email dated October 21, 2021

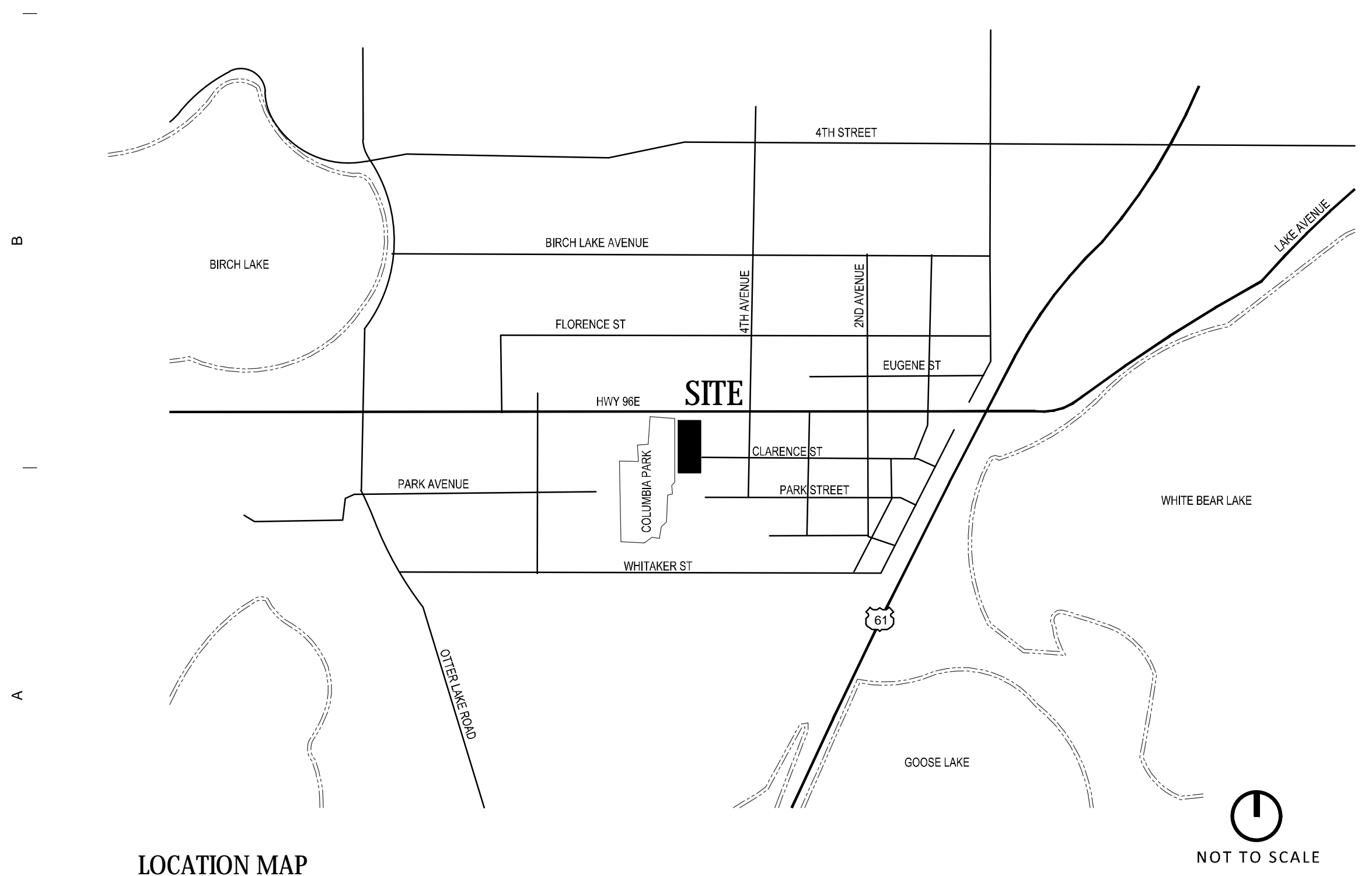


ROSE'S PARK VIEW ADDITION

WHITE BEAR LAKE - MINNESOTA

PRELIMINARY PLAT
SUBMITTAL
SEPTEMBER 13, 2021

VICINITY MAP



LOCATION MAP

PROJECT CONTACTS

OWNER	TICE ESTATE 6211 UPPER 51st. STREET N OAKDALE, MN 55128	JEFF MCDONELL T (612)-202-4767
DEVELOPER	TICE-HAUSE DESIGN BUILD 6211 UPPER 51st. STREET N OAKDALE, MN 55128	CRAIG TICE T (751)-733-0195
CIVIL ENGINEER	ELAN DESIGN LAB, INC. 901 N 3rd STREET SUITE 120 MINNEAPOLIS, MN 55401	STEVE JOHNSTON, PE T (612) 260-7982
LANDSCAPE ARCHITECT	ELAN DESIGN LAB, INC. 901 N 3rd STREET SUITE 120 MINNEAPOLIS, MN 55401	PILAR SARAITHONG, RLA T (612) 260-7980
LAND SURVEYOR	CORNERSTONE LAND SURVEYING, INC. 6750 STILLWATER BLVD. N. SUITE 1 STILLWATER, MN 55082	DAN THURMES, LS T (651) 275-8969
COMMUNITY DEVELOPMENT CITY PLANNER	CITY OF WHITE BEAR LAKE 4701 HIGHWAY 61 WHITE BEAR LAKE, MN 55110	SAMANTHA CROSBY T (651) 429-8534
PUBLIC WORKS CITY ENGINEER	CITY OF WHITE BEAR LAKE 4701 HIGHWAY 61 WHITE BEAR LAKE, MN 55110	PAUL KAUPPI T (651) 429-8563

SHEET INDEX

- C-000 COVER SHEET
- C-001 ALTA EXISTING CONDITIONS
- C-002 PRELIMINARY PLAT
- C-010 DEMOLITION PLAN
- C-101 SITE PLAN
- C-201 GRADING, EROSION & SEDIMENT CONTROL PLAN
- C-202 SWPPP
- C-301 UTILITY PLAN
- C-501 DETAILS
- C-502 DETAILS
- C-503 DETAILS
- L-010 TREE PRESERVATION PLAN
- L-101 LANDSCAPE PLAN
- L-501 LANDSCAPE DETAILS

OWNER

TICE ESTATE

6211 UPPER 51st. STREET N
OAKDALE, MN
651-439-3837

C/O JEFF MCDONELL
612-202-4767

DEVELOPER

**TICE-HAUSE
DESIGN BUILD**

6211 UPPER 51st. STREET N
OAKDALE, MN
751-733-0195
C/O CRAIG TICE

PROJECT

**ROSE'S PARK VIEW
ADDITION**
1788 EAST HIGHWAY 96
WHITE BEAR LAKE,
MN 55110

Elan
DESIGN LAB
CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE
310 4TH AVE SOUTH, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980 | www.elanlab.com
f 612.260.7990

SHEET

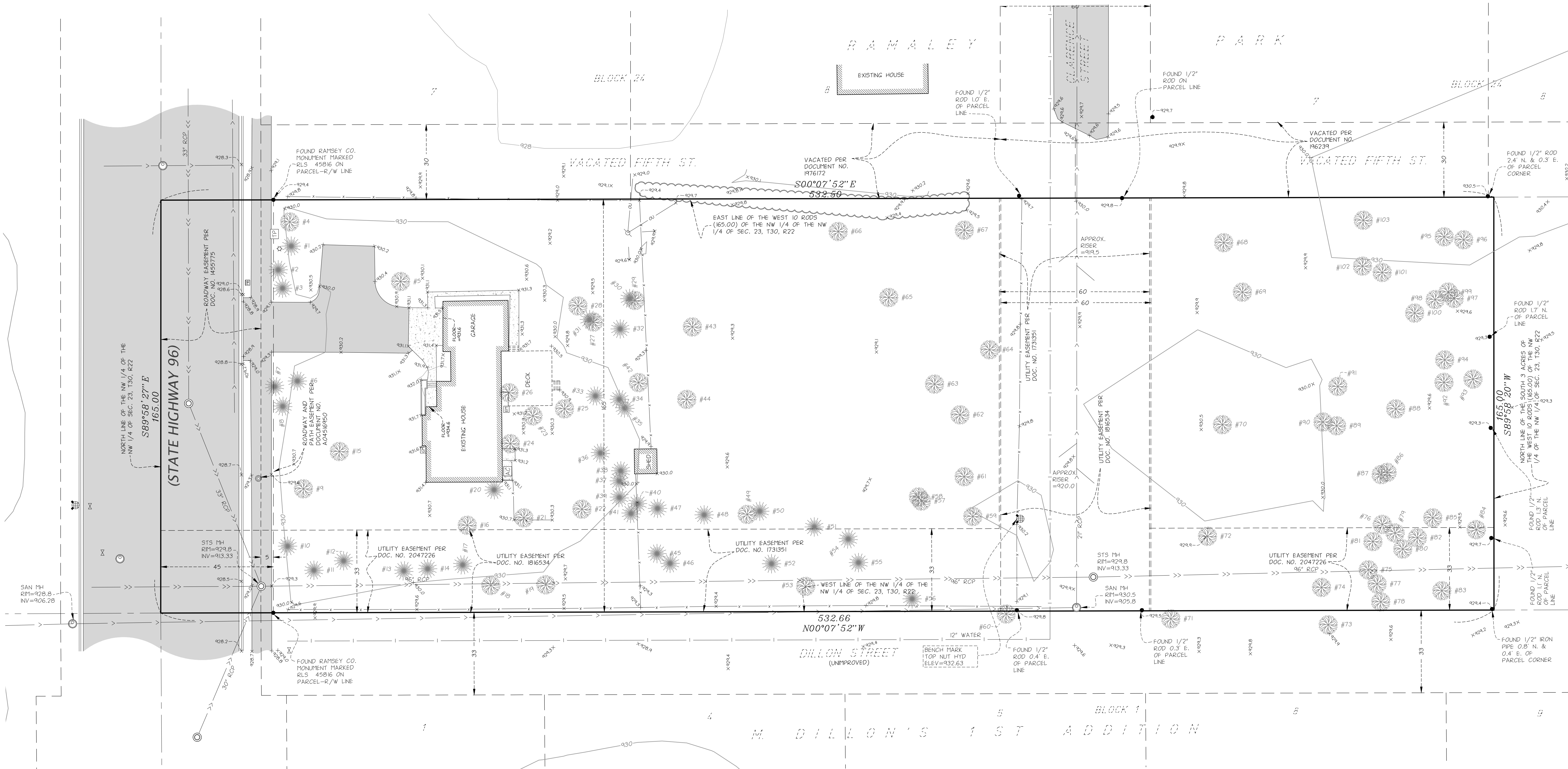
COVER SHEET

C-000

PROJECT NO.

CLS21022

ROSES PARK VIEW ADDITION PRELIMINARY PLAT



CONTACT:
 Jeff "Mac" McDonell
 Project Manager
 mac@JGHause.com
 mac@thdbuild.com
 612.202.4767
 651-358-3033

COUNTY/CITY:
RAMSEY COUNTY
CITY OF WHITE BEAR LAKE

REVISIONS:

DATE	REVISION
6-17-21	PRELIMINARY ISSUE
8-12-21	PRELIMINARY PLAT

CERTIFICATION:
 I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor in the State of Minnesota.
 Daniel J. Murray, Registration Number: 25718
 6-17-21

PROJECT LOCATION:
1788 HIGHWAY 96
 PID#23302220161

Suite #200
 1970 Northwestern Ave.
 Stillwater, MN 55082
 Phone 651.275.8969
 dan@cssurvey.net

CORNERSTONE LAND SURVEYING, INC.

FILE NAME: SURVJH37
 PROJECT NO.: JH21037

EXISTING CONDITONS

LEGAL DESCRIPTION:
 (AS SHOWN ON WARRANTY DEED DOC. NO. 4430371)

The west ten (10) rods of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section twenty-two (22), Township thirty (30), Range twenty-two (22), except the south 3 acres thereof, according to the United States Government survey thereof, subject to easement for drainage ditch and roads as now established upon said premises, including easement for improvement of Highway 96, the taking now pending.

TITLE NOTES:
 As shown on available Ramsey County Parcel mapping:

- Trail/Roadway Easement per Document No. A04516950.
- Other easements may exist that are not shown. We reserve the right to update this survey upon receiving a Title Commitment or Title Opinion form the owners of the parcel surveyed.

AREA:
 TOTAL AREA AS SHOWN = 87,876 SQ.FT.
 INCLUDING 7,425 SQ.FT. OF EXISTING ROADWAY EASEMENT.

SURVEY NOTES:

- BEARINGS ARE BASED ON THE RAMSEY COUNTY COORDINATE SYSTEM NAD 1983.
- UNDERGROUND UTILITIES SHOWN PER GOPHER ONE LOCATES AND AS-BUILTS PLANS PROVIDED BY THE CITY OF WHITE BEAR LAKE PUBLIC WORKS DEPARTMENT.
- THERE MAY BE SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.
- CONTOURS SHOWN PER LIDAR DATA OBTAINED FROM THE DNR MNTOP0 WEBSITE. NOT FIELD VERIFIED.

BENCHMARKS
 ELEVATIONS BASED ON GPS DERIVED VALUES FOR (NAVD 88)

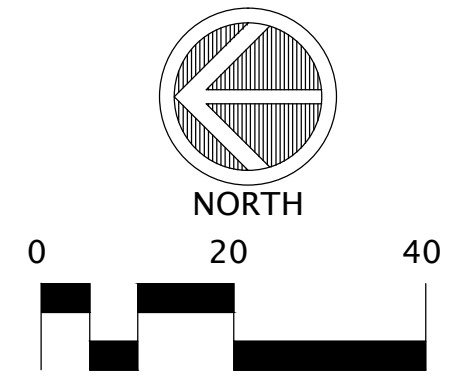
UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.

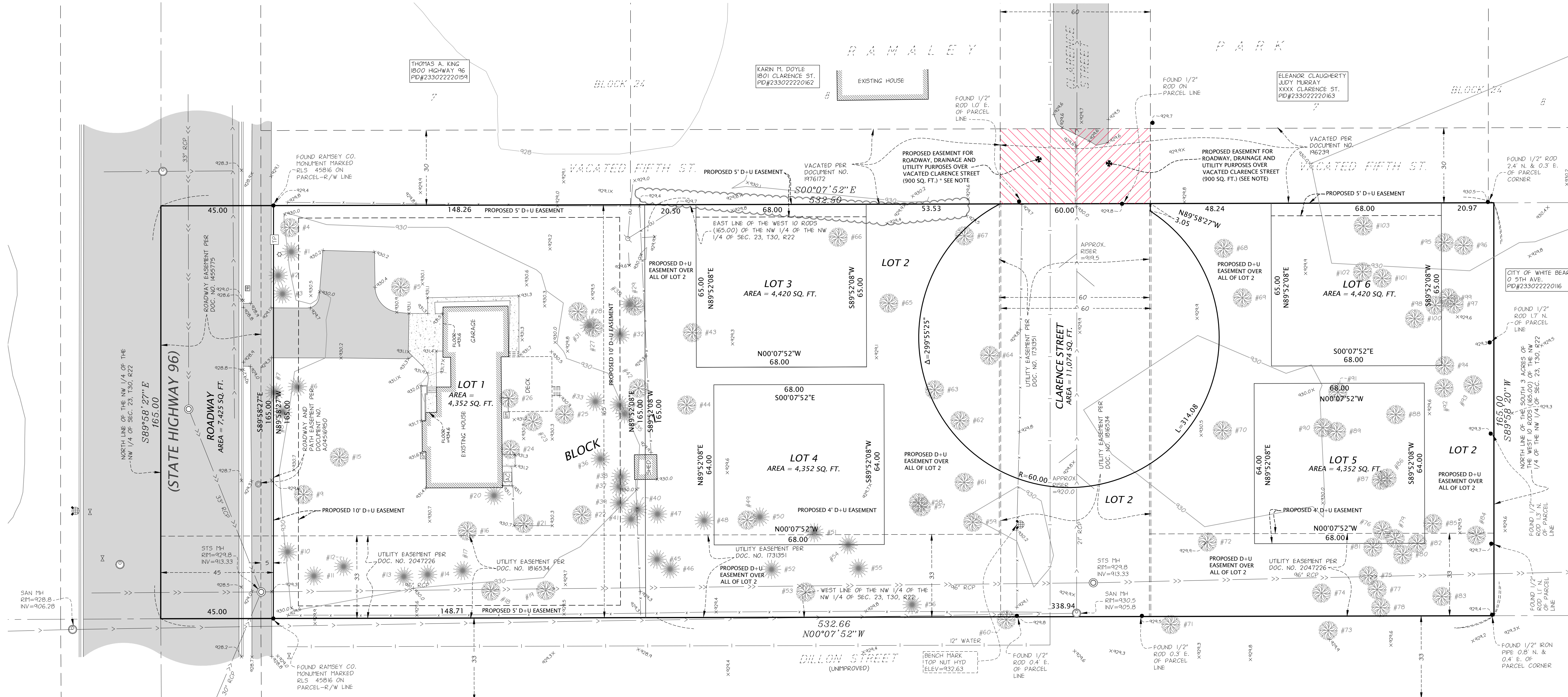


LEGEND:

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| ● FOUND MONUMENT | ○ SET 1/2" IRON PIPE MARKED RLS NO. 25718 | ⊕ CABLE TV PEDESTAL | ⊕ AIR CONDITIONER | ⊕ ELECTRIC MANHOLE | ⊕ ELECTRIC METER | ⊕ ELECTRIC PEDESTAL | ⊕ ELECTRIC TRANSFORMER | ⊕ LIGHT POLE | ⊕ GUY WIRE | ⊕ POWER POLE | ⊕ GAS MANHOLE | ⊕ GAS METER | ⊕ TELEPHONE MANHOLE | ⊕ TELEPHONE PEDESTAL | ⊕ SANITARY CLEANOUT | ⊕ SANITARY MANHOLE | ⊕ CATCH BASIN | ⊕ STORM DRAIN | ⊕ FLARED END SECTION | ⊕ STORM MANHOLE | ⊕ FIRE DEPT. CONNECTION | ⊕ HYDRANT | ⊕ CURB STOP | ⊕ WATER WELL | ⊕ WATER MANHOLE | ⊕ WATER METER | ⊕ POST INDICATOR VALVE | ⊕ WATER VALVE | ⊕ BOLLARD | ⊕ FLAG POLE | ⊕ MAIL BOX | ⊕ TRAFFIC SIGN | ⊕ UNKNOWN MANHOLE | ⊕ SOIL BORING | ⊕ TRAFFIC SIGNAL | ⊕ CONFIRMED TREE | ⊕ DECIDUOUS TREE | ⊕ UNDERGROUND ELECTRIC | ⊕ UNDERGROUND CABLE TV | ⊕ UNDERGROUND FIBER OPTIC | ⊕ UNDERGROUND TELEPHONE | ⊕ OVERHEAD UTILITY | ⊕ UNDERGROUND GAS | ⊕ SANITARY SEWER | ⊕ STORM SEWER | ⊕ WATERMAIN | ⊕ FENCE | ⊕ CURB (TYPICAL) | ⊕ CONCRETE SURFACE | ⊕ BITUMINOUS SURFACE |
|------------------|---|---------------------|-------------------|--------------------|------------------|---------------------|------------------------|--------------|------------|--------------|---------------|-------------|---------------------|----------------------|---------------------|--------------------|---------------|---------------|----------------------|-----------------|-------------------------|-----------|-------------|--------------|-----------------|---------------|------------------------|---------------|-----------|-------------|------------|----------------|-------------------|---------------|------------------|------------------|------------------|------------------------|------------------------|---------------------------|-------------------------|--------------------|-------------------|------------------|---------------|-------------|---------|------------------|--------------------|----------------------|

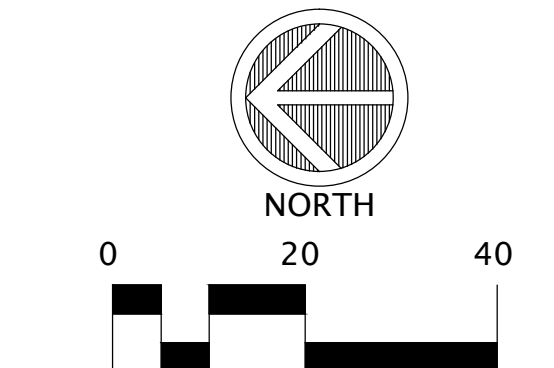


ROSES PARK VIEW ADDITION PRELIMINARY PLAT



CONTACT:
 Jeff "Mac" McDonell
 Project Manager
 mac@JGHause.com
 mac@thdbuild.com
 612.202.4767
 651-358-3033

COUNTY/CITY:
RAMSEY COUNTY
CITY OF WHITE BEAR LAKE



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 Dan Reher, Registration Number: 25718
 6-17-21

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1788 HIGHWAY 96
PID#23302220161

Suite #200
 1970 Northwestern Ave.
 Stillwater, MN 55082
 Phone 651.275.8969
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 INCLUDING 7,425 SQ.FT. OF EXISTING ROADWAY EASEMENT.

PROPOSED EASEMENTS

- AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES WILL BE NEEDED OVER THE PORTION OF THE VACATED FIFTH STREET ADJOINING CLARENCE STREET. THIS EASEMENT WILL HAVE TO BE ACQUIRED FROM THE OWNERS OF EACH PARCEL AND WILL BE NEEDED TO GAIN ACCESS TO THE SITE.

DEVELOPMENT DATA

TOTAL PARCEL AREA = 87,876 SQ. FT.
 LOT 1, BLOCK 1 = 24,500 SQ. FT.
 LOT 2, BLOCK 1 = 27,332 SQ. FT.
 LOT 3, BLOCK 1 = 4,420 SQ. FT.
 LOT 4, BLOCK 1 = 4,352 SQ. FT.
 LOT 5, BLOCK 1 = 4,352 SQ. FT.
 LOT 6, BLOCK 1 = 4,420 SQ. FT.
 HIGHWAY 96 = 7,425 SQ. FT.
 CLARENCE ST. = 11,075 SQ. FT.

BENCHMARKS
 ELEVATIONS BASED ON GPS DERIVED VALUES FOR (NAVD 88)

SURVEY NOTES:

- BEARINGS ARE BASED ON THE RAMSEY COUNTY COORDINATE SYSTEM NAD 1983.
- UNDERGROUND UTILITIES SHOWN PER GOPHER ONE LOCATES AND AS-BUILTS PLANS PROVIDED BY THE CITY OF WHITE BEAR LAKE PUBLIC WORKS DEPARTMENT.
- THERE MAY BE SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.
- DATE OF FIELD SURVEY: 6-30-21

UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.

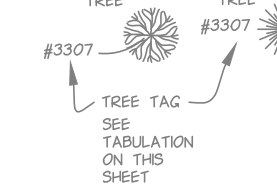


LEGEND:

● FOUND MONUMENT	▬ FIRE DEPT. CONNECTION	— — — — — UNDERGROUND ELECTRIC
○ SET 1/2" IRON PIPE MARKED RLS NO. 25718	▬ HYDRANT	— — — — — UNDERGROUND CABLE TV
▬ CABLE TV PEDESTAL	▬ CURB STOP	— — — — — UNDERGROUND FIBER OPTIC
▬ AIR CONDITIONER	▬ WATER WELL	— — — — — UNDERGROUND TELEPHONE
▬ ELECTRIC MANHOLE	▬ WATER METER	— — — — — OVERHEAD UTILITY
▬ ELECTRIC METER	▬ WATER MANHOLE	— — — — — UNDERGROUND GAS
▬ ELECTRIC PEDESTAL	▬ POST INDICATOR VALVE	— — — — — SANITARY SEWER
▬ ELECTRIC TRANSFORMER	▬ WATER VALVE	— — — — — WATERMAIN
▬ LIGHT POLE	▬ BOLLARD	— — — — — FENCE
▬ CLIP WIRE	▬ FLAG POLE	▬ CURB (TYPICAL)
▬ POWER POLE	▬ MAIL BOX	▬ BITUMINOUS SURFACE
▬ GAS MANHOLE	▬ TRAFFIC SIGN	
▬ GAS METER	▬ UNKNOWN MANHOLE	
▬ TELEPHONE MANHOLE	▬ SOIL BORING	
▬ TELEPHONE PEDESTAL	▬ TRAFFIC SIGNAL	
▬ SANITARY CLEANOUT	▬ CONFERIOUS TREE	
▬ SANITARY MANHOLE	▬ DECIDUOUS TREE	
▬ CATCH BASIN		
▬ STORM DRAIN		
▬ FLARED END SECTION		
▬ STORM MANHOLE		

TREES:
 DENOTES TREES AS IDENTIFIED AND LOCATED BY:

Mark Rehder
 President & CEO
 Rehder Forestry Consulting
 www.rehderforestryconsulting.com
 612-760-3519



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B

A

OWNER

TICE ESTATE

6211 UPPER 51st. STREET N
OAKDALE, MN
651-439-3837

C/O JEFF MCDONELL
612-202-4767

DEVELOPER

TICE-HAUSE DESIGN BUILD

6211 UPPER 51st. STREET N
OAKDALE, MN
751-733-0195
C/O CRAIG TICE

PROJECT

ROSE'S PARK VIEW ADDITION

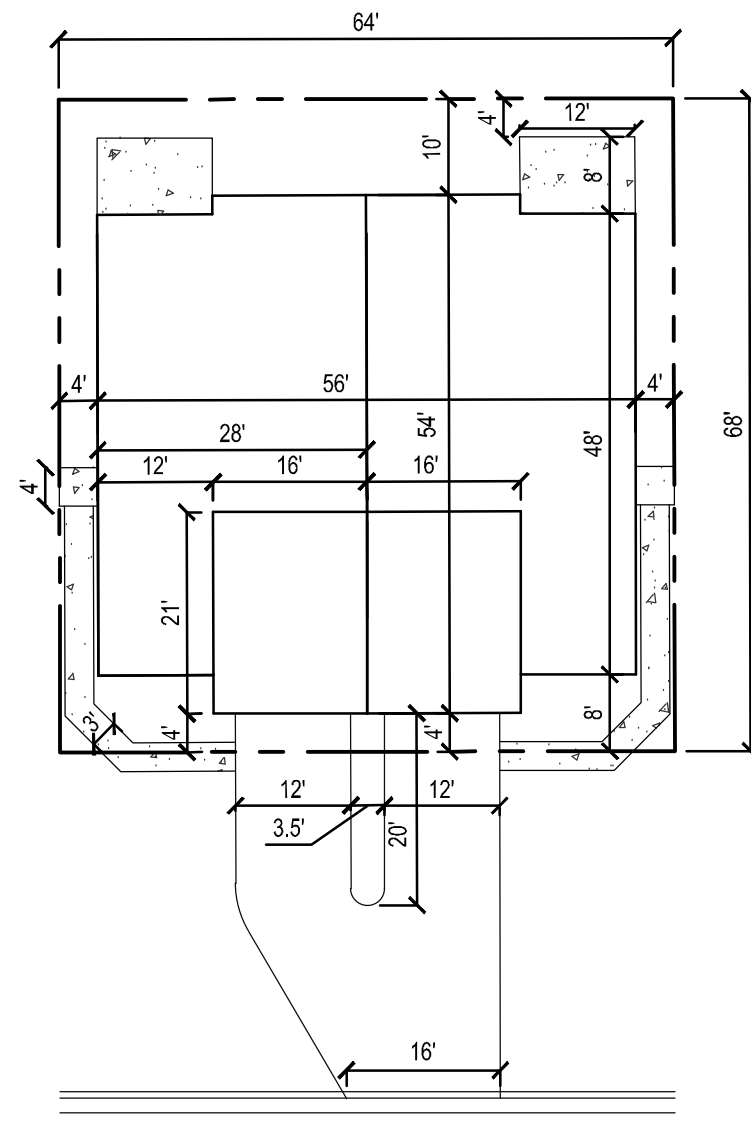
1788 EAST HIGHWAY 96
WHITE BEAR LAKE,
MN 55110

SUBMITTAL

PRELIMINARY PLAT SUBMITTAL 09/13/21

ISSUE	DATE

D2 TYPICAL UNITS
1" = 20'



LEGEND

- PERVIOUS AREA
- CONCRETE SIDEWALK OR PAVEMENT
- 2' CURB TAPER FROM 6" TO 1"

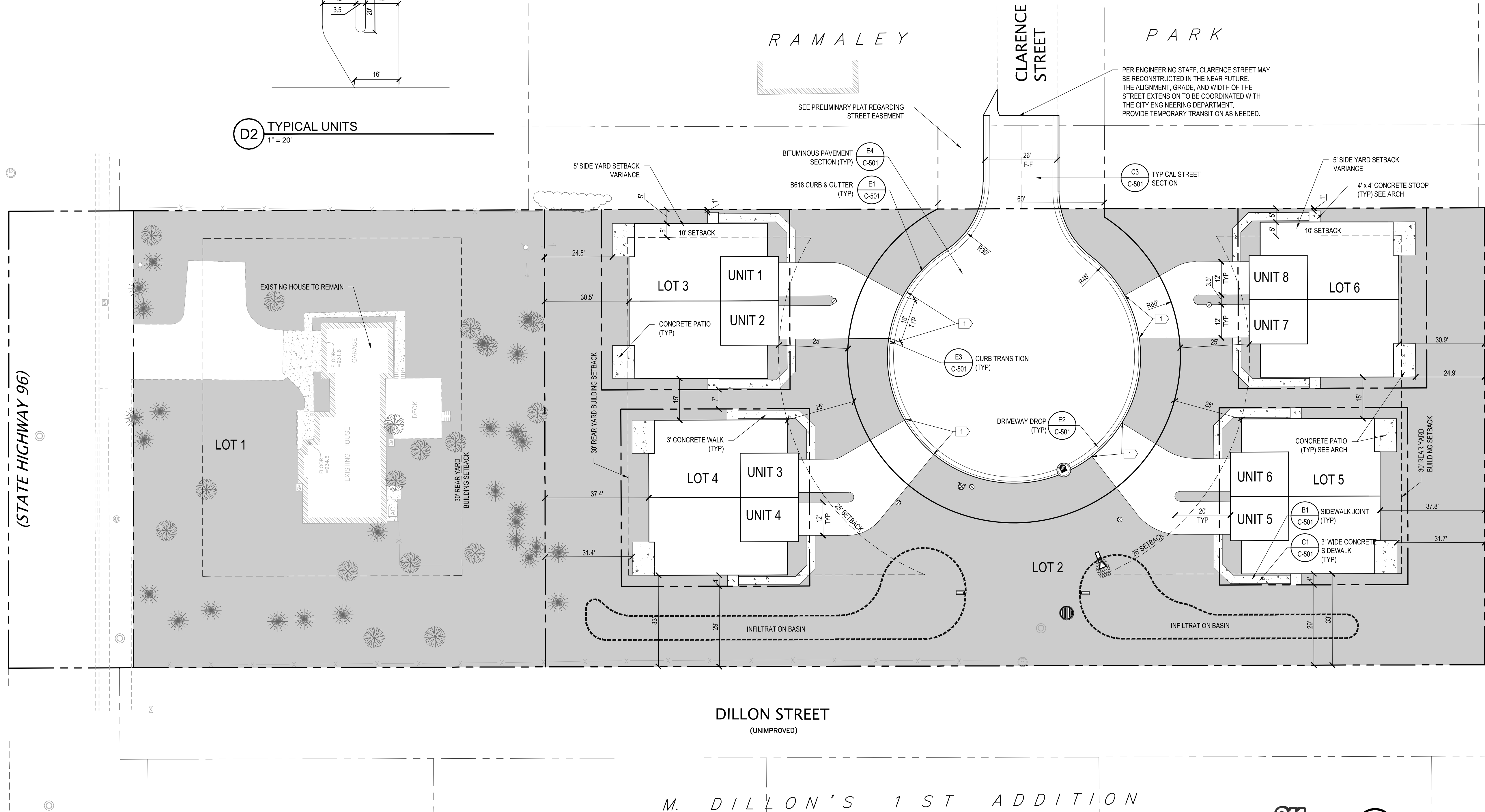
PROJECT SUMMARY

ZONED: R-4 SINGLE FAMILY, TWO-FAMILY RESIDENTIAL

	EXISTING	PROPOSED
AREA BUILDINGS	1,965 SF. (2%)	13,485 SF. (17%)
WALK/PARKING/DRIVE/STREET	2,667 SF. (4%)	15,724 SF. (19%)
TOTAL IMPERVIOUS	4,632 SF. (6%)	29,209 SF. (36%)
PERVIOUS	75,819 SF. (94%)	51,242 SF. (64%)
TOTAL 9 UNITS		DENSITY 4.9 UNITS/AC.

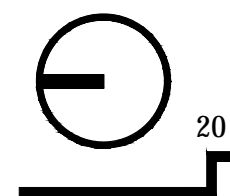
	REQUIRED	PROPOSED
SETBACK FRONT	25' MIN.	25'
SIDE SETBACK	10' MIN.	5' VARIANCE
REAR YARDS	30' MIN.	30.5'
BUILDING SEPARATION	15'	15'

	EXISTING	PROPOSED
SITE AREA	87,876 SF. (2.02 AC)	
HWY 96 RIGHT-OF-WAY	7,425 SF. (0.17 AC)	
PROJECT NET AREA	80,451 SF. (1.85 AC)	
CLEARANCE ST RIGHT-OF-WAY		11,075 SF.
LOT 1		24,500 SF.
LOT 2		27,332 SF.
LOT 3		4,420 SF.
LOT 4		4,352 SF.
LOT 5		4,352 SF.
LOT 6		4,420 SF.



A1 SITE PLAN
1" = 20'

M. DILLON'S 1ST ADDITION



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f 612.260.7990

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Stephen M. Johnston DATE: 09/13/2021
REGISTRATION NO. 18914

SHEET

SITE PLAN

C-101

PROJECT NO.
CLS21022

OWNER

TICE ESTATE

6211 UPPER 51st. STREET N
OAKDALE, MN
651-439-3837

C/O JEFF MCDONELL
612-202-4767

DEVELOPER

TICE-HAUSE DESIGN BUILD

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C/O CRAIG TICE

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ROSE'S PARK VIEW ADDITION

1788 EAST HIGHWAY 96
WHITE BEAR LAKE,
MN 55110

SUBMITTAL

PRELIMINARY PLAT SUBMITTAL 09/13/21

ISSUE	DATE



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Stephen M. Johnston DATE
REGISTRATION NO. 18914 09/13/2021

SHEET

DEMOLITION PLAN

C-010

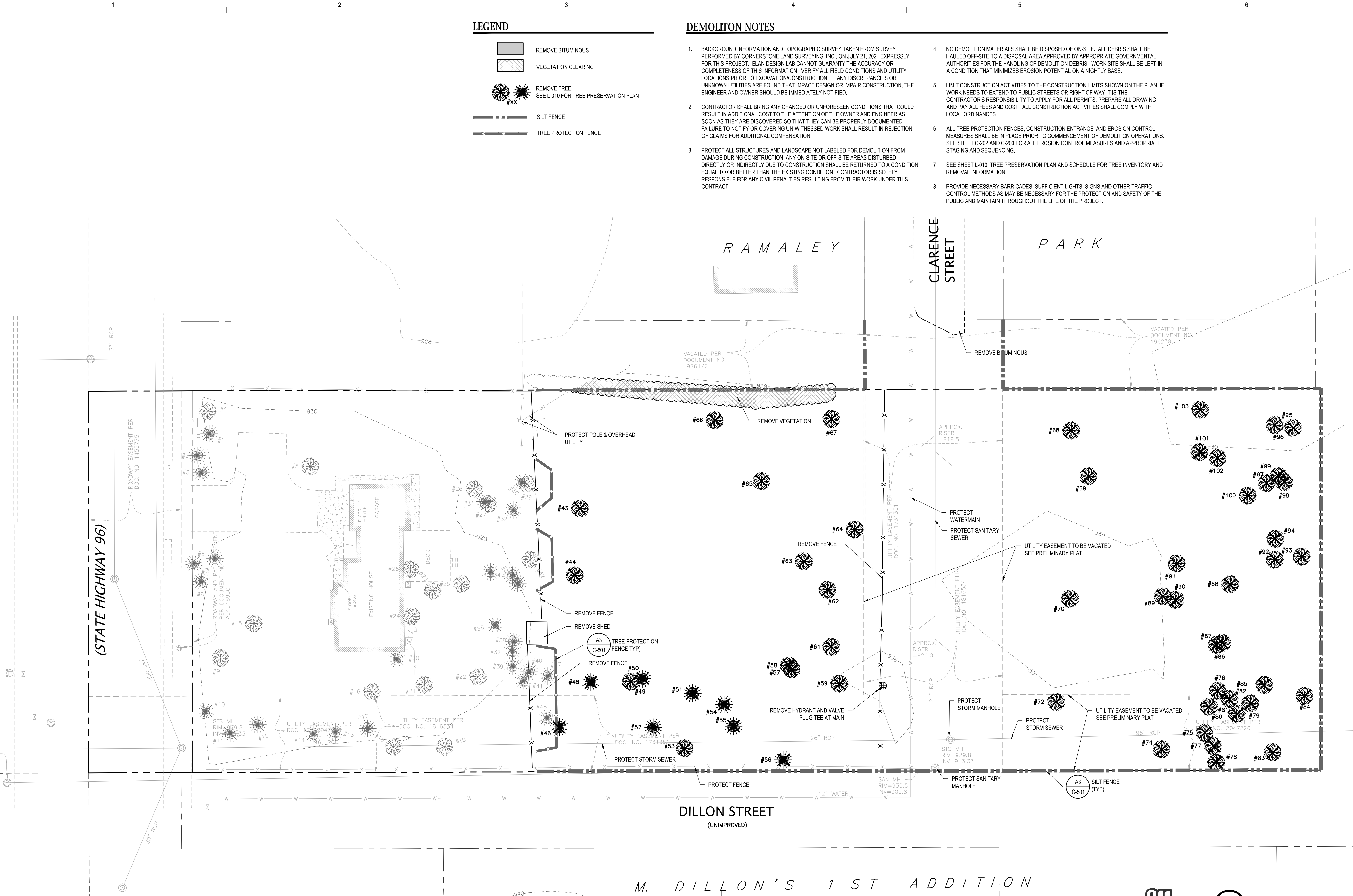
PROJECT NO.
CLS21022

LEGEND

- REMOVE BITUMINOUS
- VEGETATION CLEARING
- REMOVE TREE
SEE L-010 FOR TREE PRESERVATION PLAN
- SILT FENCE
- TREE PROTECTION FENCE

DEMOLITON NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY TAKEN FROM SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., ON JULY 21, 2021 EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTY THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- CONTRACTOR SHALL BRING ANY CHANGED OR UNFORESEEN CONDITIONS THAT COULD RESULT IN ADDITIONAL COST TO THE ATTENTION OF THE OWNER AND ENGINEER AS SOON AS THEY ARE DISCOVERED SO THAT THEY CAN BE PROPERLY DOCUMENTED. FAILURE TO NOTIFY OR COVERING UN-WITNESSED WORK SHALL RESULT IN REJECTION OF CLAIMS FOR ADDITIONAL COMPENSATION.
- PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
- NO DEMOLITION MATERIALS SHALL BE DISPOSED OF ON-SITE. ALL DEBRIS SHALL BE HAULED OFF-SITE TO A DISPOSAL AREA APPROVED BY APPROPRIATE GOVERNMENTAL AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS. WORK SITE SHALL BE LEFT IN A CONDITION THAT MINIMIZES EROSION POTENTIAL ON A NIGHTLY BASE.
- LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN. IF WORK NEEDS TO EXTEND TO PUBLIC STREETS OR RIGHT OF WAY IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR ALL PERMITS, PREPARE ALL DRAWING AND PAY ALL FEES AND COST. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
- ALL TREE PROTECTION FENCES, CONSTRUCTION ENTRANCE, AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS. SEE SHEET C-202 AND C-203 FOR ALL EROSION CONTROL MEASURES AND APPROPRIATE STAGING AND SEQUENCING.
- SEE SHEET L-010 TREE PRESERVATION PLAN AND SCHEDULE FOR TREE INVENTORY AND REMOVAL INFORMATION.
- PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT THE LIFE OF THE PROJECT.



A1 DEMOLITION PLAN
1" = 20'

811 Know what's below.
Call before you dig.

20 60
SCALE IN FEET

GRADING NOTES

- VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
- FOLLOW ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY XXXX DATED XX, 2021.
- ALL UNDOCUMENTED FILL, AND TOPSOIL SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING PADS. A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE SHALL OBSERVE THE PROJECT EXCAVATIONS TO VERIFY THAT UNSUITABLE MATERIALS HAVE BEEN PROPERLY REMOVED FROM PROPOSED STRUCTURAL AREAS, THAT ADEQUATE BEARING SUPPORT IS PROVIDED BY THE EXPOSED SOILS AND THAT STRUCTURAL FILL IS PLACED APPROPRIATELY. THE EXPOSED SOIL AT THE BASE OF FOOTINGS SHALL BE COMPACTED TO 98 PERCENT PROCTOR DRY DENSITY (ASTM D698).
- ON-SITE NON-ORGANIC SOIL IS GENERALLY SUITABLE FOR STRUCTURAL FILL. SILTY OR ORGANIC SOILS SHALL NOT BE USED FOR STRUCTURAL FILL. PLACEMENT OF STRUCTURAL FILL SHALL BE OBSERVED AND TESTED BY AN EXPERIENCED TECHNICIAN OR ENGINEER TO VERIFY THAT PROPER COMPACTION HAS BEEN ACHIEVED. STRUCTURAL FILL SHALL BE MOISTURE CONDITIONED (DRIED OR WETTED) AS APPROPRIATE PRIOR TO PLACEMENT. MOISTURE CONDITIONED ENGINEERED FILL SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS OF 8 INCHES OR LESS. EACH LIFT OF FILL SHOULD BE COMPACTED BY LARGE VIBRATORY EQUIPMENT UNTIL THE IN-PLACE SOIL DENSITY IS EQUAL TO OR GREATER THAN THE CRITERIA ESTABLISHED WITHIN THE FOLLOWING TABULATION.

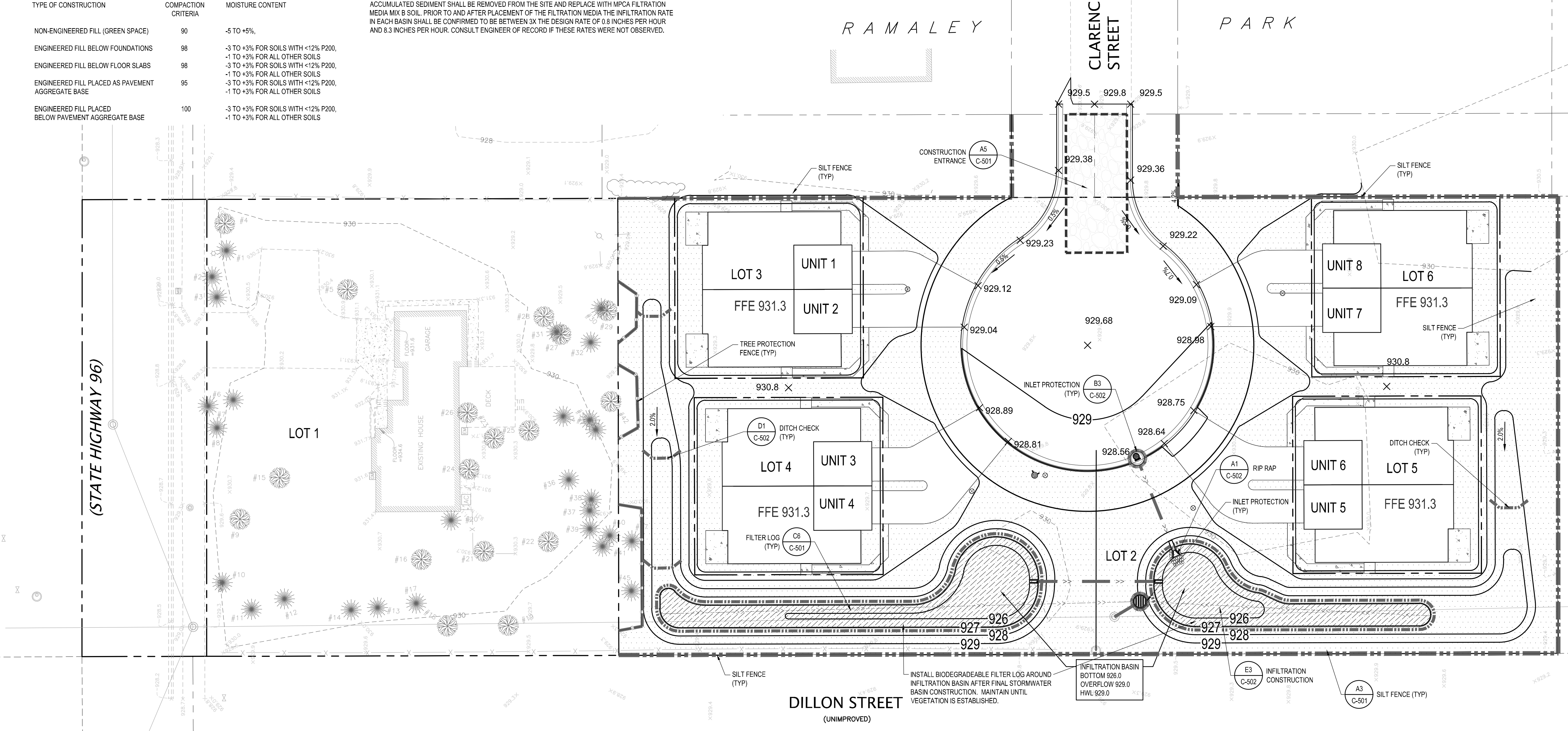
TYPE OF CONSTRUCTION	COMPACTION CRITERIA	MOISTURE CONTENT
NON-ENGINEERED FILL (GREEN SPACE)	90	-5 TO +5%
ENGINEERED FILL BELOW FOUNDATIONS	98	-3 TO +3% FOR SOILS WITH <12% P200, -1 TO +3% FOR ALL OTHER SOILS
ENGINEERED FILL BELOW FLOOR SLABS	98	-3 TO +3% FOR SOILS WITH <12% P200, -1 TO +3% FOR ALL OTHER SOILS
ENGINEERED FILL PLACED AS PAVEMENT AGGREGATE BASE	95	-3 TO +3% FOR SOILS WITH <12% P200, -1 TO +3% FOR ALL OTHER SOILS
ENGINEERED FILL PLACED BELOW PAVEMENT AGGREGATE BASE	100	-3 TO +3% FOR SOILS WITH <12% P200, -1 TO +3% FOR ALL OTHER SOILS

EROSION CONTROL NOTES

- THE DIMENSIONS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO OBTAIN DIGITAL FILE FROM ENGINEER TO BE USED FOR ALL CONSTRUCTION STAKING AND SITE LAYOUT.
- ALL DISTURBED AREAS WITH FLATTER THAN 4:1 SLOPE THAT ARE NOT STABILIZED BY SOME OTHER METHOD SHALL BE STABILIZED WITH PROMATRIX ENGINEERED FIBER MATRIX AND SEEDED AS SPECIFIED.
- REMOVE SILT FENCE AND CHECK DAMS AFTER VEGETATION IS ESTABLISHED. BIO-DEGRADABLE FILTER LOG DOES NOT NEED TO BE REMOVED.
- PROVIDE TEMPORARY SEEDING OR FINAL LANDSCAPING WITHIN 72 HOURS OF COMPLETION OF GRADING OR 7 DAYS OF INACTIVITY.
- REFER TO SHEET C-202 FOR ADDITIONAL SWPPP REQUIREMENTS.
- REFER TO THE LANDSCAPE PLAN FOR FINAL REVEGETATION REQUIREMENTS.
- FOLLOW SEED SPECIFICATIONS, SITE PREPARATION, SEEDING METHODS, SEEDING ESTABLISHING AND MAINTENANCE AS PER THE MNDOT SEEDING MANUAL 2014 AND MNDOT SPECIFICATION 2575.3 AND 3876, UNLESS NOTED OTHERWISE.
- EROSION CONTROL MEASURES SHOWN SHOULD BE CONSIDERED THE MINIMUM. THE CONTRACTOR MAY NEED TO ADD ADDITIONAL EROSION CONTROL BMPs OR REPLACE EROSION CONTROL MEASURES DURING CONSTRUCTION TO PROTECT THE SITE AND MAINTAIN COMPLIANCE WITH THE SWPPP.
- CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. DO NOT ENTER UPON PRIVATE PROPERTY. LIMIT DISTURBANCE WITHIN PUBLIC RIGHTS OF WAY TO THE ABSOLUTE MINIMUM REQUIRED TO COMPLETE THE WORK AS SHOWN ON THESE PLANS.

LEGEND

- CONCRETE PAVEMENT
- SOD & LANDSCAPING
TEMPORARY STABILIZATION FOLLOWING SITE GRADING
MNDOT MIXTURE 22-111 TWO-YEAR STABILIZATION
BROADCAST SEEDING
SEEDING RATE PLS 30.5 LBS/AC.
- MNDOT MIXTURE 33-261 STORMWATER SOUTH
BROADCAST SEEDING
TEMPORARY - MIXTURE 21-111 OATS COVER CROP
SEEDING RATE PLS 35 LBS/AC.
- SILT FENCE
- TREE PROTECTION FENCE
- FILTER LOGS AFTER CONSTRUCTION AND STABILIZATION
- DITCH CHECK



A1 GRADING, EROSION & SEDIMENT CONTROL PLAN
1" = 20'

OWNER
TICE ESTATE
6211 UPPER 51st. STREET N
OAKDALE, MN
651-439-3837
C/O JEFF MCDONELL
612-202-4767

DEVELOPER
TICE-HAUSE DESIGN BUILD
6211 UPPER 51st. STREET N
OAKDALE, MN
751-733-0195
C/O CRAIG TICE

PROJECT
ROSE'S PARK VIEW ADDITION
1788 EAST HIGHWAY 96
WHITE BEAR LAKE, MN 55110

SUBMITTAL
PRELIMINARY PLAT SUBMITTAL
09/13/21

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Stephen M. Johnston DATE
REGISTRATION NO. 18914 09/13/2021

SHEET
GRADING, EROSION & SEDIMENT CONTROL PLAN

C-201
PROJECT NO.
CLS21022

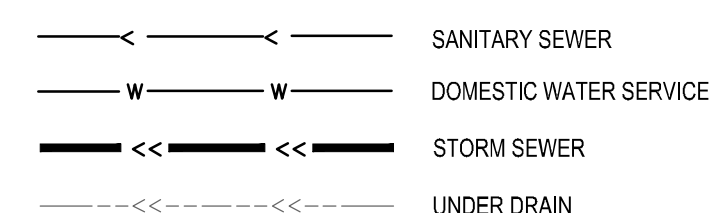
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UTILITY NOTES

1. VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
2. ALL CONNECTIONS TO PUBLIC UTILITIES TO BE IN ACCORDANCE WITH THE CITY OF WHITE BEAR LAKE DESIGN STANDARDS, LATEST EDITION.
3. CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
4. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
5. PIPE MATERIALS:
 STORM SEWER: RCP OR DUAL WALL HDPE
 DRAIN TILE: PVC (SDR 26)
 WATER: COPPER (TYPE K)
 SANITARY: PVC (SDR 26)
6. ALL UTILITY CONSTRUCTION TO CONFORM WITH STATE, CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM), MINNESOTA PLUMBING CODE AND CITY OF STILLWATER STANDARD SPECIFICATIONS.
7. ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
8. WATER LINES SHALL HAVE A MINIMUM 7.5' TO A MAXIMUM 10' OF COVER.

LEGEND



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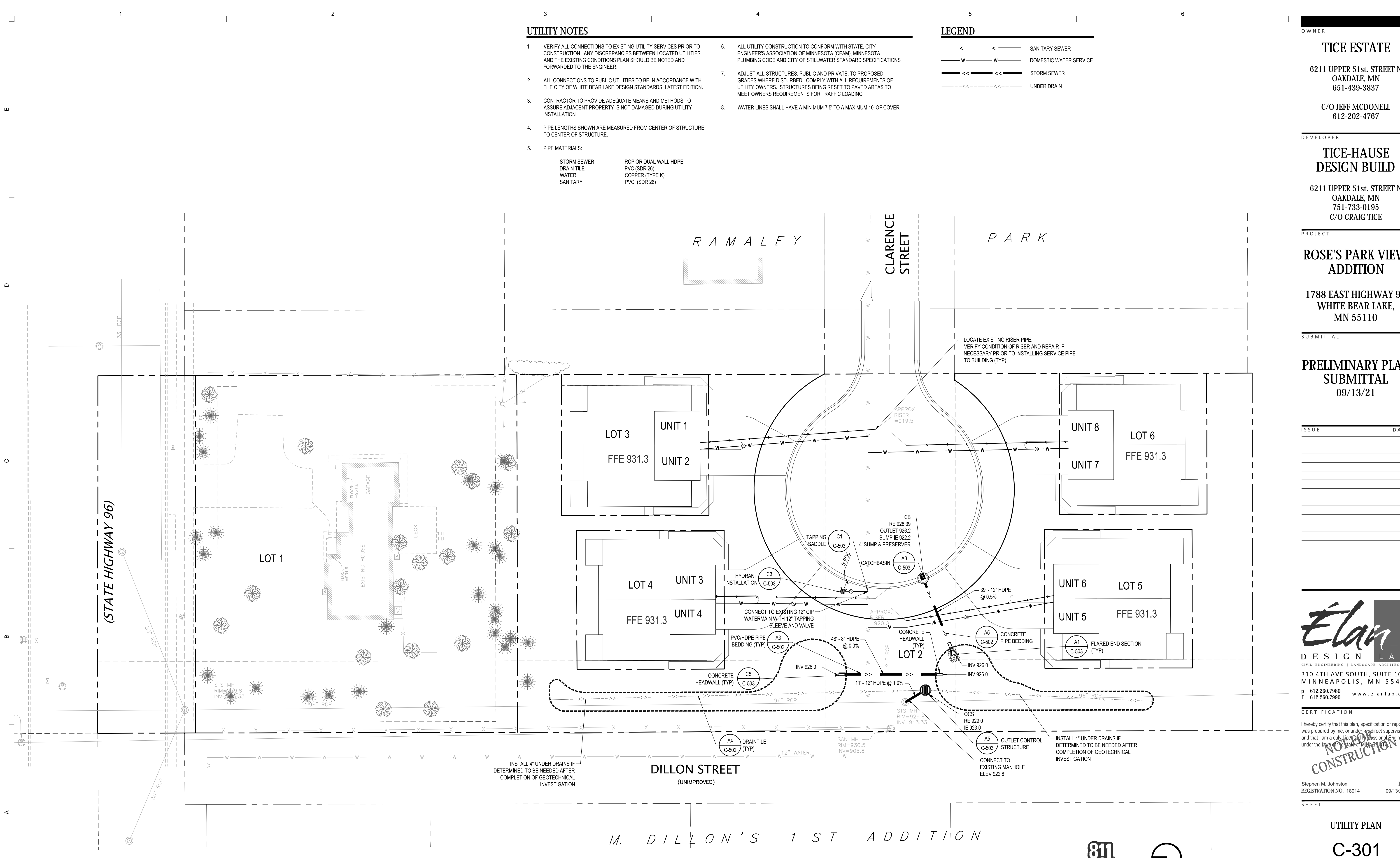
Stephen M. Johnston DATE
 REGISTRATION NO. 18914 09/13/2021

SHEET

UTILITY PLAN

C-301

PROJECT NO.
 CLS21022



PLANT SCHEDULE

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
TREES						
[Key Symbol]	4	MATADOR MAPLE	ACER X FREEMANI 'BAILSTON'	2.5" CAL.	B&B	45H X 25W
[Key Symbol]	4	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	2.5" CAL.	B&B	50H X 35W
[Key Symbol]	8	AUTUMN RADIANCE RED MAPLE	ACER RUBRUM 'AUTUMN RADIANCE'	2.5" CAL.	B&B	40H X 30W
[Key Symbol]	8	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	1.5" CAL.	B&B	25H X 15W
[Key Symbol]	6	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	50H X 25W
[Key Symbol]	7	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6' HT.	B&B	40H X 20W
[Key Symbol]	7	EASTERN WHITE PINE	PINUS STROBUS	6' HT.	B&B	60H X 25W

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
SHRUBS						
[Key Symbol]	16	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	24" HT.	POT	3H X 3W
[Key Symbol]	40	GOLDMOUND SPIREA	SPIRAEA JAPONICA GOLDMOUND	24" HT.	POT	3H X 3W
[Key Symbol]	32	SEM ASH LEAF SPIREA	SORBARIA SORBIFOLIA 'SEM'	24" HT.	POT	3H X 3W
[Key Symbol]	24	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	4' HT.	POT	12H X 6W
PERENNIALS						
[Key Symbol]	32	RUBY STELLA DAYLILY	HEMEROCALLIS 'RUBY STELLA'	1 GAL.	POT	1.5H X 1.5W

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION.

LEGEND

10,330 SF. SOD ROCK MULCH

 3,253 SF. INFILTRATION SEEDING

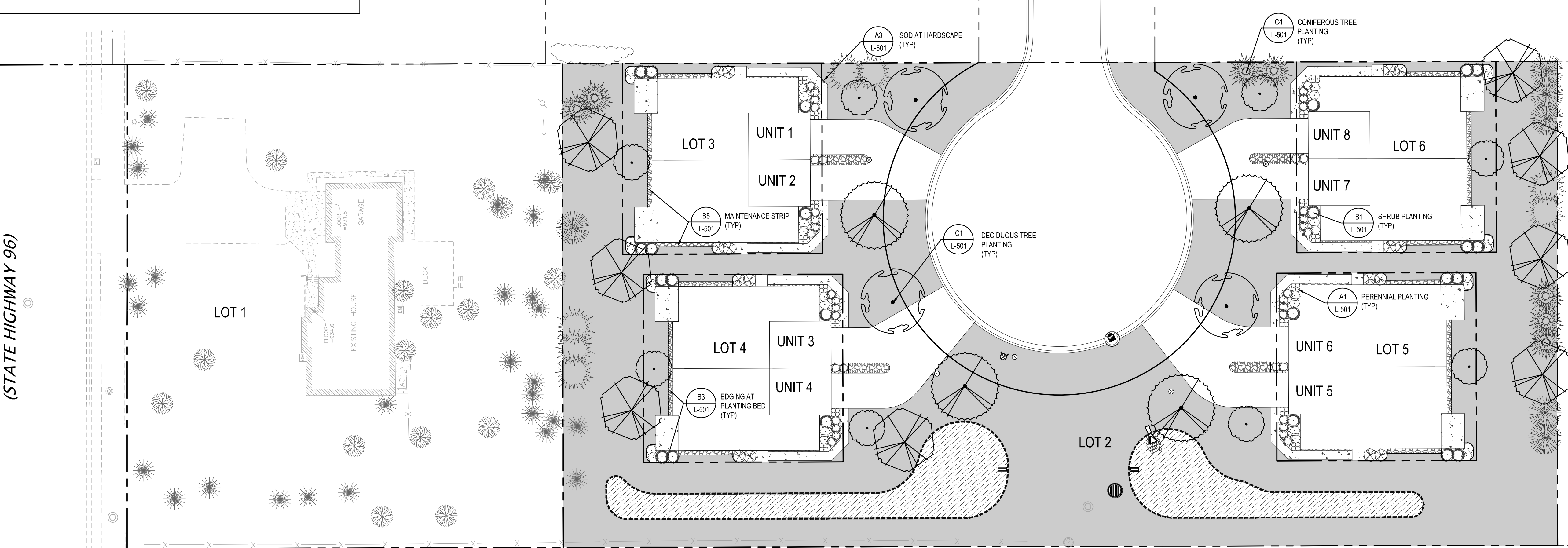
SEE SHEET C-201 FOR SEEDING NOTES

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLAN SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- TOPSOIL TO BE MNDOT 3877.2B LOAM TOPSOIL BORROW FOR LANDSCAPED AREAS AND PLANTING BEDS. PROVIDE ROOTING TOPSOIL BORROW MNDOT 3877.2E FOR PLANT RESTORATION, WATER QUALITY, AND FILTRATION PLANTING.
- PLANTING SOIL TO BE CONSISTED OF 50% SELECT TOPSOIL BORROW (MNDOT 3877) AND 50% GRADE 2 COMPOST (MNDOT 3880). PLANTING SOIL TO HAVE A PH BETWEEN 6.5-7.5, BE FREE OF CHEMICAL CONTAMINANTS, DEBRIS, LARGE ROCKS GREATER THAN 1/2" DIAMETER, AND FRAGMENTS OF WOOD. SUBSOIL SHALL BE SCARIFIED TO A DEPTH OF 4" BEFORE PLANTING SOIL IS SPREAD.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PLANTING BEDS PRIOR TO PLANTING. THOROUGHLY WATER TWICE TO FACILITATE CONSOLIDATION PRIOR TO PLANTING. DO NOT OVERLY COMPACT SOIL.
- MULCH TO BE SHREDDED HARDWOOD BARK MULCH (MNDOT 3882 TYPE 6), CONSISTED OF RAW WOOD MATERIAL FROM TIMBER AND BE A PRODUCT OF A MECHANICAL CHIPPER, HAMMER MILL, OR TUB GRINDER. THE MATERIAL SHALL BE SUBSTANTIALLY FREE OF MOLD, DIRT, SAWDUST, AND FOREIGN MATERIAL AND SHALL NOT BE IN AN ADVANCED STATE OF DECOMPOSITION. THE MATERIAL SHALL NOT CONTAIN CHIPPED UP MANUFACTURED BOARDS OR CHEMICALLY TREATED WOOD, INCLUDING, BUT NOT LIMITED TO, WATER BOARD, PARTICLE BOARD, AND CHROMATED COPPER ARSENATE (CCA) OR PENTA TREATED WOOD. THE MATERIAL SHALL BE TWICE-GROUND/SHREDDED SUCH THAT NO INDIVIDUAL PIECE SHALL EXCEED 2 INCHES IN ANY DIMENSION.
- APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES.
- EDGE ALL SHRUB BEDS WITH 3/16" X 4" MILL FINISHED ALUMINUM EDGING WITH STAKES. ALL EDGING TO BE COMMERCIAL GRADE.
- APPLY FOUR (4) INCH DEPTH OF 1-1/2" DARK GRAY TRAP ROCK MULCH OVER WEED BARRIER FABRIC IN AREAS INDICATED ON PLAN.
- APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB AREAS AND APPLY THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN PERENNIAL AREAS. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS.
- APPLY PRE-EMERGENT TO MULCH IN PLANTING AREAS TO PROHIBIT WEED GROWTH. APPLICATION RATE TO BE PER MANUFACTURER'S RECOMMENDATIONS. IF WEEDS APPEAR IN TREATED AREAS DURING THE FIRST YEAR, LANDSCAPE CONTRACTOR TO REMOVE ALL WEEDS AT NO ADDITIONAL COST.
- THE ENTIRE LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO LANDSCAPE ARCHITECT FOR REVIEW 5 DAYS PRIOR TO PURCHASING AND INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY AND STATE PLUMBING CODES AND REQUIREMENTS.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT WARRANTY PERIOD. THE WARRANTY PERIOD IS ONE FULL YEAR FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE. WARRANTY PERIOD FOR PLANT MATERIAL INSTALLED AFTER JUNE 1ST SHALL COMMENCE THE FOLLOWING YEAR.

INFILTRATION NOTES

- AVOID COMPACTING SOILS IN INFILTRATION BASIN.
- APPLY TWO (2) INCH DEPTH OF CLEAN, NON-DYED, DOUBLE-SHREDDED HARDWOOD MULCH (NO BARK) OVER AREA PLANTING WITH PLUGS.
- MAINTAIN INFILTRATION BASIN FREE FROM WEEDS AND OTHER INVASIVE PLANT MATERIAL.
- MONITOR MOISTURE IN INFILTRATION BASIN FOR ONE FULL YEAR. SUPPLEMENT WATER IF THERE IS INSUFFICIENT RAINFALL PER WEEK (ONE INCH PER WEEK).
- AFTER FIRST GROWING SEASON REMOVE ALL DEAD PLANT DEBRIS FROM PREVIOUS GROWING SEASON AS NECESSARY TO MAINTAIN ACCEPTABLE APPEARANCE OF INFILTRATION BASIN.



DILLON STREET
(UNIMPROVED)

M. DILLON'S 1ST ADDITION

OWNER

TICE ESTATE

6211 UPPER 51st. STREET N
OAKDALE, MN
651-439-3837

C/O JEFF MCDONELL
612-202-4767

DEVELOPER

TICE-HAUSE
DESIGN BUILD

6211 UPPER 51st. STREET N
OAKDALE, MN
751-733-0195
C/O CRAIG TICE

PROJECT

ROSE'S PARK VIEW
ADDITION

1788 EAST HIGHWAY 96
WHITE BEAR LAKE,
MN 55110

SUBMITTAL

PRELIMINARY PLAT
SUBMITTAL

09/13/21

ISSUE DATE

ISSUE	DATE

Elan
DESIGN LAB
CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE
310 4TH AVE SOUTH, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980 | www.elanlab.com
f 612.260.7990

CERTIFICATION
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect in the State of Minnesota.

Pilarshnee Sarathong DATE
REGISTRATION NO. 45059 09/13/2021

SHEET

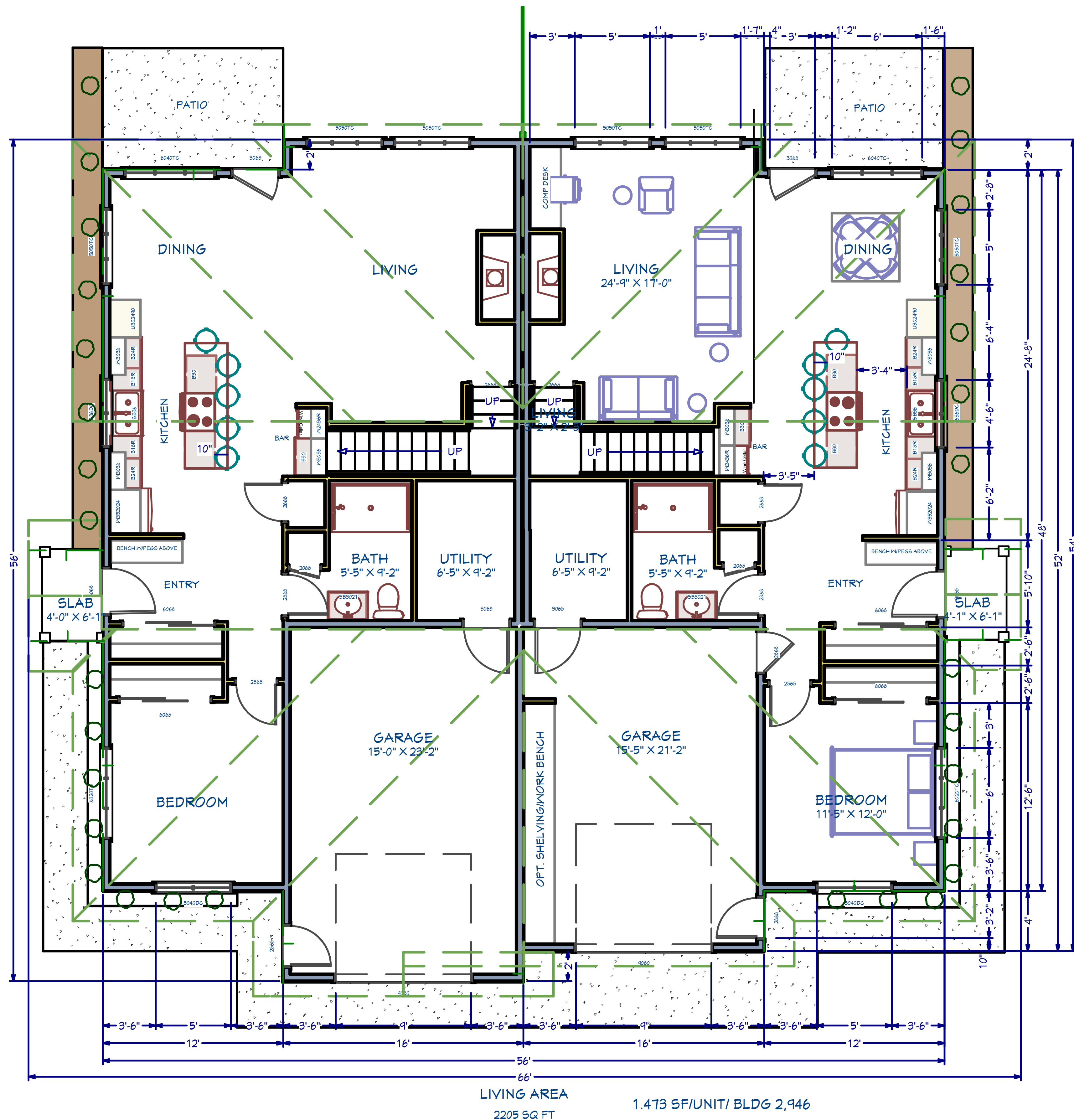
LANDSCAPE PLAN

L-101

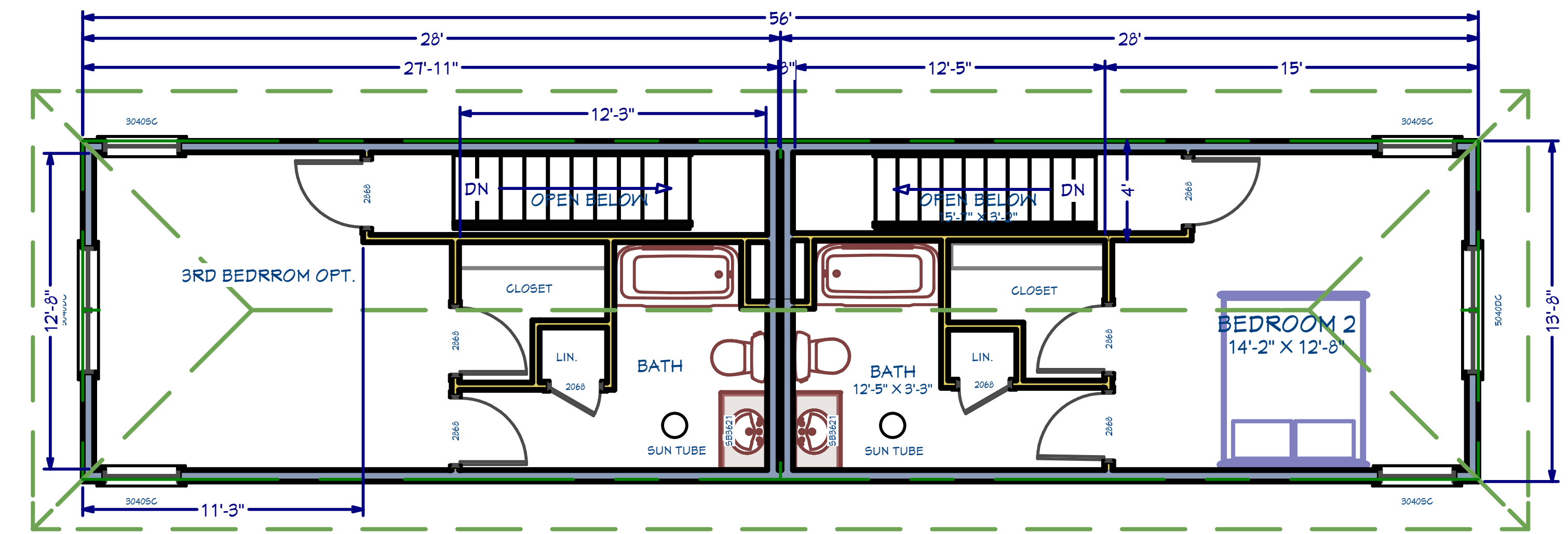
PROJECT NO.
CLS21022

A1 LANDSCAPE PLAN
1" = 20'

811 Know what's below. Call before you dig.
20 SCALE IN FEET 60

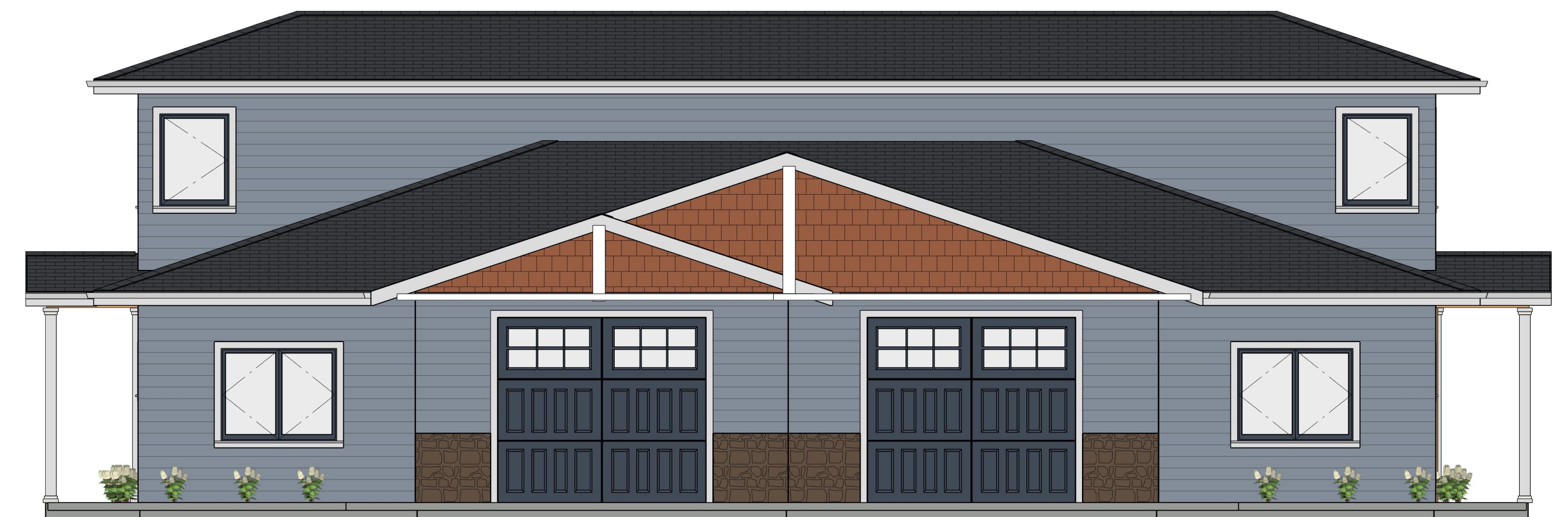


PLAN VIEW MAIN LEVEL - SCALE 1/4" = 1'-0"



LIVING AREA
647 SQ FT

PLAN VIEW UPPER LEVEL - SCALE 1/4" = 1'-0"



FRONT ELEV #1 - DO NOT SCALE



REAR ELEV. - DO NOT SCALE



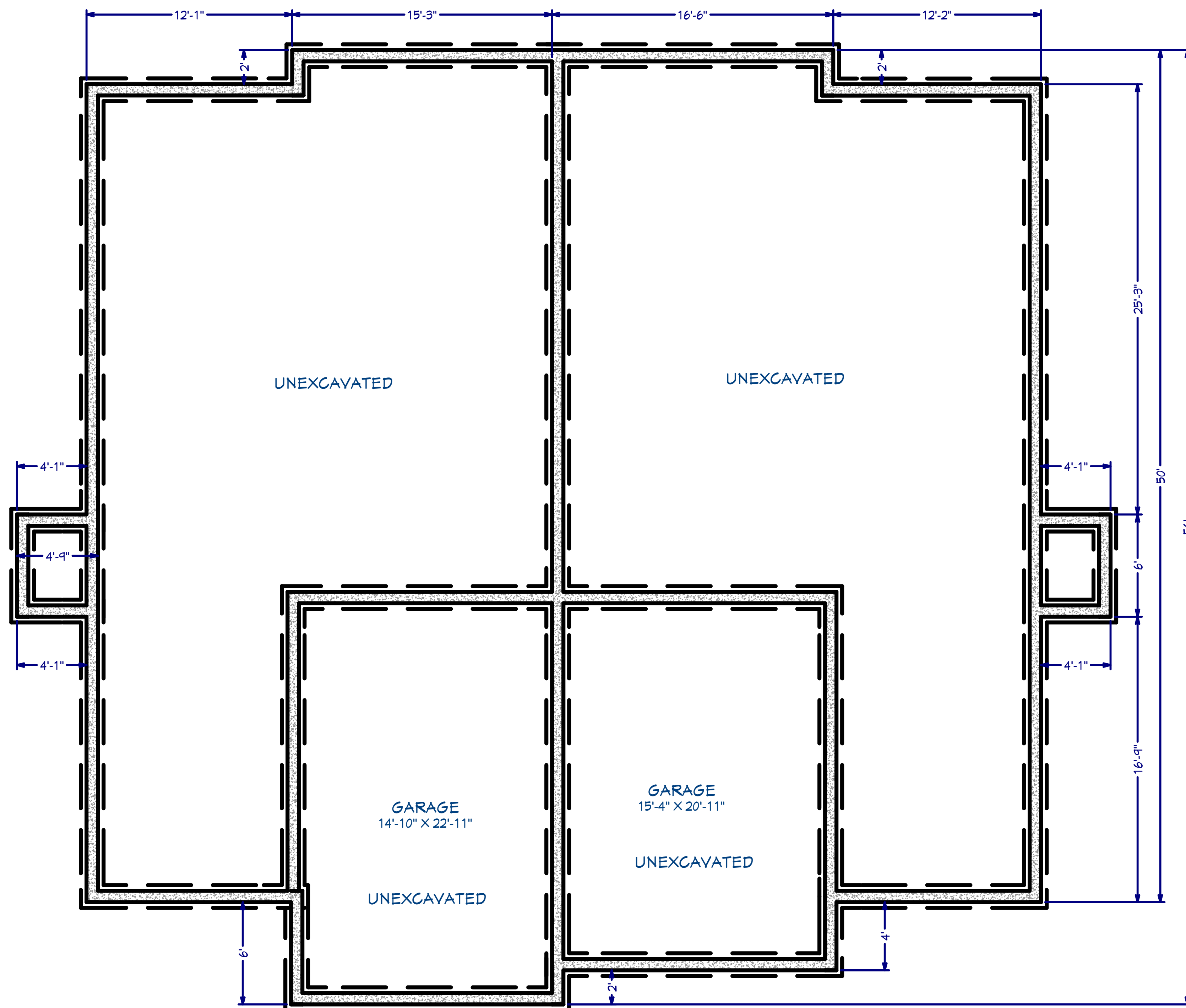
Oakdale Office/Design Center
6211 Upper 51st. Street N. Oakdale, MN
651-439-3837
www.THDBuild.com

CLIENT: TOWN HOMES AT ROSES PARKSIDE ADDITION
SITE ADDRESS: XXXX E. HWY 96
PROJECT TYPE: MULTI-UNIT DEVELOPMENT

PLAN #: 080921-1
DATE: 8-9-21
REVISED:

EVERY EFFORT HAS BEEN MADE TO INSURE THESE PLANS ARE ACCURATE AND COMPLETE; HOWEVER, THEY ARE PREPARED BY DRAFTSPERSONS WHO ARE NOT REGISTERED ARCHITECTS OR ENGINEERS AND NO WARRANTIES ARE EXPRESSED OR IMPLIED. THESE PLANS ARE DESIGN REPRESENTATIONS ONLY AND ARE INTENDED AS A GUIDE FOR PERSONS WHO ARE KNOWLEDGABLE ABOUT CONSTRUCTION PRACTICES AND LOCAL BUILDING CODES. IT IS THE RESPONSIBILITY OF THE BUILDER, OWNER OR USER OF THESE PLANS TO VERIFY ALL DIMENSIONS, DETAILS, ELEVATIONS, SITE CONDITIONS AND STRUCTURAL COMPONENTS INCLUDING THE APPLICATION AND INSTALLATION OF APPROPRIATE MATERIALS. TICE CONSTRUCTION ASSUMES NO RESPONSIBILITY FOR ERRORS, OMISSIONS, JOB SITE INADJACENCIES OR IMPROPER CONSTRUCTION METHODS. ALL WORK SHOULD BE DONE IN COMPLIANCE WITH NATIONAL AND LOCAL BUILDING CODES. ELEVATIONS ON THESE PLANS ARE CREATED BY A COMPUTER PROGRAM AND ARE SUBJECT TO THE PROGRAM'S PRE-SET DESIGN CHARACTERISTICS. THEREFORE, ALL ASPECTS SHOWN ON THE ELEVATIONS MAY NOT BE ACCURATE TO THIS SPECIFIC PROJECT.

SHEET #
1 OF 2



LIVING AREA
2259 SQ FT

FOUNDATION PLAN - DO NOT SCALE



SIDE ELEV #1 - DO NOT SCALE



SIDE ELEV #2 - DO NOT SCALE

CROSS SECTIONS IN PROCESS



Oakdale Office/Design Center
6211 Upper 51st. Street N. Oakdale, MN
651-439-3837
www.THDBuild.com

CLIENT: TOWN HOMES AT ROSES PARKSIDE ADDITION
SITE ADDRESS: XXXX E. HWY 96
PROJECT TYPE: MULTI-UNIT DEVELOPMENT

PLAN #: 080921-1
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SHEET #
2 OF 2



City of White Bear Lake
Community Development Department

MEMORANDUM

To: The Planning Commission
From: Samantha Crosby, Planning & Zoning Coordinator
Date: January 31, 2022
Subject: Hisdahl's, 1978 Hwy. 96 E – Case No. 21-20-V

REQUEST

Keith Hisdahl, owner and operator of Hisdahl's, is requesting a 5-foot variance from the 10-foot setback requirement from a drive aisle, in order to construct a free-standing monument sign with a dynamic display 5 feet from the drive aisle.

BACKGROUND

In November of 2021, both the applicant and I were unable to attend the Planning Commission meeting due to illness. Consequently, the Planning Commission continued the request to the January, 2022 meeting.

UPDATE

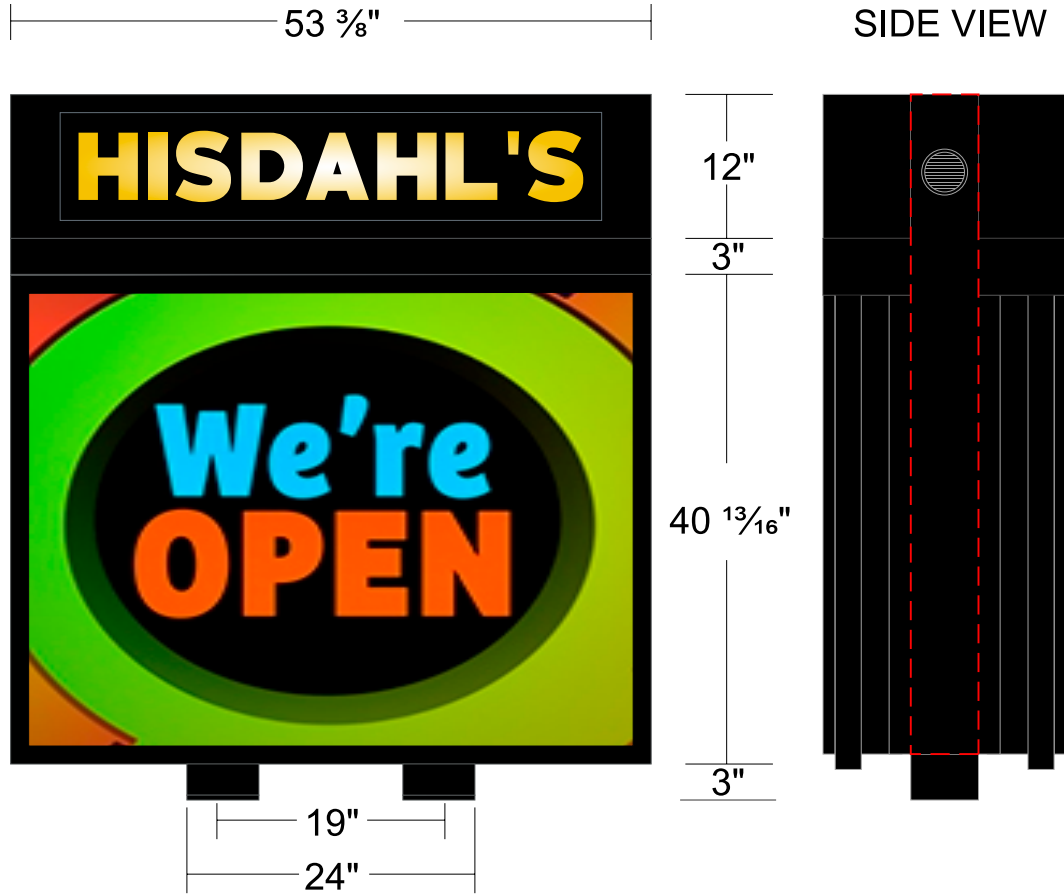
Since then, the applicant has worked with his sign company to revise the one issue with the sign's design – to combine the static portion and the dynamic portion into one sign "face". See revised graphic, attached.

RECOMMENDATION

Staff recommends approval of the request subject to the same conditions, with the deletion of condition #4, regarding the design.

Attachments:

1. Revised Elevation Graphic
2. Revised Draft Resolution of Approval
3. Original Staff Report & Graphics, dated November 29, 2021



POLARIS COLOR 10mm 96x128
 LED Cabinet 40 13/16" x 53 3/8"
 Flat Face ID Cabinet
 Remote USB

Sk: 971627-2i-s Cust: 3169629
 1/24/2022 F/rSupe SOLD
 Scale: 3/4"=1' Color(s): Black

Signature _____

Date _____

Stewart Signs
 ONE SIGN. ONE COMPANY

1-800-237-3928 stewartsigns.com



RESOLUTION NO.

**RESOLUTION GRANTING A SIGN SETBACK VARIANCE
FOR 1978 HIGHWAY 96 E
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (21-20-V) has been submitted by Keith Hisdahl to the City Council requesting approval of a setback variance from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 1978 Highway 96, East

LEGAL DESCRIPTION: Lot 24 and Lot 25, Block 21, Ramaley's Park, Ramsey County
(PID: 233022210126)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A 5 foot variance from the 10 foot setback required from a drive aisle, per Code Section 1202.040, Subd.2.b.1, in order to construct a freestanding monument sign with a dynamic display 5 feet from the drive aisle; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on November 29, 2021; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variance will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.
2. The variance is a reasonable use of the land or building and the variance is the minimum required to accomplish this purpose.
3. The variance will be in harmony with the general purpose and intent of the City Code.

RESOLUTION NO.

4. The variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variance.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variance, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. The variance shall become null and void if the project has not been completed within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A sign permit shall be obtained prior to construction of the sign.
4. ~~The sign shall be redesigned to remove the space between the static portion and the dynamic portion of the sign.~~
5. All changes to the raingarden must be submitted to VLAWMO for review and approval. Proof of approval shall be provided to the City prior to issuance of a sign permit.
6. An overland overflow towards either the parking lot or the drive aisle shall be reestablished prior to the operation of the sign.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Kara Coustry, City Clerk

RESOLUTION NO.

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Keith Hisdahl

Date



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: November 22, 2021 for the November 29, 2021 Planning Commission Meeting

SUBJECT: Hisdahl's Trophies, 1978 Highway 96 E - Case No. 21-20-V

REQUEST

Keith Hisdahl, owner and operator of Hisdahl's Trophies, is requesting a 5-foot variance from the 10-foot setback requirement from a drive aisle, in order to construct a free standing monument sign with a dynamic display 5 feet from the drive aisle.

SITE CHARACTERISTICS

The subject property is located on the south side of Highway 96, just west Highway 61. Hisdahl's Trophies is a two-story mixed use building with retail on the main level, two residential units on the second floor and a 12 stall parking lot on the west and south sides of the building.

ZONING

The property is zoned B-2 – Limited Business, and S – Shoreland Overlay, as are the properties across the alley to the east. The properties to the south, west and north are all zoned R-4 – Single and Two Family Residential, and S. It is worth noting that the property to the west and south is Union Cemetery.

BACKGROUND

In April of 2019, the City approved a PUD to request to expand the building to include a second unit and to demo the existing single-family residence next door and construct a parking lot.

ANALYSIS

The applicant knew he wanted a freestanding sign when he planned and built the rain garden in conjunction with the watershed district. With a little more forethought, the problem could have been avoided. However, stormwater mitigation is important and the rain garden is a physical obstacle of locating the sign – a valid practical difficulty. The location of the sign does not encroach towards residential property, nor does it block the required visibility triangle.

The sign could be a maximum of 10 feet in height and it is just over 6 feet tall. The maximum size allowed by code is 35 square feet and the proposed sign is under 20 square feet. With the modest design, the applicant has done a nice job of minimizing the impact of the variance. For

these reasons staff supports the requested variance.

Plantings are shown around the base of the sign and the style of base matches the exterior of the building - both as required by code. Also, the dynamic display portion of the sign does not exceed the 70% limit. The only issue with the sign's design is that the code requires that the dynamic portion be an integral part of the overall monument sign. In this case the static portion of the sign is a separate face with a space between it and the dynamic portion of the sign. Staff has included a condition that this space be removed so that the dynamic and static portions are incorporated into one.

Grading/Drainage

The rain garden is shown with a drain tile that over flows to the City sidewalk. This has the potential to create unsafe conditions in the winter and is therefore not allowed. Also, the drain tile appears to outlet near the bottom of the rain garden, which would not allow the water to pond as intended. For these reasons the drain tile has been removed and an overland flow must be re-established at the time of construction. Staff has also included a condition that VLAWMO review and approve the final design.

Utilities

The approved construction plans for the PUD project showed that the water line to the previous single family residence (where the parking lot is now) was to be used as an irrigation line. However, the irrigation line has yet to be connected. If the line is not connected, the line should be properly abandoned at the main. While this does not impact the approval of the variance request, staff will be holding the permit for construction of the proposed sign until the connection is made.

DISCRETION

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comp Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

The sign is tastefully sized, designed, and located; further, staff does not foresee any issues with the reduced distance to the drive aisle. Consequently, staff recommends approval of the requested variance subject to the following conditions:

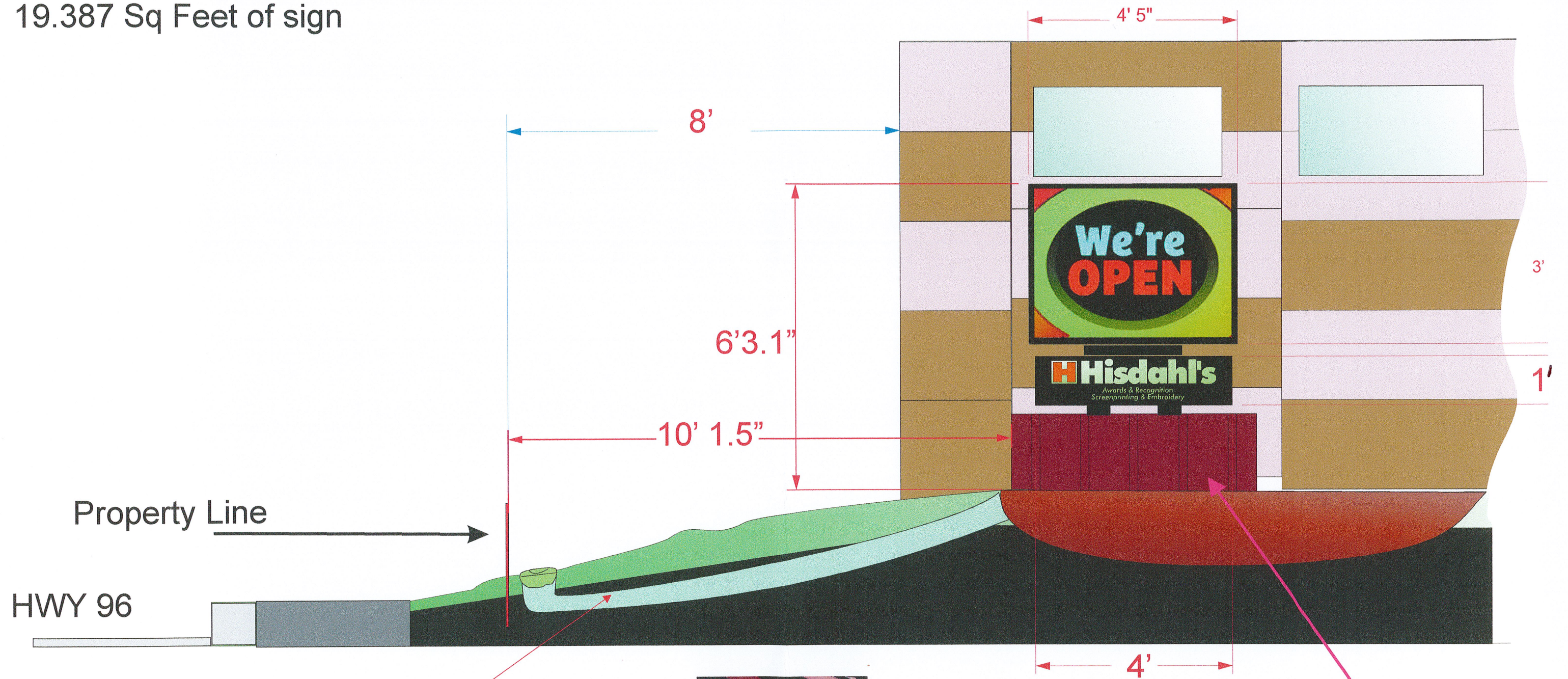
1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. The variance shall become null and void if the project has not been completed within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A sign permit shall be obtained prior to construction of the sign.

4. The sign shall be redesigned to remove the space between the static portion and the dynamic portion of the sign.
5. All changes to the raingarden must be submitted to VLAWMO for review and approval. Proof of approval shall be provided to the City prior to issuance of a sign permit.
6. An overland overflow towards either the parking lot or the drive aisle shall be reestablished prior to the operation of the sign.

Attachments:

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Applicant's Narrative
4. Site Graphics – with and without variance (5 pages)

15.087 Sq feet for dynamic sign **65%**
 4 sq feet for static sign lighted from inside. **35%**
 19.387 Sq Feet of sign



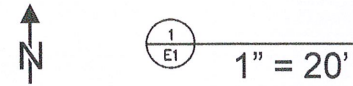
Drain tile overflow for raingarden



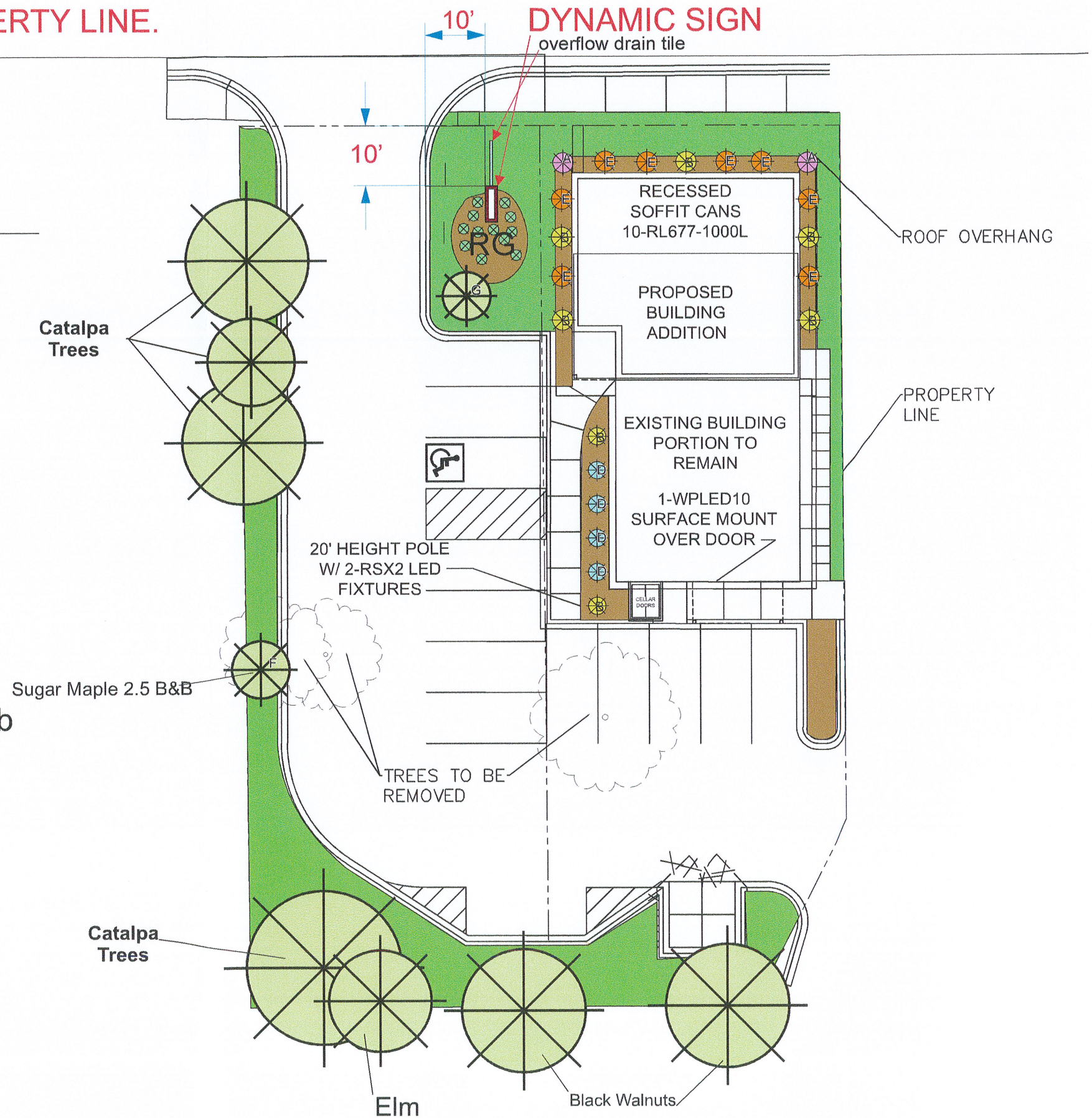
brown board and batten impression colored concrete

10' sign set back regulation no variance

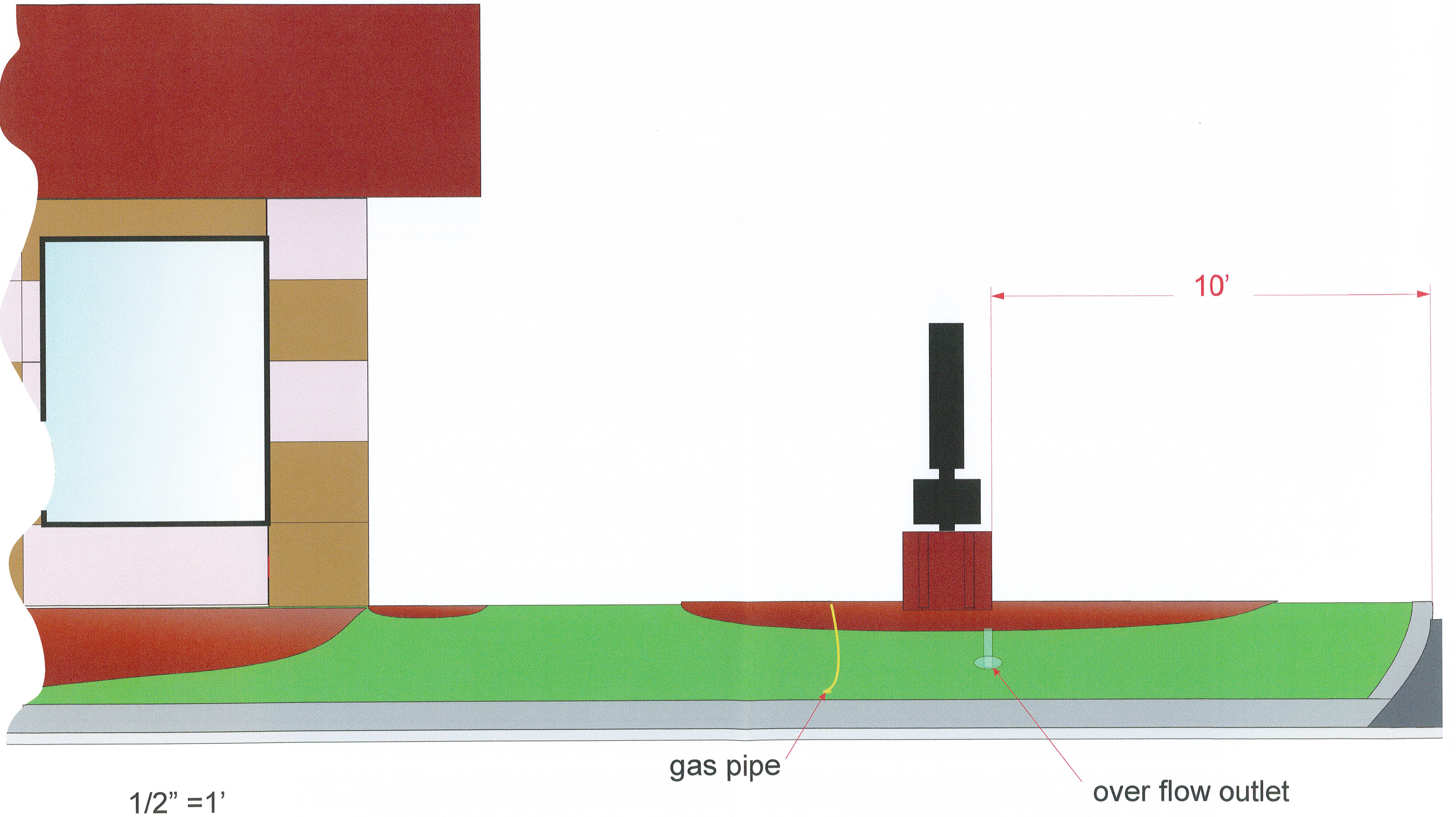
10 FEET FROM DRIVE WAY / 10FT FROM PROPERTY LINE.



- RG** RAIN GARDEN
- RAIN GARDEN PLANTINGS
- 3455 SQUARE FEET **NoMow grass**
- 800 SQUARE FEET **River Rock Mulch**
- A-(2) #3 GAL **Rhododendron**
- B-(7) #5 GAL **Magic Carpet Spirea Shrub**
(Spiraea japonica 'magic carpet')
- C-(5) #3 GAL **Repurposed Hosta**
- D-(4) #5 GAL **Repurpose Tiger Lilly**
(picas abies 'elegans')
- E-(8) #3 GAL **Repurpose Tiger Lilly**
- F-(8) 2.5 B&B **Sugar Maple**
- G-(8) 2.5 B&B **Spring Snow Crabapple**



10' sign set back regulation no variance

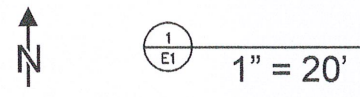


Proposed 5' variance

5 FEET FROM DRIVE WAY / 10FT FROM PROPERTY LINE.

5' DYNAMIC SIGN

Hwy 96



- RG** RAIN GARDEN
- RAIN GARDEN PLANTINGS
- 3455 SQUARE FEET **NoMow grass**
- 800 SQUARE FEET **River Rock Mulch**
- A-(2) #3 GAL Rhododendron
- B-(7) #5 GAL Magic Carpet Spirea Shrub
(Spiraea japonica 'magic carpet')
- C-(5) #3 GAL Repurposed Hosta
- D-(4) #5 GAL Repurpose Tiger Lilly
(picas abies 'elegans')
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- F-(8) 2.5 B&B Spring Snow Crabapple
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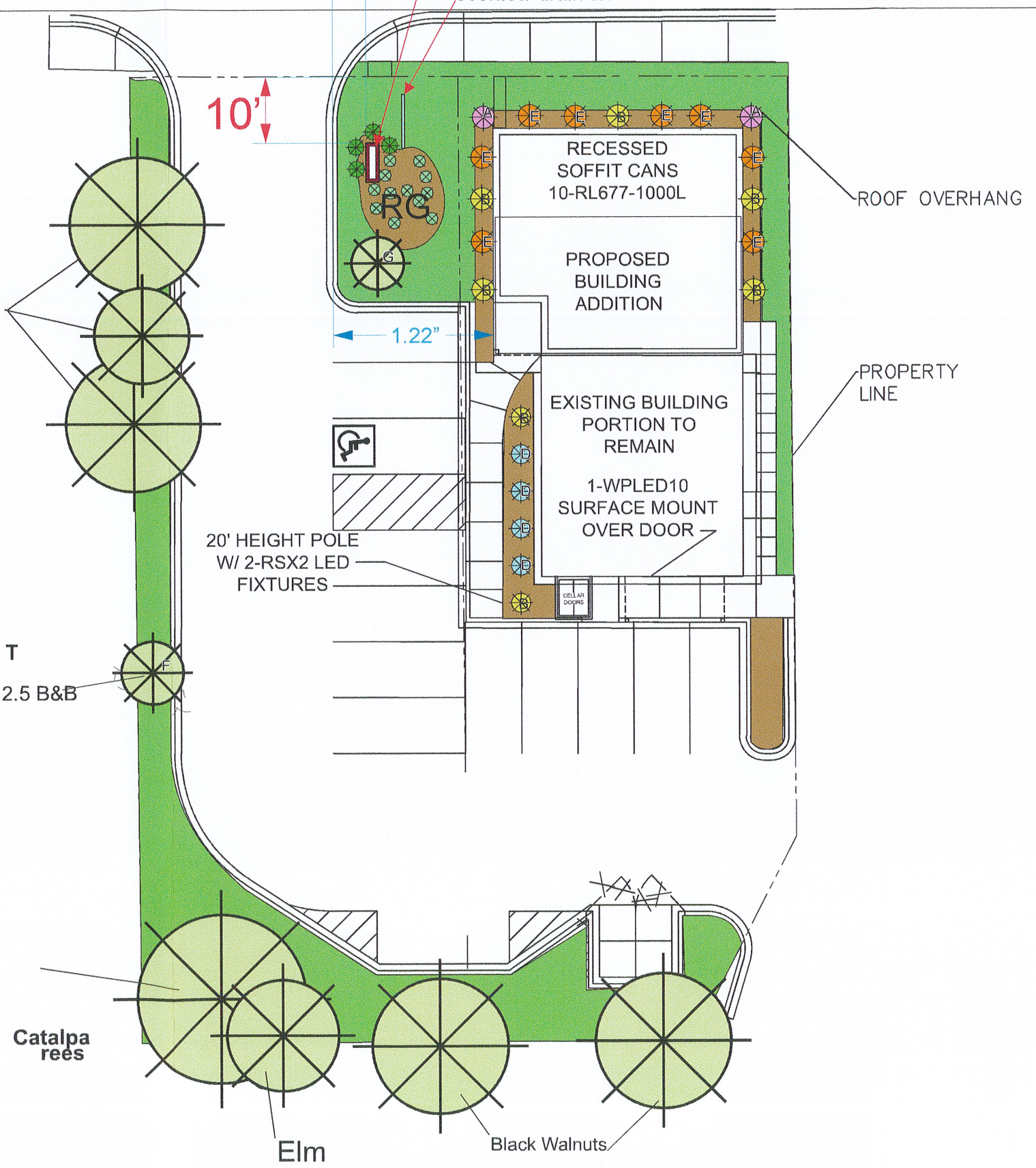
Catalpa Trees

T
Sugar Maple 2.5 B&B

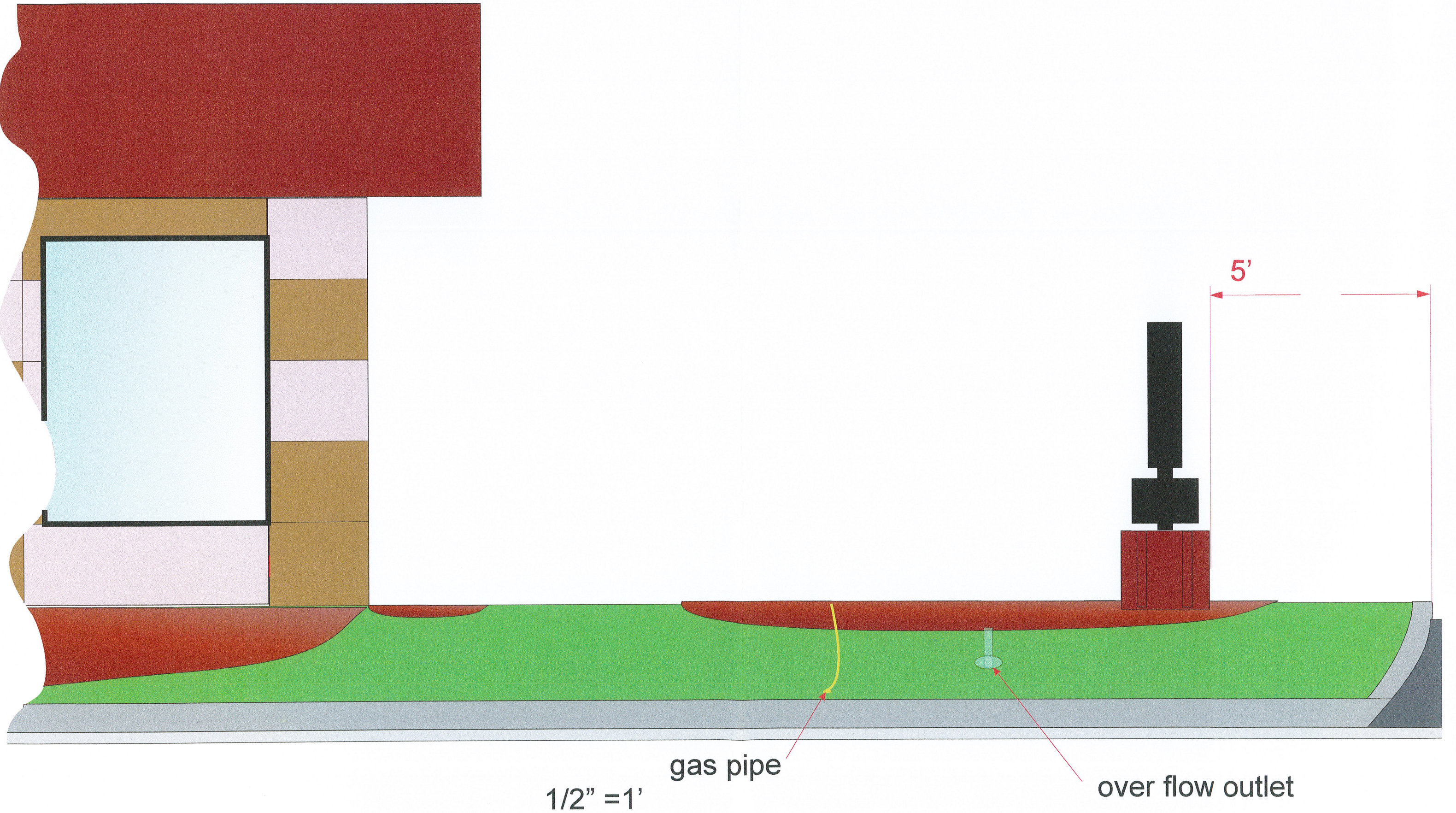
Catalpa rees

Elm

Black Walnuts



Proposed 5' Variance





City of White Bear Lake
Community Development Department

M E M O R A N D U M

TO: The Planning Commission
FROM: Ashton Miller, Planning Technician
DATE: January 31, 2022
SUBJECT: **Anderson Variance, 4881 Johnson Avenue – Case No. 22-1-V**

REQUEST

The applicant, Steve Anderson, is requesting a two foot variance from the five foot side yard setback and a seven foot variance from the twenty foot rear yard setback in order to demolish an existing one car garage and construct a 484 square foot detached garage in the same general location.

SITE CHARACTERISTICS

The subject site is located on the west side of Johnson Avenue, in between 7th and 8th Street. The property is 7,117 square feet in size and 50.55 feet in width, making it slightly substandard in both required area and width, which, in this zoning district, is 7,200 square feet and 60 feet, respectively. The lot contains a single family home and a one car detached garage.

ZONING

The subject site is zoned R-4, Single Family and Two Family Residential and S, Shoreland Overlay, as are all of the immediately surrounding properties.

BACKGROUND

According to Ramsey County, the home was constructed in 1915. The City does not have documentation on when the existing 13 foot by 18 foot garage was constructed. In 1987, a previous owner added a carport to the north side of the garage, bringing the total square footage of the structure to 396 square feet. The applicant has recently removed the carport in anticipation of reconstructing the garage.

APPLICANT'S PRACTICAL DIFFICULTY

The substandard size of the lot and location of a walnut tree on the property limits the available location for a garage. See Applicant's Narrative.

ANALYSIS

1. *A 2 foot variance from the 5 foot side yard setback*

The existing garage is one foot off the property line and the applicant originally requested to retain this setback. However, after discussions with the Building Department, Mr. Anderson has proposed to

move the new garage back three feet in order to allow for larger eaves. The building code limits eaves to four inches if any closer to the property line and Mr. Anderson would like twelve inch eaves. Staff supports the request because the three foot setback is consistent with the development pattern of the surrounding neighborhood and it provides enough room for maintenance along the side of the garage without encroachment onto the neighboring property. A condition has been included that the south side of the garage be guttered to prevent runoff from affecting the adjacent property.

2. A 7 foot variance from the 20 foot rear yard setback

The proposed setback from the rear property line is slightly less than the average length of a car, however, there is a tree between the house and garage whose integrity may be compromised if the garage is pushed back further. The applicant is proposing to place the rear wall of the new garage in the same location as the existing to maintain the distance from the tree, meaning the slightly larger garage will be four feet closer to the alley than what is currently there.

The applicant provided the lengths of several other driveways on the block, demonstrating that the proposal is not out of character with the neighborhood. The properties with shorter driveways park their vehicles across the driveway to avoid encroaching into the alley.

Locating the garage thirteen feet from the rear property line allows the applicant to retain the current amount of impervious surface coverage on the lot, which is grandfathered in at 32.2%.

Other

By providing two enclosed parking stalls, the applicant is exceeding what is required by code and reducing the need for on-street parking in the neighborhood. The proposed garage and driveway will keep the property below the 35% maximum rear yard coverage permitted by right.

The modest sized two-car garage is a reasonable use of the property. The proposed design, including the hip roof and lap siding, is aesthetically similar to the home and is consistent in character with the immediate area.

SUMMARY

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comp Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDATION

Staff recommends approval subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.

2. The variances shall become null and void if the project has not been completed within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify their property line and have the property pins exposed at the time of inspection.
5. The south side of the garage shall be guttered and water directed towards the driveway/alley.
6. Exterior building color, design, and material of the garage shall be compatible with the principal structure.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative (1 page) & Plans (5 pages)

RESOLUTION NO.

**RESOLUTION GRANTING TWO VARIANCES
FOR 4881 JOHNSON AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-1-V) has been submitted by Steve Anderson to the City Council requesting approval of a variance from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4881 Johnson Avenue

LEGAL DESCRIPTION: Lot 4, Block 31 of Auerbach's Rearrangement of White Bear, Ramsey County, Minnesota (PID: 13022230034)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A 2 foot variance from the 5 foot side yard setback, per Code Section 1302.030, Subd.4.e, and a 7 foot variance from the 20 foot rear yard setback, per Code Section 1302.030, Subd.4.h.2, in order to construct a two-car garage; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on January 31, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variance will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.
2. The variance is a reasonable use of the land or building and the variance is the minimum required to accomplish this purpose.
3. The variance will be in harmony with the general purpose and intent of the City Code.
4. The variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

RESOLUTION NO.

5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variance.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
5. The south side of the garage shall be guttered and water directed towards the driveway/alley.
6. Exterior building, color, design, and material of the garage shall be compatible with the principal structure.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Dan Louismet, Mayor

ATTEST:

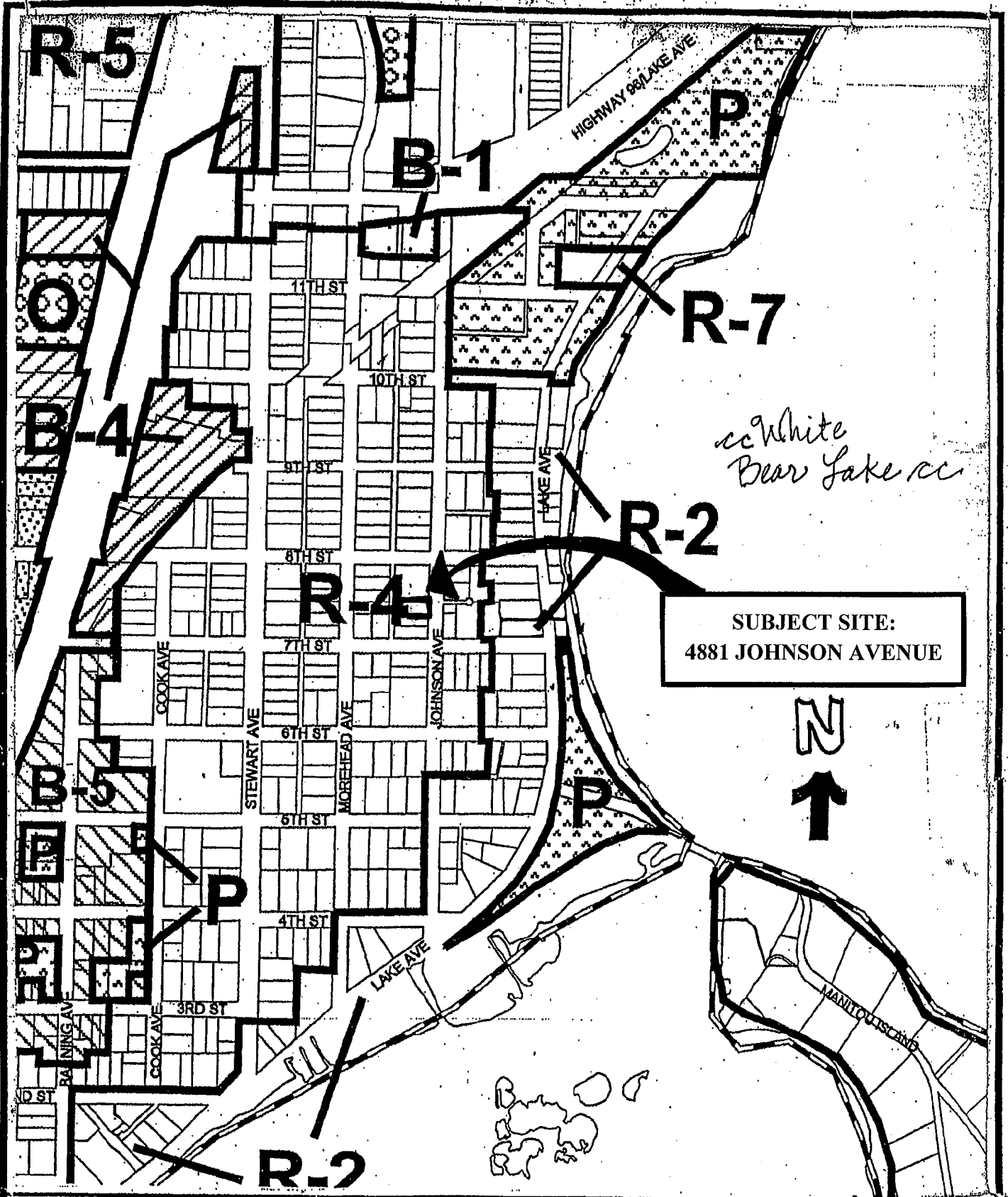
Kara Coustry, City Clerk

RESOLUTION NO.

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



SUBJECT SITE:
4881 JOHNSON AVENUE

cc White Bear Lake cc



City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 22-1-V
 CASE NAME : Anderson
 DATE : Jan. 31. 2022

The owners, Steve and Joanne Anderson, of the residential property located at 4881 Johnson Avenue request two (2) variances:

1. Construction of a new 22' x 22' garage three (3) feet from the south property line. Garage style and finishes would match the newly remodeled home with one foot eaves. It is understood that the south wall of the proposed garage would need be fire rated with no penetrations for windows or doors.

The current single car 18' x 13' garage is in desperate need of replacement. At present it sits one foot off the property line with the south neighbor, 4877 Johnson Avenue. These owners, Matt and Jenny Wilson have verbally agreed to this request. Construction of the new garage allows the property to remain compliant with the requirement of two structures on the property. Building 3 feet from the south property line allows us to minimize disruption to an adjacent tree, and while reducing the overall driveway length also eliminates the need to move the garage to the east which could jeopardize the sustainability of the black walnut tree. The new garage design with the hip roof to match the home allows for water runoff in four directions minimizing water runoff in any one direction. Allowing the new garage structure to be built three feet off the south property line helps create a larger amount of visible and contiguous green space.

2. Replace the existing asphalt driveway which is 18' from the alley edge to the existing garage west wall (alley facing) with a new 13' x 22' concrete driveway. This driveway size allows us to park a vehicle in the drive (parallel to the garage door) without creating any alley obstructions. This appears to be the norm for alley parking.

Adjacent driveway lengths average 10' 6" with the longest driveway length being 12' 7" so our request at 13' for a driveway appears to be consistent with adjacent properties.

4880 Morehead – 12' driveway

2299 7th Street – 7'4" driveway

4877 Johnson – 10'5" driveway

4871 Johnson – 12'7" driveway

4881 Johnson – 13' requested driveway

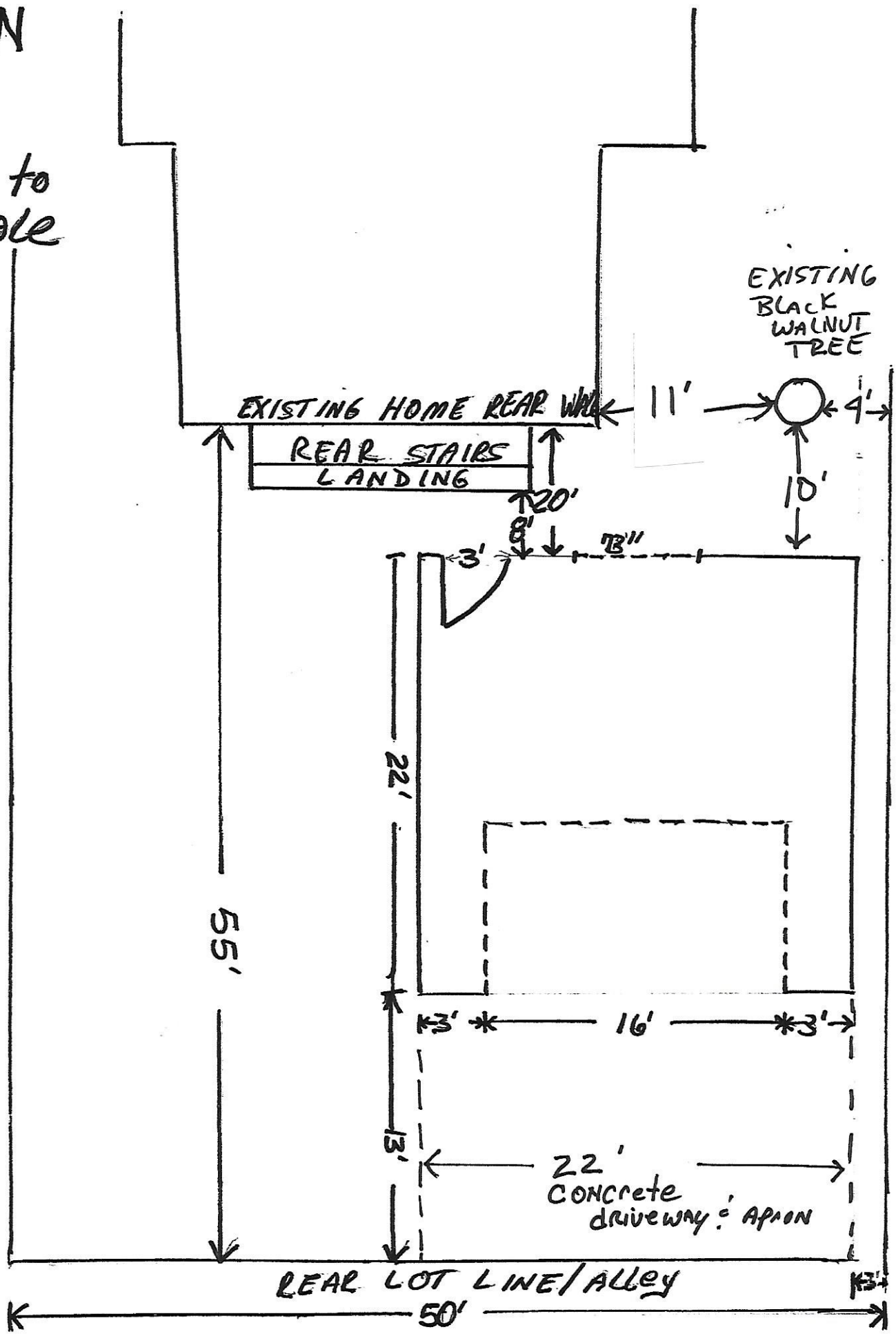
The driveway at 4884 Morehead was not part of my calculation but it is approximately 13'

Reducing the length of the driveway while increasing the size of the garage allows the property to remain compliant with the required pervious/non-pervious requirement.



← N

Not to Scale



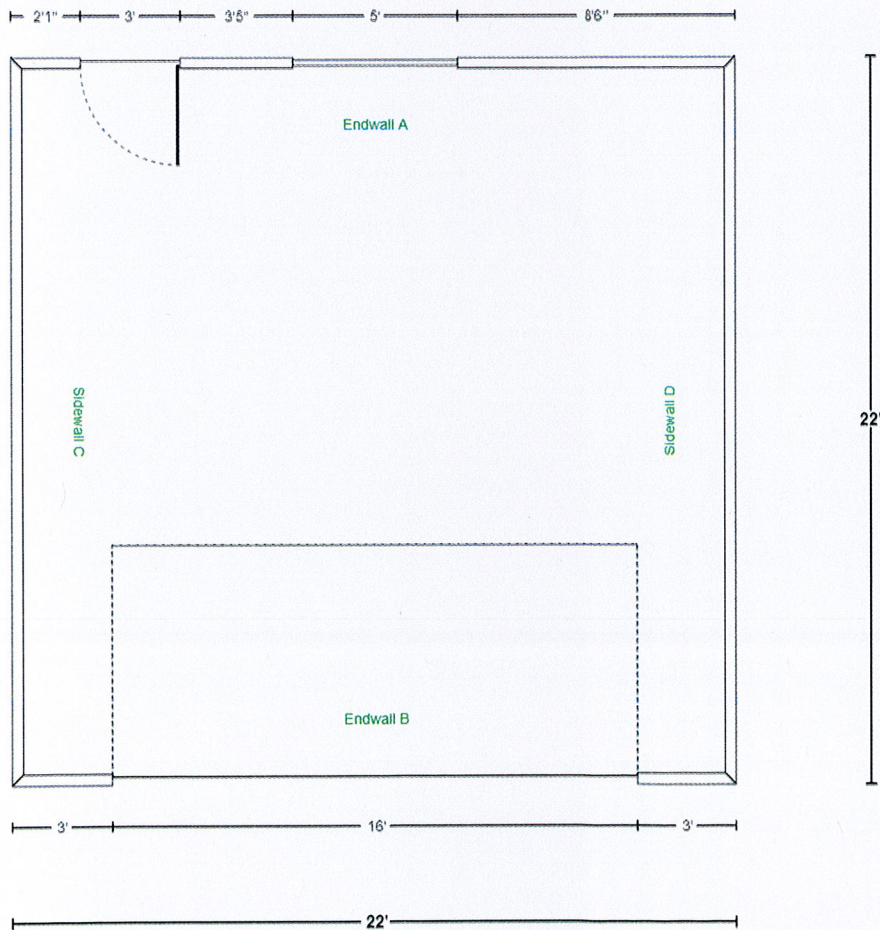
How to purchase at the store

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Garage Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Garage Estimator from the Project Center.
3. Select Search Saved Design.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your Garage to the cart and purchase.

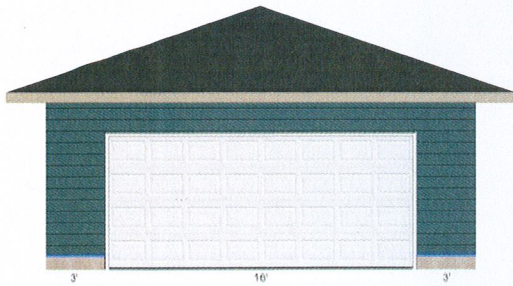
Garage Image



Dimensions

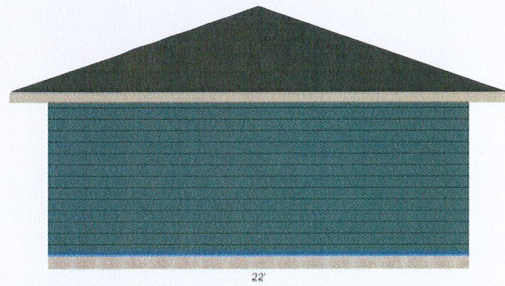
Wall Configurations

*Illustration may not depict all options selected.



ENDWALL B

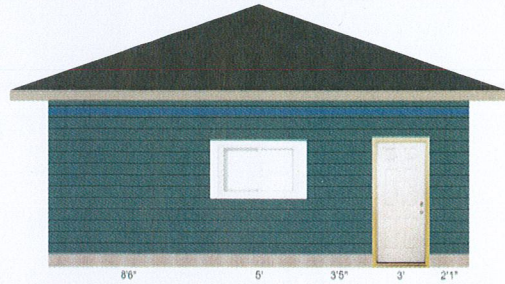
Ideal Door®; 4-Star 16' x 7' White Select Value Insulated



SIDEWALL D



SIDEWALL C



ENDWALL A

Mastercraft®; 36"W x 80"H Primed Steel 6-Panel
60"W x 36"H JELD-WEN®; Vinyl Left Slider with Grid

IMPERVIOUS SURFACE CALCULATION WORKSHEET

An impervious surface is defined as an artificial or natural surface through which water, air or roots cannot penetrate. Landscape and decorative rock is not considered an impervious surface. Stepping stones are impervious. A deck is not an impervious surface, provided there is no concrete, plastic or other impervious material underneath the deck. All permanent pools are impervious.

*Any increase in impervious area over 30% must be mitigated by removal elsewhere or by installing a stormwater infiltration feature - see Stormwater Infiltration System Submittal Requirements handout.

Property Owner: _____

Site Address: _____

Lot Width (feet):
Lot Depth (feet):

Information on lot size can be found in your property records or on the Ramsey County GIS website: www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis

Please use sq. ft.	Existing	Proposed	Change
Home			
Garage			
Accessory Structures ¹			
Driveway			
Sidewalks			
Patio Areas			
Other:			
Total Impervious			
Total Lot Area			
Percent Impervious ²			

¹ Gazebos, sheds, etc.

² Total Impervious divided by Total Lot Area

If any porous paving credit have been grated for any of the above listed items, please explain:

Calculated by: _____ Date: _____

Staff Approval by: _____ Date: _____



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission
From: Anne Kane, Community Development Director
Date: January 31, 2022
Subject: Cabin 61 Variances / 4150 Hoffman Road / Case No. 22-3-V

SUMMARY

The Planning Commission will conduct a Public Hearing to consider two variance requests to retain an existing deck located within the required 75 foot setback from the ordinary high water level ("OHWL") and to allow an existing fence over 4 feet in height to remain within the rear and side yard of a property that abuts a navigable lake.

REQUEST

The applicant, Lindsey Carpenter, on behalf of Goose Lake Development, LLC, (d/b/a Cabin 61) is requesting two variances: a 37.5 foot variance from the 75 foot required setback from the ordinary high water level ("OHWL") for an unenclosed deck and a 2'-0" height variance to allow a privacy fence up to 6'-0" in the side and rear yard of the business which abuts Goose Lake. See applicant's narratives.

SITE CHARACTERISTICS

The 2.80 acre property is situated between Goose Lake and Hoffman Road. The property is long and narrow and runs southwest to northeast along the northwest shoreline of the lake. The southern half of the site is primarily open water or wetlands and is home to the Midwest Ski Otters Water Ski Team. The northern portion of the site is improved with a 13 unit long-term motel rental facility and a 2,310 square foot Cabin 61 bar & restaurant.

PROPERTY HISTORY

As the Commissioners may know, present-day Hoffman Road was the original alignment of the state highway serving White Bear Lake. The subject property was initially constructed in 1942 and operated as the White Bear Motel - an 8 unit motel with an associated bar. Even after the reconstruction of Highway 61 (circa 1950) to its current alignment, the property continued to operate as a motel and bar. In 1983, the City granted a Special Use to allow a 5 unit motel building to be relocated to the site and granted a Planned Unit Development to allow both residential and commercial uses on the same parcel. The City's files indicate that a Rental License was issued for the property in 1994, indicating the conversion of the property from short-term motel visits to longer term rental units.

ZONING

The subject property is zoned B-3 – Auto-Oriented Business and is located in the S – Shoreland Overlay District of Goose Lake (which abuts the site to the east). The property to the north is zoned P – Public and is the City’s former Public Works facility guided for future redevelopment. The property to the south is zoned I-1 – Limited Industry and houses White Bear Boat Works repair shop. The property west of Hoffman Road and the BNSF railroad tracks – Universal Forest Products’ manufacturing facility is zoned I-1 Light Industrial and is located in White Bear Township.

BACKGROUND

Following the onset of the COVID-19 pandemic and Stay at Home Order issued by the Governor in March 2020, the City initiated efforts to support local businesses through a variety of means available. Most local restaurants quickly pivoted to curbside pick-up and delivery and the City, WBLEDC, and Explore White Bear joined efforts in ReGrow White Bear Lake to highlight local restaurants and their Pledge to ensure employee and customer safety. The City Council directed staff to reduce barriers for area businesses and encouraged flexibility from local regulations to help businesses re-open in accordance with CDC guidelines and safe social distancing.

ANALYSIS

OHWL Setback Variance for the Deck

In May, 2020, representatives of Cabin 61 reached out to Planning Staff to explore opportunities to create an outdoor dining area that would help expand their footprint and respond to 25-30% occupancy limitations that were anticipated upon being able to re-open. The initial concept was to pour a 40’ x 60’ concrete patio, however, the property is located within the Shoreland Overlay District of Goose Lake and is limited to a maximum impervious area of 30%. Staff had suggested regrading a portion of the lawn area to accommodate outdoor picnic tables or constructing an unenclosed dining deck that would not increase the site’s impervious area. However, without a formal variance, the deck could not be located within the 75 foot setback from the OHWL and there was not an alternative that offered a suitable location for outdoor dining. In addition, the 8 to 10 week timeframe to secure the variance would have pushed City authorization until mid-August 2020.

In reaching an administrative decision to allow the deck to be constructed in advance of a formal variance, staff considered the built conditions and presence of outdoor dining areas at restaurants in the Marina Triangle district adjacent to White Bear Lake. With the exception of Mizu, all the existing restaurants along Lake Avenue South, offer lakeside dining decks or patios located within the 50 foot setback from the OHWL of White Bear Lake. Staff encouraged the applicants to revise the configuration of the deck to retain a 37.5 foot setback, which is the defined as the Shore Impact Zone which is 50% of the required setback. The plans were revised to reflect this guidance and a Building Permit for the deck was issued on June 8, 2020. Two conditions of the Permit issuance was the submittal of a waiver acknowledging that the business was proceeding in advance of receiving the required variance at their own risk and if

the deck remains in use after the Governor lifts the COVID indoor capacity restrictions, a SAC determination from Metropolitan Council Environmental Services will be required. Both are included as conditions of approval of the variance to retain the deck.

The parking area is presently gravel – a pre-existing, non-conforming condition – as the current Code requires hard surface material such as blacktop or concrete for off-street parking lots. Since the gravel lot is not striped in accordance with the Code, it is difficult to determine an accurate count of on-site parking spaces. However, aerial photos over the years demonstrate approximately 46 on-site spaces are available. At one parking space required for every 2.5 seats, the maximum number of indoor and outdoor seating may not exceed 115 seats. The deck plan illustrates 48 seats, resulting in a maximum indoor seating at 67 seats. Staff's concern with potential for negative impacts on the surrounding area is alleviated by the fact that the business is fairly isolated and the lack of parking restrictions on Hoffman Road. Should parking emerge as a concern in the future, the applicant's will need to ensure the indoor and outdoor seating complies with Code requirements and should consider providing bicycle racks, particularly when the Bruce Vento Trail is extended along Hoffman Road.

Fence Variance

Cabin 61 also sought to extend their existing liquor license to include the outdoor dining deck. A key aspect of the City's review of liquor license extensions is whether the outdoor area is properly enclosed with a fence or similar barrier (such as the stone columns or bench enclosures used at restaurants within the Marina Triangle. Given the unique use of the Cabin 61 property as both a commercial restaurant and bar, as well as a residential rental property, the owners sought to provide both a visual screening and noise barrier by installing a six foot privacy fence.

The Zoning Code limits fences located in rear and side yards which abut a navigable lake to a maximum of 4 feet in height. The intent of this provision is to ensure neighbors do not erect fences that obstruct neighbors' views of the lake. Again, given the unique configuration of the subject site and that the adjoining neighbors in the rental units enjoy their own views of Goose Lake that are not obstructed by the 6 foot privacy fence, staff did not object to the installation of a taller fence given the particular circumstances. A Fence Permit was issued on May 15, 2020 and a waiver of risk was submitted by the applicant acknowledging that the height of the fence may need to be reduced if a formal variance is not granted by the City.

SUMMARY

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is in harmony with the intent of the Zoning Code) then the criteria have been met.

RECOMMENDEATION

Staff recommends approval of the variances as requested subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the record.
2. The Applicant shall apply for a SAC determination from Metropolitan Council Environmental Services (MCES) for the outdoor dining deck no later than February 15, 2022.
3. The Applicant shall remove the shed addition restore it to the original dimensions of 11' X 13' no later than May 1, 2022.
4. The Applicant shall submit a Seating Plan for both Indoor/Outdoor seating that demonstrates a maximum of 115 seats no later than May 1, 2022.
5. These variances shall become effective upon the applicant tendering proof to the City of filing a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.

ATTACHMENTS

Draft Resolution of Approval
Zoning/Location Map
Applicant's Narratives and Exhibits
Outdoor Deck Seating Plan
Applicant's Waivers

RESOLUTION NO.

**RESOLUTION GRANTING TWO VARIANCES
FOR 4150 HOFFMAN ROAD
(CABIN 61 RESTAURANT & BAR)
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-3-V) has been submitted by Lindsey Carpenter on behalf of Goose Lake Development, LLC to the City Council requesting approval of variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4150 Hoffman Road

LEGAL DESCRIPTION: See Exhibit A (PID: 23 30 22 32 0003)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A 37.5 foot variance from the 75 foot setback from the ordinary high water level ("OHWL"), per Code Section 1302.230, Subd.5,a.3; and, a 2 foot variance from the 4 foot maximum height for fences in the side and rear yard of a property that abuts a navigable lake, per Code Section 1302.030, Subd.6.h.7, in order to retain an outdoor dining deck and a 6 foot privacy fence; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on January 31, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.
2. The variances are a reasonable use of the land or building and the variance is the minimum required to accomplish this purpose.
3. The variances will be in harmony with the general purpose and intent of the City Code.

RESOLUTION NO.

4. The variances will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variance.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the record.
2. The Applicant shall apply for a SAC determination from Metropolitan Council Environmental Services (MCES) for the outdoor dining deck no later than February 15, 2022.
3. The Applicant shall remove the shed addition restore it to the original dimensions of 11' X 13' no later than May 1, 2022.
4. The Applicant shall submit a Seating Plan for both Indoor/Outdoor seating that demonstrates a maximum of 115 seats no later than May 1, 2022.
5. These variances shall become effective upon the applicant tendering proof to the City of filing a certified copy of this permit with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Dan Louismet, Mayor

ATTEST:

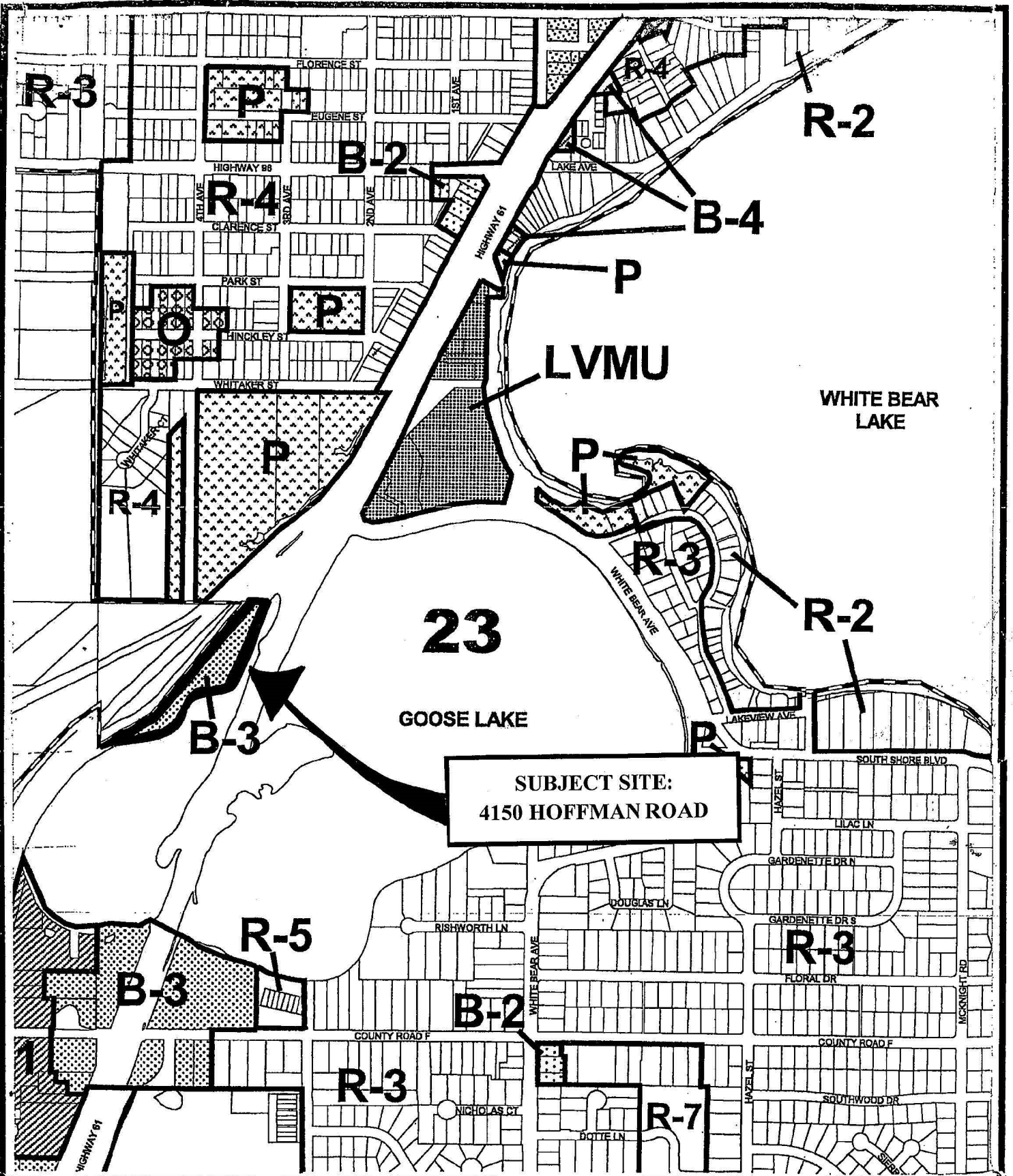
Kara Coustry, City Clerk

RESOLUTION NO.

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



SUBJECT SITE:
4150 HOFFMAN ROAD

City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 22-3-V
 CASE NAME : Cabin 61
 DATE : Jan. 31, 2022

Description of Variance Request:

Request for a variance for a pressure treated wood deck that extends into the standard 75' shoreline setback for structures built near lake shore. This request for this variance on Goose Lake, exceeds the 75' ordinance, but does not extend in the shore impact zone 37.5'.

Reason for Variance Request:

COVID and particularly the restrictions placed on bars and restaurants necessitated the need for creating an outdoor dining area at Cabin 61 to keep the business viable. The ownership group evaluated the feasibility of adding outdoor dining pre COVID and determined the cost benefit analysis did not justify the investment. After the COVID restrictions were put in place, however, this decision changed from cost benefit to one of business survivability. Without the outdoor dining option in place, it is highly likely the business would not have survived due to the indoor restrictions placed on an already limited seating capacity.

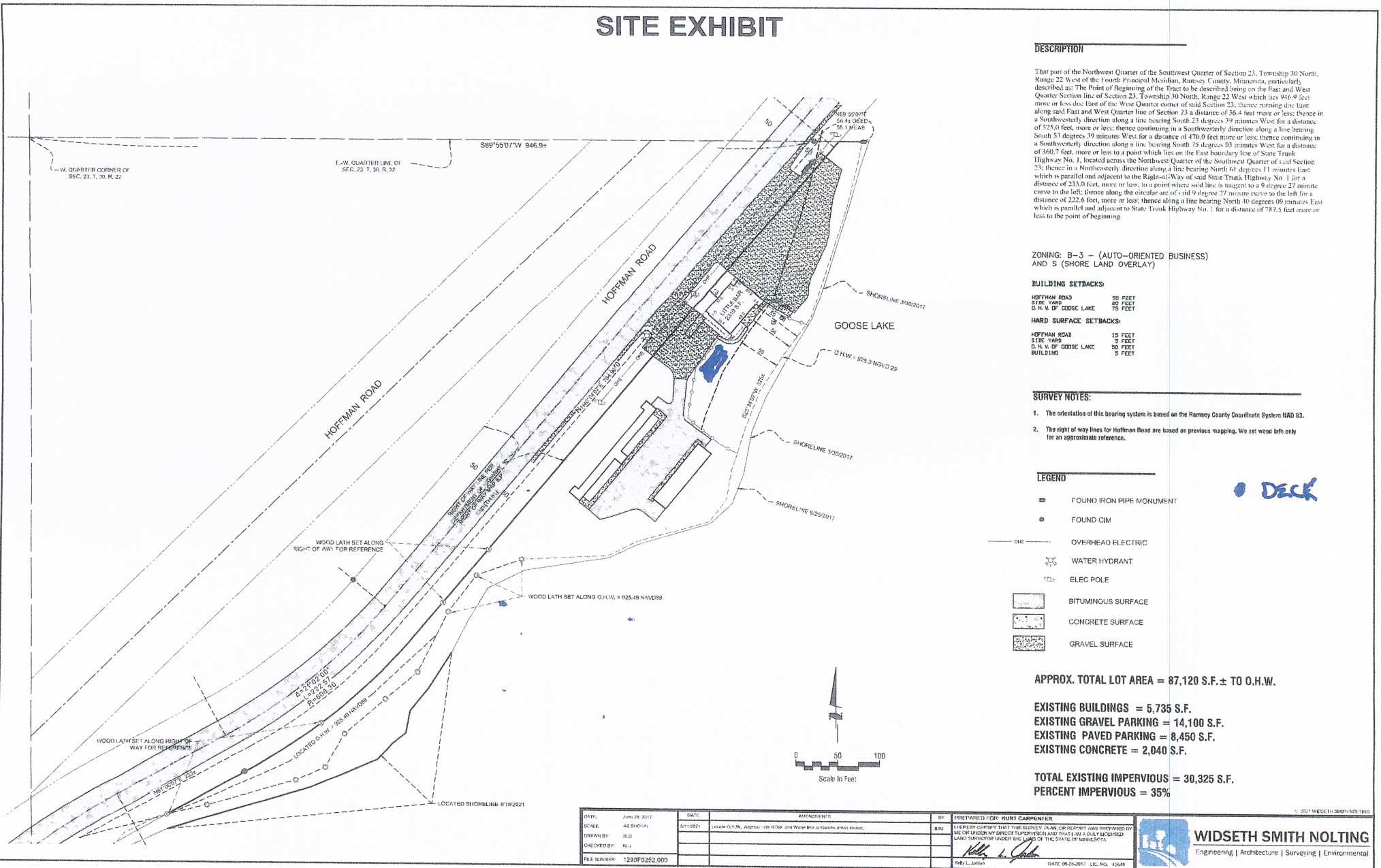
After the ownership group determined that the viability of the business in a restricted capacity environment hinged on creating an outdoor dining option, the group immediately reached out to the city to discuss potential feasibility. The first approach (simplest and fastest) was to pour concrete and create a large patio area but adding any additional non-permeable surface close to a lake was not supported by city staff. The initial layout also extended into the shore impact zone, so after considering different options a wood deck was designed and proposed that did not extend in the shore impact zone and eliminated the concern of adding permeable surface area to the property. The existing ordinance is in place to prevent direct run-off into lakes and streams, but with the decisions made on both material and location have effectively mitigated any negative impact. This variance request is also consistent with how the city has managed similar requests with other commercial properties before and during COVID.

The reason the deck was built before the variance was officially approved was due to COVID and its impact on the financial viability of Cabin 61. The business was at the time relying entirely on take-out business to keep staff employed, but this was not a sustainable situation long term. It was clear that outdoor dining would be the only real option to sustain the business during the COVID restrictions. The ownership group made a major financial commitment to build a deck and hope the business would come. This decision was made with support of the City of White Bear Lake staff stating they would recommend this variance, but with the understanding that if the variance was not passed by the council that changes may be required. We are now submitting this variance request with the hope that this variance will be passed, and no new requirements or changes will be necessary. This unique request and change in the normal variance process were done out of order due to the need of immediate action to keep the business operational during the COVID pandemic restrictions.



DECK VARIANCE

SITE EXHIBIT



DESCRIPTION

That part of the Northwest Quarter of the Southwest Quarter of Section 23, Township 30 North, Range 22 West of the Fourth Principal Meridian, Ramsey County, Minnesota, particularly described as: The Point of Beginning of the Tract to be described being on the East and West Quarter Section line of Section 23, Township 30 North, Range 22 West which lies 946.9 feet more or less due East of the West Quarter corner of said Section 23, thence running due East along said East and West Quarter line of Section 23 a distance of 56.4 feet more or less; thence in a Southwesterly direction along a line bearing South 23 degrees 39 minutes West for a distance of 233.0 feet, more or less; thence continuing in a Southwesterly direction along a line bearing South 53 degrees 39 minutes West for a distance of 476.0 feet more or less; thence continuing in a Southwesterly direction along a line bearing South 75 degrees 03 minutes West for a distance of 560.7 feet, more or less; to a point which lies on the East boundary line of State Trunk Highway No. 1, located across the Northwest Quarter of the Southwest Quarter of said Section 23; thence in a Northwesterly direction along a line bearing North 61 degrees 11 minutes East which is parallel and adjacent to the Right-of-Way of said State Trunk Highway No. 1 for a distance of 233.0 feet, more or less, to a point where said line is tangent to a 9 degree 27 minute curve to the left; thence along the circular arc of said 9 degree 27 minute curve to the left for a distance of 222.6 feet, more or less; thence along a line bearing North 40 degrees 09 minutes East which is parallel and adjacent to State Trunk Highway No. 1 for a distance of 787.5 feet more or less to the point of beginning.

ZONING: B-3 - (AUTO-ORIENTED BUSINESS) AND S (SHORE LAND OVERLAY)

BUILDING SETBACKS:

HOFFMAN ROAD 50 FEET
 E.L.M.W. OF GOOSE LAKE 75 FEET

HARD SURFACE SETBACKS:

HOFFMAN ROAD 15 FEET
 E.L.M.W. OF GOOSE LAKE 5 FEET
 BUILDING 5 FEET

SURVEY NOTES:

- The orientation of this bearing system is based on the Ramsey County Coordinate System NAD 83.
- The right of way lines for Hoffman Road are based on previous mapping. We set wood lath only for an approximate reference.

LEGEND

- FOUND IRON PIPE MONUMENT
- FOUND CIM
- O.E. — OVERHEAD ELECTRIC
- ⊗ WATER HYDRANT
- ⊙ ELEC POLE
- ▨ BITUMINOUS SURFACE
- ▩ CONCRETE SURFACE
- ▧ GRAVEL SURFACE

DECK

APPROX. TOTAL LOT AREA = 87,120 S.F. ± TO O.H.W.

EXISTING BUILDINGS = 5,735 S.F.
 EXISTING GRAVEL PARKING = 14,100 S.F.
 EXISTING PAVED PARKING = 8,450 S.F.
 EXISTING CONCRETE = 2,040 S.F.

TOTAL EXISTING IMPERVIOUS = 30,325 S.F.
 PERCENT IMPERVIOUS = 35%

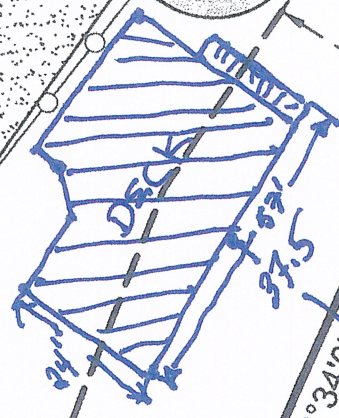
DATE: June 28, 2017	DATE: 07/11/2017	AMENDMENTS: Locate O.H.W., Approx. Old ROW, and Water lath at specific areas shown.	BY: B.S.M.	PREPARED FOR: KURT CARPENTER
SCALE: AS SHOWN	CHECKED BY: R.J.J.	FILE NUMBER: 1280F0252.000		I HEREBY CERTIFY THAT THIS SURVEY PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA. Kelly L. Smith DATE 06/26/2017 LIC. NO. 42648

WIDSETH SMITH NOLTING
 Engineering | Architecture | Surveying | Environmental

HOFFMAN ROAD

784.9070
OHE

LITTLE BAR
2310 S.F.



S23°34'07\"/>W 525±

SHORELINE 3

GOOSE LAKE

O.H.W. = 925.3 NGVD 29

APPROXIMATE PROPERTY LINE

Description of Variance Request:

Request for a variance for a stained pressure treated fence with a height that varies from 70" to 56" on lake shore property. The current ordinance states a maximum height on lake shore property is a 48" to eliminate the potential of property owners from blocking the view of the lake from adjacent property.

Reason for Variance Request:

The necessity for this request is to create a privacy barrier between the rental units at 4120 Hoffman Road and Cabin 61 restaurant at 4150 Hoffman Road. A new stained wood fence was installed over the summer of 2020 between the bar and rental units after a tree fell and damaged existing chain link fence. After evaluating replacement options, it was determined the best solution would be to install a taller wood fence to improve the privacy between the rental units and patrons at Cabin 61 specifically anyone in the backyard, landing area, outdoor deck. This choice also matched the existing fence that existed on the North side of property that separates the North parking area and the backyard in both color and look to provide uniformity.

The existing ordinance is in place to prevent lake shore owners from building large privacy fences that reduce the views of waterfront and hence reduce property values and aesthetics of the adjoining properties. However, in this case the property is entirely owned by Goose Lake Development LLC and does not affect any adjoining properties. Further the taller height benefits both the renters and restaurant patrons by providing privacy to the daily lives of the renters and improved dining experience for the patrons. Also, in consideration of the intent of the ordinance the fence height on the West side of the property was reduced to 56" reducing the potential view impact to the public that is traveling on Hoffman Road.

The reason the fence was installed before the variance was officially approved was due to COVID and its impact on the financial viability of Cabin 61. The business was at this time relying entirely on take-out business that was keeping staff employed, but this was not a sustainable situation long term. It was hoped at the time that outdoor dining would become an option to help sustain the business during the summer months. The ownership group made the commitment to address the condition of the backyard including seeding and fertilizing the lawn and replacing the damaged fence. This decision was made with support of the City of White Bear Lake, but with the understanding that if the variance was not passed by the council that changes may be required. We are now submitting this variance request with the hope that this will be passed, with no new requirements or changes. Also, with the understanding that this change in the normal process was done out of order due to the extraordinary circumstances created by the pandemic and the need to react quickly to keep the business operational during the COVID pandemic restrictions.



FENCE VARIANCE

SITE EXHIBIT

DESCRIPTION

That part of the Northwest Quarter of the Southwest Quarter of Section 23, Township 30 North, Range 22 West of the Fourth Principal Meridian, Ramsey County, Minnesota, particularly described as: The Point of Beginning of the Tract to be described being on the East and West Quarter Section line of Section 23, Township 30 North, Range 22 West which lies 946.0 feet more or less due East of the West Quarter corner of said Section 23, thence turning due East along said East and West Quarter line of Section 23 a distance of 56.4 feet more or less; thence in a Southwesterly direction along a line bearing South 23 degrees 39 minutes West for a distance of 525.0 feet, more or less; thence continuing in a Southwesterly direction along a line bearing South 53 degrees 39 minutes West for a distance of 470.0 feet more or less; thence continuing in a Southwesterly direction along a line bearing South 75 degrees 03 minutes West for a distance of 360.7 feet, more or less to a point which lies on the East boundary line of State Trunk Highway No. 1, located across the Northwest Quarter of the Southwest Quarter of said Section 23; thence in a Northwesterly direction along a line bearing North 64 degrees 11 minutes East which is parallel and adjacent to the Right-of-Way of said State Trunk Highway No. 1 for a distance of 233.0 feet, more or less, to a point where said line is tangent to a 9 degree 27 minute curve to the left; thence along the circular arc of said 9 degree 27 minute curve to the left for a distance of 222.6 feet, more or less; thence along a line bearing North 46 degrees 09 minutes East which is parallel and adjacent to State Trunk Highway No. 1 for a distance of 787.5 feet more or less to the point of beginning.

ZONING: B-3 - (AUTO-ORIENTED BUSINESS) AND S (SHORE LAND OVERLAY)

BUILDING SETBACKS:

HOFFMAN ROAD 50 FEET
SIDE YARD 20 FEET
O. H. W. OF GOOSE LAKE 75 FEET

HARD SURFACE SETBACKS:

HOFFMAN ROAD 15 FEET
SIDE YARD 7 FEET
O. H. W. OF GOOSE LAKE 30 FEET
BUILDING 5 FEET

SURVEY NOTES:

- The orientation of this bearing system is based on the Ramsey County Coordinate System MAD 83.
- The right of way lines for Hoffman Road are based on previous mapping. We set wood both only for an approximate reference.

LEGEND

- ⊕ FOUND IRON PIPE MONUMENT
- ⊙ FOUND CIM
- OHE — OVERHEAD ELECTRIC
- ⊕ WATER HYDRANT
- ⊕ ELEC POLE
- ▭ BITUMINOUS SURFACE
- ▨ CONCRETE SURFACE
- ▩ GRAVEL SURFACE

APPROX. TOTAL LOT AREA = 87,120 S.F. ± TO O.H.W.

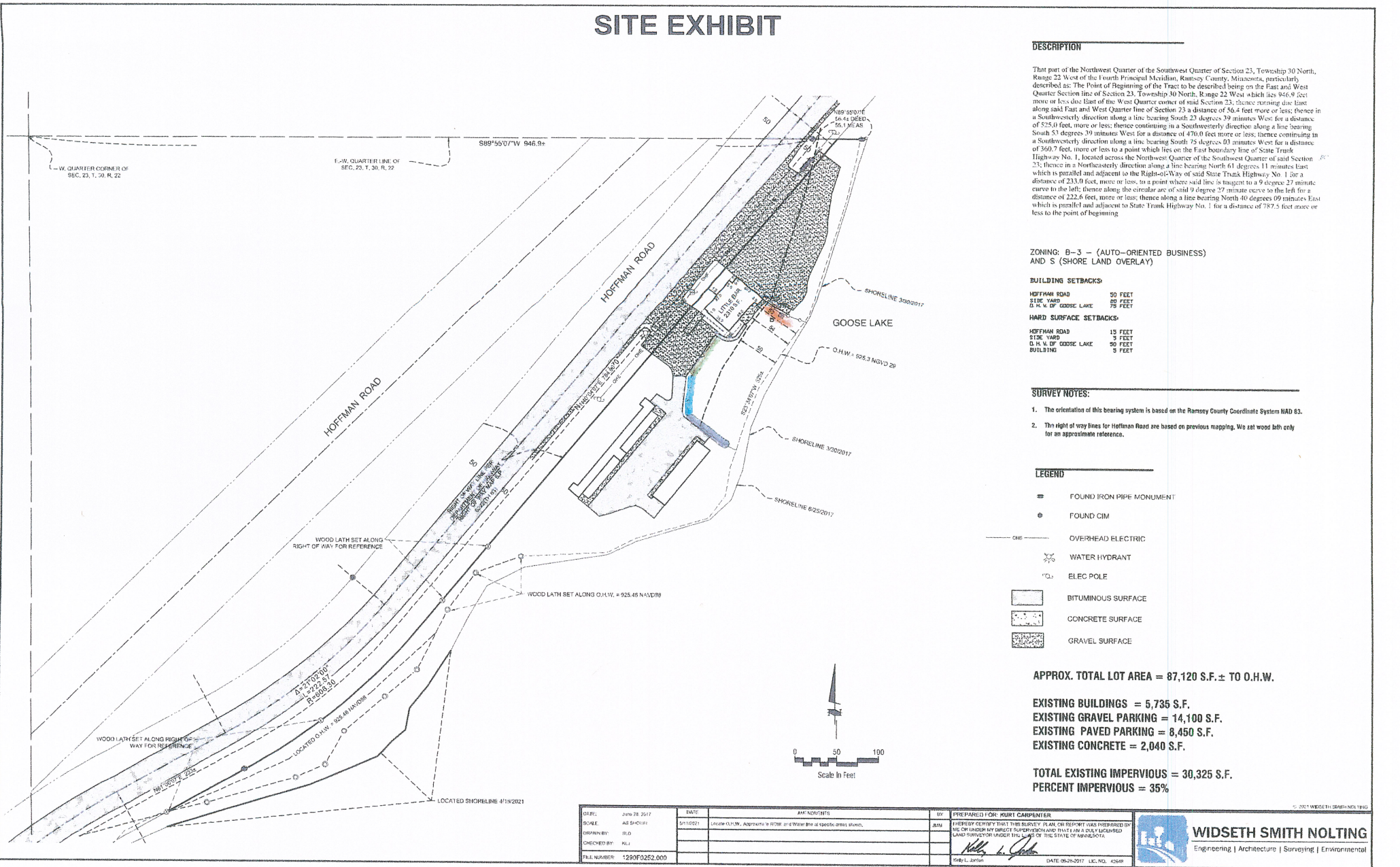
EXISTING BUILDINGS = 5,735 S.F.
EXISTING GRAVEL PARKING = 14,100 S.F.
EXISTING PAVED PARKING = 8,450 S.F.
EXISTING CONCRETE = 2,040 S.F.

TOTAL EXISTING IMPERVIOUS = 30,325 S.F.
PERCENT IMPERVIOUS = 35%

© 2017 WIDSETH SMITH NOLTING

DATE	DATE	AMT. NOTED	BY	PREPARED FOR: KURT CARPENTER
June 28, 2017	5/11/2021	Locate O.H.W., Approximate R.O.W. and Water Area at specific areas shown.	JUN	I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
SCALE: AS SHOWN				
DRAWN BY: SLD				
CHECKED BY: RLJ				
FILE NUMBER: 1290F0252.000				DATE: 06/26/2017 LIC. NO. 42648

WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

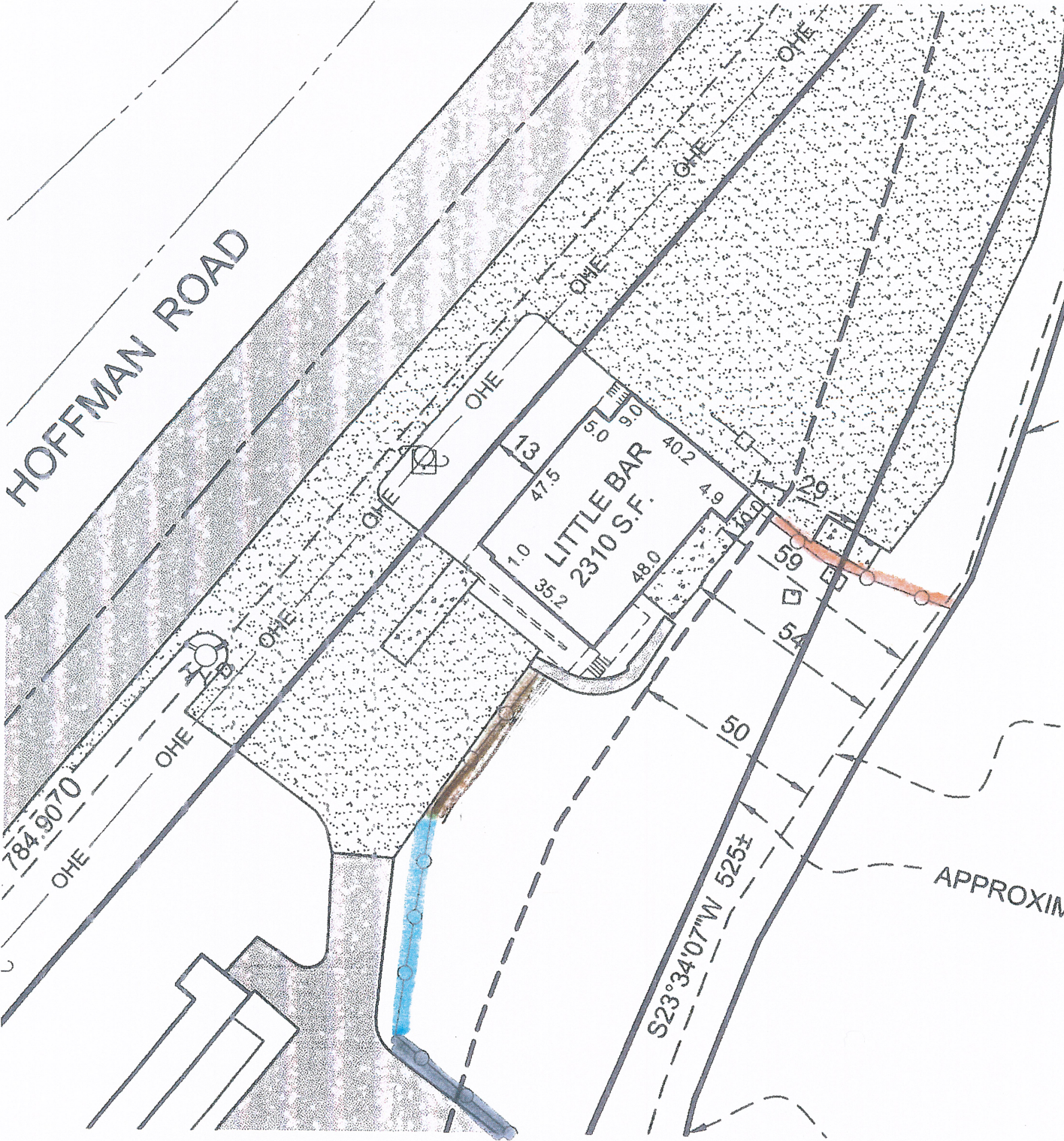


ISSUE VITRINCE

HOFFMAN ROAD

LEGEND

- EXISTING FENCE ●
- 70" SECTION ●
- 70-65" SECTION ●
- 65"-56" SECTION ●



Anne Kane

From: Lindsey Carpenter <lcarpenter@meshbesh.com>
Sent: Friday, May 15, 2020 1:30 PM
To: Anne Kane
Cc: hubcarpenter@yahoo.com
Subject: Cabin 61

Hello,

We understand that the Cabin 61 fence needs a variance but due to COVID 19 we are going forward with the understanding that we will go through variance process at a later date and the fence may need to be changed (if determined by city council). We are assuming the risk. Thank you!

Lindsey Carpenter
Cabin 61 LLC

Anne Kane

From: Lindsey Carpenter <lcarpenter@meshbesh.com>
Sent: Wednesday, June 3, 2020 9:41 PM
To: Anne Kane
Cc: hubcarpenter@yahoo.com
Subject: Cabin 61

Hello,

We understand that the Cabin 61 deck needs a variance but due to COVID 19 we are going forward with the understanding that we will go through the variance process at a later date and the deck may need to be changed (if determined by city council). We are assuming the risk. Thank you!

Lindsey Carpenter
Cabin 61 LLC



City of White Bear Lake
Community Development Department

M E M O R A N D U M

To: Planning Commission
From: Anne Kane, Community Development Director
Date: January 31, 2022
Subject: **WBL Public Safety Building Renovation & Expansion / 4701 Highway 61 N
Case No. 22-1-O**

SUMMARY

The Planning Commission will review the plans for the significant capital improvements planned for the Public Safety Building renovation and expansion scheduled for construction in 2022. Upon receipt of a recommendation from the Planning Commission, the City Council will consider the final plans and specifications.

REQUEST

The applicant, Derek Gallagher, with Wold Architects and Engineers, on behalf of the City of White Bear Lake, is requesting review and approval of the site plan and exterior building elevations prepared for the Public Safety Building in accordance with Section 1303.245 Subd. 5 of the Zoning Code. See applicant's narrative.

ZONING

The municipal campus is zoned P – Public Facilities in which all public buildings and uses, including City Hall and Public Safety buildings, are identified as Permitted Uses. The surrounding properties to the north, south and west are all zoned DCB – Diversified Central Business. The uses to the north and west are currently single-family residences and to the south is the North Star Bank building. Properties east of the subject property, across Highway 61 N, are zoned B-5 – Central Business District and comprise downtown commercial businesses and services.

SITE CHARACTERISTICS

The 2.75 acre campus is comprised of four parcels located at the northwest corner of Highway 61 N and 2nd Street, including two residential lots west of Miller Avenue purchased by the City years ago in anticipation of this project. The previous homes were demolished in 2018 and the City Council vacated the Miller Avenue right-of-way between 2nd and 3rd Streets last year to accommodate the planned building expansion.

PROJECT ANALYSIS

Site Plan

As depicted on the plans, the existing Fire Apparatus Bay will be reconstructed to provide a “drive-thru” bay that will enable emergency vehicles to enter from a new entry drive off the east side of the bay and depart for calls through a shared exit situated west of the Fire Bay. Department members will no longer be required to back equipment into the facility off of 2nd Street and will improve safety for both staff and the general public. The new design of the Apparatus Bay also results in modifications to the access and parking lot configuration in front of the Public Safety building. There are currently two access drives that connect to 2nd Street in close distance to both the BNSF railroad and Highway 61. The current duplication of two-way drives and angled parking spaces in this busy area can be confusing to residents and visitors, who frequent City Hall, License Bureau and the Public Safety Building. A small parking lot will provide five visitor stalls, including one accessible space and ramp, immediately in front of the main building entry to the Public Safety building.

Along the western edge of the existing building, a new Police Garage will be constructed to provide indoor parking for 34 police squad and fire administration vehicles. Entry to the interior garage will be from the north at the where Miller Avenue terminates at 3rd Street and response vehicles will exit to the south (2nd Street) using the driveway shared with the Fire Apparatus Bay. West of the new Police garage will be a new 45 space parking lot surrounded by a 6 foot fence with secured entrances at the north and south ends. The fence will be wrought iron in appearance along the north and south edges of the lot and solid along the western lot line to provide visual screening and buffering for the adjacent residential properties. A relocated trash and recycling enclosure will be included near the northeast corner of this parking lot.

A small building addition on the north side of the existing Public Safety Training Facility approximately 20'-0" x 40'-0" will provide the necessary storm shelter required to comply with the International Building Code adopted by the City of White Bear Lake.

Exterior Elevations

As described in the applicant’s responses to the Nice Design Principles, the design and materials of the proposed building additions were inspired by the existing material palette of the existing Public Safety Building and City Hall. The building materials and colors also draws on more contemporary cast stone material that is found in the City’s Public Works facility and is used to anchor the corners of the proposed building elevations. The new addition will be highlighted by a new training stair tower and a prominent corner display on the new apparatus bay that will house the Department’s historic Lefrance fire engine.

As noted in the applicant’s narrative, the Apparatus Bay incorporates a metal panel pediment highlighted by an aluminum and glass clearstory window system that will enable natural light to enter the space. The Police Garage incorporates a similar palette of building materials and provides a comparable fenestration pattern of translucent panels to allow limited light to enter the space without compromising the safety of the Department members.

SUMMARY

The P - Public Facilities zoning district requires Planning Commission review of significant capital improvements not including normal maintenance and other routine improvements. Last Fall, the City Council authorized preparation of final plans and specifications for the Public Safety Expansion and Renovation Project. Although not as refined as hoped, Staff is presenting the current plans for this project to the Planning Commission for consideration by City Council at its February 8th meeting. The project is scheduled to start next Fall with completion anticipated in Spring 2023.

RECOMMENDATION

Staff recommends the Planning Commission approve the capital improvement plans for the Public Safety Expansion and Renovation Project for consideration by the City Council.

ATTACHMENTS

Draft Resolution of Approval

Zoning/Location Map

Project Description, dated January 20, 2022

Public Safety Building Presentation Packet, dated December 15, 2021

RESOLUTION NO. _____

**RESOLUTION APPROVING CAPITAL IMPROVEMENT PLANS
FOR THE WHITE BEAR LAKE PUBLIC SAFETY
EXPANSION AND RENOVATION PROJECT**

WHEREAS, a proposal (22-1-O) has been submitted by Wold Architects and Engineers, on behalf of the City of White Bear Lake, for the White Bear Lake Public Safety Expansion and Renovation Project:

LOCATION: 4701 Highway 61 North

LEGAL DESCRIPTION: Attached as Exhibit A. (PID #143022420094, 143022420134, 143022420053 and 143022420068)

WHEREAS, White Bear Lake's Police and Fire Departments provide full-time, 24/7/365 service to the City of White Bear Lake and surrounding communities; and,

WHEREAS, the White Bear Lake Police Department has 31 sworn officers who serve the communities of White Bear Lake and Gem Lake; and,

WHEREAS, the White Bear Lake Fire Department has 14 full-time Firefighter/Paramedics who serve the communities of White Bear Lake, White Bear Township, Birchwood Village, Gem Lake and Dellwood; and,

WHEREAS, in order to continue to serve the City and surrounding communities, the White Bear Lake Public Safety facility is in need of additional space, mechanical upgrades, energy efficient improvements, aesthetic enhancements both inside and out, and must be brought into compliance with federal health and safety standards, as well as comply with IBC storm shelter requirements; and,

WHEREAS, the Public Safety Building will continue to serve regional interests not only through the full-time police, fire and ambulance services provided to surrounding communities, but also through its use as a regional training center for the State Patrol and other law enforcement agencies; and,

WHEREAS, the City is working in partnership with the Minnesota State Legislature to fund the capital improvement plans for the Public Safety Expansion and Renovation Project; and,

WHEREAS, the City Council has authorized the preparation of final design plans for the White Bear Lake Public Safety Expansion and Renovation Project; and,

WHEREAS, the Planning Commission has received and reviewed the proposed capital improvement plans for the Public Safety Building at its January 31, 2022 meeting and forwarded a positive recommendation of approval for consideration by the City Council.

NOW THEREFORE, BE IT RESOLVED by the White Bear Lake City Council approves the White Bear Lake Public Safety Expansion and Renovation Project located at 4701 Highway 61 N as depicted in plans prepared by Wold Architects and Engineers, dated December 15, 2021.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

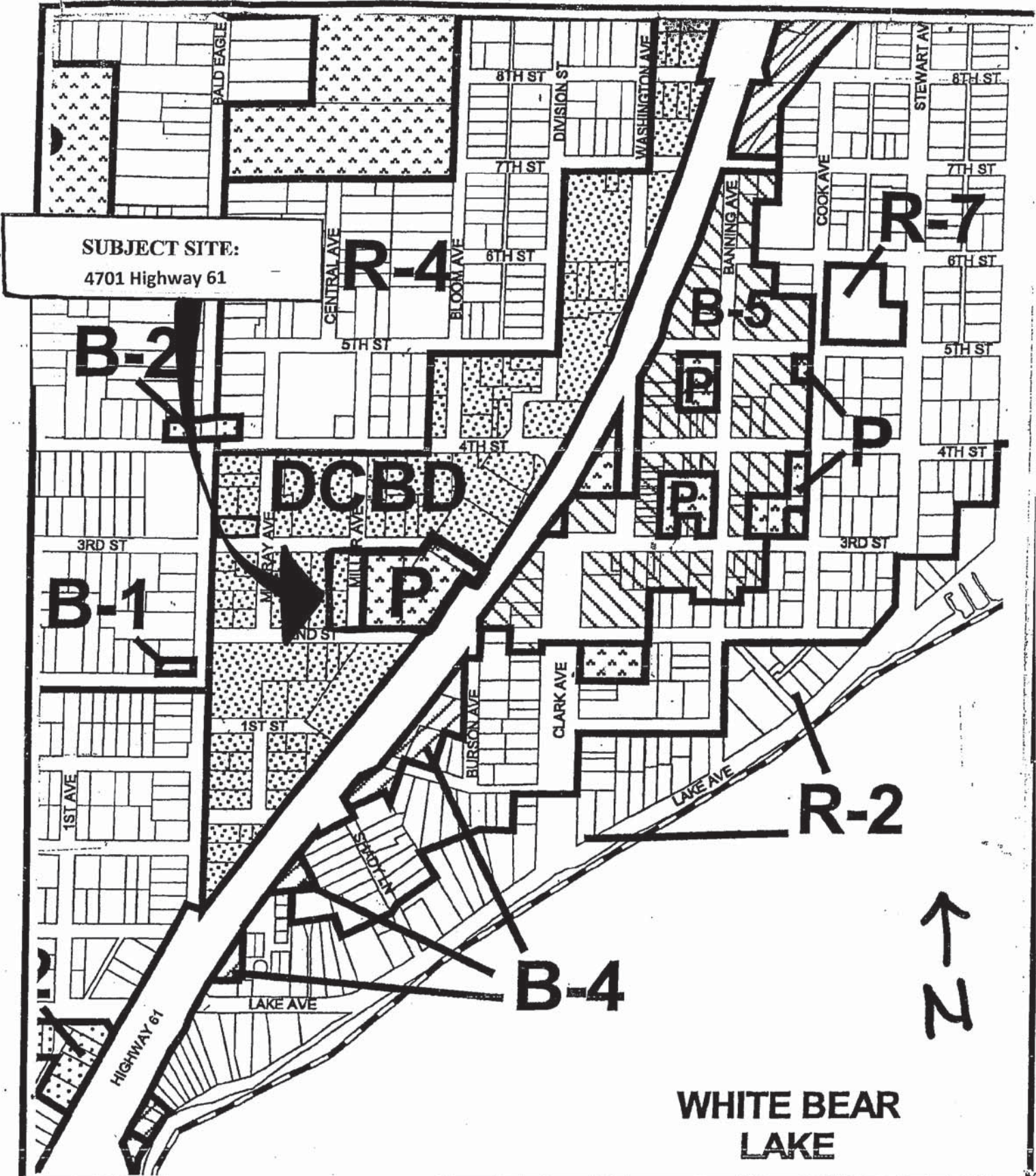
Nays:

Passed:

Dan Louismet, Mayor

ATTEST:

Kara Coustry, City Clerk



SUBJECT SITE:
4701 Highway 61

B-2

R-4

R-7

DCBD

B-1

IP

B-5

P

P

R-2

B-4

**WHITE BEAR
LAKE**



City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 22-1-0
CASE NAME : Public Safety Building
DATE : January 31, 2022

City of White Bear Lake Public Safety Building Project

Estimated Project Cost: \$12,500,000

Request for Funding: \$6,250,000

Project Summary

The City of White Bear Lake is planning for the renovation and expansion of its Public Safety Building at an anticipated cost of \$12.5 million. The project includes construction of a police squad garage, replacement of its fire apparatus bay constructed in 1961, incorporation of space to meet federal health and safety standards that prescribe separate zones for contaminated fire gear, and the addition of dorm room capacity to accommodate the City's new full-time, combination fire/ambulance response model.

White Bear Lake's Police and Fire Departments provide full-time, 24/7 service to the City of White Bear Lake and surrounding communities. The Police Department has 31 sworn officers who serve the communities of White Bear Lake and Gem Lake; the Fire Department has 14 full-time Firefighter/Paramedics who, in combination with assigned duty crews, serve the communities of White Bear Lake, White Bear Township, Birchwood, Gem Lake and Dellwood. The Public Safety Building will continue to serve regional interests not only through the full-time police, fire and ambulance services provided to surrounding communities, but also through its use as a regional training center for the State Patrol and other law enforcement agencies.



Above: Police Squads currently park on street along backside of building.

Below: Fire Bay no longer accommodates apparatus needed to serve today.



Financing

The City's fiscal status over an eleven-year period, beginning with the great recession, was one of revenue stagnation. The City addressed the financial challenges presented by the great recession through strategic utilization of fund balances/reserves to fund a portion of operations and infrastructure projects in an effort to keep the tax levy down while households regained their footing. Consequently, setting dollars aside for a future facility project was not feasible.

A healthy bond rating of AA+ issued by Standard & Poor reflect the City's sound fiscal and financial management planning. However, despite the favorable rating and lower interest rates, the City projects an \$875,000 annual debt service over 20 years to finance this project. This significant tax levy increase compounds the impact on property owners from a \$326 million school district capital referendum passed in 2020, the largest single school district levy referendum ever passed in this state.

The City of White Bear Lake is requesting assistance from the State for one-half (1/2), or \$6,250,000, of total project costs.

January 20, 2022

City of White Bear Lake Public Safety Building Project

Estimated Project Cost: \$12,500,000

Request for Funding: \$6,250,000

Additional Project Background

Fire Apparatus Bay

The existing apparatus bay at the north station was constructed in 1961. There have been significant changes in the industry over the past several decades including, but not limited to, health and safety standards that prescribe separate zones for contaminated gear and areas where personnel train, rest and do reports. Proper air exchange and handling within the station is an industry standard, which did not exist when the building was constructed. The equipment used today has also changed and is, in most cases, much larger. As one example, the type of ladder truck that the City ordered was limited due to the height of the doors on the station. The collective impact of the overall size of the equipment and the need to add equipment in order to continue to provide adequate service over the last 60 years has created space issues.

The Fire Department itself has changed significantly since this building was constructed; most notably call volumes have grown from a few hundred each year in the 1960's to approximately 4,400 annually, having increased 25% over the last five years alone.

In 2019, the City hired 12 full-time Firefighter/Paramedics transitioning from a mostly paid-on-call model to a combination-staffing model; in response to continued increases in calls for service, two more full-time positions were added to the 2022 budget. Replacement of the existing fire apparatus bay would also include added dorm room capacity to accommodate the City's combination response model and account for future growth.

Police Squad Garage

The construction of a police garage was initially contemplated as a second phase to the public safety building expansion in 1993. The City purchased the homes across from the station for this purpose. Currently, the Police Department has four indoor parking spots and 19 total vehicles in their fleet. Two of those four spots are the secured sally port which are reserved for suspect booking. Today's police squads are equipped with technology and tools that need to stay warm in the winter and cool in the summer. With no indoor parking, squads are left idling and rotated through the current available indoor parking spots to keep them from getting too warm or too cold. In addition to indoor parking of squad vehicles, the Police Department has a general need for secure, indoor storage for evidence and equipment.

In recent years, officer safety has become a concern as police departments and police vehicles have become the target of vandalism and violence. In addition to exposure of police squads, the parking area lacks basic security and leaves officers, firefighters, other staff members exposed to an easily accessible public street as they enter and exit the facility.

Through the space needs study, it was determined that 34 indoor parking spots would be needed to house police squads, fire administration vehicles; this also takes into consideration potential for future expansion. A restroom, gear storage lockers for the officers and space for secure storage of large evidence would also be included.



City of White Bear Lake
Public Safety Addition & Renovation
Land Use and Variance Application – Cover Letter
December 15, 2021





City of White Bear Lake
Public Safety Addition & Renovation
Land Use and Variance Application – Cover Letter
December 15, 2021

Anne Kane
City of White Bear Lake
4701 US 61
White Bear Lake, MN 55101

The following is a land use and variance application for the City of White Bear Lake Public Safety Addition & Renovation project. As a Capital improvements project, a conditional use permit is required by the city.

A draft version of this application was submitted by Wold Architects and Engineers to for review and comment on November 12, 2021. Wold has revised the application, incorporating comments received from city staff via a formal response on December 3, 2021 as well as discussions with individual staff members.

This application includes the following components:

Small Format Documents

1. Cover Letter
2. Responses to City Comments
3. Formal Land Use and Variance Application
4. Written Application Narrative
5. Nine Design Principles Response
6. Site Lighting Cutsheets
7. Storm Water Management Report

Large Format Documents

8. Material and Color Elevations
9. Site Survey
10. Civil Engineering Drawings
 - a. Removals Plan
 - b. Finishing Plan
 - c. Grading and Drainage Plan
 - d. Utility and Sediment Control Plan
 - e. Landscaping Plan
 - f. Site Details
11. Architectural Drawings
 - a. Floor Plans
 - b. Roof Plans (Proposed Future Solar Array Layout)
 - c. Exterior Elevations
12. Site Lighting Plan
13. Plumbing Plans Indicating Floor Drain Connection Locations



City of White Bear Lake
Public Safety Addition & Renovation
Responses to City Comments

The following is a list of comments made by city staff in a letter dated December 3, 2021. This letter was a response to a draft application submitted by Wold Architects and Engineers on November 12, 2021. Below each comment is a response from the design team per the following format:

*****Responses from Wold Architects and Engineers dated 12/13/2021 are in Bold Red.**

*****Responses from Bolton & Menk dated 12/13/21 are in Bold Purple.**

PLANNING DEPARTMENT

General Comments

1. A Final Plat is not necessary for the recently acquired properties; however, it will be necessary to tie the parcels together with the Ramsey County Recorder of Deeds.
 - **City of White Bear Lake to take action on this item.**
2. A Lot Split is not necessary, however, please include a copy of the full survey with each plan set.
 - **The survey is included in the attached drawings.**
3. See suggestions on written narrative (previously provided).
 - **Noted and revised per conversation with Anne Kane on 12/8/2021.**
4. Please expand narrative to describe efforts to ensure building being is solar ready.
 - **The structural systems for the roofs at the squad garage and apparatus bay are designed to withstand the added weight of a future solar array. Additionally, the layout of mechanical equipment on the new roofs is optimized for the solar array. Roof plans showing a potential layout of a future solar array have been included with the architectural drawings.**

Elevations

5. Is the east elevation is mislabeled on “existing” versus “new”?
 - **Corrected.**
6. The proposed dark bronze metal cornice seems disproportionately wide. Please reduce the width of this feature to be the same width as the cornice element on the existing building, see north elevation. This will also provide some “relief” (brick space) between the clearstory windows on the west elevation and the cornice.
 - **The cornice has been updated to match the bottom elevation of the adjacent existing cornice. The height of the cornice has been reduced, however, it is not possible to reduce it to match the existing building due to the code-required depth of roofing insulation.**

Site Plan

7. Please show the correct size of the existing sidewalk leading to the rear (north) door of City Hall.
 - **This comment has been sent to the surveying team (E.G. Rud & Sons) and will be reflected once the survey is updated.**
8. Please provide parking calculations in a chart.
 - **Please see sheet C1.21 for the parking calculations**



9. Please label the north side entrance to the parking garage as entrance only.
 - **This has been labeled on sheet C1.21**
10. Please disperse the handicap parking stalls so that some are in closer proximity to the north side entrance — depending on the final location and design of the dumpster, entrance location to police garage, and to accommodate City employees.
 - **All handicap parking has been shifted to the north to align with the updated door location near the secure parking.**

Landscape Plan

11. Please note that all parking lot islands (peninsulas) must be at least 8 feet wide, are required at the rate of 144 square feet per every 10 stalls, and must have at least one tree per 144 sq. ft. The islands can be grouped together to facilitate plowing and shade tree planting. Please calculate and provide the internal parking lot landscaping data in a chart.
 - **Please see sheet C1.21 for landscaping data calculations.**
12. Please remove the sidewalk in between the handicap stalls and replace with foundation low maintenance native plantings.
 - **This has been updated on sheet C1.21/L1.11**
13. If the dumpster is re-located on the north side of the building, the area where the dumpster is currently located should be converted to greenspace.
 - **The dumpster has been relocated and the previous location has been converted to green space.**
14. Ensure the accessible parking stall in the visitor parking in front of the Public Safety Building allows for wheelchair access to the driver's side of the vehicle. It may be appropriate to widen the parking stall/reduce the striped access area, while still ensuring access to the handicap ramp.
 - **The parking stall in this location has been modified to be 10' in width and the access aisle reduced to 8' in width.**

Lighting

15. Please revise the photometric plan to show all the foot-candles, past the property lines, until they reach 0.
 - **Updated on attached photometric plan.**
16. Please calculate the photometrics at grade.
 - **Photometrics are calculated at grade.**
17. If there will be any lighting on the new north side building addition please expand the photometric plan to include that area as well.
 - **The photometric plan has been updated to reflect proposed bollards along the sidewalk north of the Public Safety building.**
18. Please make sure the photometric plan also includes any existing lighting to remain.
 - **Most wall mounted lighting assemblies are being removed for the additions. Two pole light assemblies are being relocated on the northeast side. These are shown on the revised plan.**
19. Please note that foot-candles may not exceed 0.4 at the residential property line and 1.0 at the centerline of a public street
 - **The revised plan shows meeting the foot candle criteria of 0.4 at property line and 1.0 footcandle at the middle of the street.**



City of White Bear Lake
Public Safety Addition & Renovation
Responses to City Comments

20. Please provide spec sheets for all proposed fixtures — both freestanding and wall mounted.
 - **Cutsheets of proposed luminaires are attached.**
21. Please provide back-side shields on all the fixtures along the west property line.
 - **House side shields are indicated and shown on the plan with "H" suffix on the type.**

ENGINEERING DEPARTMENT

General Comments

- 1) This project shall meet City stormwater rate and volume control/water quality requirements. The City's Engineering Design Standards for Stormwater Management can be found at the following link:
https://www.whitebearlake.ore/sites/default/files/fileattachments/engineering/page/7366/engineering_design_standards-final2.pdf. A stormwater management report shall be provided for this project.
 - **This project has been designed to these standards. Please see the supporting Stormwater Report for calculations.**
- 2) Submit the geotechnical report for review, including a map of soil boring locations, to determine if soil borings were taken at the location of the proposed underground infiltration pipes and potential above ground infiltration practices. These soil borings shall include information on the seasonal high groundwater elevation. As per our Engineering Design Standards for Stormwater Management, alternative stormwater treatment practices are allowed if infiltration is not feasible due to high groundwater, heavy clay soils, contamination, etc.
 - **The geotechnical report has been included in the stormwater report.**
- 3) Provide an existing conditions plan sheet and include topo. City to verify existing utilities.
 - **The survey has been included in this submittal.**
- 4) The City will provide additional detail on vehicle charging station locations in the west parking lot. These charging station may be a combination of free (for City fleet vehicles).
 - **These locations were not received by the time the submission to the City was made. A plan will be developed with the city and building occupants.**

Removals Plan

- 5) Revise the removals plan to include tree, building, trash enclosure, and other structure removals.
 - **The removals plan has been revised.**
- 6) 4701 Miller: disconnect water service on 2nd Street at the watermain.
 - **This has been noted on both sheets C1.11 and C1.41.**
- 7) 4709 Miller: disconnect water service on 3'd Street at the watermain. Show the general location of the water service on the plan and include a note to field verify.
 - **This has been noted on both sheets C1.11 and C1.41.**



Finishing Plan

- 8) The City will provide additional detail on the final location and appropriate size of the trash enclosure.
 - **As a result of a meeting with the City on 12/9, the preferred dumpster location has been understood to be on the north end of the secure parking lot.**
- 9) Conduct an Autoturn analysis at the west exit of the proposed fire station to determine the proper layout of the pavement and green space.
 - **This analysis has been accomplished and has been shared with the Fire Department in a separate submittal.**
- 10) If feasible, combine the landscape islands in the west parking lot and use as infiltration/filtration basins (consider 3 basins, one at each of the three catch basins on the west side of the parking lot). A minimum of 144 square feet of landscape island/infiltration basin per 10 stalls is required, so at least 778 square feet total within the parking lot. Our code requires 1 tree per 144sf of parking lot. One to two trees per basin is preferred, such as a native river birch or other native tree species that will tolerate wetter conditions. The additional required trees can be planted elsewhere on the site near hard surfaces. If the trees will be planted elsewhere, please be sure to call them out on the plan. The parking lot basins should not be considered if there is no feasible way to effectively route additional runoff into the storm sewer system to prevent parking lot flooding.
 - **The landscaped island proposed in the secure lot is not big enough to provide trees, lighting, and a infiltration area of appreciable size. The stormwater management strategy for the secure parking lot is proposed as an underground infiltration area.**
- 11) The emergency overflow of the parking lot low points should not be directed onto the neighboring properties to the west.
 - **Noted. The grading plan has been revised.**
- 12) All curb and gutter shall be B618.
 - **Noted. The details on sheet C2.12 have been revised.**

Grading Plan

- 13) The proposed west parking lot slope shall be a maximum of 3%.
 - **The parking lot in some locations (on the north side) have been reduced to the greatest extent practicable. The tie in to 3rd street to the north is driving the steep grades in this location.**

Utility and Sediment Control Plan

- 14) Note the water service disconnects (comments 7j and 8,) on the utility plan.
 - **This has been noted on sheets C1.11 and C1.41**
- 15) Add a gate valve on the proposed water service to 3rd Street.



- **This has been added on sheet C1.41**

16) What work is being proposed on the water service between City Hall and Public Safety?

- **The plans have been updated to clean up the linework in this location. There was a comment received from the Fire Department requesting a hydrant near the entrance to the apparatus bay, so this update has been shown.**

Landscaping Plan

17) Where possible, trees and shrubs shall be native species.

- **Noted.**

Site Details

18) Replace the pivot gates with sliding gates.

- **The design team is working on getting updated details from the manufacturer. For now, the details have been renamed as sliding instead of pivot as a placeholder.**

19) Check that all MnDOT details are up to date.

- **Noted.**

20) Include a B618 detail.

- **This has been added to sheet C2.12**

Lighting Plan

21) Include outdoor light fixture details on the appropriate plan sheet.

- **Refer to the cutsheets as stated above.**

Main Level Floor Plan — Area C

22) Show where the proposed interior floor drains connect to the sanitary stub.

- **See the attached plumbing plans.**

23) The City will provide additional detail on vehicle charging stations that are planned in the squad garage.

- **A plan will be developed with the city and building occupants.**

FIRE DEPARTMENT

Plans have been revised per the sketches provided by the fire department along with discussions between Wold and city staff. The design team is continuing to incorporate the comments made by the fire department as contract documents are developed further.



LAND USE AND VARIANCE APPLICATION

City of White Bear Lake

4701 Highway 61, White Bear Lake, MN 55110

(651) 429-8561/FAX: (651) 429-8503

Please complete the entire form to ensure proper application and publication. (See opposite side for further information.) Also, please set an appointment with a Planner to submit.

Owner / Applicant: WOLD ARCHITECTS AND ENGINEERS

Site Address: 4701 US 61, WHITE BEAR LAKE, MN 55110

Daytime Phone Number(s): 651-227-7773

Email / Fax Number: DGALLAGHER@WOLDAE.COM

Mailing Address: 332 MINNESOTA STREET, SUITE W2000, SAINT PAUL, MN 55101

Legal Description: _____

DESCRIPTION OF REQUEST: WHITE BEAR LAKE PUBLIC SAFETY ADDITION & RENOVATION
CONDITIONAL USE PERMIT APPLICATION

Applicant's Signature

DECEMBER 15, 2021

Date of Application

Property Owner's Signature (Required if different than applicant.)

RICK JUBA, CITY ADMINISTRATOR

Property Owner's Printed Name and Title

NATURE OF REQUEST:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Conditional Use Permit (\$400) | _____ Comprehensive Plan Amendment (\$500) |
| _____ Conditional Use Permit Amendment (\$200) | _____ Preliminary Plat (\$500) |
| _____ Variance (\$250 for residential, \$500 for other) | _____ Final Plat (\$100) |
| _____ Time Extension for CUP or Variance (\$50) | _____ Vacation (\$250) |
| _____ Lot Split (\$250) | _____ Address List (\$60)* |
| _____ Rezoning & Text Amendment (\$750) | _____ Permitted Home Occupation (\$50) |
| _____ Planned Unit Development (\$750) | _____ Special Home Occ. (with CUP) (\$100) |
| _____ Grading Plan (\$250) (\geq 1/2 ac. in size) | |
| _____ Grading Plan Amendment (\$75) ($<$ 1/2 ac.in size) | |

* Not required for lot splits

FOR OFFICE USE ONLY

Case No(s). _____

Zoning _____

Fee \$ _____

Receipt No. _____

APPLICATIONS WILL NOT BE PROCESSED WITHOUT THE FOLLOWING:

Submit with all requests three copies for residential projects, five copies for commercial projects of the following:

- A written narrative describing the request and why the City should approve the request.

For a variance, please cite the specific numeric deviation being requested and list the conditions unique to the subject property that prevents compliance with the zoning code. Variances from zoning standards may be granted in cases of practical difficulty, which means that the property in question cannot be put to a reasonable use under the conditions allowed by the Zoning Code due to circumstances unique to the property and not created by the landowner. Economic considerations alone shall not constitute a practical difficulty. Please address the standards listed in Zoning Code Section 1301.060, Subd.1.b, as they relate to your request.

For a conditional use permit, please describe how the use will function, i.e.: hours of operation, deliveries etc. Also please address how or why the standards listed in Zoning Code Section 1301.050, Subd.2.e, have been met.

- A site plan of proposed request, drawn to scale (1" = 20') or as approved by city planner, showing the following:

- a. Arrow indicating north.
- b. Location of structure(s) and parking on lot.
- c. Adjacent street names.
- d. Setbacks and use of proposed structure(s) and parking.
- e. Setbacks and use of adjacent structures.
- f. Dimensions of proposed structure.
- g. Distance between any proposed structure and structures on adjacent lots.
- h. Impervious area calculations, if located within the Shoreland Overlay district.
- i. Other information as required in the Zoning Code, including an existing conditions plan.

- Proposed building elevations and floor plans, to scale, colored elevation renderings and building material samples if a commercial project.

- Demo, landscaping, lighting, utility, and grading and drainage plans for most new development (check with city planner for specific requirements).

- An Adobe PDF file of all project plans. This may be submitted by e-mail.

- If a lot split, please provide a Certificate of Survey – see “Survey Requirements” document.

- If a commercial project or infill residential development, please provide a written response to “Nine Design Principles” document.

- Twenty photocopies of above described plans, reduced to 11" x 17". **Please coordinate with the planner about the timing of this part of the submittal.**

NOTES:

1. If the applicant is different than the owner, permission from the owner to apply is necessary in the form of a written letter.
2. The applicant shall pay for additional mailings and publications costs when the applicant requests a tabling or continuation of his/her case.
3. You are encouraged to discuss your proposal with adjacent property owners before you submit a formal application.



City of White Bear Lake
Public Safety Addition & Renovation
Written Application Narrative
December 15, 2021

The purpose of this narrative is to satisfy the requirement detailed by the City of White Bear Lake Land Use and Variance Application. Page two of the application describes the narrative as follows:

For a variance, please cite the specific numeric deviation being requested and list the conditions unique to the subject property that prevents compliance with the zoning code. Variances from zoning standards may be granted in cases of practical difficulty, which means that the property in question cannot be put to a reasonable use under the conditions allowed by the Zoning Code due to circumstances unique to the property and not created by the landowner. Economic considerations alone shall not constitute a practical difficulty. Please address the standards listed in Zoning Code Section 1301.060, Subd.1.b, as they relate to your request.

For a conditional use permit, please describe how the use will function, i.e.: hours of operation, deliveries etc. Also please address how or why the standards listed in Zoning Code Section 1301.050, Subd.2.e, have been met.

Note: The language pertaining to variances is not applicable as this application does not include any variances. Instead, this narrative is focused on the conditional use permit.

- A. Hours of Operation: This is a public safety facility and is therefore in operation at all hours of the day.
- B. Deliveries: The parking lot adjacent to the entrance of the facility has been designed to accommodate deliveries.
- C. Traffic: The new Fire Department apparatus bay is designed for one-way traffic entering from the east and exiting to the west. The Police Department squad garage is designed for two way flow north and south. The design includes a staff parking lot at the west end of the site enclosed on three sides by security fence, with privacy fence separating it from the adjacent residences.
- D. Zoning Code Section 1301.050, Subd.2.e
 - 1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.
 - i. **The proposed addition falls entirely on land that is designated for 'public/semi-public' use by the City's Comprehensive Land Use Plan.**
 - 2. The proposed use is or will be compatible with present and future land uses of the area.
 - i. **The designated land use for the immediate area is 'downtown'. The proposed addition expands the existing public service facility to allow more space for the functions already taking place on the site.**
 - 3. The proposed use conforms with all performance standards contained herein.
 - i. **Per conversation with Anne Kane on December 8, 2021, this narrative does not address all performance standards under 1302 of the Zoning Code, though the design team is working with the city to ensure that all relevant code requirements are met.**



City of White Bear Lake
Public Safety Addition & Renovation
Written Application Narrative
December 15, 2021

- ii. **Public safety is a goal of the Comprehensive Plan, and the expansion and renovation of the Public Safety building is in line with that goal.**
 - iii. **The proposed modifications to the use of the site (increased building size and added surface parking) can be accommodated by the building site.**
 - iv. **The Comprehensive Land Use Plan requires that Public Facilities operate in a cost efficient and responsible manner taking into account energy efficiency and impact to the natural environment.**
 - v. **The proposed additions are designed to current building and energy codes, while improving the energy efficiency of the existing building by replacing existing roofing (and providing additional insulation) and replacing sealant at existing openings.**
 - vi. **The structure and mechanical unit layout of the new addition is being designed to allow for the installation of a future solar array, which will allow the city to offset its energy use.**
4. The proposed use will not tend to or actually depreciate the area in which it is proposed.
- i. **The proposed addition has the same use as the existing facility on the site.**
5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.
- i. **The design team is working with the local utilities and other public services to ensure the proposed addition will not overburden those systems.**
6. Traffic generation by the proposed use is within capabilities of streets serving the property.
- i. **The design does not significantly add to traffic on the site, and the design of an off-street parking lot will reduce the burden on street parking.**



City of White Bear Lake
Public Safety Addition & Renovation
Nine Design Principles Response

1. *Regionalism: How does the architecture fit with the community in respect to climate, local materials and history?*
 - a. **Climate:** The design makes use of materials with high thermal mass (e.g. brick, precast concrete, concrete masonry, etc) as well as thermally-broken window framing and low emissivity glass to ensure high thermal performance.
 - b. **Local Materials and History:** The design makes use of masonry finishes, which are common in the city of White Bear Lake, especially in the nearby historic downtown area. Furthermore, the bricks have been selected to closely match or coordinate with the brick used on the existing Public Safety building and adjacent City Hall building. The cast stone material used on the two garage structures emulates the similar material used on the City's Public Works building, creating a link between city-owned facilities.

2. *Context: How was the project designed to fit within the context of the site (such as topography, views, other natural features and characteristics of surrounding properties)? Has a market study been conducted for this use at this site?*
 - a. **The design draws on the material palette of the existing buildings on the site, creating a cohesive language for the campus through a rhythm of materials from each building. The design will also draw more attention to the campus by creating focal points on the new Fire Department addition that draw attention to the building from Highway 61.**
 - b. **Market Study: N/A.**

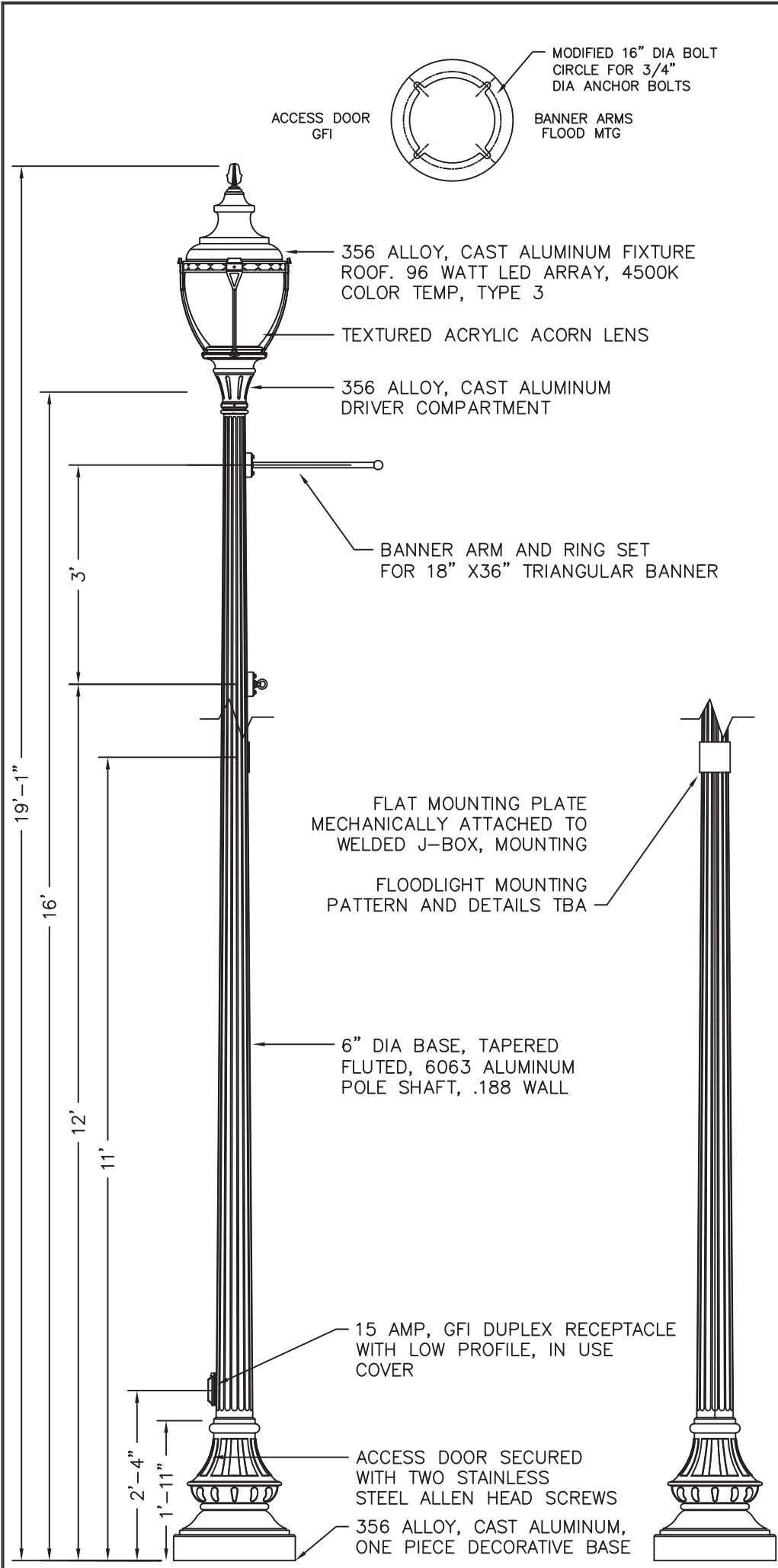
3. *Scale and Massing: How does the scale of the building fit with the surrounding buildings and what massing strategies have been used to affect scale at a pedestrian level as well as the distant panoramic view? What techniques have been employed (such as landscaping) to mitigate any large, blank surface, such as a windowless façade or a large expanse of asphalt? Can daylight reach into all parts of the building?*
 - a. **Police Department Addition:** The height of the squad garage matches the existing Public Safety building. The façade is broken up by translucent panels and by modulating between two different masonry materials.
 - b. **Fire Department Addition:** The general massing and height of the Fire Department addition is not out of place with adjacent properties (i.e. North Star Bank Building and Frassati Catholic Academy) which are double-story masonry buildings with large glass openings. Furthermore, glass openings at the apparatus bay extend down to street level, creating a connection with pedestrian traffic and allowing for the display of the department's historic fire engine. The largest brick surface is the new training stair, which uses recessed brick to break up the surface, and is topped with a contrasting metal panel cap with windows.
 - c. **Daylight can reach all parts of the building with the exception of utility areas supporting the apparatus bay, and private spaces such as the locker rooms.**

4. *Composition: Is the building proportionally correct? (ie: is the roof of a one-story building only a foot or two above the ceiling?)*



City of White Bear Lake
Public Safety Addition & Renovation
Nine Design Principles Response

- a. **Appropriate space (i.e. 2'-0" to 3'-0") is given between the ceilings and structural components of the roof and upper level to allow space for the building's mechanical system.**
5. *Hierarchy: What is the visual emphasis of the building?*
 - a. **The emphasis is on the new Fire Department training stair tower, and the corner of the apparatus bay where the historic fire engine will be displayed.**
6. *Color: What is the color pallet? Please provide a material sample board with color pallet for review.*
 - a. **The color pallet closely matches the existing buildings on the site and incorporates color/material from the Public Works building.**
7. *Detail and Craftsmanship: Who is the builder? Do you have any existing projects we can visit?*
 - a. **The project will be publically bid.**
8. *Transformation: How well will the building adapt to changes in tenants? Can this design gracefully transform into another use – what is its reincarnation?*
 - a. **The building is highly specific to its current use, though as a public building, change in occupancy is not a concern.**
9. *Simplicity: What is the idea or concept behind this design? Are there any faux elements? If so, please explain their reason.*
 - a. **The design seeks to incorporate aspects of historic design (e.g. masonry finishes, a high level of relief, and human-scale deployment of materials) while incorporating elements of contemporary design that is true to our own time such as the proportion of glass openings, cantilevered overhang at apparatus bay all while highlighting the function of the building. The cast stone used at the apparatus bay is a concrete masonry product that emulates the look of stone. The reason for this material choice is that it allows for a similar look to the Public Works building while keeping the material cost in line with the project budget.**



POLE HEIGHTS HAVE A TOLERANCE OF + OR - 2"	8/31/12	DRAWING NUMBER SC16710A
	3/4"=1"	
WHITE BEAR LAKE CITY HALL / MK: MAIN FLAGS	A880ASRLED/5PPT/5216ETFP6-MODBC/6ARC45T3	DRAWN SS
	/ML/SBAR/GFI-MOD/GFI-IUC/STD	
SINCE 1923		
SOCKET TYPE		
WATTAGE 96		
LIGHT SOURCE MHP		
VOLTAGE 120-277		
FUSE		
FINISH ADVISE		



WST LED

Architectural Wall Sconce



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

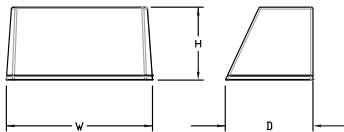
See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Specifications

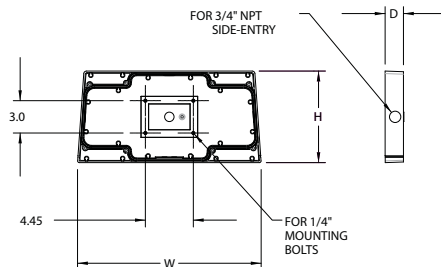
Luminaire

- Height:** 8-1/2"
(21.59 cm)
- Width:** 17"
(43.18 cm)
- Depth:** 10-3/16"
(25.9 cm)
- Weight:** 20 lbs
(9.1 kg)



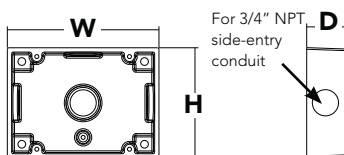
Optional Back Box (PBBW)

- Height:** 8.49"
(21.56 cm)
- Width:** 17.01"
(43.21 cm)
- Depth:** 1.70"
(4.32 cm)



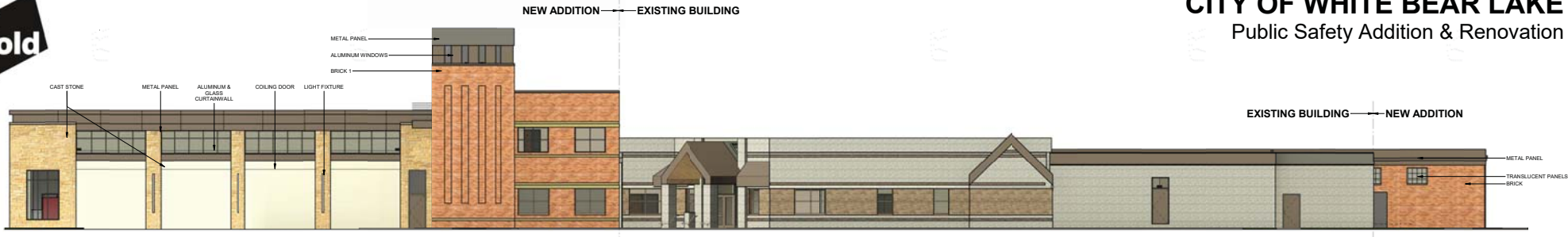
Optional Back Box (BBW)

- Height:** 4"
(10.2 cm)
- Width:** 5-1/2"
(14.0 cm)
- Depth:** 1-1/2"
(3.8 cm)





CITY OF WHITE BEAR LAKE Public Safety Addition & Renovation



1 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



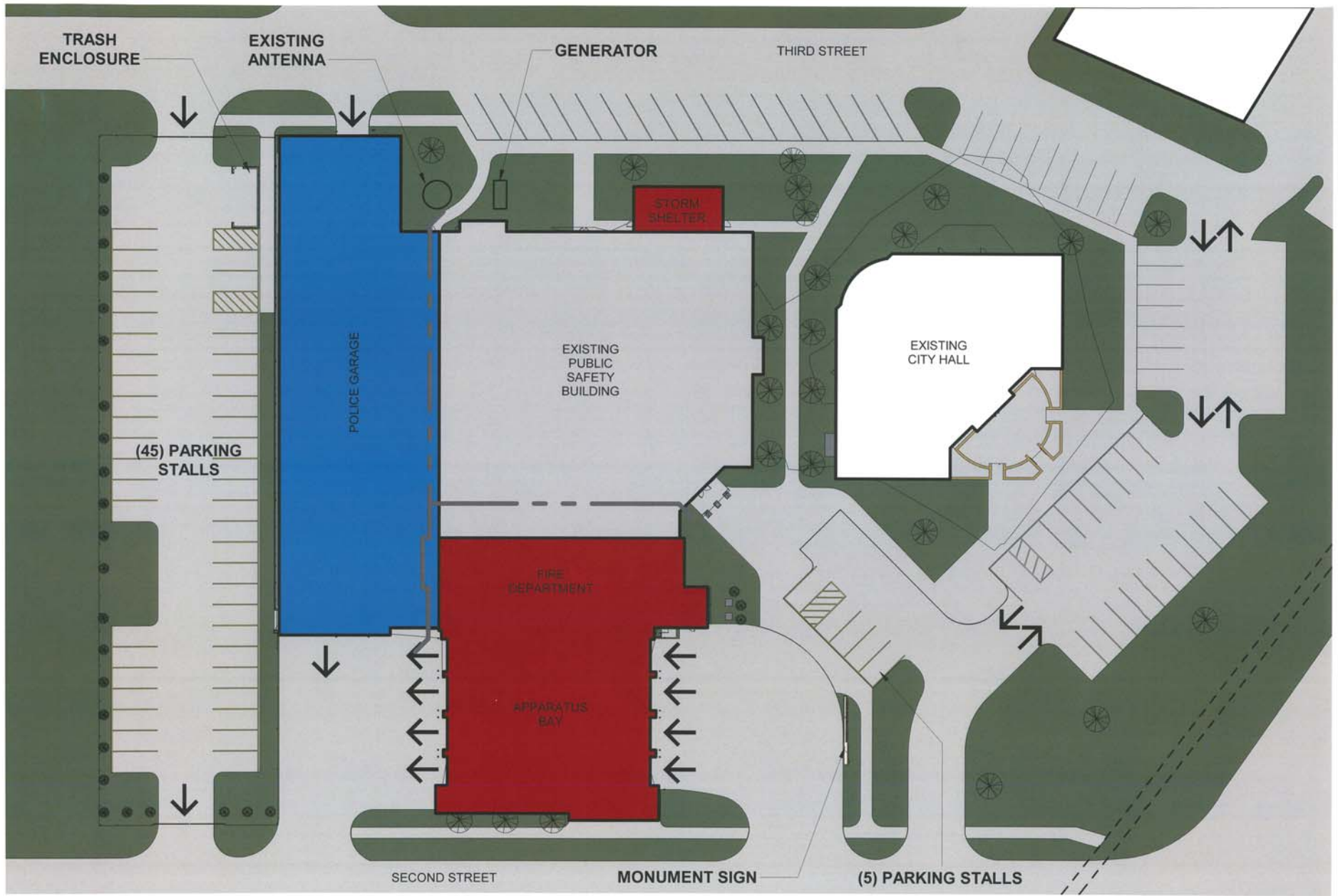
3 WEST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS - PLANNING COMMISSION APPLICATION

WORLD ARCHITECTURE
1000 W. 10th Street, Suite 100
Billings, MT 59102
Phone: (406) 251-1111
www.worldarchitect.com



**WHITE BEAR LAKE
FDPD ADDITION
AND RENOVATION**

CITY OF WHITE BEAR LAKE



**WOLD ARCHITECTS
AND ENGINEERS**
312 Minnesota Street, Suite 9200
St. Paul, MN 55101



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed **PROFESSIONAL ENGINEER** under the laws of the State of **MINNESOTA**.

DAVID A. REY
Registration Number: 46189 Date: 07/14/2021

Revision	Date	By	Check

Client: 211238
Date: 02/26/2021
Drawn: BJD
Checked: DAR

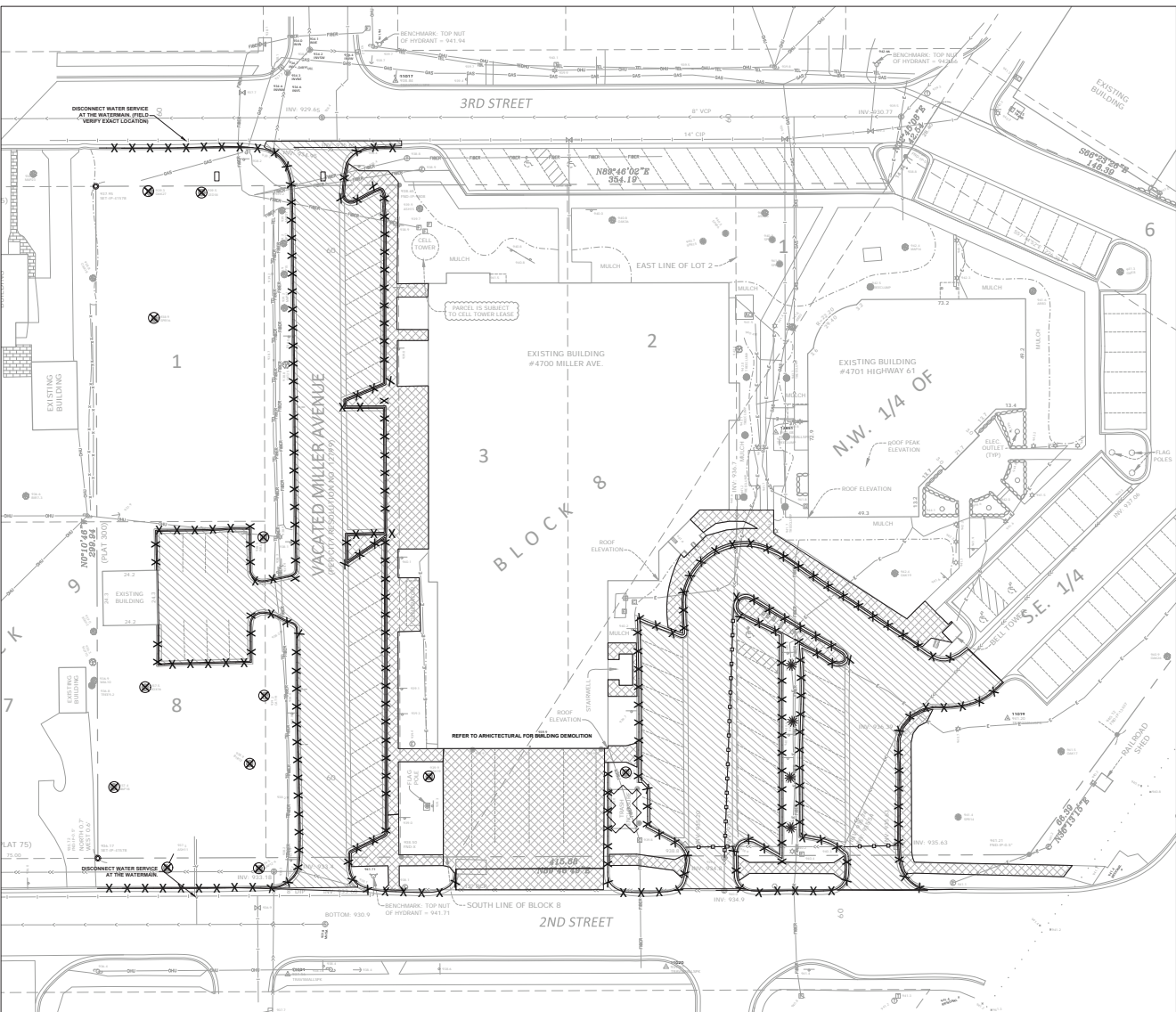


REMOVALS PLAN

Scale: 1" = 20'
C1.11

- NOTES:**
- REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
 - MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, FENCING, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
 - REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO OWNERS' SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
 - VISIT THE SITE PRIOR TO BIDDING. BE FAMILIAR WITH ACTUAL CONDITIONS IN THE FIELD. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR CONDITIONS WHICH COULD HAVE BEEN DETERMINED OR ANTICIPATED BY EXAMINATION OF THE SITE, THE CONTRACT DRAWINGS AND THE INFORMATION AVAILABLE PERTAINING TO EXISTING SOILS, UTILITIES AND OTHER SITE CHARACTERISTICS.
 - THE CONTRACTOR SHALL HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.

- LEGEND**
- CONCRETE PAVEMENT REMOVALS
 - CONCRETE CURB AND GUTTER REMOVALS
 - BITUMINOUS PAVEMENT REMOVALS
 - UTILITY REMOVALS
 - TREE REMOVALS
 - SAWCUT
 - FENCING REMOVALS
 - PROPERTY LINE



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**WHITE BEAR LAKE
FDPD ADDITION
AND RENOVATION**

CITY OF WHITE BEAR LAKE



**WOLD ARCHITECTS
AND ENGINEERS**
313 Minnesota Street, Suite 7500
St. Paul, MN 55101



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID A. REY
Registration Number 48180 Date: 07/14/2021

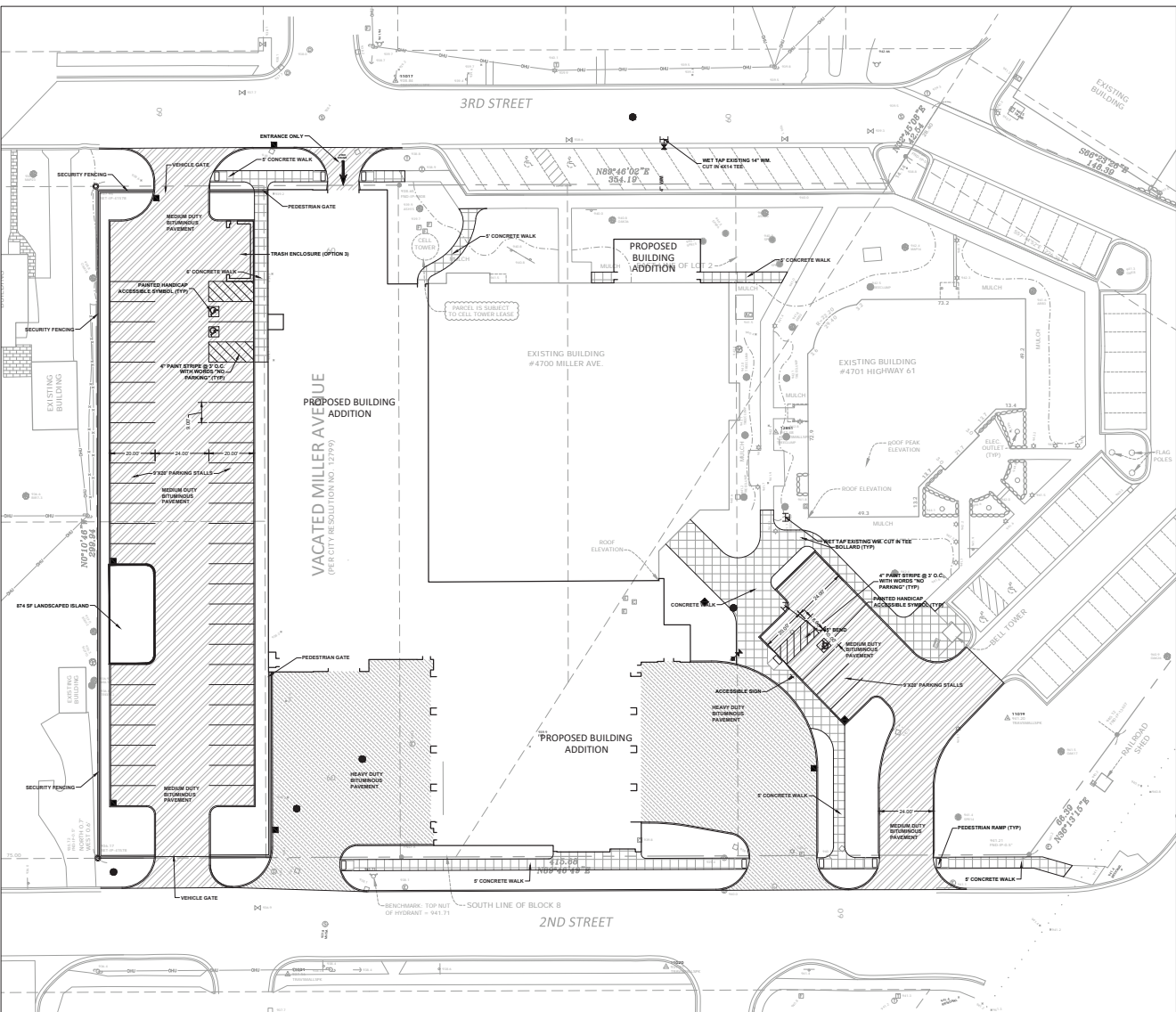
Revision	Date	By	Check

Client: 21229
Date: 02/26/2021
Drawn: BJD
Check: DAR

FINISHING PLAN

Scale: 1" = 20'

C1.21



NOTES:

- REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SOODED.
- WHERE NEW SOO MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JACKED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOO SURFACE TO BE FLUSH WITH EXISTING.
- FAILURE OF TURF DEVELOPMENT, IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOO ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS (DETAIL ID NUMBER (TOP), DETAIL SHEET NUMBER (BOTTOM))
- PROPOSED CONCRETE WALK
- PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED LANDSCAPE ROCK BED
- PROPOSED RETAINING WALL
- PROPOSED FENCING
- PROPOSED FENCING WITH MAINTENANCE STRIP
- PROPOSED TRAFFIC CONTROL SIGN
- PROPOSED BOLLARD
- PAINTED ACCESSIBLE SYMBOL
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED FLAGPOLE - REFER TO ARCHITECTURAL PLANS
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

SITE STATISTICS:

EXISTING PARKING COUNTS (166 TOTAL STALLS):
STANDARD STALLS = 151
ACCESSIBLE STALLS = 5

PROPOSED PARKING COUNTS (117 TOTAL CAR STALLS):
SECURE PARKING STALLS = 47
STANDARD / NON-SECURE STALLS = 63
ACCESSIBLE STALLS = 7

ACCESSIBLE PARKING STALL REQUIREMENTS = 6 STALLS
ACCESSIBLE PARKING STALLS PROVIDED = 7 STALLS

SECURE PARKING LOT LANDSCAPE DATA

47 STALLS
8' x 7' = 5
14'6" x 7'20" = 63
LANDSCAPED ISLAND = XX SF

MN

C

**WHITE BEAR LAKE
FDDP ADDITION
AND RENOVATION**

CITY OF WHITE BEAR LAKE



**WOLD ARCHITECTS
AND ENGINEERS**
312 Hawthorne Street, Suite 2000
White Bear Lake, MN 55120
Phone: 651.227.7773



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GENERAL NOTES

1. ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. ALL SIGNAGE LAYOUTS MUST BE DESIGNED BY THE CONTRACTOR AND APPROVED BY LOCAL AUTHORITIES.
5. INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
6. INSPECT SITE AND REVIEW SOIL BORINGS TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
7. REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
8. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
9. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND STOOP DIMENSIONS AND LAYOUT.
10. REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, PART OF SECTION 18.13, FOR EROSION CONTROL REQUIREMENTS. SECTION 31.00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
11. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
12. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
13. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
14. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
15. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
16. PROPOSED ELEVATIONS SHOWN TYPICALLY AS 41.1 OR 41.1 SHALL BE UNDERSTOOD TO MEAN 41.1 OR 94.1.
17. SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE. SPOT ELEVATIONS WITH LABELS OUTSIDE THE BUILDING PERIMETER INDICATE PROPOSED FINISH GRADES. SPOT ELEVATIONS WITH LABELS INSIDE THE BUILDING PERIMETER INDICATE PROPOSED FINISH FLOOR ELEVATIONS.
18. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE EXCESS WASTE MATERIALS AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
19. NO FINISHED SLOPES SHALL EXCEED 4° HORIZONTAL TO 1° VERTICAL (4:1), UNLESS OTHERWISE NOTED.
20. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED, SHALL RECEIVE AT LEAST 4" OF TOPSOIL AND SHALL BE SOODED.
21. WHERE NEW SOO MEETS EXISTING SOO, EXISTING SOO EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JACKED OR CURVED EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOO SURFACE TO BE FLUSH WITH EXISTING.
22. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOO ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
23. ALL WATERMAIN PIPE SHALL BE 8" CLASS 52. ALL WATERMAIN SHALL HAVE MINIMUM 8" BURY (TOP OF PIPE TO FINISH GRADE).
24. ALL SANITARY SEWER PIPE SHALL BE PVC PIPE (ASTM D 3034, SDR 26), UNLESS OTHERWISE NOTED. SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2221.
25. ALL STORM SEWER PIPE SHALL BE RCP, CLASS III (MMA), WITH FLEXIBLE WATERSTOP JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3324, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2221, UNLESS OTHERWISE NOTED.
26. FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - a. IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - b. ACCEPTABLE MANUFACTURERS / PRODUCTS:
 - i. FENOCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE DIAMETER WATERSTOPS"
 - ii. PRESS-SEAL, WATERSTOP GROUTING PRODUCTS
 - iii. OR APPROVED EQUAL.
27. WATERMAIN SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
28. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE, OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR.
29. LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
30. PRIOR TO CONSTRUCTION OF PROPOSED BUILDING UTILITY SERVICES (STORM, SANITARY SEWER, WATERMAIN), VERIFY ALL PROPOSED BUILDING UTILITY SERVICE PIPE SIZES, LOCATIONS AND ELEVATIONS WITH MECHANICAL PLANS. COORDINATE CONSTRUCTION AND CONNECTIONS WITH MECHANICAL CONTRACTOR.
31. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.
32. CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS AND MANHOLES. GATE VALVE AND MANHOLE LOCATIONS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. CURB AND GUTTER SHALL BE STAKED TO ALLOW CURB INLET TYPE CATCH BASINS TO BE PROPERLY LOCATED IN LINE WITH CURBING.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
TW = FRESH GRADE AT HIGH SIDE OF WALL
BW = FRESH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED SAND SURBASE AT FROST FOOTED STOOPS
- APPROXIMATE SOIL BORING () TEST PIT LOCATION
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID A. REY
Registration Number: #1189 Date: 07/14/2021

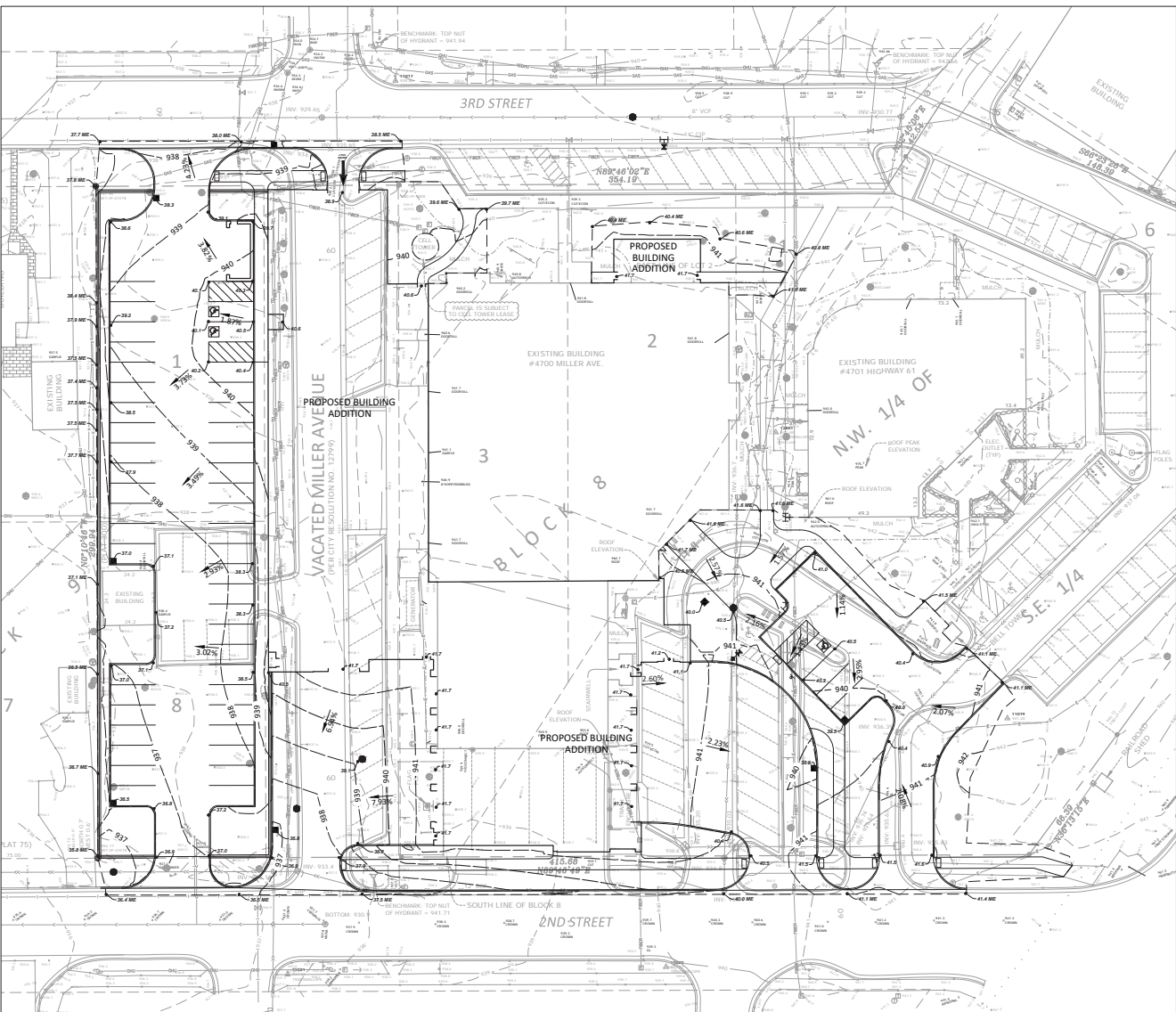
Description	Revision	Date

Drawn: 2/12/20
Date: 02/26/2021
Checked: DAR

GRADING AND DRAINAGE PLAN

Scale: 1" = 20'

C1.31



MN

C

**WHITE BEAR LAKE
FDPP ADDITION
AND RENOVATION**

CITY OF WHITE BEAR LAKE



WOLD ARCHITECTS
AND ENGINEERS
312 Minnesota Street, Suite 2000
St. Paul, MN 55101



Real People. Real Solutions.

NOTES

- REFER TO SHEET CXXX, XXXXXX, FOR GENERAL NOTES.
- ALL WATERMAIN PIPE SHALL BE DIP, CLASS 52. ALL WATERMAIN SHALL HAVE MINIMUM 8'-0" BURY (TOP OF PIPE TO FINISH GRADE). DIP SHALL BE ENCASED WITH POLYETHYLENE FILM CONFORMING TO ASTM D 1248-88.
- ALL WATERMAIN SHALL BE AWMA C900, CAST IRON OD, OR 14" PVC PIPE INSTALLED IN ACCORDANCE WITH ASTM D2221. ALL WATERMAIN SHALL HAVE MINIMUM 8'-0" BURY (TOP OF PIPE TO FINISH GRADE).
- ALL SANITARY SEWER PIPE SHALL BE PVC PIPE (ASTM D 3034, SDR 26), UNLESS OTHERWISE NOTED. SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2221.
- ALL STORM SEWER PIPE SHALL BE RCP, CLASS II (MNL), WITH FLEXIBLE WATER TIGHT JOINTS IN ACCORDANCE WITH ASTM C-391 OR PVC PIPE (ASTM D2004, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2221, UNLESS OTHERWISE NOTED.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
 - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE. PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
 - ACCEPTABLE MANUFACTURERS' PRODUCTS:
 - FERRICO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
 - FRESH SEAL, "WATERTIGHT GROUTING RINGS"
 - OR APPROVED EQUAL.
- WATERMAIN SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
- ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES. VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION OF PROPOSED BUILDING UTILITY SERVICES (STORM, SANITARY SEWER, WATERMAIN), VERIFY ALL PROPOSED BUILDING UTILITY SERVICE PIPES, LOCATIONS AND ELEVATIONS WITH MECHANICAL PLANS. COORDINATE CONSTRUCTION AND CONNECTIONS WITH MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS AND MANHOLES. GATE VALVE AND MANHOLE LOCATIONS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. CURB AND GUTTER SHALL BE STAKED TO ALLOW CURB INLET TYPE CATCH BASINS TO BE PROPERLY LOCATED IN LINE WITH CURBING.

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
EOF = EMERGENCY OVERFLOW
TW = FINISH GRADE AT HIGH SIDE OF WALL
BW = FINISH GRADE AT LOW SIDE OF WALL
- PROPOSED GRADING LIMITS
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED DRANTILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED RISER INLET (RI)
- PROPOSED SURGE BASIN (SB)
- PROPOSED FLARED END SECTION (FE)
- PROPOSED UNDERGROUND STORAGE UNITS
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING - PROVIDE VERTICAL BENDS IN WATERMAIN AS REQUIRED TO ACCOMPLISH. CENTER ONE LENGTH WATERMAIN PIPE ON CROSSING.
- CONNECT DRAIN TILE TO CATCH BASIN AND PROVIDE BACKWATER VALVE
- DRAINILE SHALL BE SOLID PVC AT WATERMAIN CROSSING
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

I hereby verify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID A. REY
Registration Number: 48189 Date: 07/14/2021

Description	Revision	Date

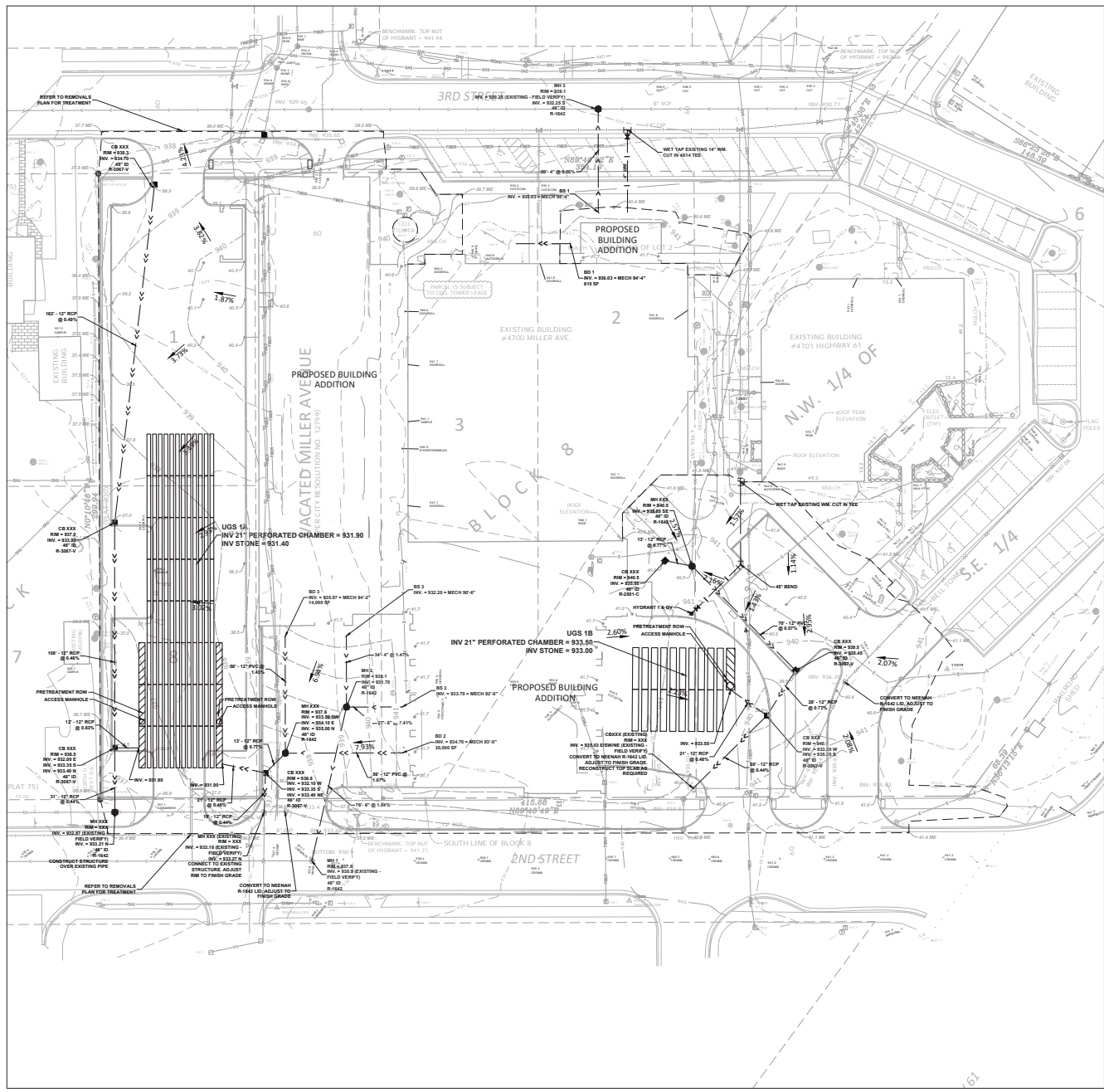
Compl: 1/12/23
Date: 02/26/2021
Drawn: BJD
Check: DAR



**UTILITY AND
SEDIMENT
CONTROL PLAN**

Scale: 1" = 20'

C1.41



MN

C

**WHITE BEAR LAKE
FDPD ADDITION
AND RENOVATION**

CITY OF WHITE BEAR LAKE



**WOLD ARCHITECTS
AND ENGINEERS**
312 Milwaukee Street, Suite 1000
Juneau, Alaska 99801



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of ALASKA.

DAVID A. REY
Registration Number: 48189 Date: 07/14/2021

Revision	Date	By	Check

Client: 21229
Date: 02/26/2021
Drawn: BJD
Check: DAR

LANDSCAPING PLAN

Scale: 1" = 20'

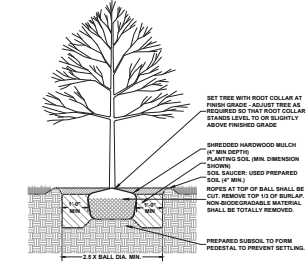
L1.11

LEGEND

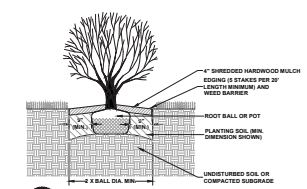
- REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS
- APPROXIMATE SOD LIMITS
- PROPOSED SHRUB / MULCH BED
- PROPOSED LANDSCAPE ROCK BED
- PROPERTY LINE

NOTES:

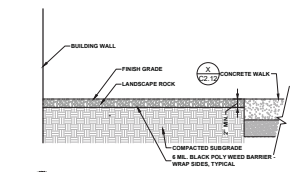
1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
2. REFER TO SWPPP NARRATIVE FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
3. LANDSCAPE ARCHITECT MUST INSPECT AND APPROVE FINISH GRADING BEFORE CONTRACTOR PROCEEDS WITH SODDING AND SEEDING.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLIME SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDDED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT, IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
7. BEGIN TURF ESTABLISHMENT IMMEDIATELY AFTER SODDING OR SEEDING, REFER TO SPECIFICATION FOR PROCEDURE.
8. ALL TREES TO BE BALLED AND BURLAPPED.
9. ALL TREES AND SHRUBS SHALL RECEIVE 4" DEPTH OF CLEAN SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
10. ALL PLANT MATERIALS SHALL BE NO. 1 QUALITY, NURSERY GROWN AND SPECIMENS MUST BE MATCHED. ALL OVERTORY TREES ADJACENT TO DRIVE AND IN PARKING LOT SHALL BEGAIN BRANCHING NO LOWER THAN 6".



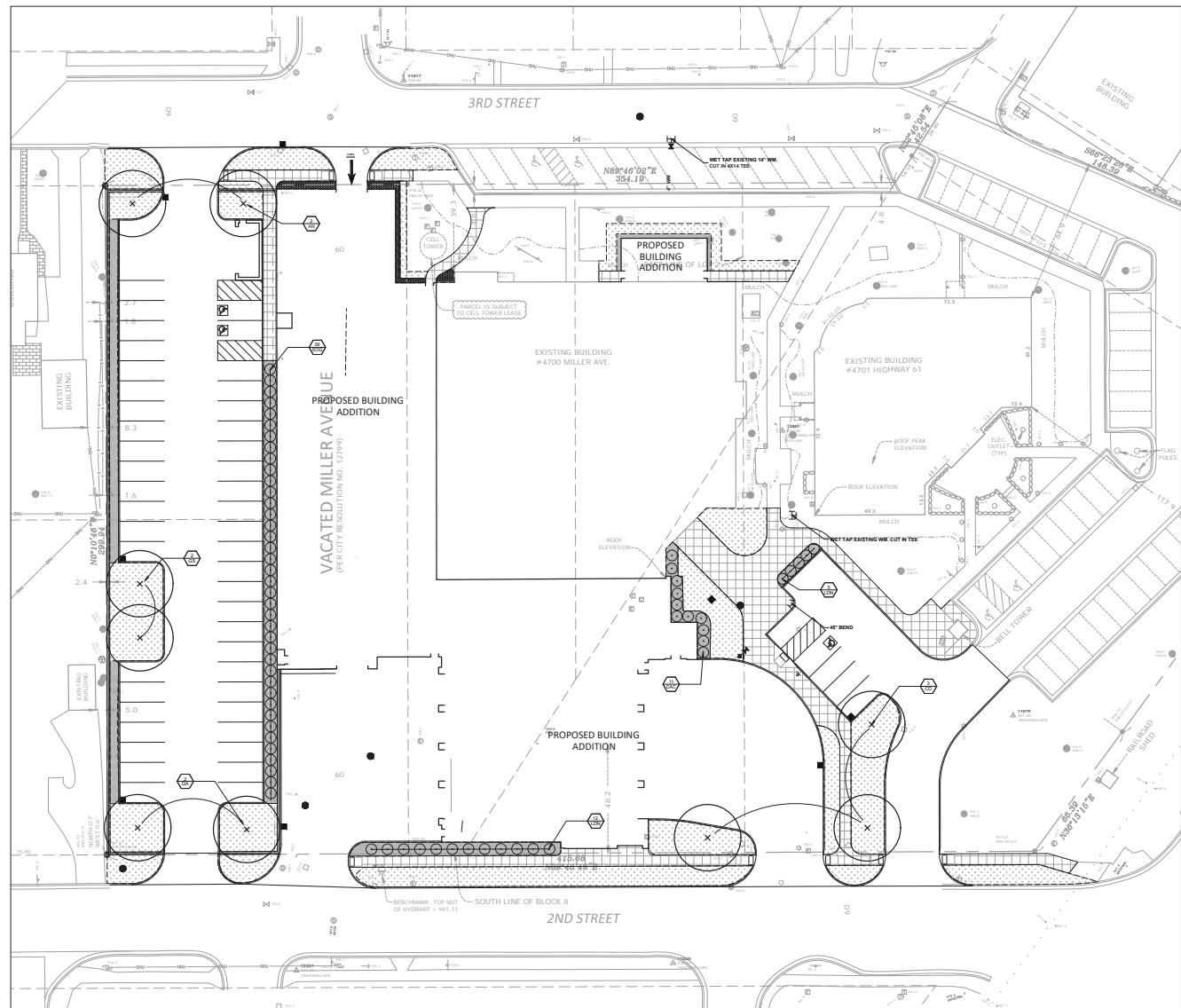
1 DECIDUOUS TREE



2 SHRUB



3 LANDSCAPE ROCK BED



PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
X	AN	NORTHWOOD MAPLE	Acer Rubrum 'Northwood'	3" CAL.	B&B	2
	QA	WHITE OAK	Quercus Alba	3" CAL.	B&B	2
	GS	SKYLINE HONEY LOCUST	Gleditsia triacanthos 'Skyline'	3" CAL.	B&B	2
	CO	COMMON HACKBERRY	Celtis Occidentalis	3" CAL.	B&B	3

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	LDN	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL NINEBARK	#5	CONT.	17
	CAC	VIBURNUM TRILOBUM 'BAILEY COMPACT'	COMPACT AMERICAN CRANBERRY	#5	CONT.	11
	SOG	JUNIPERUS X MEDIA 'SEA OF GOLD'	SEA OF GOLD JUNIPER	#5	CONT.	39

MN

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MN

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	N. WALL	TYP.	E. WALL	S. WALL	W. WALL	CEILING	REMARKS
8000	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8001	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8002	CONFERENCE	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8003	CIRCULATION	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8004	DEPT. CHIEF OFFICE	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8005	DEPT. CHIEF OFFICE	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8006	DEPT. CHIEF OFFICE	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8007	TRAINING STAIR	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8008	CIRCULATION	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8009	LOCKERS	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8010	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8011	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8012	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8013	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8014	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8015	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8016	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8017	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8018	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8019	TOILET	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
8020	APPARATUS BAY	F	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

- FLOOR PLAN KEY NOTES:**
1. PROVIDE FINISHED GRADE IN WALL FOR WALL MOUNTED TV BRACKET. COORDINATE LOCATION W/ ELEC.
 2. STAINLESS STEEL CORNER GUARD.
 3. DOOR ACTUATOR. COORDINATE W/ ELEC.
 4. PROVIDE 1/2" BRASS WITH 1/2" HOLES. COORDINATE W/ MECH. PROVIDE FRP PANELS 4" OF HIGH ON THE 2" HOLES.
 5. PROVIDE PATCH WITH BLOCK AT EXISTING C.B.K. WALL AT LOCATION OF REMOVED CONDENSED LIFT. PATCH AREA AS INDICATED ON ROOM FINISH SCHEDULE.
 6. TRENCH (DRAW. COORDINATE W/ MECH).
 7. GAGE BRACKETS. COORDINATE W/ ELEC.
 8. FLOOR BOX. COORDINATE W/ ELEC.
 9. LOCATION OF STACKED WARMER AND DRIVER (DC).
 10. FIRE POLE IN SAFETY GATE.
 11. ALON FACES OF WALLS.
 12. (S) WALL MOUNTED SIRE HOODS. SEE SPEC XXXXXX FOR ADDITIONAL INFORMATION.

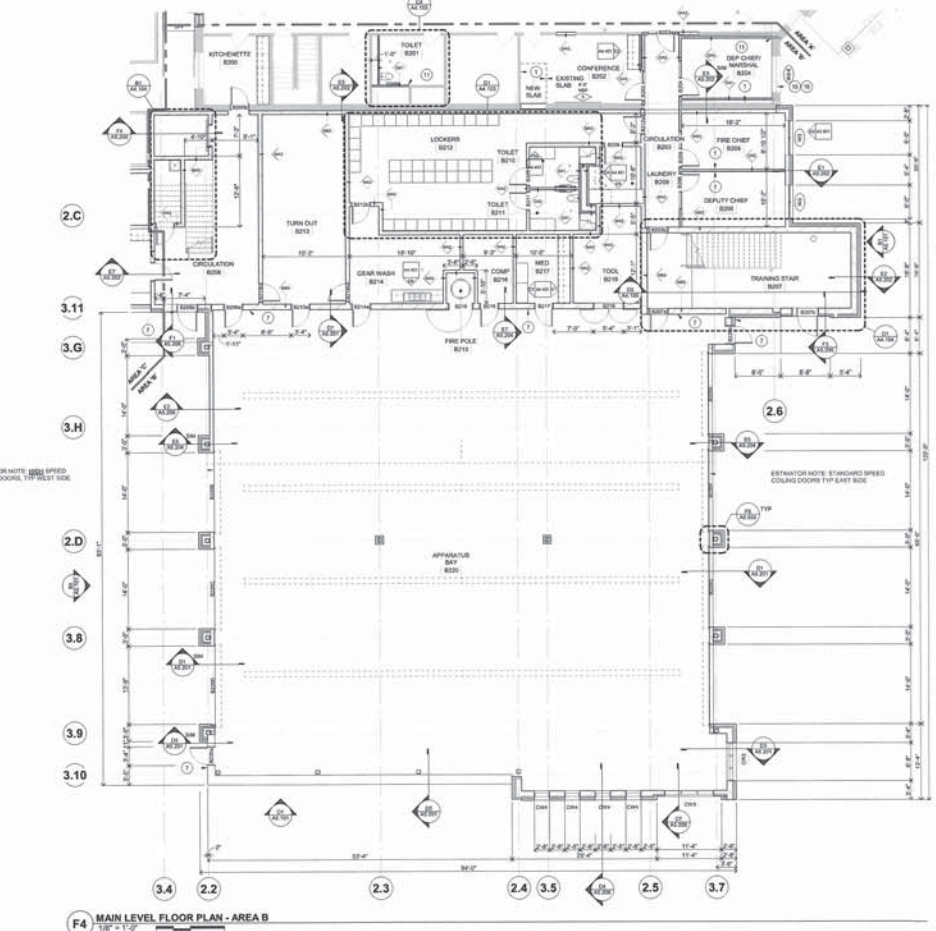
- ROOM FINISH SCHEDULE GENERAL NOTES:**
1. SEE DETAILS OF CONSTRUCTION FOR ABREVIATIONS.
 2. IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N" WALL TYPE COLUMN WILL BE LEFT BLANK.
 3. SHOW FINISHES FOR THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FROM DETERMINATION.
 4. ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACE, A FINISH SHALL NOT BE APPLIED TO THE WALL BEYOND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (E.G. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MASONRY SHALL BE TOILETS.
 5. REFER TO GENERAL FINISH COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
 6. FOR CEILING MATERIAL, WHEN MORE THAN ONE CEILING MATERIAL OCCURS, THE COLOR FINISH IS TO BE INDICATED.
 7. ELEVATOR CAVITY TO BE:

ROOM FINISH SCHEDULE REMARKS

1. SEE INTERIOR ELEVATIONS FOR LOCATIONS OF GLAZED BLOCK, PAINTED BLOCK, BRICK, SOUND BLOCK, VMC AND PAINT.

DOOR / OPENING SCHEDULE										
ROOM NO.	TYPE OF DOOR	WIDTH	HEIGHT	FINISH	FRAME	TYPE	DEPTH	INSTALL	REMARKS	
8000	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8001	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8002	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8003	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8004	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8005	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8006	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8007	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8008	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8009	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8010	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8011	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8012	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8013	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8014	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8015	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8016	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8017	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8018	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8019	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		
8020	F	1'-0"	7'-0"	1/2"	1/2"	1/2"	1/2"	1/2"		

- DOOR SCHEDULE GENERAL NOTES:**
1. ALL DOORS ARE 1 1/2" THICK UNLESS OTHERWISE NOTED.
 2. FOLLOW GENERAL DETAILS OF CONSTRUCTION TO THE FOLLOWING TABLE OR SCHEDULES.
 3. FINISHES AND MATERIALS TO BE USED AS NOTED IN THE SCHEDULES.
 4. FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED.
 5. REVISIONS AND NOTES: CLEAR HEIGHTS ARE SCHEDULED BY TABLE IN GLASS SPECIFICATIONS.
 6. REVISIONS AND NOTES: CLEAR HEIGHTS ARE SCHEDULED BY TABLE IN GLASS SPECIFICATIONS.
 7. SEE SHEET A-14 FOR DOOR AND FRAME TYPES.
 8. AT DOOR SCHEDULE LABEL, REVISIONS "R" INDICATES.
 9. AT ALL OPENINGS AND DOORS, THE FINISHES AND MATERIALS TO BE USED FOR THE DOOR AND FRAME SHALL BE INDICATED IN THE SCHEDULE. THE FINISH AND MATERIALS TO BE USED FOR THE FRAME SHALL BE INDICATED IN THE SCHEDULE.



F4 MAIN LEVEL FLOOR PLAN - AREA B

50% CD ESTIMATE SET
NOT FOR CONSTRUCTION

Public Safety
Addition &
Renovation
4701 US-61
White Bear Lake, MN 55120

CITY OF WHITE BEAR
LAKE
4701 US-61
White Bear Lake, MN



WOLD ARCHITECTS
AND ENGINEERS
112 Main Street, Suite 1720
White Bear Lake, MN 55120
Phone: (612) 277-1773



DATE THE PLAN OF THIS DRAWING WAS PREPARED BY THE ARCHITECT

Revision	Date	By

Client: 20239
Date: 12/13/2021
Drawing: 204.00
Check: 06.40
Sheet: 1

MAIN LEVEL FLOOR PLAN - AREA B

Scale: As Indicated
A2.01b

MN

ROOM NO.	ROOM NAME	FLOOR	BASE	ROOM FINISH SCHEDULE				REMARKS
				N WALL	TYP	E WALL	W WALL	
C00A	BEHOLD GARAGE	030C		C BLK	PT 6A			
C00B	WATCH ROOM	030C		C BLK	PT 6A			
C00E	MESH	030C		C BLK	PT 6A			

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
- IF ALL WALLS IN ROOM ARE THE SAME FINISH, THE "W" WALL TYPE COLUMN WILL BE USED
- CONCRETE AND FINISHES SHALL BE REPORTED TO THE ARCHITECT FOR FRESH DISTRIBUTION
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TAP SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE SPECIFIED IN SPACE BETWEEN MILLWORK AND TAP SURFACES (CONCRETE SHALL BE MILLWORK AND MARKINGS SHOULD TO BE TOOK)
- REFER TO MATERIAL, FINISH COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS
- FOR CEILING MATERIAL, FINISH MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED FIRST
- ELEVATOR CARPET TO BE

ROOM FINISH SCHEDULE REMARKS

- SEE INTERIOR ELEVATIONS FOR LOCATIONS OF GLAZED BLOCK, PAINTED BLOCK, BRICK, SOUND BLOCK, VAC AND PAINT

DOOR NO.	TYPE	QTY	DOOR / OPENING SCHEDULE		LABEL / IDENT.	OVERALL	FRAME	GLASS	GLASS	MOUNTING CONDITIONS		REMARKS
			FINISH	HEIGHT						FINISH	FINISH	
C00A	P	1	2'-0"	7'-0"	AL	2'-0"	1/2"	AL	AL	---	---	
C00B	P	1	2'-0"	7'-0"	AL	2'-0"	1/2"	AL	AL	---	---	
C00C	P	1	2'-0"	7'-0"	AL	2'-0"	1/2"	AL	AL	---	---	
C00D	P	1	2'-0"	7'-0"	AL	2'-0"	1/2"	AL	AL	---	---	

DOOR SCHEDULE GENERAL NOTES

- ALL DOORS ARE 1" THICK UNLESS OTHERWISE NOTED
- FOR DOOR SCHEDULES ON EXTERIOR WALLS ARE SCHEDULED (OPENING TYPES) SHALL BE SCHEDULED TO MATCH WALL THICKNESS
- MAINTAIN FINISHES:
 - W WALL: 1/2" FINISH
 - F WALL: 1/2" FINISH
 - P WALL: 1/2" FINISH
- FRAMES SHALL BE SCHEDULED AS NORMAL DIMENSIONS. SEE FRAME DOOR TYPES DETAIL, SECTION 10500-00-01
- FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:
 - INTERIOR PARTITIONS
 - GLASS SAFETY PARTITIONS BY TABLE (GLASS SPECIFICATION)
 - INTERIOR AND EXTERIOR PARTITIONS
 - EXTERIOR PARTITIONS
 - GLASS SAFETY PARTITIONS BY TABLE (GLASS SPECIFICATION)
 - SEE SHEET K45 FOR DOOR AND FRAME TYPES
- AT DOOR SCHEDULE LABEL DESIGNATION "SWP" INDICATES:
 - FOR ALL OPENING TYPES SWP IS REQUIRED TO BE PART OF FRAME FINISHES. THE DOOR AND FRAME SHALL BE FINISH TO THE NOTED FINISHES

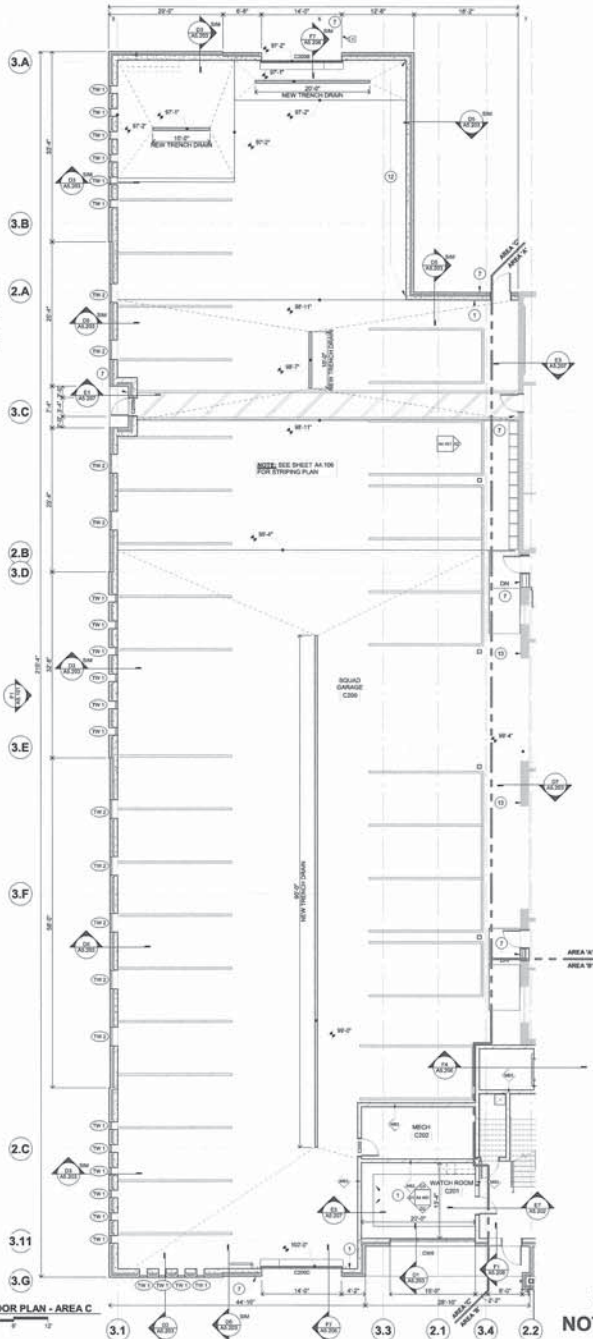
DOOR SCHEDULE REMARKS

PLAN GENERAL NOTES

- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ARE NOMINAL TO FACE OF WALL UNLESS OTHERWISE NOTED
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHUT-OFF OPENINGS IN WALLS AND FLOORS BY MECH. AND ELEC. PROVIDE ALL REQUIRED LABELS FOR OPENINGS. SEE UTILS SCHEDULE
- FIELD VERIFY ALL MILLWORK OPENINGS
- SET FLOOR FINISH BY MILLION FINISHED CONCRETE FLOOR UNLESS OTHERWISE NOTED. PROVIDE CONCRETE SLAB FROM WALL TO DRAIN BY SLOPING CONCRETE. MIN. 1/4" PER FOOT
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT FROM ALL DISCREPANCIES OPENINGS TO BE NOTED FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ARE CENTERED ON DIMENSIONS UNLESS OTHERWISE NOTED
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS

FLOOR PLAN KEY NOTES

- PROVIDE 1/2" THICK BRICK OR WALL FOR WALL MOUNTED BY BRACKET. COORDINATE LOCATION BY ELEC.
- STAINLESS STEEL CORNER GUARD
- DOOR ACTUATOR. COORDINATE BY ELEC.
- PROVIDE SHIP BULK WITH 1/4" HOLDERS. COORDINATE BY MECH. PROVIDE FRP PANELS 4'-0" HIGH ON 2" RADIUS WALLS
- PROVIDE PATCH WITH IN BLOCK AT EXISTING C-ILE WALL AT LOCATION OF REMOVED DOOR/OPENING. PATCH AREA AS INDICATED ON ROOM FINISH SCHEDULE
- TRENCH DRAIN. COORDINATE BY MECH.
- CARD READER. COORDINATE BY ELEC.
- FLOOR NOX. COORDINATE BY ELEC.
- LOCATION OF STAINED WASHNER AND DRYER (M2)
- FIRE POLE BY SAFETY GATE
- ALIGN FACES OF WALLS
- DR WALL MOUNTED BAKE HOODS. SEE SPEC XXXXXX FOR ADDITIONAL INFORMATION
- CARD READER AND KEY PAD. COORDINATE BY ELEC.
- PARTIALLY CUT JOINTS AT EXISTING FACE BRICK. CLEAN EXISTING BRICK AND TIGHTEN UP WITH MORTAR TO MATCH EXISTING ADJACENT WORK.
- REMOVE BALUNAT AT EXISTING WINDOW OR CLEARANCE FRAME SYSTEM AND REPLACE WITH NEW BALUNAT TO MATCH EXISTING
- REMOVE EXISTING GLAZING AND REPLACE WITH BALLISTIC RESISTANT GLAZING
- REMOVE EXISTING WINDOW FRAME. COLOR TO MATCH NEW WINDOW FRAMES



F4 MAIN LEVEL FLOOR PLAN - AREA C

50% CD ESTIMATE SET
NOT FOR CONSTRUCTION

Public Safety
Addition &
Renovation
4701 US-61
White Bear Lake, MN 55110

CITY OF WHITE BEAR
LAKE
4701 US-61
White Bear Lake, MN



WOLD ARCHITECTS
AND ENGINEERS
502 Marquette Street, Suite 1020B
Saint Paul, MN 55108

tel: 612.277.7773



KEY PLAN

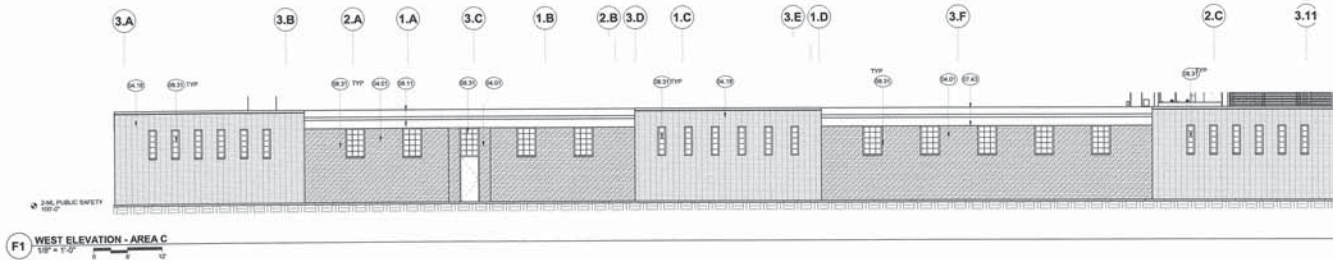
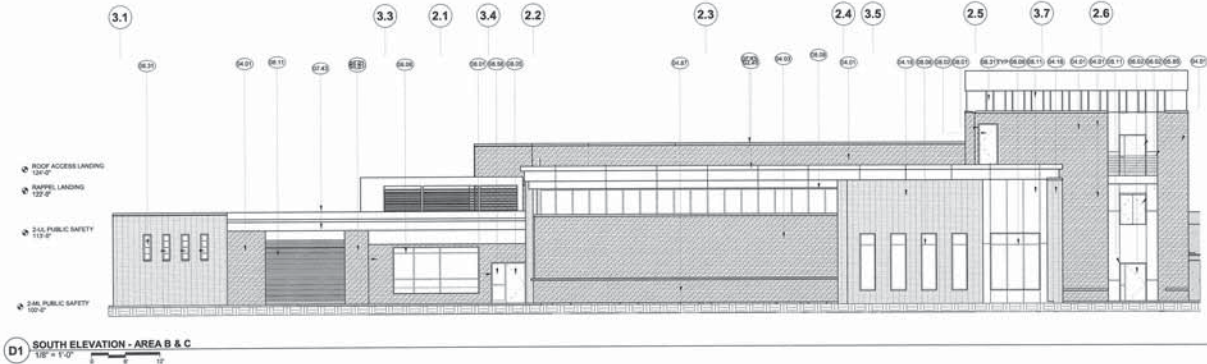
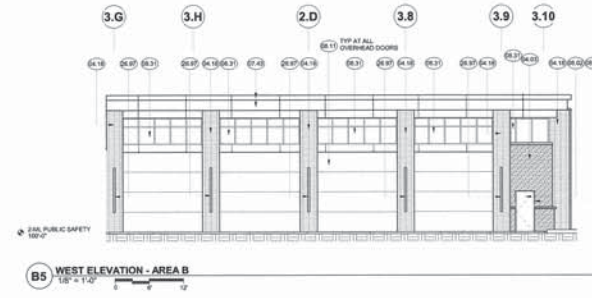
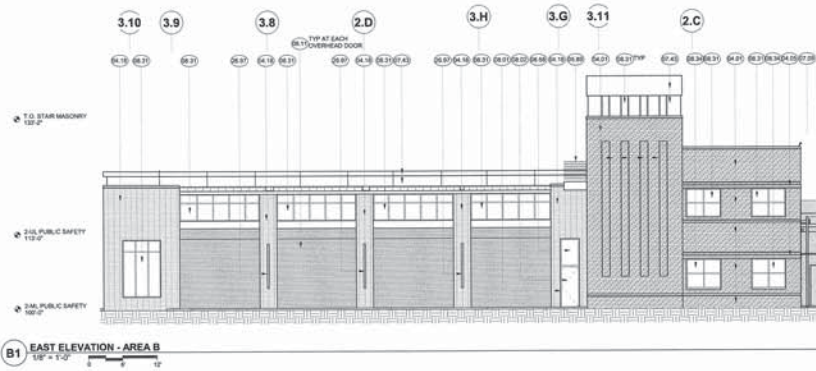
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MAIN LEVEL
FLOOR PLAN
-AREA C

A2.01c

MN



A

**Public Safety
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MATERIALS KEY	
KEY	MATERIAL
02.01	BRICK / BRICKING BOND
04.03	BRICK
04.08	BRICK / COLLIER COLLEGE
04.18	CAST STONE MASONRY VENEER
04.27	BRICK
05.08	30" X 10" METAL CABLE RAIL SYSTEM
07.08	PREPARED SUBSEQUENT PANEL
07.23	FLUOROCARBON ALUMINUM COMPOSITE METAL PANEL
08.01	HOLLOW METAL FRAME
08.02	HOLLOW METAL DOOR
08.05	WOOD DOOR
08.08	PANORAMIC ALUMINUM CURTAIN WALL SYSTEM
08.11	SECTIONAL METAL CASING DOOR
08.31	PANORAMIC ALUMINUM WINDOW
08.34	EXTERIOR SECURITY GLAZING
08.38	EXTERIOR GLAZING
08.37	EXTERIOR LIGHTING (SEE ELEC.)

REVISIONS		
NO.	DATE	DESCRIPTION

Cont'n: 2/2228
Date: 12/15/2021
Drawn: DS, MP
Check: DS, AD

**EXTERIOR
ELEVATIONS**

50% CD ESTIMATE SET
NOT FOR CONSTRUCTION

Scale: 1/8" = 1'-0"
A5.101









CITY COUNCIL MEETING SUMMARY

January 11, 2022

APPROVAL OF MINUTES – Approved

- A. Minutes of the Regular City Council Meeting on Dec. 14, 2021
- B. Minutes of the Special City Council Meeting on Dec. 29, 2021

APPROVAL OF THE AGENDA – Approved

Councilmember Walsh pulled 4E, 4H, 4J from the Consent Agenda and placed them under New Business.

CONSENT AGENDA – Approved as follows

- A. Acceptance of Boards and Commission Minutes: November Environmental Advisory Commission
- B. Resolution authorizing City Manager to invest and transfer funds for the City, designation of bank depository and depositing for investments. **Resolution No. 12917**
- C. Resolution authorizing the City Manager to pay claims made against the City. **Resolution No. 12918**
- D. Resolution establishing regular meeting nights of the City Council of the City of White Bear Lake. **Resolution No 12919**
- ~~E. Resolution naming the official newspaper to perform official publications~~
- F. Resolution authorizing travel reimbursement amounts. **Resolution No. 12921**
- G. Resolution appointing the Administrative Hearing Officer. **Resolution No. 12922**
- ~~H. Resolution designating City Attorney, Counselor and Prosecutor~~
- I. Resolution fixing surety bonds for various City Officials and providing for approval of the same. **Resolution No. 12924**
- ~~J. Resolution approving the purchase of the capital equipment items per the City's 2022 Budget and Capital Improvement Plan~~

VISITORS AND PRESENTATION – Nothing scheduled**PUBLIC HEARINGS** – Nothing scheduled**UNFINISHED BUSINESS**

- A. Resolution approving a request by Green Halo Builds for Final Plat approval of Rooney 2nd Addition. **Resolution No. 12926**

NEW BUSINESS

- A. Resolution electing Kevin Edberg as Chair of the White Bear Lake City Council. **Resolution No. 12927**

- B. Resolution appointing City representatives to various organizations. **Resolution No. 12928**

<u>Organization</u>	<u>Representative</u>	<u>Alternate</u>
Ramsey County League of Local Governments	Walsh	Engstran
Vadnais Lake Area Water Management Organization	Jones	Walsh
Ramsey County Dispatch Policy Committee	Hughes	Jones
Northeast Youth and Family Services	Hughes	n/a
Ramsey/Washington Suburban Cable Commission	Walsh	none
METRO Purple Line Corridor Management Committee	Walsh	Edberg

- C. Resolution naming the White Bear Press as the official newspaper to perform official publications. **Resolution No. 12920**

- D. Resolution designating City Attorney (Kennedy & Graven) and Prosecutor (Rob Olson of GDO Law). **Resolution No. 12923**

- E. Resolution approving the purchase of the capital equipment items per the City's 2022 Budget and Capital Improvement Plan. **Resolution No. 12925**

HOUSING AND REDEVELOPMENT ASSOCIATION – Approved

- A. Call to Order / Roll Call
- B. Approval of the Agenda
- C. Approval of the December 14, 2021 HRA Meeting Minutes
- D. Election of a Chair (Dan Jones) and Vice Chair (Kevin Edberg) of the HRA
- E. Adjournment

DISCUSSION – Nothing scheduled

COMMUNICATIONS FROM THE CITY MANAGER

- A. Finance & License Bureau Reports
- B. Zoning & Code Violation Reports
- C. January 18th Work Session – Legislative Priorities and Council/City Manager Protocols

Mayor Louismet shared his positive observations of the White Bear Lake City Council and commended the group on their past level of civility and decorum even when there is disagreement. As a process priority, he encouraged the continuation of that tradition. He referenced some contentious items coming down the pipeline, for which he expected lively debate, but expressed confidence that the White Bear Lake City Council will continue its tradition of respect and civility while engaging in these issues.

ADJOURNMENT – 8:01 p.m.

Park Advisory Commission Meeting Minutes

OCTOBER 21, 2021

6:30 P.M.

CITY HALL

MEMBERS PRESENT	Bryan Belisle, Mark Cermak, Anastacia Davis, Ginny Davis, Bill Ganzlin, Mike Shepard
MEMBERS ABSENT	Victoria Biehn
STAFF PRESENT	
VISITORS	
NOTE TAKER	Andy Wietecki

AGENDA TOPICS

1. CALL TO ORDER

The meeting was called to order by Bill Ganzlin at 6:35 pm.

2. APPROVAL OF MINUTES

Approval of the minutes from September 16, 2021 was moved by Mark Cermak and second by Bryan Belisle.

3. APPROVAL OF AGENDA

Approval of the October 21, 2021 agenda was moved by Mike Shepard and seconded by Anastacia Davis with the addition of Smoking Outside Boatworks Commons added under Unfinished Business.

4. UNFINISHED BUSINESS

a) Smoking outside Boatworks Commons

Bryan Belisle asked for an update on the smoking issue at the BoatWorks Commons. Andy Wietecki stated that he forwarded the issue to the Public Works Director and Assistant City Manager. This is an issue that City Council needs to address because it would most likely result in a change to City Ordinances, if the area was declared smoke free. Bryan asked Bill Ganzlin to send an e-mail to the concerned resident seeking the change to our smoking policies.

5. NEW BUSINESS

a) 2022 Lions Park Project

Andy Wietecki updated the Commission on the supply chain issues and how it is already affecting next year's projects and purchases due to longer than normal lead times on sourcing materials. Next year's project will include replacing the three shelters at Lions Park and updating the exterior of the restroom shelter. The three shelters currently have a 25-30 week lead time before delivery. The shelters need to be ordered soon, if the project is to remain on schedule for next year. If the shelters are ordered now, we still have the ability to cancel if needed by February.

Andy explained to the Commission the style of shelters he believes would really give Lions Park the modern look that it deserves. Lions Park is highly visible and is located next to an area that has recently been upgraded. His vision is that the two smaller shelters will be a cantilever style mimicking the look of an umbrella to tie the park and lake together. He envisions replacing the larger shelter with the same size as the shelter currently next to the parking lot and integrating it into the trail for easier access to trail users. He also envisions changing the roof color from our traditional green colored roof to a copper penny color with a very earthy tone feel. This change will help these shelters stand out next to the lake and should blend nicely with the adjacent businesses.

After Andy described his vision, the Commission collectively discussed the shelter styles, locations and colors. Bryan had some concerns over the cantilever style and questioned whether it was too modern for this location. He believes the shelters should be more of that traditional style that the City has been installing in the other City parks. Bryan questioned whether a larger shelter should be put in instead of the two smaller shelters due to the cost and it not allowing for big group gatherings. Anastacia thought the smaller shelters would fit the park better and would be a big improvement over what is currently constructed in the park. She also supported the modern look of the shelters and how it will give the park a unique look. Lions Park is in a high traffic area and Andy wants to capitalize on that with this upgrade. The park's proximity to the lake provides a unique opportunity to do something outside the normal. Lions Park is generally used by smaller groups of people and isn't where large groups gather. Ginny asked if a more natural looking climbing structure could be incorporated into the park. The Commission decided that the area east of the restrooms would be a perfect location as most users don't know that the area east of the restroom is part of the park. Andy gave the Commission a brief description of what the restroom remodel would include. An architect will draw something up after January 1, 2022. At the end of the conversation, all the Park Advisory Commission members approved the design and approved ordering the shelters now so that hopefully the project can begin mid to end summer of 2022.

b) Lakewood Hill Park Softball Fields

Andy Wieteki reported to the Commission that softball has been a dying sport for the past five years or so. The fields at Lakewood Hills haven't been used much this summer and there are no leagues scheduled to play this fall either. There has been discussion with Youth Baseball to convert two fields from softball to baseball. The Youth Baseball Association would like to utilize the complex more and would likely have some tournaments at Lakewood Hills in the future. The Park Advisory Commission was supportive of the idea but concerned about the cost. According to Andy's research, the base lengths are already correct and the Youth Baseball Association will purchase two temporary pitching mounds but would like to see permanent mounds installed in the future.

Andy is already working on pricing for safety nets that will give coverage from third base around home plate and out to first base. Andy is suggesting that the Youth Baseball Association cover the cost of the nets. The City doesn't currently have any capital improvement dollars allocated for this area of Lakewood Hills Park and \$100,000 plus was recently used for improvements to the fields, exterior of the building, new pavement surrounding the complex over the past couple of years. The Parks Advisory Commission is excited to see the repurposing of the fields. This change could bring many more people into our community and hopefully reenergize this park. Andy will report back to the Commission on this

topic in the future as baseball takes root at Lakewood Hills Parks.

c) Pickle Ball Courts

Andy met with Susan Grun, leader of the local pickle ball group made up of roughly 200 people, to inquire if the City is interested in dedicating pickle ball courts at Podvin Park. Susan explained that they are losing the court at Central Middle School due to the school construction. Andy Wietecki reminded the Commission of all the sports and activities that happen at Povdin Park. Podvin Park is not a viable option for pickleball courts. Bryan suggested the Armory since he believes that it is only used a couple of hours and sits vacant most of the time. Andy will bring a schedule for them to review to the next Commission meeting. The only two park options with adequate space and parking would be Lakewood Hills Park and Bossard Park. Andy and Jon Anderson, with the White Bear Lake School District, have been talking about Sunrise Park Middle School. Once the building turns into the District Center, the former middle school would be the best option due to the size of the property and the parking available. The Commission doesn't believe that a dedicated pickleball court is necessary. If anything is to be constructed, it should be a dual purpose pickleball and tennis court.

6. OTHER STAFF REPORTS

a) White Bear Lake Lions Accessible Playground Update

Andy Wietecki reported to the Park Advisory Commission on the progress of the all-inclusive playground. A grant for \$117,448.00 was received from GameTime, the manufacturer of the play equipment. All of the play equipment has been ordered in anticipation of price increases. The installation is still on schedule for next year. The Commission was impressed with the grant amount awarded and are very excited to see the project completed.

7. COMMISSION REPORTS

None.

8. OTHER BUSINESS

None.

9. ADJOURNMENT

The next meeting will be held on November 18, 2021 at 6:30 p.m.

There being no further business to come before the Park Commission, the meeting was adjourned. Moved by Bryan Belisle and Mark Cermak.