



AGENDA
PLANNING COMMISSION OF THE
CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, MAY 23, 2022
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS

1. CALL TO ORDER AND ATTENDANCE

2. APPROVAL OF AGENDA

3. APPROVAL OF THE MINUTES

A. Minutes of the Planning Commission meeting on April 25, 2022

4. CASE ITEMS

A. **Case No. 22-9-V:** A request by **Mike Fox** for a 5.7 foot variance from the 30 foot setback along a side abutting a public right-of-way, per Code Section 1303.230, Subd.5.a.4, in order to construct a living addition above the garage and a 21 foot variance from the 30 foot rear yard setback, per Code Section 1303.060. Subd.5.c and an 11 foot variance from the 30 foot setback along a side abutting a public right-of-way, both in order to convert the east side deck into an enclosed porch at the property located at 4985 Johnson Avenue.

B. **Case No. 22-5-CUP & 22-10-V:** A request by **Annie & Dustin Carlson** for a Conditional Use Permit for a home accessory apartment, per Code Section 1302.125, and the following five variances:

- A 713 square foot variance from the 880 square foot maximum for a home accessory apartment, per Section 1302.125;
- A 5.5 foot variance from the 15 foot height limit, as measured to the mean of the roof, per Section 1302.030, Subd.4.i.1.b;
- A variance for a third accessory structure, per Section 1302.030, Subd.4.i;
- A 968 square foot variance from the 625 square foot maximum size for a second accessory structure, per Section 1302.030, Subd.4.i.2.b; and
- A 1,083 square foot variance from the 1,250 square foot maximum for all accessory structures combined, per the same Section,

All in order to construct an accessory dwelling unit above the detached garage, construct a new two car attached garage, and expand the existing four car detached garage at the property located at 2505 Lake Avenue.

C. **Case No. 22-2-SHOP:** A request by **Rebecca Pacheco** for a Special Home Occupation Permit, per Code Section 1302.120, in order to operate a massage therapy business out of the single-family home located at 3791 Prairie Road.

D. **Case No. 22-2-LS:** A request by **Prelude Holdings, LLC** for a minor subdivision, per Code Section 1407.030, to subdivide one lot into two and a recombination subdivision, per Code Section 1407.040, to convey two tracts of land to abutting neighbors at the properties located at 4870 Otter Lake Road, 4859 Sandra Lane, and 1567 Quast Court.

E. **Case No. 22-1-P & 22-1-PUD:** A request by **Marvin Development III, LLC** to subdivide one parcel into two, and approval of both “general concept stage” and “development stage” Planned Unit Development, per Code Section 1301.070, in order to construct a fast food restaurant with a drive-thru and pylon sign at the property located at 4600 Centerville Road.

- F. **Case No. 22-2-PUD:** A request by **Schafer Richardson** for concept stage approval of a Planned Unit Development, per Code Section 1301.070, in order to construct 243 units of multi-family apartments in two buildings at the properties located at 3600 and 3646 Hoffman Road.

5. DISCUSSION ITEMS

- A. City Council Meeting Summary of May 10, 2022.
- B. Park Advisory Commission Meeting Minutes of April 21, 2022 – Not Available.

6. ADJOURNMENT

Next Regular City Council Meeting May 24, 2022

Next Regular Planning Commission Meeting June 22, 2022



**MINUTES
PLANNING COMMISSION MEETING
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, APRIL 25, 2022
7:00 P.M. IN THE COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

Chair Jim Berry called the meeting to order at 7:00 p.m.

MEMBERS PRESENT: Mike Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, and Andrea West

MEMBERS ABSENT: Mark Lynch and Erich Reinhardt

STAFF PRESENT: Samantha Crosby, Planning & Zoning Coordinator and Ashton Miller, Planning Technician.

OTHERS PRESENT: Peter Altenly, Tanner Brandt, Shawn & Craig Carpenter, Terry & Jerry Rodrique, Joseph Claussen.

2. APPROVAL OF AGENDA

It was moved by Member **Baltzer** seconded by Member **Enz**, to approve the agenda as presented.

Motion carried, 5:0

3. APPROVAL OF THE MINUTES

A. Minutes of March 28, 2022

It was moved by Member **Amundsen** seconded by Member **Enz**, to approve the minutes of the March 28, 2022 meeting as presented.

Motion carried, 5:0.

4. CASE ITEMS

A. Case No. 22-8-V & 22-3-CUP: A request by **Shawn & Craig Carpenter** for a six foot variance from the 30 foot setback from a side abutting a public right-of-way, per Code Section 1303.050, Subd.5.c.2, a 160 square foot variance from the 120 square foot maximum allowed for a second accessory structure, per Code Section 1302.030, Subd.4.i.2.c, and a Conditional Use Permit for a second curb cut, per Code Section 1302.050, Subd.4.h.9, in order to build an addition 24 feet from the north property line and a new two car garage that accesses Roth Place at the property located at 2150 Roth Place.

Miller discussed the case. Staff recommended approval of the request as proposed.

Member Berry opened the public hearing. As no one spoke to the matter, Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 22-8-V & 22-3-CUP, seconded by Member **West**.

Motion carried, 5:0.

- B. Case No. 22-4-CUP:** A request by **Jerry Rodrique** for a Conditional Use Permit for a second curb cut, per Code Section 1302.050, Subd.4.h.9, in order to install a second driveway in front of the existing detached garage at the property located at 1961 3rd Street.

Miller discussed the case. Staff recommended approval subject to conditions listed in the report.

In response to a question from Member Amundsen, Miller stated the proposed pavers would not be considered green space. The Engineering Department recommended that there be no sidewalk between the garages, but after discussing with the applicant, staff believes a small walkway may be appropriate.

Member Enz asked if there was a time frame for the curb cut to be installed. Miller replied that the conditional use permit is good for one year and that the applicant is eager to pave the second driveway.

Member Berry opened the public hearing.

Jerry Rodrique, 1961 3rd Street, applicant, he explained that the main entrance to their home is in the rear, so it would be helpful to have a sidewalk leading from the second garage to the door to keep the area from getting muddy. He is requesting the pavers extend 10 to 15 feet along the driveway.

Member Berry closed the public hearing.

Member Amundsen asked if condition six could be changed to allow some pavers. Crosby replied that a residential sidewalk is typically three feet wide. Ten to fifteen feet would not be in the spirit of what Engineering was looking for. She suggested something up to five feet would be sufficient and the rest be true green space. The pavers would be considered hard surface, so a vehicle could park on it and it would then be a part of the driveway.

Member Amundson moved to amend Condition number six to read “except for a sidewalk adjacent to the garages, green space shall be retained between the two driveways.” Member Enz seconded the amendment. Motion carried 5:0.

It was moved by Member **Amundsen** to recommend approval of Case No. 22-4-CUP as amended and as proposed by the applicant, seconded by Member **Baltzer**.

Motion carried, 5:0.

- C. Case No. 96-5-Sa:** A request by **Beartown Bar & Grill** for an amendment to an approved Conditional Use Permit to expand the deck on the south side of the building by 2,700 square feet, a 4 foot variance from the 10 foot hard-surface setback requirement adjacent to a railroad right-of-way, in order for the deck to be 6 feet from the east property line, per Code Section 1303.226, Subd.6.e, and to modify condition #5 “no outside music shall be allowed”, per Code Section 1301.050, at the property located at 4875 Highway 61.

Crosby discussed the case. Staff recommended approval subject to conditions listed in the report.

Member Amundsen asked what the required parking is with the new patio and additional seating. Crosby explained that the code requires one stall for every 2.5 seats, so 72 stalls are required – exactly the number of stalls provided.

Member Berry opened the public hearing.

Joe Claussen, applicant and owner, addressed the location and direction of the music. It is ideal for the restaurant to locate the musicians in the southeast corner of the patio. He explained that it is important for patrons to see the musicians, which would be impossible for those sitting on the original deck if the musicians are anywhere on the north side of the patio. The sound would also be muffled. Further, the service door and window along the north side makes it impractical with people coming and going. He asked the Planning Commission to reconsider the condition requiring the musician to face Highway 61. Most musicians will be one or two person groups, there will only be one speaker, and the volume will be low. He does not think it will disturb the neighborhood.

Member Berry provided a history of his experience with playing music at the Lakeshore Players Theater. The first summer they played music, the speakers were facing east towards Highway 61 and there were very few issues. Last year, the stage faced south and the neighbors complained right away about the noise. Anything that can be pointed to the east will be beneficial to the neighborhood and to the applicant’s betterment. He agreed that there will probably not be much noise with just one speaker.

Member Baltzer stated it does make a difference for the audience on where the stage is put. He wants the applicant to find a good place for the music, but if they get complaints, the City will have to come down on the applicant. Member Baltzer does not want the applicant to be locked into one location, so he would like to amend the condition to allow more freedom to experiment.

Member Berry added that in the south corner, one speaker will bounce off the building before it goes up and over to the neighbors.

Member Berry closed the public hearing.

Member Amundsen stated that condition ten addresses the noise issue. He moved to remove condition six. Member West seconded the motion. Motion carried 5:0.

Member Amundsen asked if the future Purple Line (former Rush Line) will have an impact on the number of parking stalls. Crosby replied that there will be no Purple Line parking on private property. The applicant used to have head in parking along the west property line. The row has recently been changed to parallel parking because the stalls extended into the right-of-way and improvements need to be contained to private property. Even with a reduction of parking stalls, the property meets code.

It was moved by Member **Baltzer** to recommend approval of Case No. 96-5-Sa2, seconded by Member **Enz**.

Motion carried, 5:0.

- D. Case No. 22-1-CUP & 22-5-V:** A request by **Christianson Companies / Tommy Car Wash** for the following: a Conditional Use Permit for a car wash in the B-3 – Auto-Oriented Business zoning district, per Code Section 1303.140, Subd.4; Site plan approval for development in the Shoreland Overlay district, per Code Section 1303.230, Subd.6; A 10 foot variance from the 15 foot hard-surface setback from a street right-of-way, per Code Section 1302.050, Subd.4.17, in order to allow the existing curb encroachment to remain; a 79 car variance from the 100 car stacking requirement, per Code Section 1303.140, Subd.4.c.2, in order to stack for the estimated peak demand rather than the maximum capacity of the facility; and a variance from the 30% impervious area limit to allow 57.75% impervious surface in the S – Shoreland Overlay zoning district, per Code Section 1303.230, Subd.5.a.5; all in order to allow the demolition of the existing improvement and construction of a new express car wash facility at the property located at 4061 Highway 61.

Crosby discussed the case. Staff recommended approval.

Member West asked about water use restrictions and if possible legislation would affect the water usage of the car wash. She also wondered how the noise would affect the

neighborhood, since she can hear the car wash dryers at Holiday from her home. Crosby replied that it is unclear how future water usage regulations would impact the business and that she had not looked at the noise levels. She suggested that the applicants could speak to the sound levels of the equipment.

Member Berry sought clarification on the water reuse system. Crosby confirmed that 30% of water from each car washed is recycled.

Member Enz asked if the infiltration basin will use rain garden plantings and where the opt out lane would be constructed. Overall, she believes the reduction in the use of the red is nice and it will be a handsome building. Crosby replied that the applicants will use native grasses around the infiltration pond and rain garden plantings in the basin. She pointed to the opt out lane on the site plan, a surmountable curb on the west side of the property just before entering the car wash, which leads to the south side parking area.

Member Berry wondered if Dairy Queen will stay. Crosby confirmed that the ice cream shop would not be affected by the project.

Member Berry opened the public hearing.

Tanner Brandt, applicant, Fargo, North Dakota, he described the layout of the building and the company's business model. They have car washes all over the country. He reiterated that their equipment reclaims about 30% of water used. They use less water than a person would washing their car in a driveway. He addressed the concerns surrounding noise, stating that the doors close between washes unless there is a steady stream of vehicles. The noisiest part of the wash would be the east side towards Highway 61 where the dryers are located. He thinks the highway should buffer much of the sound.

Member Amundsen asked if there would be employees hand washing the vehicles. Mr. Brandt stated there would never be any employees touching the car. The only employees on site would be someone at the pay station and a maintenance person. The car wash itself is fully automated.

Member Berry closed the public hearing.

It was moved by Member **Enz** to recommend approval of Case No. 22-1-CUP & 22-5-V, seconded by Member **Baltzer**.

Motion carried, 5:0.

5. DISCUSSION ITEMS

- A. City Council Summary Minutes of April 12, 2022.

Member Enz appreciated how the minutes were written. Member Amundsen concurred, adding that he liked the new format of the Planning Commission staff reports.

B. Park Advisory Commission Minutes of April 21, 2022 – Not Yet Available.

No Discussion.

6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Amundsen**, seconded by Member **Baltzer** to adjourn the meeting at **7:58** p.m.

Motion carried, 5:0

DRAFT



City of White Bear Lake
Community Development Department

M E M O R A N D U M

TO: The Planning Commission
FROM: Jason Lindahl, Community Development Director
DATE: May 23, 2022
SUBJECT: Fox Setback Variance / 4985 Johnson Avenue / Case No. 22-9-V

SUMMARY

The applicant, Mike Fox, requests a rear and two street-facing side yard setback variances to allow expansion of the existing one-unit dwelling located at 4985 Johnson Avenue. The subject property is located at the southwest corner of 11th Street and Johnson Avenue, just west of West Park. It is guided Low Density Residential by the Comprehensive Plan and zoned R-4, Single & Two Family Residential and within the Shoreland Overlay district. The applicant's project includes a second story addition over the existing attached garage and conversion of an existing deck into a covered porch. Based on the findings made in this report, staff finds the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subdivision 6 and recommends approval of this request.

GENERAL INFORMATION

Applicant/Owner: Mike Fox

Existing Land Use / Zoning: Single Family;
R-4, Single Family – Two Family Residential and the S -Shoreland Overlay District

Surrounding Land Use /Zoning: All Directions - Single Family; Zoned R-4 to the north, south and west and zoned P – Public to the east

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 7,500 sq. ft.; 60 feet (single family)
Site: 7,840 sq. ft.; 78 feet

ANALYSIS

Site Characteristics

The existing residence was constructed in 1956 and originally included the separate parcel to the west. The separate property at 2298 Johnson Avenue was split off from the subject property and a new home was constructed in 1998.

This lot split had the added result of changing the front side of the subject property under the zoning

code. The zoning code defines the front as “the boundary abutting a city-approved street having the least width.” Originally, the shortest side of the property was its east side along Johnson Avenue (and the front of the house was oriented to this side). However, the lot split changed the subject property’s shortest side to be its north boundary along 11th Street. This change had the added effect of defining new front, side and rear yards and establishing the existing setbacks in place in 1998 that did not meet the zoning regulations as legal non-conforming or “grandfathered-in.”

The applicant’s proposed home expansion includes a second story addition over the existing attached garage and conversion of an existing deck into a covered porch (see attached narrative). The addition over the existing garage would add two bedrooms and a bathroom. The first street-facing side yard setback variance is necessary to allow the second story addition above the garage to maintain the home’s existing 24.3-foot setback from the east (Johnson Avenue) property line. According to the applicant, the requested 5.7 foot setback variance is necessary to help blend the proposed addition with the current house structure and overall architecture of the surrounding neighborhood.

The second part of the applicant’s proposed addition is conversion of the existing deck along the original front of the home facing Johnson Avenue into a 5 foot deep covered porch. This part of the project requires both a 21 foot rear (south) yard variance from 30 to 9 feet and an 11 foot street-facing side (east) yard variance from 30 to 21 feet. In this case, the applicant states these variances are necessary to continue the home’s existing rear (south) yard setback while also allowing for the minimum depth of a functional covered porch.

Community Comment

Under state law and the City’s zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request and public hearing in the White Bear Press and mailed notice directly to all property owners within 200’ of the subject property. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing where they could learn about the request, ask questions and provide feedback. As of the writing of this report, the city had received two comments or questions regarding this request. The first came from the neighbor to the south at 4975 Johnson Avenue. In this case, the neighbor signed and submitted the City’s “Expanding a Line of Non-Conformity Neighbor Agreement” generally supporting the request. Staff also received a phone call from the neighbor to the west at 2298 11th Street requesting copies of the plans. Staff emailed those plans to them but has yet to receive any follow-up comments. During the public hearing, staff will provide an update on all public comments received prior to the Planning Commission meeting.

Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city’s role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved. The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may

choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is variance in harmony with purposes and intent of the ordinance?

Finding: The proposed variances are in harmony with the purpose and intent of the zoning regulations. The subject property is zoned R-4, Single and Two-Family Residential and within the Shoreland Overlay District. According to the Zoning Ordinance, the purpose of the R-4 district is to "provide for low and moderate density one and two unit dwellings and directly related, complementary uses." The proposed variances will allow the applicant to improve their existing one unit dwelling use with additional living space and porch generally consistent with the existing conditions that were established as a result of the 1998 lot split of the property to the west at 2298 11th Avenue.

2. Is the variance consistent with the comprehensive plan?

Finding: The proposed variances are consistent with the 2040 Comprehensive Plan. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Low Density Residential. This land use category is characterized by low density dwellings with a density range of 3 to 9 units per acre. Typical housing in this land use category includes 1-unit attached and detached dwellings. The 2040 plan calls for continuation of the low density land use pattern. Therefore, granting the requested variance will allow for improvement of the existing 1-unit dwelling consistent with the goals and policies of the Low Density Residential future land use category of the comprehensive plan.

3. Does the proposal put property to use in a reasonable manner?

Finding: The proposal would put the subject property to use in a reasonable manner. As noted above, both the zoning regulations and comprehensive plan support 1-unit dwellings. The proposed variances would allow expansion of the existing 1-unit dwelling in such a way as to meet the applicant's needs with minimal variance from the zoning regulations.

4. Are there unique circumstances to the property not created by the landowner?

Finding: There are unique circumstances to the property that were not created by the landowner. In this case, the subject property has unique and legal non-conforming (grandfathered-in) site design and setbacks that result from a previously approved lot split of the property to the west. These unique circumstances result in a site that could not reasonably accommodate the development standards of the R-4 and Shoreland Overlay district.

5. Will the variance, if granted, alter the essential character of the locality?

Finding: Granting the requested variance will not alter the essential character of the surrounding

neighborhood. Granting the requested variance will allow expansion of the existing 1-unit dwelling that will result in the house having a two-story design with a front porch which is more compatible with the overall traditional pedestrian-friendly and hometown character of the surrounding neighborhood. In addition, the requested variances limits the proposed home expansion to maintaining the existing east street-facing side yard setback for the second story addition above the existing attached garage while similarly maintaining the south rear yard setback for the porch addition. Only the east street-facing side yard variance for the porch would allow some intensification of the site by adding a roof over the existing deck and this is focused on the side of the property facing the public street and the open space of West Park.

RECOMMENDATIONS

Staff recommends approval of the requested variances based on the findings of fact made in this report, summarized below and detailed in the attached resolution.

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variance will allow the property to use in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variances will not alter the essential character of the neighborhood.

The staff recommendation for approval is subject to the conditions listed below.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
5. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.
6. Porous pavers, rain gardens or other mitigative features used to off-set impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.

Attachments:

Resolution of Approval
 Location/Zoning Map
 Applicant's Plans
 Applicant's Narrative
 Expanding a Line of Non-Conformity Neighbor Agreement

RESOLUTION NO.

**RESOLUTION GRANTING THREE VARIANCES
FOR 4985 JONHSON AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-9-V) has been submitted by the Mike Fox, to the City Council requesting approval of three variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 4985 Johnson Avenue

LEGAL DESCRIPTION: That Part of Lot 1, Block 12, Auerbach's Rearrangement of part of White Bear Lying East of the line Parallel with and distant 78.00 Feet From; and

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: Three variances in order to construct a second story addition over the existing attached garage and conversion of an existing deck into a covered porch: a 5.7 foot variance from the 30 foot setback requirement from a side abutting a public right-of-way; a 21 foot variance from the 30 foot rear yard setback requirement; and an 11 foot variance from a side abutting a public right-of-way, all per code section 1303.060; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on May 23, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variance will allow the property to be used in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variances will not alter the essential character of the neighborhood.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

RESOLUTION NO.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
5. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.
6. Porous pavers, rain gardens or other mitigative features used to off-set impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

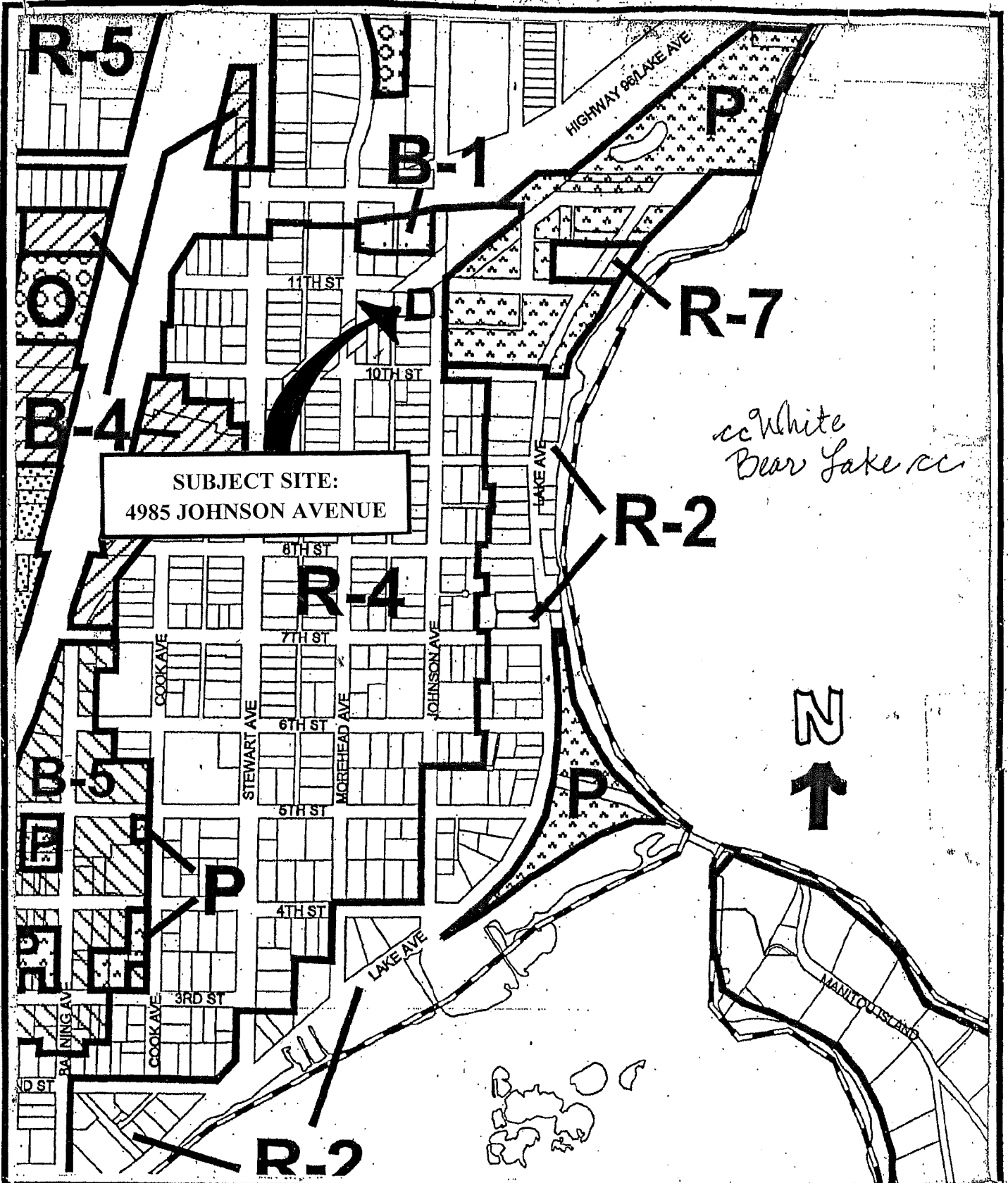
ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



cc White Bear Lake cc



<p>City of White Bear Lake Planning and Zoning Office (612)-429-8561</p>	<p>CASE NO. : 22-9-V CASE NAME : Fox DATE : May 23, 2022</p>
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City of White Bear Lake,

Our names are Mike and Meagan Fox. We live at 4985 Johnson Ave. We have been at this house since 2009 and we are looking to expand our house to accommodate our growing family. Our current house is a rambler style home that our family of 5 has outgrown. We are looking to add an addition over our existing garage to add 2 kid's rooms and a kid's bathroom. The house that was built in the 1950s is positioned towards the front of the property and does not meet the current setback requirement of 30 feet from the road. The current foundation is 24.3 feet from the road. We are requesting a variance of 5.7 feet for the addition. The addition over the garage was identified as the best location by the architect and builder. The set back on the south side of the property would require a larger variance if we built over the existing one level house. The lower elevation of the garage also offered a way to add a second level without taking away the overall style of the home. Since the garage is located at a lower elevation if we were to push the addition back to meet the current set back requirement the elevation of the house would have to be increased. One of the goals we had for the architect was to blend in the addition with the current house structure. To further accomplish this look we would like to request a variance to convert our front deck into a front porch. This will allow the house to have a unified look. To accomplish this we need to continue the original house property line on the south side which is 9 feet from the property line. I am requesting a 21 ft variance on the south side. I have presented the drawings and plan to my south neighbor who has signed the proper paper work to continue the line of non-conformity. The front porch would sit 19 feet from the property line on the east side. The set back is 30 ft and we are requesting a variance of 11 ft. This is similar to other properties along Johnson Ave. I have already taken into account storm water containment. I have two large rain gardens on my property that already hold the run off from my home. I also plan to convert more of my grass to wild flowers to further prevent runoff and provide a better habitat to the wild life around our area. We look forward to working with you and being a part of this community for many more years.

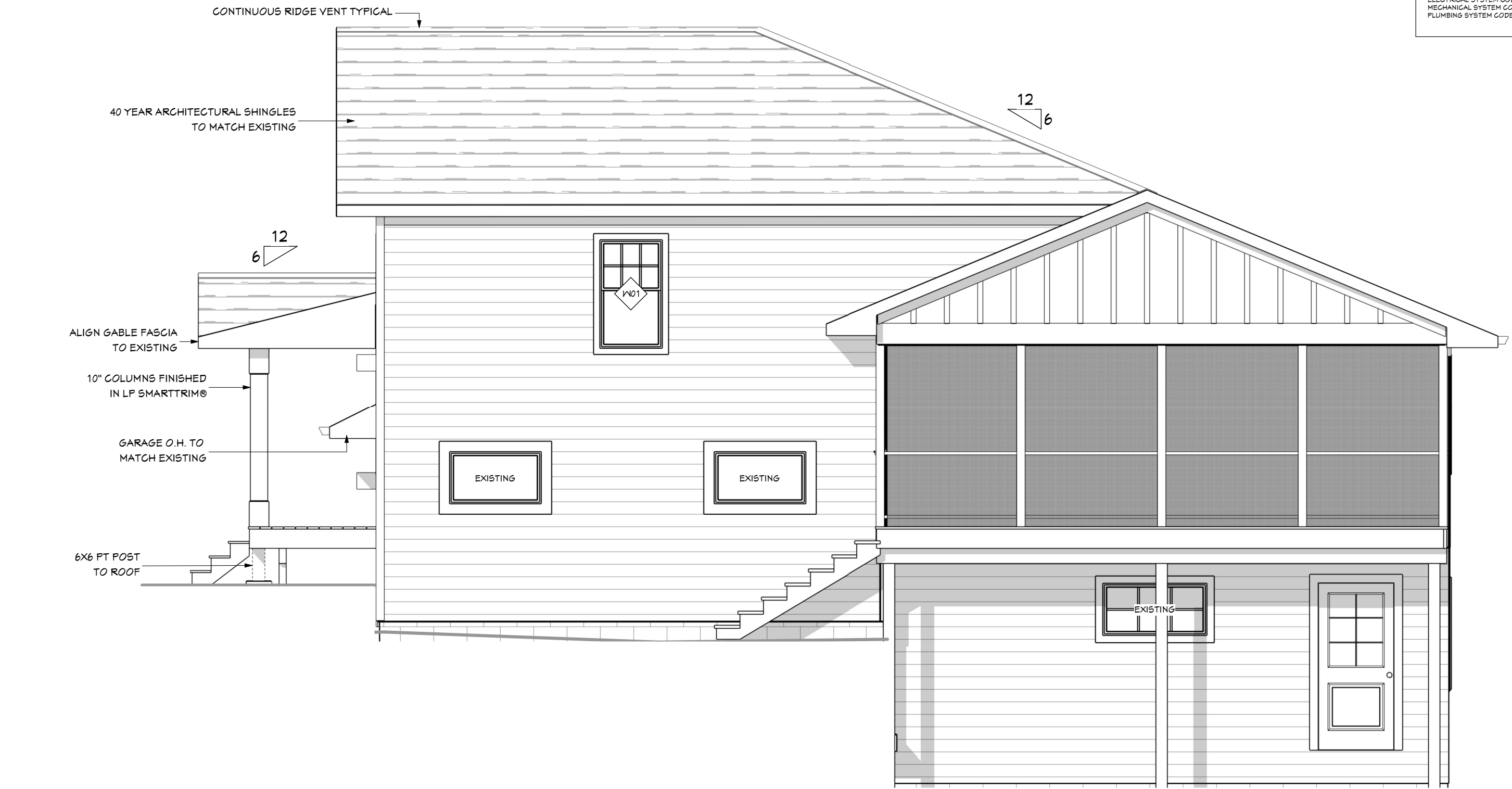
Mike and Meagan Fox

PROPOSED ELEVATION VIEWS

1/4" = 1'



FRONT VIEW



RIGHT VIEW

LEFT VIEW



BACK VIEW

EXTERIOR FINISH NOTES:
 1. EXTERIOR FINISH TO BE LP SMART SIDING OVER 5/8 CDX PLYWOOD OSB. WINDOW & DOOR TRIM LP SMART START. MATERIAL AND COLOR BY OWNER.
 2. ROOFING TO BE 40 YEAR ARCHITECTURAL ASPHALT OVER 3/8 FELS, 5/8 CDX PLYWOOD OSB, ICE AND WATER BARRIER BY FIRM EDGES.
 3. DECKING TO BE TREX OR FISSO. FINAL MATERIAL AND COLOR BY OWNER.
 4. GANNETS ARE DECORATIVE AND PROVIDE FOR EXTENS OF GAS FIREPLACES ONLY.
 5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.
 6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.
 7. STEEPED RETAINING WALLS TO MATCH EXISTING FOUNDATION WALL ELEVATION DROPS.

PROPRIETARY WORK NOTICE:
 THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF WOODLAND DESIGN LLC. DEVELOPED FOR THE EXCLUSIVE USE OF WOODLAND DESIGN LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF WOODLAND DESIGN LLC IS PROHIBITED AND MAY SUBJECT YOU TO A LITIGATION FOR DAMAGES.

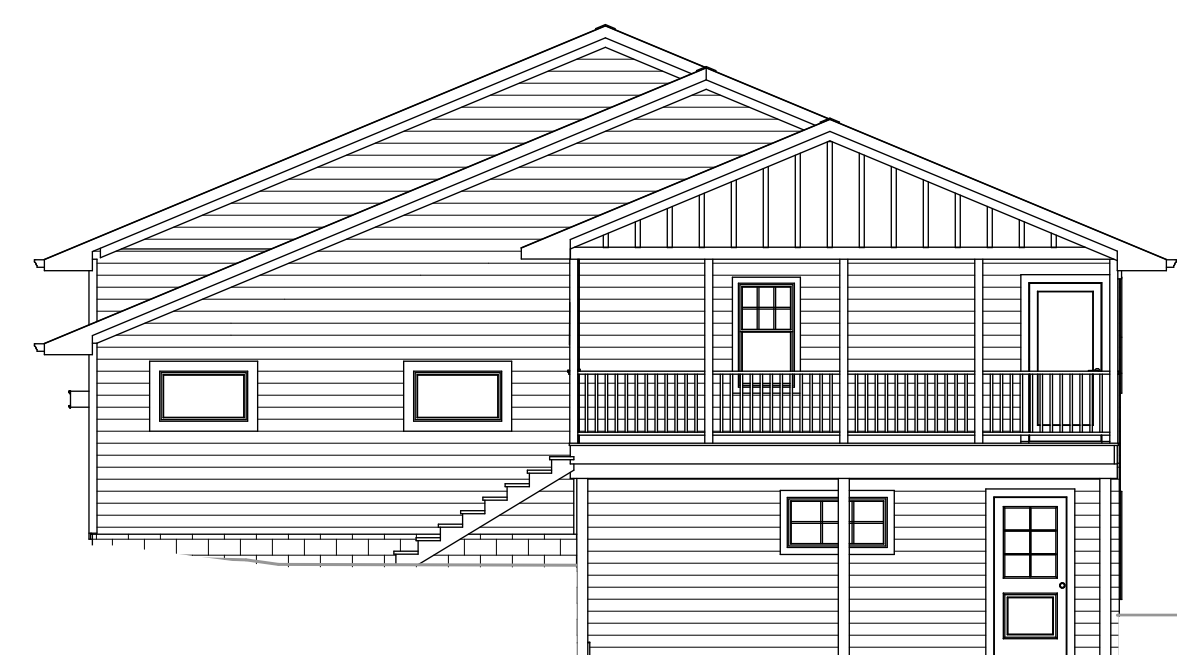
USER/OWNER DISCLOSURE AND NOTICE:
 TO THE BEST OF MY KNOWLEDGE THESE PLANS AND DRAWING TO COMPLY WITH ORDINANCES AND OR BUILDING SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE MADE BY THE OWNER AND OR BUILDER. I HAVE NOT BEEN ADVISED BY THE CONTRACTOR OF ANY CHANGES OR ENCLOSURES. WOODLAND DESIGN LLC IS NOT LIABLE FOR THE OWNER SINCE CONSTRUCTION HAS BEEN IN PROGRESS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PREPARATION OF THIS PLAN TO AVOID MISHEARS. THE OWNER CAN NOT SUBMITTER AGAINST WOODLAND DESIGN LLC. THE CONTRACTOR OF THIS JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

VERIFICATION:
 HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
 BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL SPEC'S AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
 ELECTRICAL SYSTEM CODE: SEC 2101
 MECHANICAL SYSTEM CODE: SEC 2301
 PLUMBING SYSTEM CODE: SEC 2401

REVISIONS

NUM	DATE	BY	DESCRIPTION

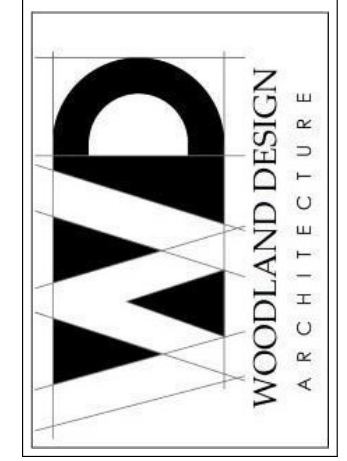
EXISTING 1/8" = 1'



REMODELING PROJECT FOR:
THE FOXES
 4885 JOHNSON AVE
 WHITE BEAR LAKE, MN 55110

CONTRACTOR OF RECORD:
TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 Phone: 651/472-6022
 woodland@ustfamily.net



INITIAL DESIGN DATE:
 1/13/2021

CURRENT DATE:
 3/18/2021

SCALE:
 1/4" = 1' (OR AS NOTED)

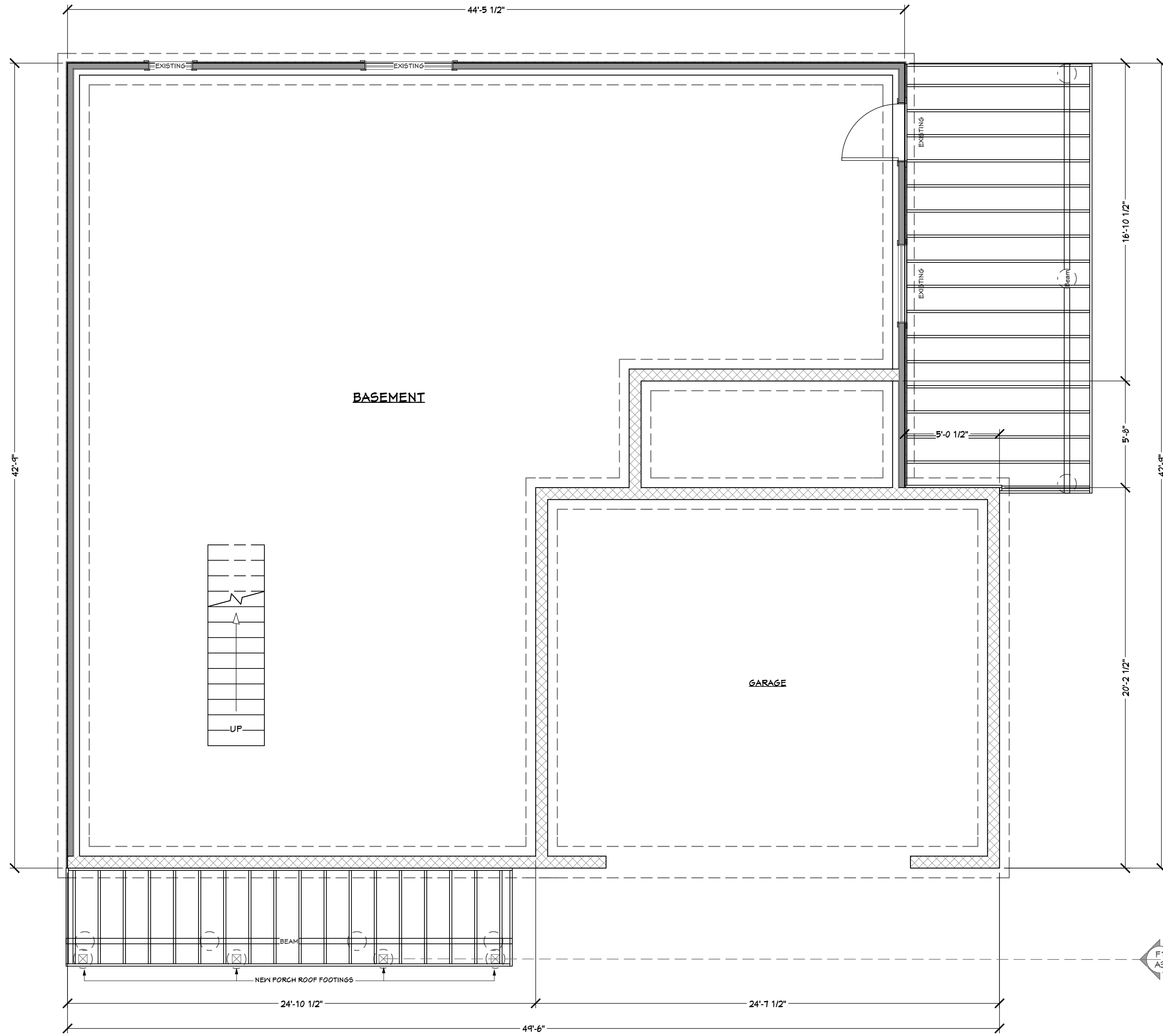
DRAWING SHEET SIZE:
 ARCH D (24" x 36")

LIVING AREA SQ. FT.:

SHEET:
A1

FOUNDATION PLAN

1/4" = 1'



WALL SCHEDULE table with 2D symbol and wall type columns.

FOUNDATION NOTES: 1. SLOPE DRAIN SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ. 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS...

LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAPPERS TO BE DF-42. 2. EXPOSED ANGULAR BEAMS TO BE DF-41 OR BETTER...

SUBSTITUTING MATERIALS/FLOORS AND ROOFS: ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450...

EROSION CONTROL NOTES: 1. INSTALL Silt Fence PRIOR TO ANY EXCAVATION OR CONSTRUCTION. 2. MINIMIZE SITE DISTURBANCE BY THAT CONTROL OF EXCAVATION LIMITS...

FLOOR FRAMING & TRUSS NOTES: FLOOR: 40 PSF LL. 10 PSF TOP CHORD DL. 19 PSF BOTTOM CHORD DL. 1ST FLOOR SHALL HAVE 12" FLOOR TRUSSES...

RAFTERS NOTES: JOIST TO BAL OR HINDER PROTRUDING TO JOIST. JOIST PLATE TO JOIST OR BR-19. DOUBLE STUDS. DOUBLE TOP PLATES. CONTINUOUS HEADER, TWO FEET. 1/2" SPACER. 1/2" BRACE TO EACH STUD AND PLATE. 1/2" BRACE TO EACH STUD AND PLATE. 1/2" BRACE TO EACH STUD AND PLATE. 1/2" BRACE TO EACH STUD AND PLATE.

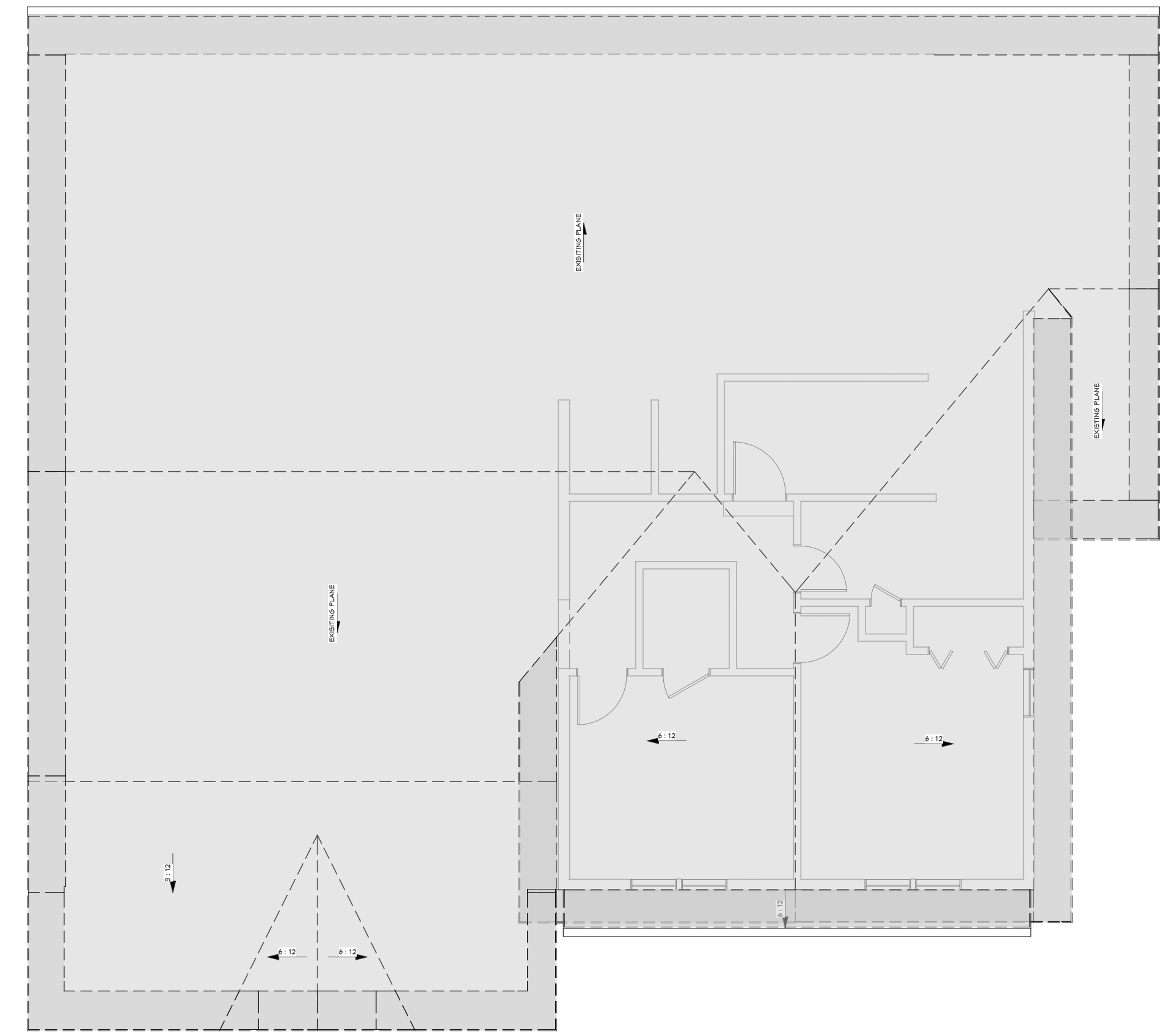
PROPRIETARY WORK NOTICE: THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF WOODLAND DESIGN LLC. DEVELOPED FOR THE EXCLUSIVE USE OF WOODLAND DESIGN LLC. USE OF THESE DRAWINGS BY ANY OTHER PARTY IS PROHIBITED...

VERIFICATIONS: HOMEOWNER A CONTRACTOR TO VERIFY ALL DIMENSIONS OF FOUNDATION, WALLS, AND BUILDING CODES AND GRADE REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADE AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS...

UNIFORM DISCLOSURE AND NOTICE: TO THE BEST OF MY KNOWLEDGE THESE PLANS AND DRAWINGS TO COMPLY WITH OWNERS AND OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTING ARE HOPEFULLY BE DONE BY THE OWNER AND OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADE AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS...

ROOF PLAN

1/8" = 1'



ROOFS: ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450. PROVIDE 2" X 4" ICE SHIELD IN VALLEYS AND ON ROOFS AND ROOF PENETRATIONS. CORNERS CORNER OR EQUAL. PROVIDE INSULATION BAPPED AT EAVE VENTS BETWEEN RAPPERS...

GENERAL PLUMBING & HVAC NOTES: 1. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. 2. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING...

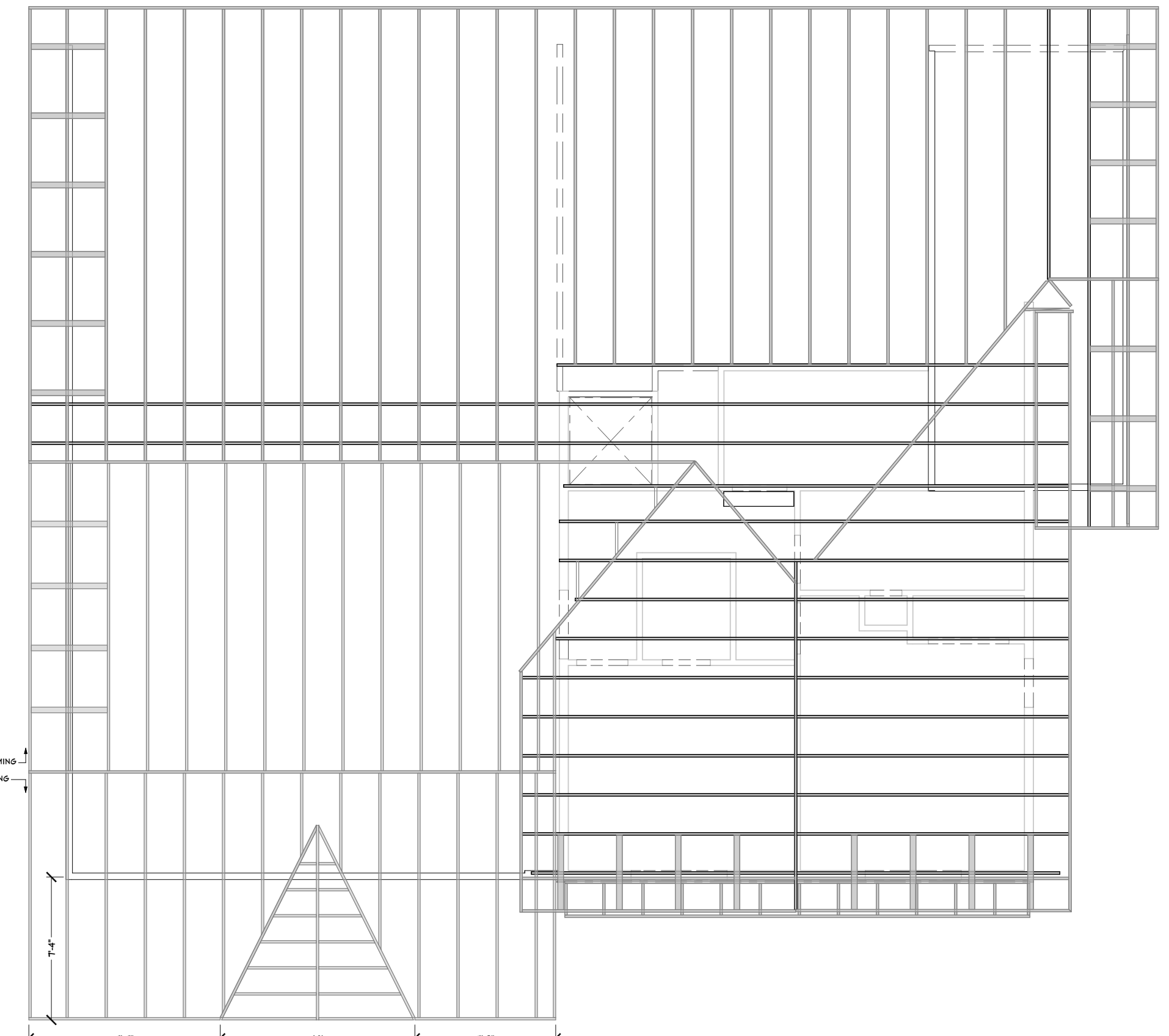
VENTILATION NOTES: ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE, FIREBOX, AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE...

GENERAL NOTES 2: 1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 2. ALL BUILD TO DIMENSIONS MUST BE VERIFIED ON SITE AND DISCREPANCIES VERIFIED WITH THE ARCHITECT. 3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE STRUCTURAL SURFACES...

1. ALL WORK SHALL BE IN STRICT COMPLIANCE WITH CURRENT OSHA REGULATIONS AND HEALTH REQUIREMENTS. 2. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION TO MINIMIZE DUST MIGRATION BEYOND THE IMMEDIATE CONSTRUCTION AREA. CONTRACTOR SHALL PROTECT EQUIPMENT AND FINISHES FROM DAMAGE. REPAIRS TO WALLS AND PAINT WILL BE MADE TO THE NEAREST CORNER AND SHALL BE MADE PROMPTLY TO THE SATISFACTION OF THE OWNER...

ROOF FRAMING PLAN

1/6" = 1'

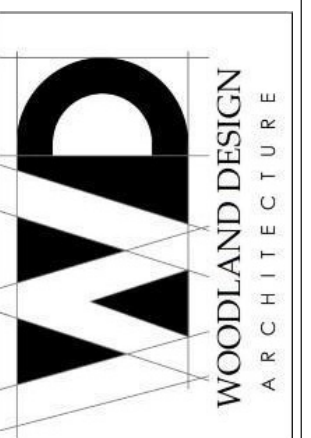


REVISIONS table with columns for NUM, DATE, BY, DESCRIPTION.

REMODELING PROJECT FOR: THE FOXES 4885 JOHNSON AVE WHITE BEAR LAKE, MN 55110

CONTRACTOR OF RECORD: TBD

WOODLAND DESIGN LLC LAKE ELMO, MN Phone: 651/472-6022 woodland@ustfamily.net



INITIAL DESIGN DATE: 1/13/2021

CURRENT DATE: 3/18/2021

SCALE: 1/4" = 1' (OR AS NOTED)

DRAWING SHEET SIZE: ARCH D (24" x 36")

LIVING AREA SQ. FT: 1109

SHEET: A3

Bituminous 22' wide
(No Curb)

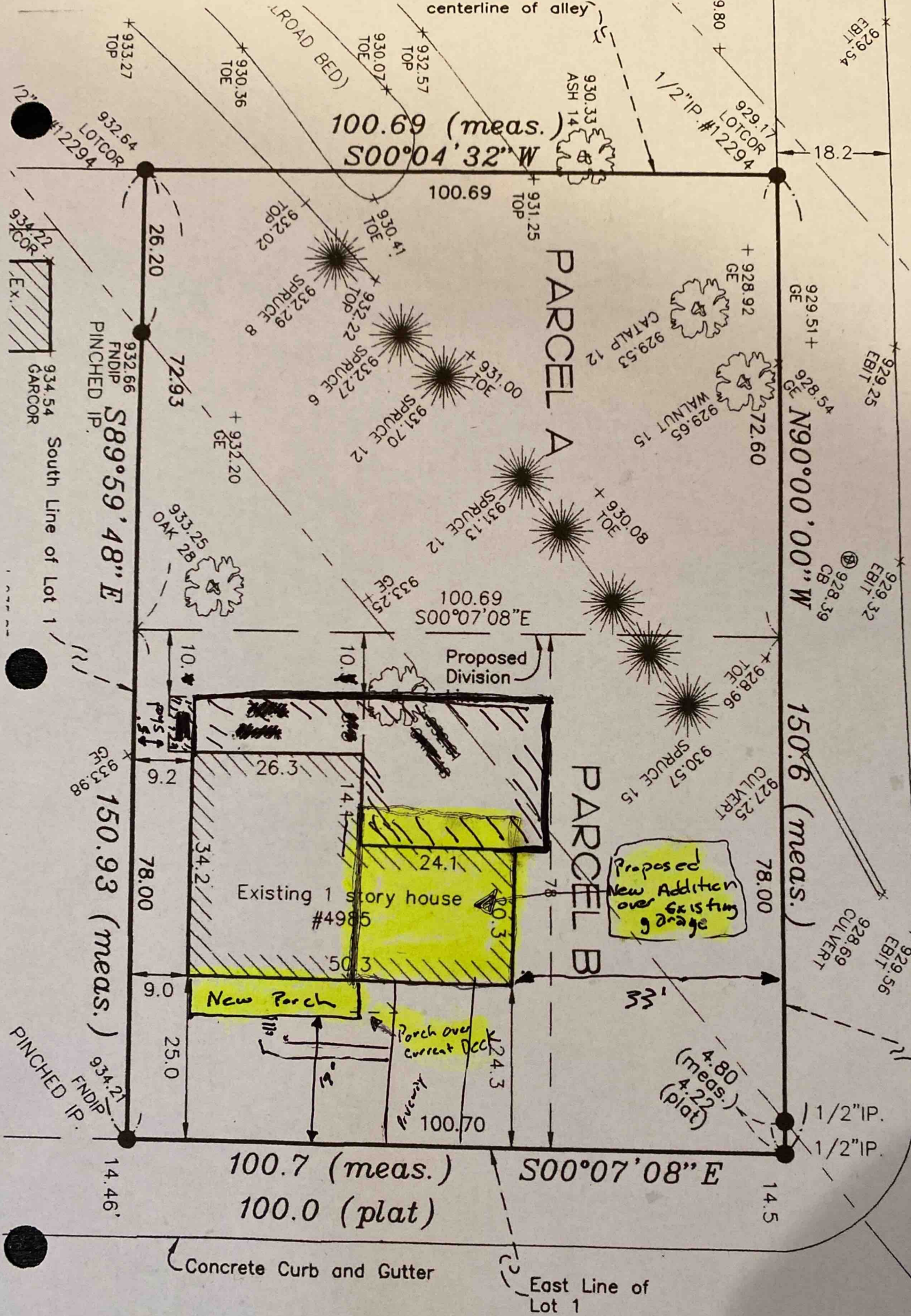
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MH

STREET

North Line of Lot 1

AVE.

JOHNSON



100.69 (meas.)
S00°04'32" W

PARCEL A

PARCEL B

Existing 1 story house
#4985

Proposed
New Addition
over Existing
garage

New Porch

100.7 (meas.)
100.0 (plat)

S00°07'08" E

150.6 (meas.)

S89°59'48" E

1/2" IP.
1/2" IP.

Concrete Curb and Gutter

East Line of Lot 1

South Line of Lot 1

Proposed Division

100.69
S00°07'08" E

4.80 (meas.)
4.22 (plat)

Porch over current Deck
Kitchen

100.70

24.3

25.0

9.0

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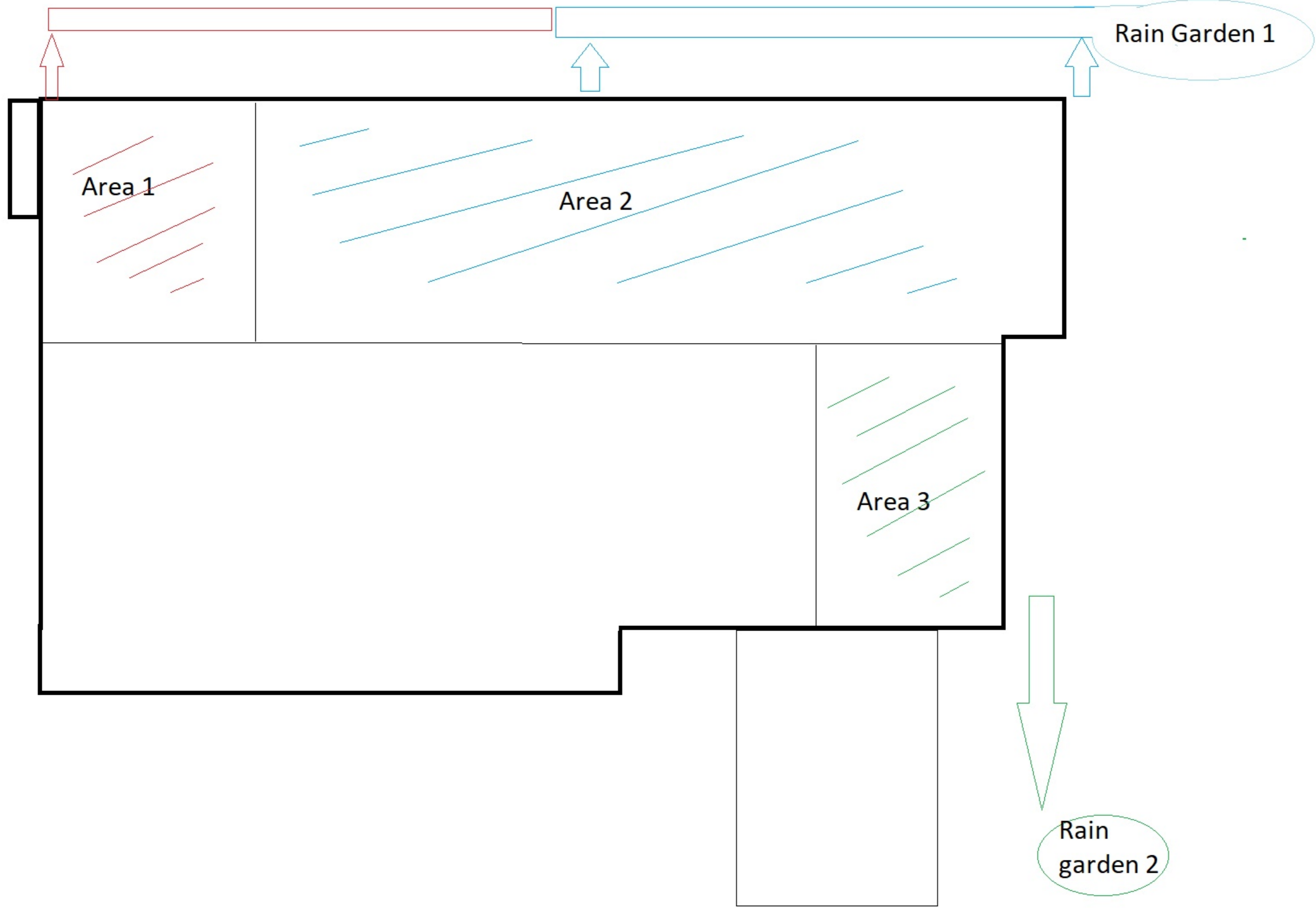
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Storm Water Mitigation

1,106 sq ft of the roof will lead the storm water to 2 large rain gardens.

Area 1 and 2 will flow into rain garden number 1 and area 3 will flow into rain garden # 2



White Bear Community Development Department
4701 Highway 61, White Bear Lake, MN 55110
Phone: 651-429-8561 / Fax: 651-429-8503
www.whitebearlake.org

**Expanding a
Line of Non-
Conformity
Neighbor
Agreement**

I am the owner of the property located at: 4975 Johnson Ave
(Neighbor's Address)

I understand my neighbor, located at: 4985 Johnson Ave
(Site Address of Proposed Project)

Is proposing to expand his/her existing non-conforming structure.

Being as I have no objections to an addition of this kind as outlined on the accompanying site plan; I hereby give my consent for this project.

Gloria K Jansen 3/17/2022
Property Owner Signature (Neighbor) Date:

Gloria K Jansen
Property Owner Printed Name (Neighbor)

952-454-0857
Phone Number

gjansen612@msn.com
Email Address



City of White Bear Lake
Community Development Department

M E M O R A N D U M

TO: The Planning Commission
FROM: Jason Lindahl, Community Development Director
DATE: May 23, 2022
SUBJECT: Carlson CUP for Accessory Dwelling Unit & Associated Variances
 2505 Lake Avenue / Case No. 22-5-CUP & 22-10-V

SUMMARY

The applicants, Annie and Dustin Carlson, request a conditional use permit (CUP) and associated variances to allow construction of an accessory dwelling unit (ADU) and 5 variances to allow construction of an 894 square foot addition to the main house. The subject property is located at 2505 Lake Avenue (County Road 96), approximately one-quarter mile east of White Bear Lake County Park. The subject property is guided Low Density Residential by the Comprehensive Plan, zoned R-2, Single Family Residential and within the Shoreland Overlay district. Staff recommends approval of the requests based on the findings of fact detailed in this report and listed in the attached resolution.

GENERAL INFORMATION

Applicant/Owner: Annie & Dustin Carlson

Existing Land Use / Zoning: Single Family; R-2 Single Family Residential and the Shoreland Overlay District

Surrounding Land Use /Zoning: All Directions - Single Family; Zoned R-2 to the south, east and west and zoned R-3 to the north

Comprehensive Plan: Low Density Residential to the south, east and west and Moderate Density Residential to the north

Lot Size & Width: Code: 15,00 sq. ft.; 100 feet
 Site: 1.4 acres (60,984 sq. ft.); 220 feet

ANALYSIS

Site Characteristics

The subject property was originally constructed in 1941 and includes an existing 1-unit dwelling and detached 4 stall garage. Currently, the house does not have an attached garage. Generally, the lot size and width far exceed the minimum zoning requirements in that the lot is 1.4 acres in size or 45,984 square feet (400 percent) large than required and the lot width is 220 feet or 120 feet (120 percent) wider than required by code. It should be noted that the subject property has approximately 10,000

square feet of additional area on the south side of Lake Avenue adjacent to White Bear Lake.

The Carlson's proposed project includes two components. First, the applicant wishes to expand their existing detached garage from 4 to 5 stalls on the main level and add a 1,593 square accessory dwelling unit (ADU) on the second level. This portion of the project necessitates both a conditional use permit (CUP) for the ADU and variances from the maximum ADU size and detached garage height standards.

The second portion of the project includes an 894 square foot addition to the main house. This addition includes 270 square feet in gardening and exercise rooms as well as a 624 square foot attached garage. As proposed, the garage portion of this addition requires variances from the number of accessory structures, maximum size of a second accessory structure (attached garage) and maximum size of all accessory structures (detached garage, ADU and attached garage).

Community Comment

Under state law and the City's zoning regulations, conditional use permit and variance applications require a public hearing. Accordingly, the City published notice of this request and the public hearing in the White Bear Press and mailed notice directly to all property owners within 350 feet of the subject property. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing where they could learn about the request, ask questions and provide feedback. As of the writing of this report, the city had received no comments or questions regarding this request. During the public hearing, staff will provide an update on all public comments received prior to the Planning Commission meeting.

Review Authority

City review authority for either conditional use permit or variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050 while variance standards are detailed in Minnesota State Statute 462.357, Subdivision 6.

Conditional Use Permit Review

According to City Code Section 1301.050, The City shall consider possible adverse effects of a proposed conditional use, in this case an accessory dwelling unit. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Low Density Residential. This land use category is characterized by low density dwellings with a density range of 3 to 9 units per acre. Typical housing in this land use category includes 1-unit attached or detached dwellings. The 2040 plan calls for continuation of the existing low density land use

pattern. The subject property is 1.40 acres (61,000 square feet) in size, so adding the proposed ADU results in a density of 1.4 units per acre, well below the land use standard.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: With the proposed ADU, the subject property will be compatible with present and future land uses. As noted above, the 2040 Comprehensive Plan Future Land Use Map guides the subject property as Low Density Residential and the addition of the proposed ADU is consistent with its future land use guiding. Similarly, the property is surrounded by other low density residential uses that have future land use and zoning designations that could also allow an ADU.

3. The proposed use conforms with all performance standards contained herein.

Finding: The proposed ADU use conforms with applicable zoning regulations for accessory dwelling units, with the exception of those standards for which the applicant is requesting variances. Review of the applicant's variance application is provided below and staff is recommending approval of those requests.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The proposed ADU use will not depreciate the surrounding area. Staff finds that the Carlson's investment in their property will likely increase its value and, by association, the values of surrounding properties.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The proposed ADU use can be accommodated by the existing public services and will not overburden the City's services capacity. The subject property is served by City sewer and water and the addition of the proposed ADU use will not notably impact these services.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: The subject property is located on both Lake Avenue (County Road 96) and Stillwater Street. The addition of the ADU will not generate traffic beyond the capabilities of these roads.

Variance Review

Staff reviewed the applicant's variance requests against the standards detailed in Minnesota State Statute 462.357, Subdivision 6. These standards and staff's findings for each are provided below. Staff recommends approval of the requested variances based on the findings made in this review and listed in the attached resolution.

1. Is variance in harmony with purposes and intent of the ordinance?

Finding: The proposed variances are in harmony with the purpose and intent of the zoning

regulations. The subject property is zoned R-2, Single Family Residential and within the S – Shoreland District. According to the zoning regulations, the purpose of this district is to provide for urban density single family detached residential dwelling units and directly related, complementary uses. Granting the requested variance to allow both expansion of the existing detached garage to include an additional parking space and an ADU as well as the addition to the existing house to include an attached garage are consistent with the purpose and intent of the R-2 district.

2. Is the variance consistent with the comprehensive plan?

Finding: The proposed variances are consistent with the 2040 Comprehensive Plan. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Low Density Residential. This land use category is characterized by low density dwellings with a density range of 3 to 9 units per acre. Typical housing in this land use category includes 1-unit attached or detached dwellings. The 2040 plan calls for continuation of the low density land use pattern. Granting the requested variance to allow both expansion of the existing detached garage to include an additional parking space and ADU as well as the addition to the existing house to include an attached garage are consistent with the goals and policies of the Low Density Residential future land use category of the comprehensive plan.

3. Does the proposal put property to use in a reasonable manner?

Finding: Granting the requested variances would put the subject property to use in a reasonable manner. Based on the goals and policies of the Low Density Residential future land use category from the 2040 Comprehensive Plan and the purpose and intent of the R-2 zoning district, it is reasonable for the applicant to improve their property to include an expanded principal house to include an attached garage and an expanded detached garage to include one additional parking stall and an accessory dwelling unit.

4. Are there unique circumstances to the property not created by the landowner?

Finding: There are unique circumstances to the property that were not created by the landowner. In this case, the subject property is notably larger in both lot size and width than most of the other properties in the R-2 district. This additional area allows the subject property to accommodate the proposed expansion even with the necessary variances without significant impact on the surrounding neighborhood.

5. Will the variance, if granted, alter the essential character of the locality?

Finding: Granting the requested variance will not alter the essential character of the surrounding neighborhood. Granting the requested variances will allow the applicant's requested expansion in such a way as to both meet the needs of the property owner while still having a site design and architecture that is generally consistent with the of the surrounding neighborhood.

RECOMMENDATION

Staff recommends approval of the requested conditional use permit and variances based on the

findings of fact made in this report, summarized below and detailed in the attached resolution.

Conditional Use Permit Findings:

1. The proposed accessory dwelling unit will be consistent with the 2040 City Comprehensive Land Use Plan.
2. The proposed accessory dwelling use will be compatible with present and future land uses of the area.
3. The proposed accessory dwelling use conforms with all the zoning standards of the R-2 and S-Shoreland Overlay districts with the exception of those standards for which the applicant is receiving specific variances.
4. The proposed accessory dwelling use will not tend to or actually depreciate the area in which it is proposed.
5. The proposed accessory dwelling use can be accommodated with existing public services and will not overburden the City's service capacity.
6. Traffic generation by the proposed accessory dwelling use is within capabilities of streets serving the property.

Variance Findings:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variance will allow the property to be use in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner in that the subject property is 4 times the minimum lot size.
5. Granting the requested variances will not alter the essential character of the neighborhood.

The staff recommendation for approval is subject to the conditions listed below.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.

4. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.

Attachments:

Resolution of Approval

Location/Zoning Map

Applicant's Plans

Applicant's Narrative

**RESOLUTION GRANTING
A CONDITIONAL USE PERMIT AND FIVE VARIANCES
FOR 2505 LAKE AVENUE
WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-5- CUP & 22-10-V) has been submitted by Annie and Dustin Carlson, to the City Council requesting approval of a conditional use permit and five variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 2505 Lake Avenue

LEGAL DESCRIPTION: THAT PART OF THE SOUTH HALF OF SECTION 12, TOWNSHIP 30 RANGE 22 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH LINE OF STILLWATER STREET IN WHITE BEAR BEACH WHERE THE SAME IS INTERSECTED BY THE CENTERLINE OF CENTRAL AVENUE AS THE SAME EXISTED BEFORE ITS VACATION: THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF CENTRAL AVENUE IN A STRAIGHT LINE TO THE NORTHWESTERLY LINE OF THE BOULEVARD N/K/A TRUNK HIGHWAY 96: THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE OF SAID BOULEVARD, A DISTANCE OF 210 FEET; THENCE IN A NORTHERLY DIRECTION TO A POINT ON THE SOUTH LINE OF STILLWATER STREET A DISTANCE OF 220 FEET WEST OF THE POINT WHERE STILLWATER STREET INTERSECTS WITH THE CENTER LINE OF CENTRAL AVENUE AS THE SAME EXISTS BEFORE ITS VACATION; THENCE EASTERLY ALONG THE SOUTH LINE OF STILLWATER STREET TO THE POINT OF BEGINNING. SUBJECT TO EASEMENTS OF RECORD.

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A Conditional Use Permit for a home accessory apartment, per Code Section 1302.125, and the following five variances: a 713 square foot variance from the 880 square foot maximum for a home accessory apartment, per Section 1302.125; a 5.5 foot variance from the 15 foot height limit, as measured to the mean of the roof, per Section 1302.030, Subd.4.i.1.b; a variance for a third accessory structure, per Section 1302.030, Subd.4.i; a 968 square foot variance from the 625 square foot maximum size for a second accessory structure, per Section 1302.030, Subd.4.i.2.b; and a 1,083 square foot variance from the 1,250 square foot maximum for all accessory structures combined, per the same Section; all in order to construct an accessory dwelling unit above the detached garage, construct a new two car attached garage, and expand the existing four stall detached garage at the property located at 2505 Lake Avenue; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on April 25, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit and variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

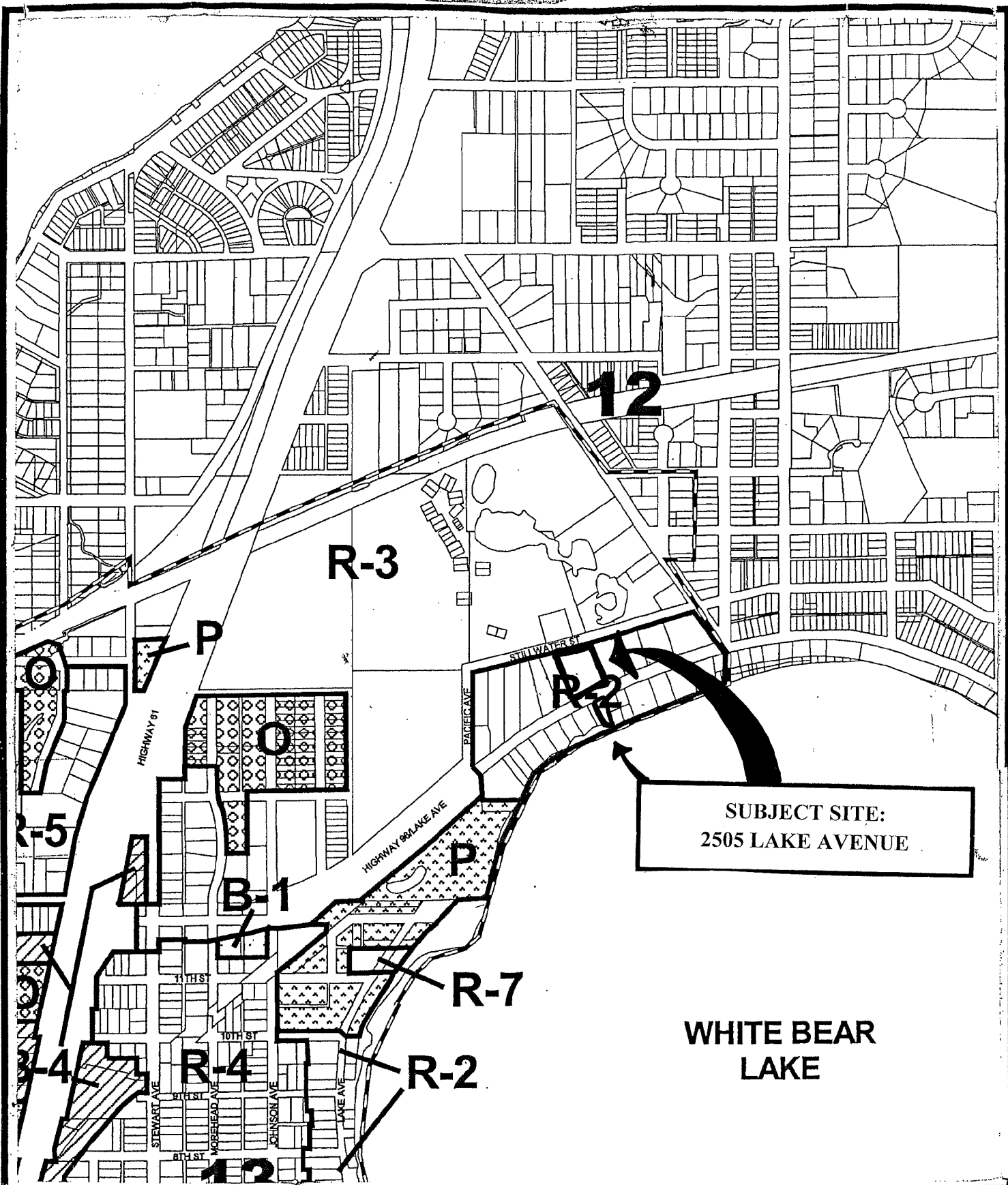
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the Conditional Use Permit, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposed accessory dwelling unit will be consistent with the 2040 City Comprehensive Land Use Plan.
2. The proposed accessory dwelling use will be compatible with present and future land uses of the area.
3. The proposed accessory dwelling use conforms with all the zoning standards of the R-2 and S- Shoreland Overlay districts with the exception of those standards for which the applicant is receiving specific variances.
4. The proposed accessory dwelling use will not tend to or actually depreciate the area in which it is proposed.
5. The proposed accessory dwelling use can be accommodated with existing public services and will not overburden the City's service capacity.
6. Traffic generation by the proposed accessory dwelling use is within capabilities of streets serving the property.

BE IT FURTHER, BE IT RESOLVED by the City Council of the City of White Bear Lake, Minnesota that the City Council, that in relation to the variances, the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variance will allow the property to be use in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner in that the subject property is 4 times the minimum lot size.
5. Granting the requested variances will not alter the essential character of the neighborhood.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the full request, subject to the following conditions:



SUBJECT SITE:
2505 LAKE AVENUE

**WHITE BEAR
LAKE**

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 22-5-CUP + 22-10-V
CASE NAME : Carlson
DATE : May 23, 2022

Property 2505 Lake Ave

To the planning commission

Hello we are the Carlsons. We would like you to consider a request for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit (ADU) on our family property. In addition, we request the following 5 variances to construct an attached 2 car garage and an extension of an existing detached garage space to accommodate the Accessory Dwelling Unit above it.

Variances requested under code: 1302.030

- Total Number of accessory structures
- Maximum size of detached garage
- Maximum size and height of accessory dwelling unit (above detached garage)
- Total square footage of all accessory structures combined

The addition of an attached 2 car garage on the main house would accommodate my husbands and my vehicles. There is currently no attached garage on the house. The garage space will allow us to have steps inside to the house as the primary family entrance. As you can see from the attached pics, (exhibit A) the house is elevated. Over the years too many people have fallen on the existing exposed area due to the Minnesota weather. Adding the attached garage space will give us weatherproofed steps to safely access our home.

With the extension of the detached garage we would be able to construct a beautiful carriage house (ADU) to include a comfortable living space for the previous owners (grandparents). A primary reason of constructing an ADU above the detached garage is to unburden them with the financial cost it was to live in a house on the lake. Due to housing shortages and the rising cost of housing/ living there were no options in the area for 2 long time White Bear Lake residents to move to. The alternative was to move 1.5 hours away for affordability. This was unreasonable to us as its important have the grandparents remain close to us as they age and for them to spend quality time with their many grandchildren. With the current housing shortage being able to accommodate multigenerational living comfortably on one property is smart. It's Better for the family, more economical and beneficial to the environment.

Our plans were drawn up by Brick and Linen a local design firm. Choosing a professional design group for our home was a big financial decision but important. Their trained eyes were able to make the necessary changes to the detached garage/ attached garage while improving the overall look of the property. This thoughtful design adds to the neighborhood and community. I couldn't be happier with the work of Brick and Linen Design. The former detached garage (now ADU) has

everything the grandparents could need to live comfortably. The staircase is wide enough with the necessary landing to accommodate a chair lift if needed in the future. There is also a single garage stall that is solely dedicated to them.

The remaining 2 stalls (existing detached garage space) we will have storage necessary for our 2 acre lake property, and items for 4 kids, 2 parents and 2 grandparents. The space will accommodate watercraft storage such as kayaks, tubes, paddle boards, water skis and boards, small fishing boat, icefish house and equipment, tools, lawn tractor/equipment, snowplow, gardening supplies, hockey rink boards and nets, four wheeler, bikes and hopefully have room for at least 2 cars for the kids. Leaving items outside when there are other options not only looks bad, it tempts theft and is also damaging to those items due to the climate. With the amount of drivers coming up in our household we do not want the impression of a used car lot. We also would like to add electric charging stations in the garage where cars will be parked as that is where the future is going.

We were made aware of the grandparents losing the lake home in November of 2021 due to financial hardship. This home is where Dustin and his sisters were raised. This home is part of the family. The memories, the traditions, and the experience it has provided for our family and our children is irreplaceable. We did everything in our power to save it and it worked. We were lucky. There were developers interested in the property that would not have hesitated carving the spacious 2 acre property into 4 separate lots and building 4 homes (with potentially then 12 total structures). Instead we will have only one home, one ADU, and a small boat house across the street that will blend in with the surrounding neighborhood and leave an abundance of green space. It should be noted that our property is 1/2 acre larger than any property along this side of the lake. In addition the code for an accessory structures is written for lot sizes of 10,500 sq ft. Our property is 61,000 sq ft.

Below the matrix illustrates the accessory structures existing/proposed and potential.

	Existing: Detached garage	Code (10,500 sq ft lot) 1302.030	Proposed: attached garage and detached garage/ADU (87,120 sq ft lot)	Land Capability (splittable to 4 lots)
Total # of accessory structures allowed	2	2	3	12
Maximum size of accessory structures (detached garage)	960 sq ft	625 sq ft	1593 sq ft	2500 sq ft total (625 sq ft per lot)
Size of ADU (above detached garage)	NA	880 sq ft	1000 sq ft	3520 sq ft total (800 sq ft per lot)
Total Size of Accessory Structures	1100 sq ft	1250 sq ft	2333 sq ft	5000 sq ft

As you can see from above, the proposed variances we are requesting are actually much smaller than what the property can legally hold. 3 possible structures vs 12. Also, the total size of combined accessory structures we are requesting is 2333 sq ft vs potentially 5000 sq ft.

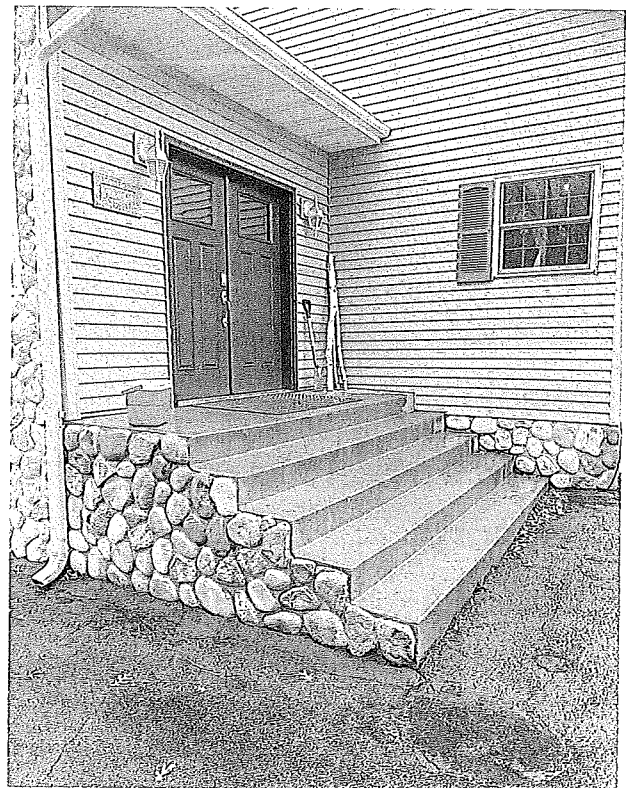
See land Capability and proposed an existing site surveys.

Our children's ages range from 7 to 15. We are sure the next 20 years will go by in a flash and before we know it all our children will be independent and we will then be welcoming a new generation into our home. Our goal with renovation is to create a multi-generational home. The carriage house will likely be our home some day.

The property at 2505 lake Ave is truly a unique lake lot with its space and access. We hope you agree to approving the requested variances/improvements so we may continue our families multi-generational path in White Bear Lake.

Thank you,
Dustin and Annie Carlson

Exhibit A



West side of existing garage:

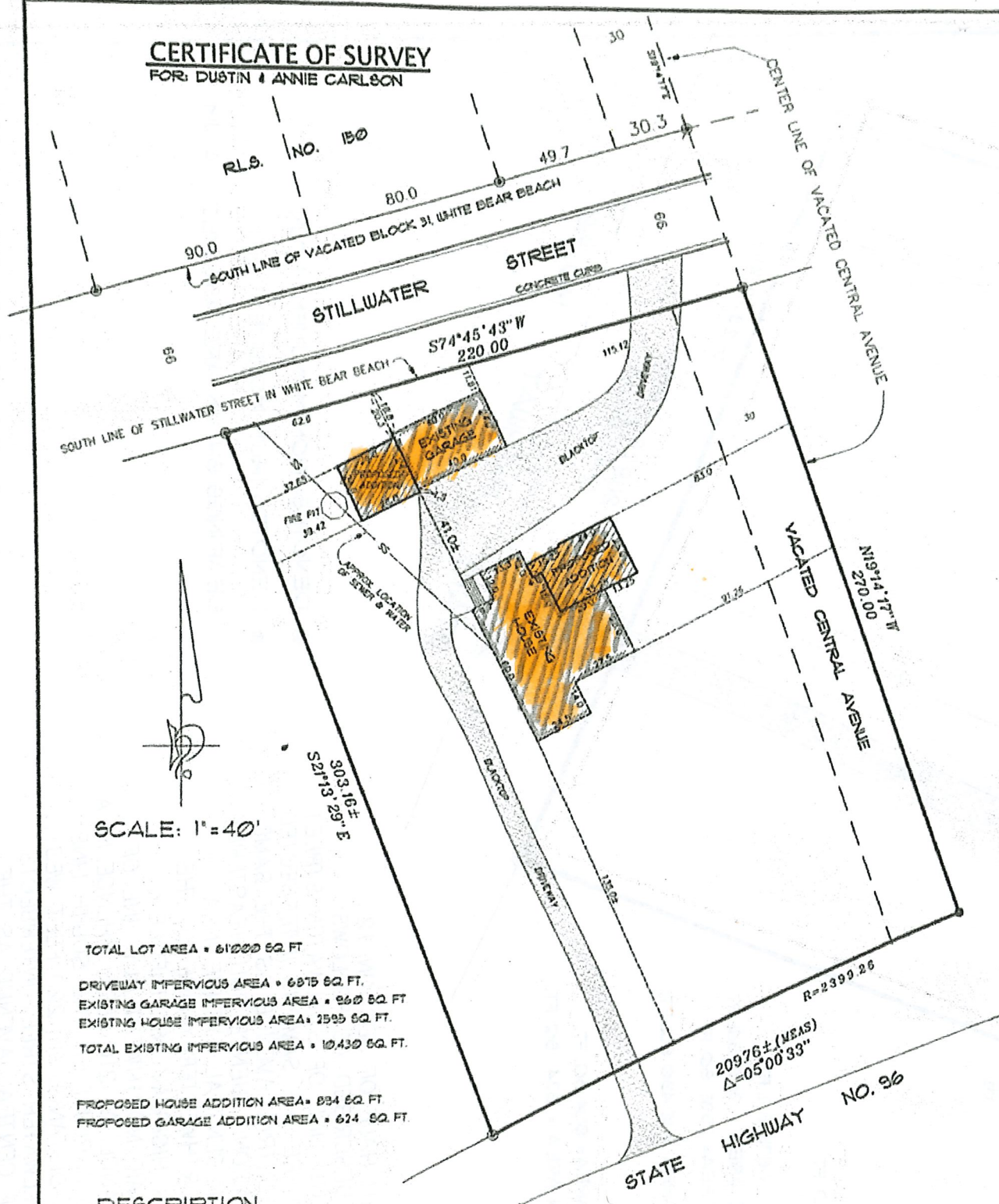


East side of existing garage:

Back (north) side of existing garage:



CERTIFICATE OF SURVEY
FOR: DUSTIN & ANNIE CARLSON



SCALE: 1"=40'

TOTAL LOT AREA • 61,000 SQ. FT.
 DRIVEWAY IMPERVIOUS AREA • 6,875 SQ. FT.
 EXISTING GARAGE IMPERVIOUS AREA • 960 SQ. FT.
 EXISTING HOUSE IMPERVIOUS AREA • 2,595 SQ. FT.
 TOTAL EXISTING IMPERVIOUS AREA • 10,430 SQ. FT.
 PROPOSED HOUSE ADDITION AREA • 834 SQ. FT.
 PROPOSED GARAGE ADDITION AREA • 624 SQ. FT.

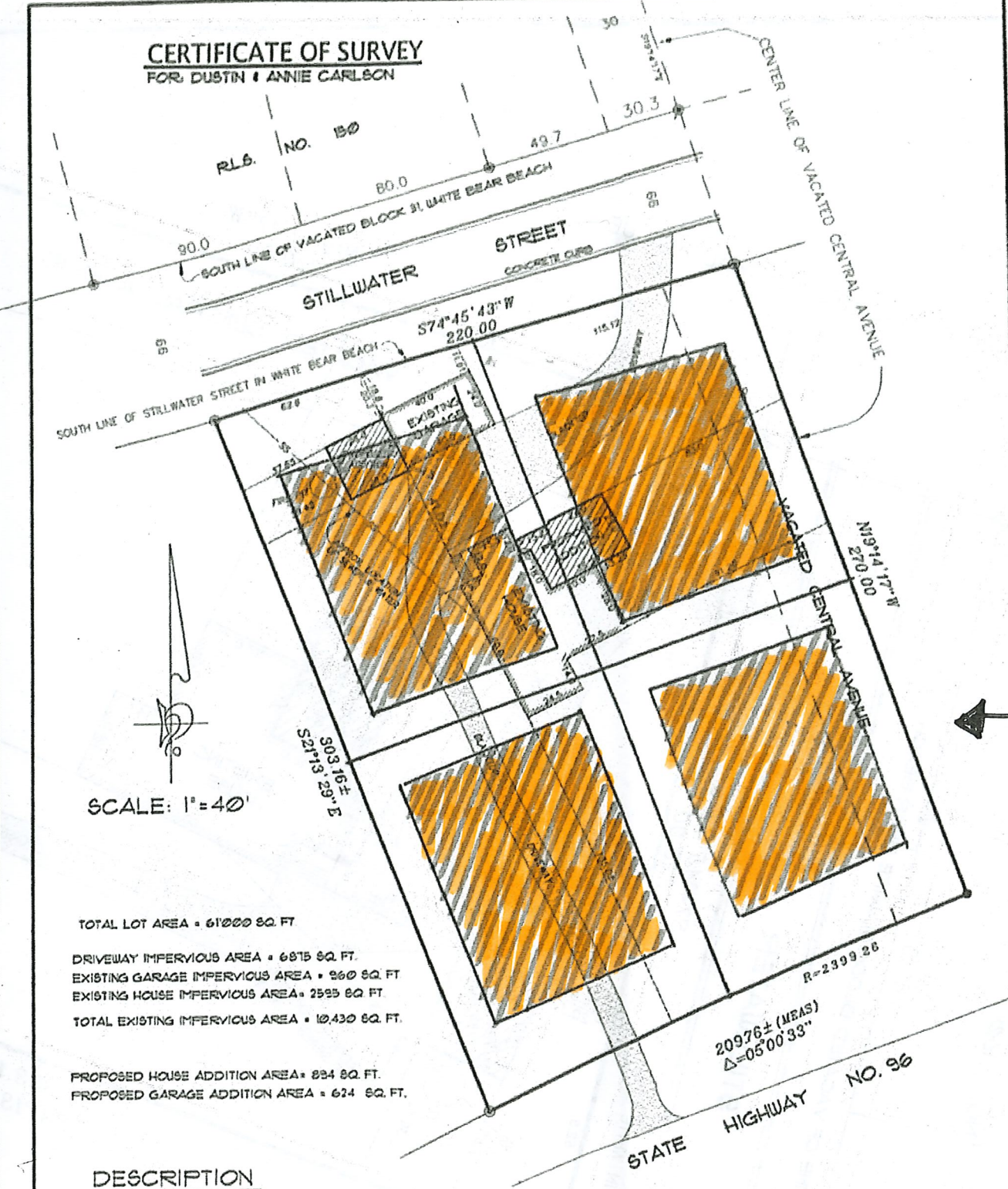
DESCRIPTION

THAT PART OF THE SOUTH HALF OF SECTION 12 TOWNSHIP 30 RANGE 22 DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH LINE OF STILLWATER STREET IN WHITE BEAR BEACH WHERE THE SAME IS INTERSECTED BY THE CENTERLINE OF CENTRAL AVENUE AS THE SAME EXISTED BEFORE ITS VACATION; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF CENTRAL AVENUE IN A STRAIGHT LINE TO THE NORTHWESTERLY LINE OF THE BOULEVARD N/K/A TRUNK HIGHWAY 96; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE OF SAID BOULEVARD, A DISTANCE OF 210 FEET; THENCE IN A NORTHERLY DIRECTION TO A POINT ON THE SOUTH LINE OF STILLWATER STREET A DISTANCE OF 220 FEET WEST OF THE POINT WHERE STILLWATER STREET INTERSECTS WITH THE CENTER LINE OF CENTRAL AVENUE AS THE SAME EXISTS BEFORE ITS VACATION; THENCE EASTERLY ALONG THE SOUTH LINE OF STILLWATER STREET TO THE POINT OF BEGINNING
 SUBJECT TO EASEMENTS OF RECORD.

- ⊙ DENOTES IRON MONUMENT FOUND
 - DENOTES IRON MONUMENT SET
- BEARINGS SHOWN ARE ASSUMED DATUM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.
Robert B. Siskich
 ROBERT B SISKICH LS Date: 1-24-21 License No 14891 Revised:

CERTIFICATE OF SURVEY
FOR: DUSTIN & ANNIE CARLSON



SCALE: 1"=40'

TOTAL LOT AREA • 61,000 SQ. FT.
 DRIVEWAY IMPERVIOUS AREA • 6,875 SQ. FT.
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DESCRIPTION

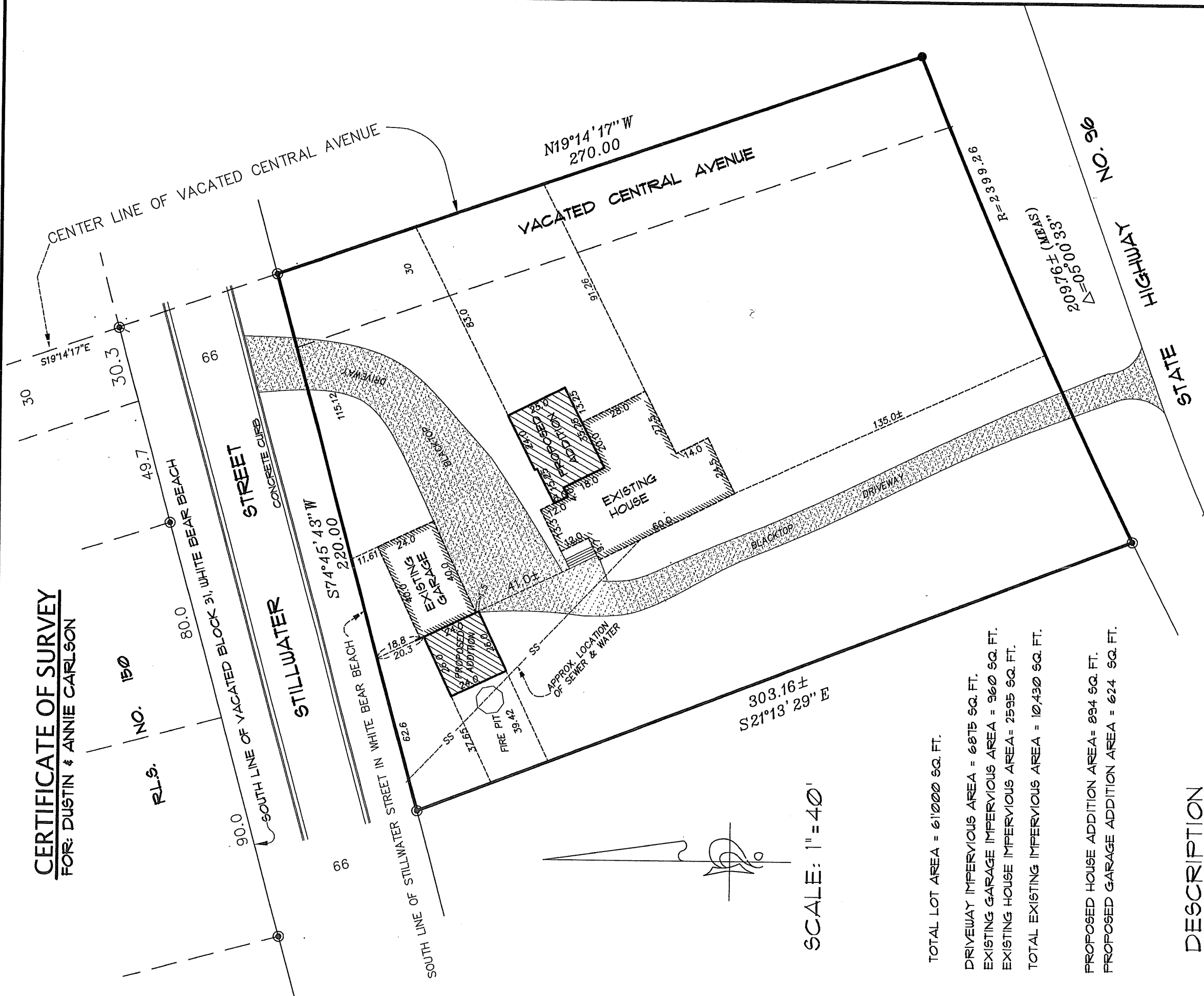
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Robert B. Siskich
 ROBERT B SISKICH LS Date: 1-24-21 License No 14891 Revised:

What it looks like with 4 Hours

CERTIFICATE OF SURVEY
FOR: DUSTIN & ANNIE CARLSON



SCALE: 1" = 40'

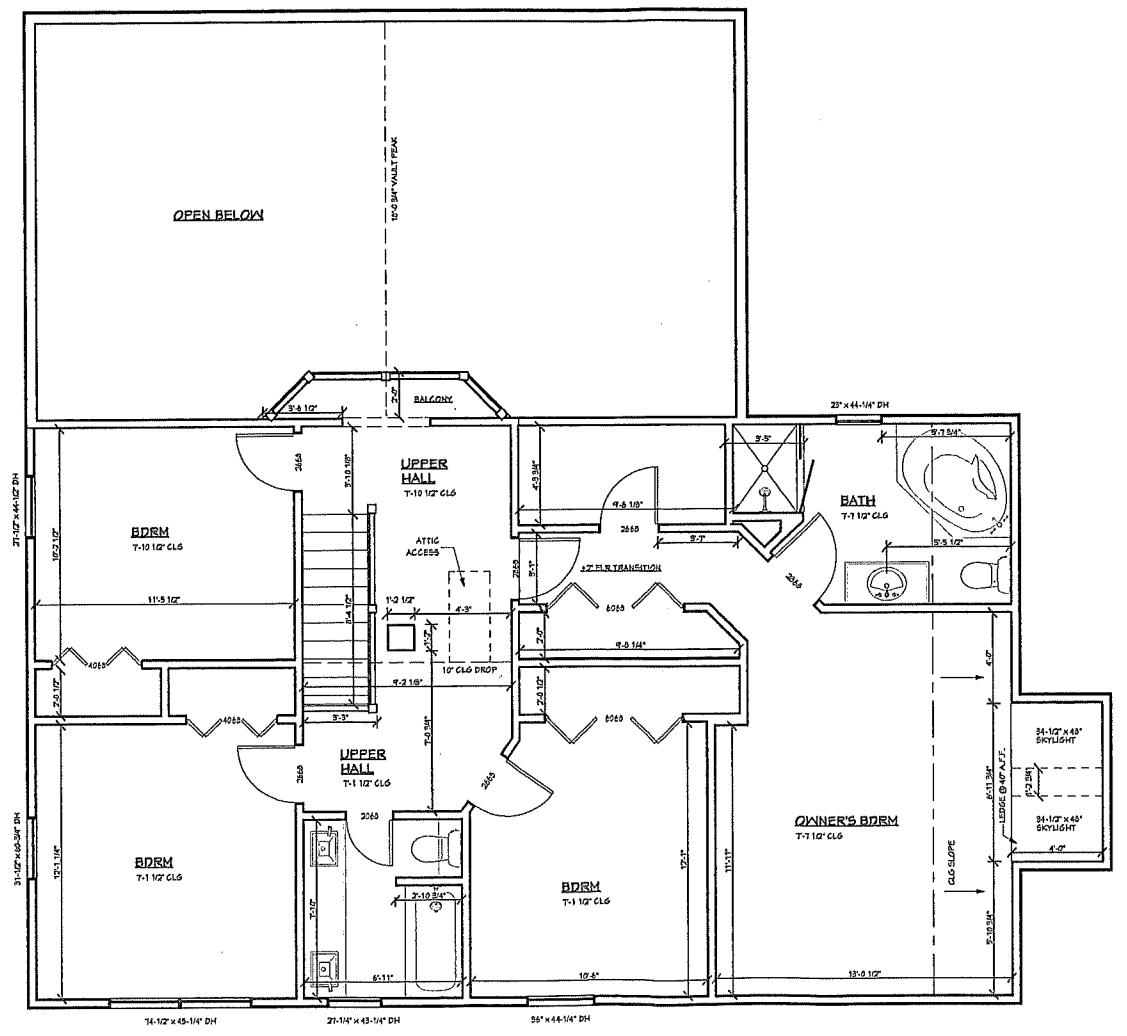
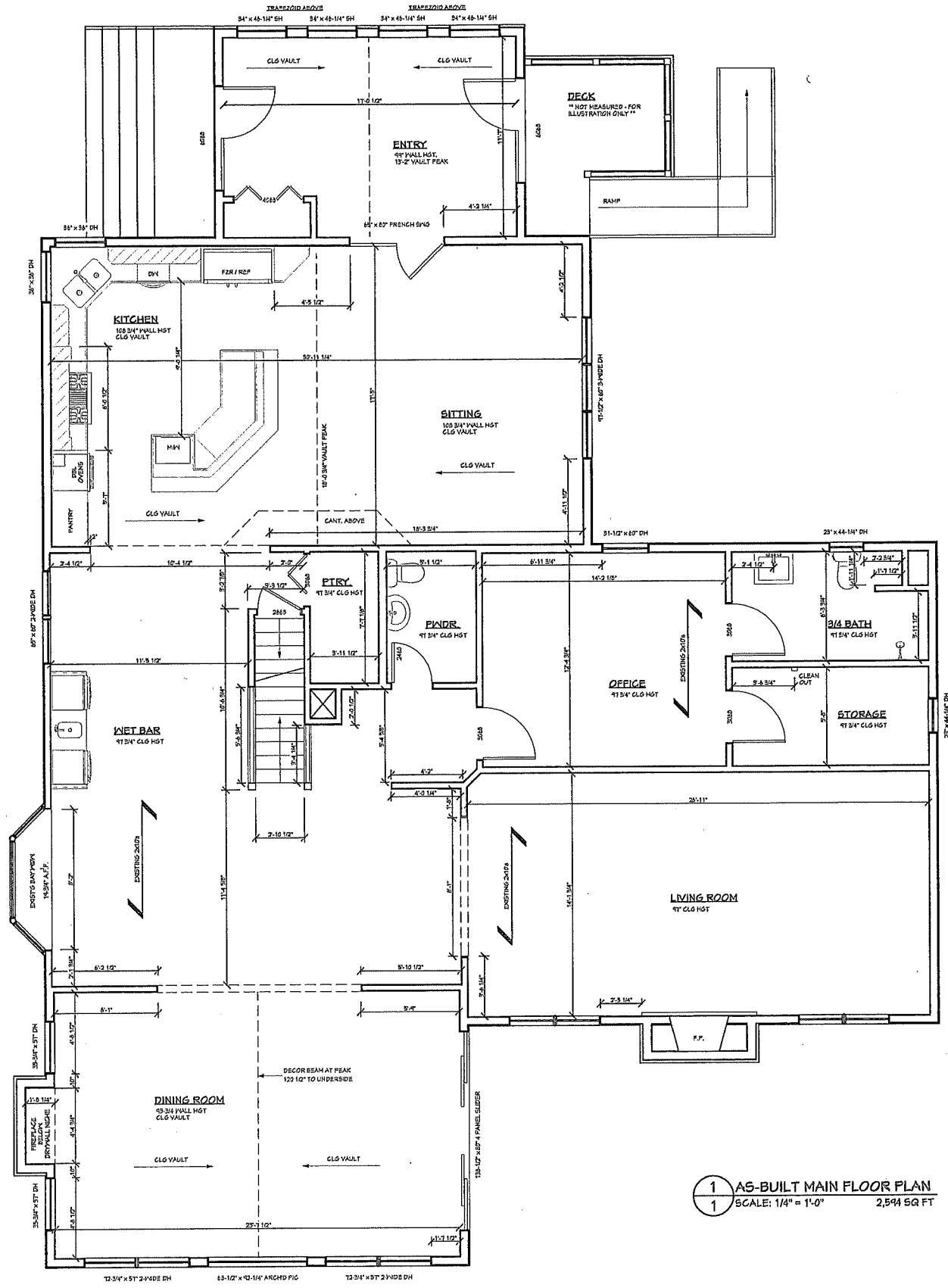
- TOTAL LOT AREA = 61000 SQ. FT.
- DRIVEWAY IMPERVIOUS AREA = 6875 SQ. FT.
- EXISTING GARAGE IMPERVIOUS AREA = 960 SQ. FT.
- EXISTING HOUSE IMPERVIOUS AREA = 2595 SQ. FT.
- TOTAL EXISTING IMPERVIOUS AREA = 10430 SQ. FT.
- PROPOSED HOUSE ADDITION AREA = 894 SQ. FT.
- PROPOSED GARAGE ADDITION AREA = 624 SQ. FT.

DESCRIPTION

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 ROBERT B SIKICH LS Date: 1-24-21 License. No. 14891 Revised:



REVISION RECORD	
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4/9/22	
4/15/22	

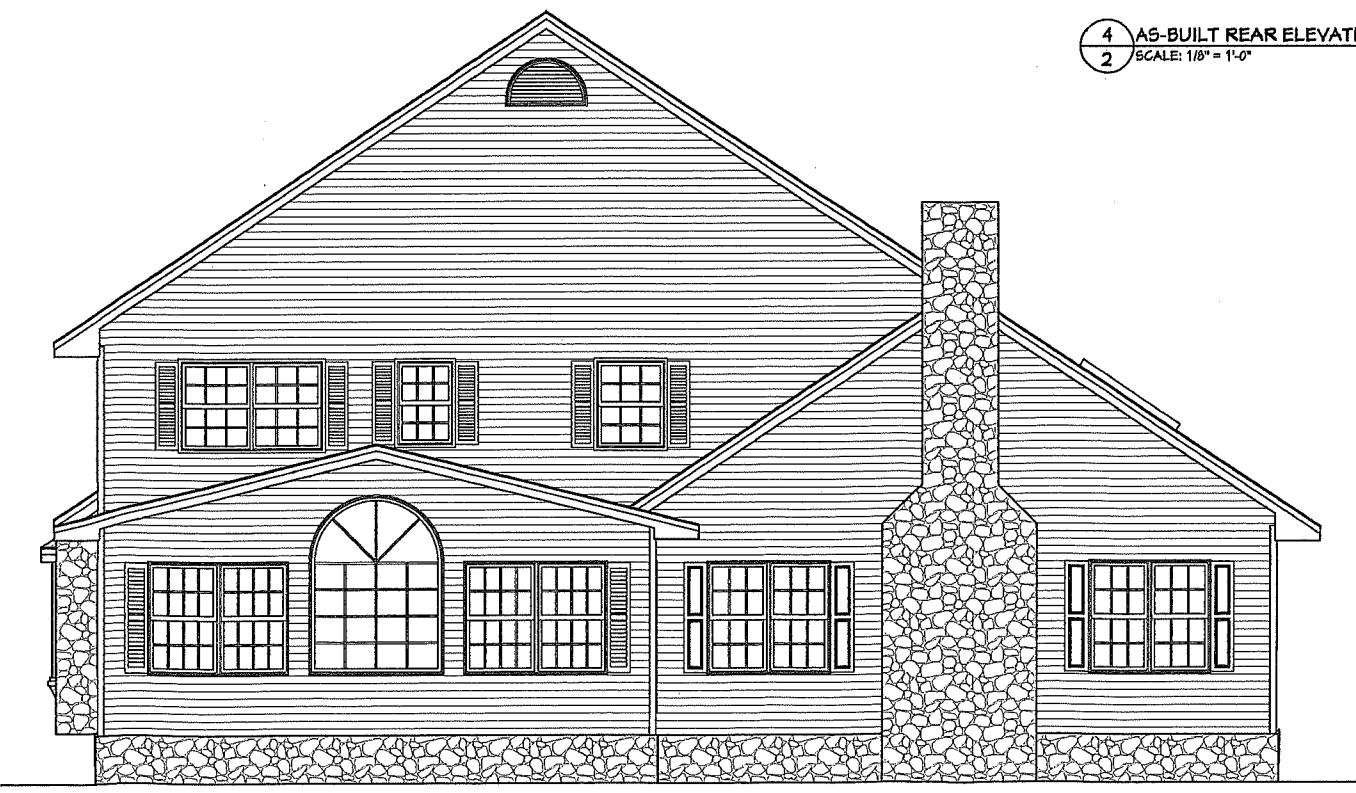
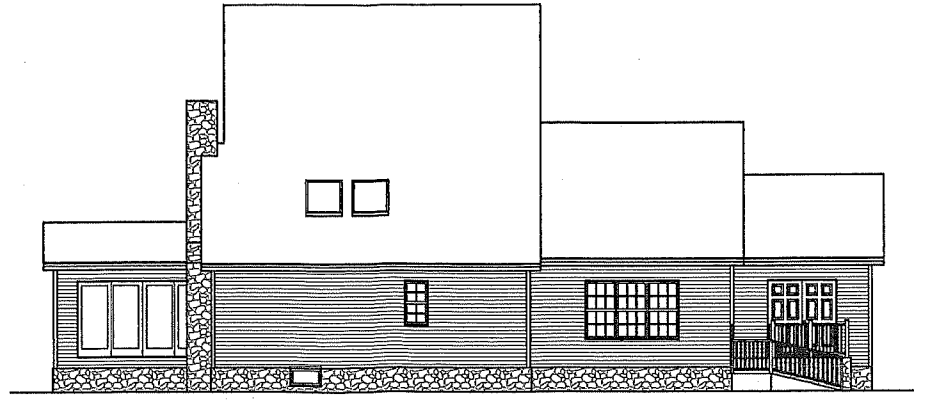
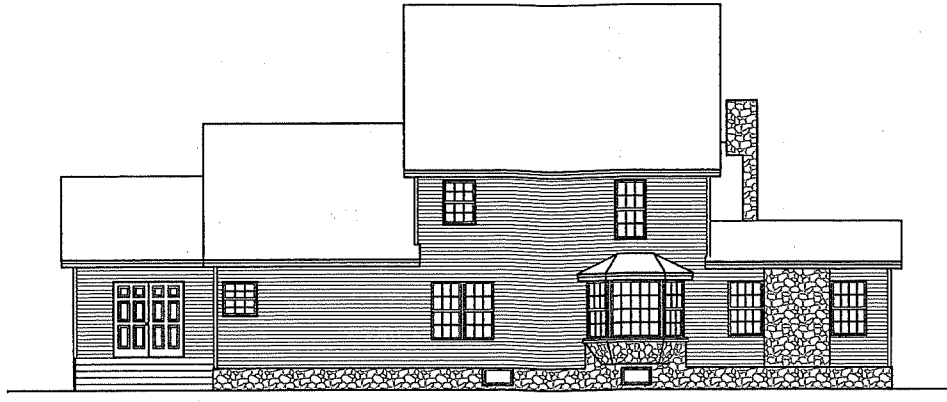
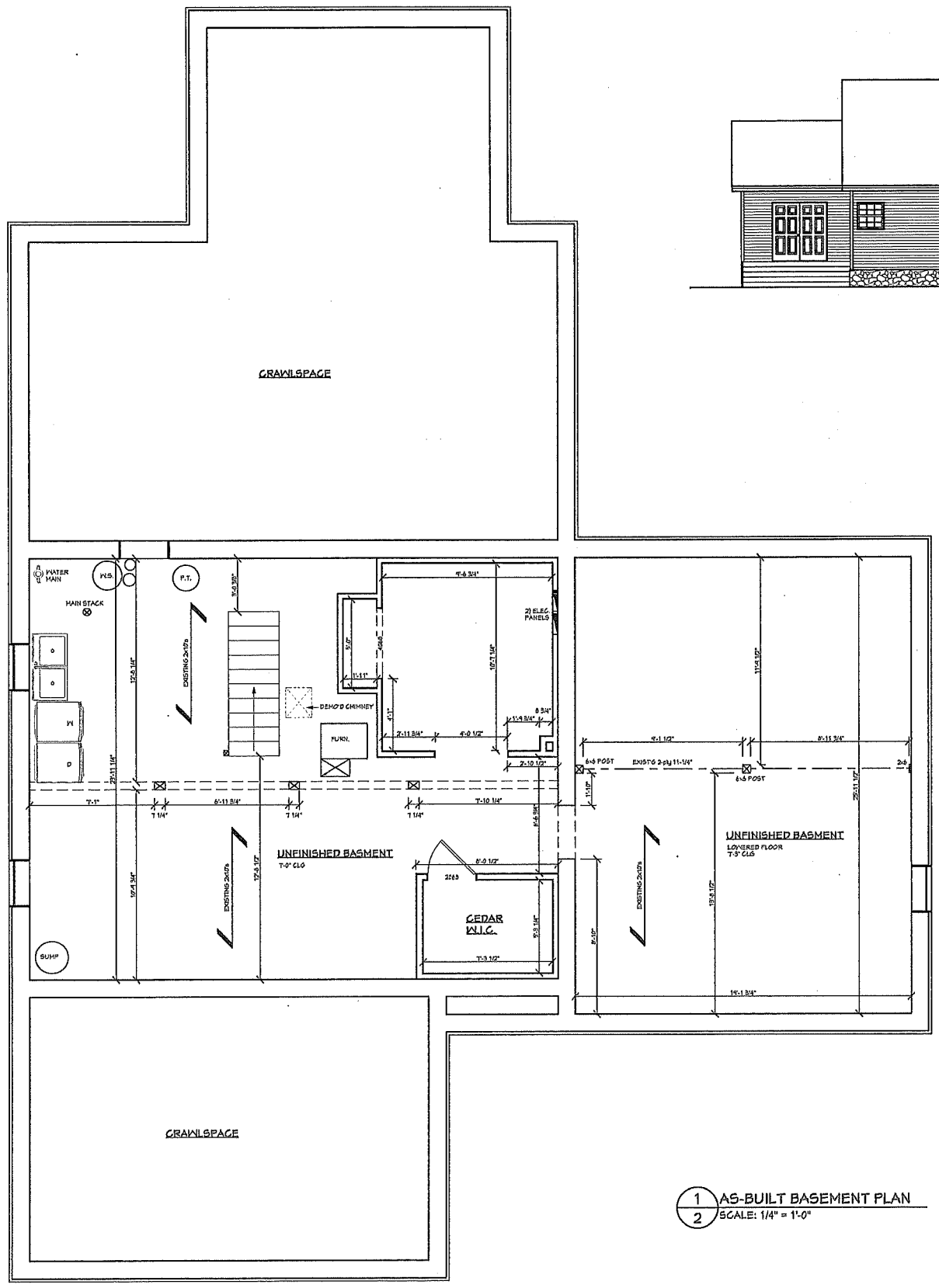
CARLSON RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN 55110

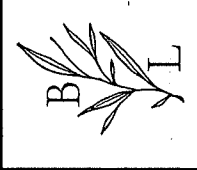
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REVISION RECORD	
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CARLSON RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN 55110

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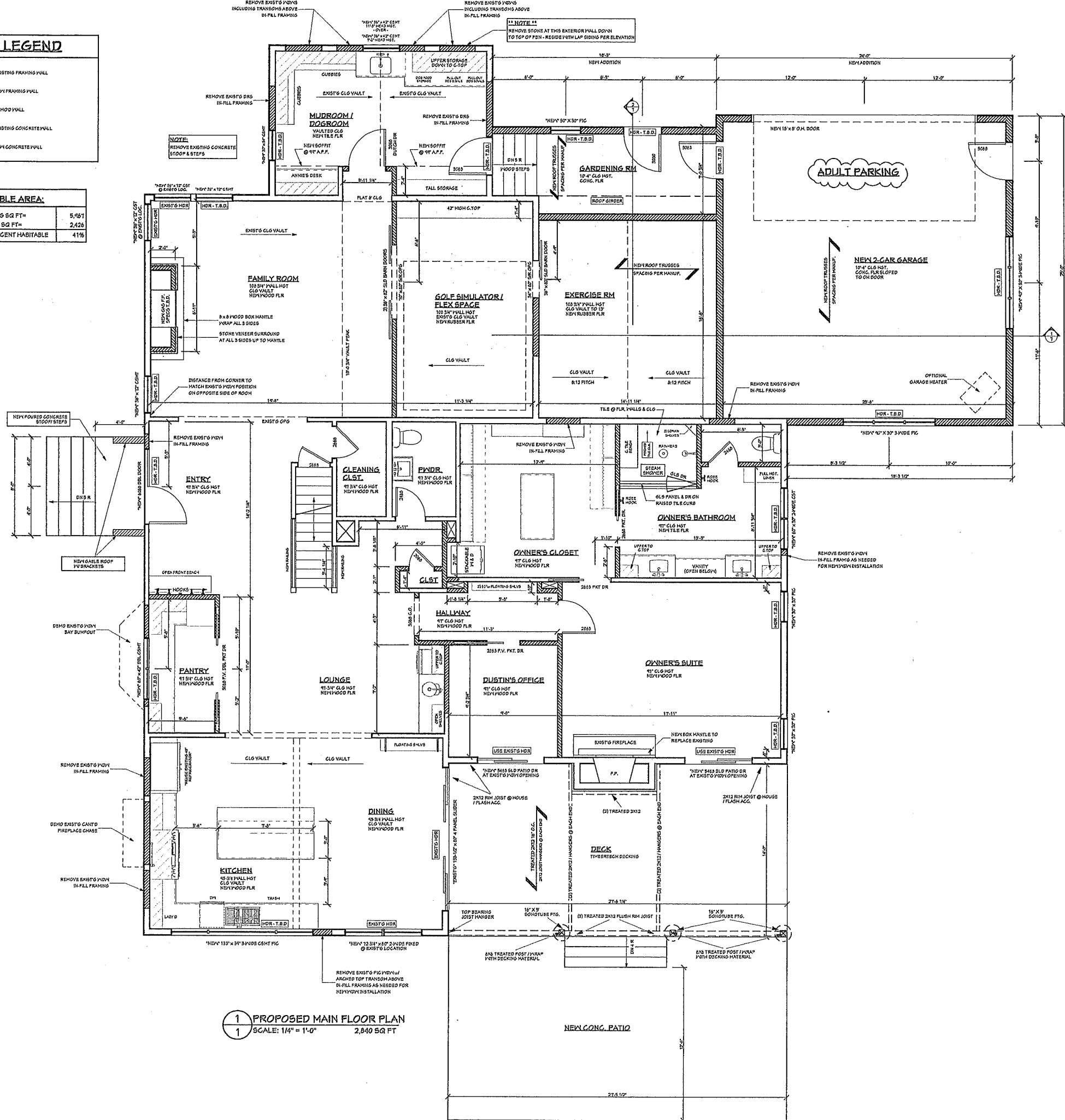


WALL LEGEND

- EXISTING FRAMING WALL
- NEW FRAMING WALL
- DEMOL WALL
- EXISTING CONCRETE WALL
- NEW CONCRETE WALL

HABITABLE AREA:

TOTAL BLDG SQ FT=	5,961
HABITABLE SQ FT=	2,426
TOTAL PERCENT HABITABLE	41%



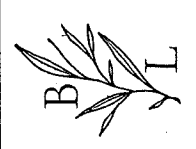
1 PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
2,840 SQ FT

REVISION RECORD

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CARLSON RESIDENCE
2505 LAKE AVENUE
WHITE BEAR LAKE, MN 55110

BLd. Co.

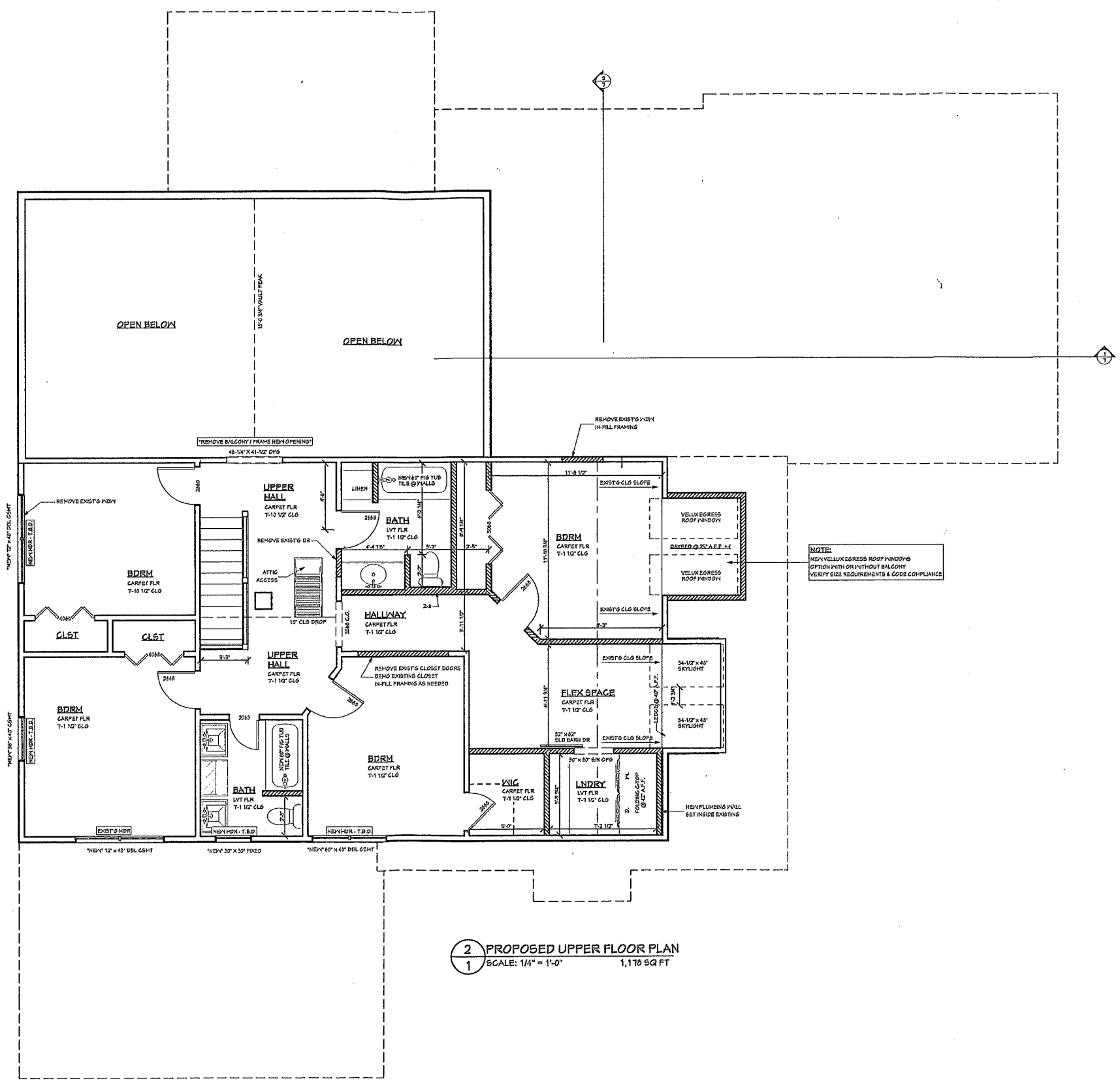


WALL LEGEND

- EXISTING FRAMING FULL
- NEW FRAMING FULL
- DEM'D WALL
- EXISTING CONCRETE WALL
- NEW CONCRETE WALL

HABITABLE AREA:

TOTAL BLDG SQ FT*	5,967
HABITABLE SQ FT*	2,426
TOTAL PERCENT HABITABLE	41%



2 PROPOSED UPPER FLOOR PLAN
 1 SCALE: 1/4" = 1'-0" 1,170 SQ FT

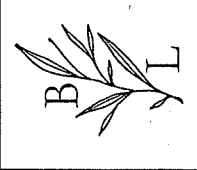
NOTE:
 NEW VELUX EGRESS ROOF WINDOWS
 OPTION WITH OR WITHOUT BALCONY
 VERIFY SIZE REQUIREMENTS & CODE COMPLIANCE

REVISION RECORD

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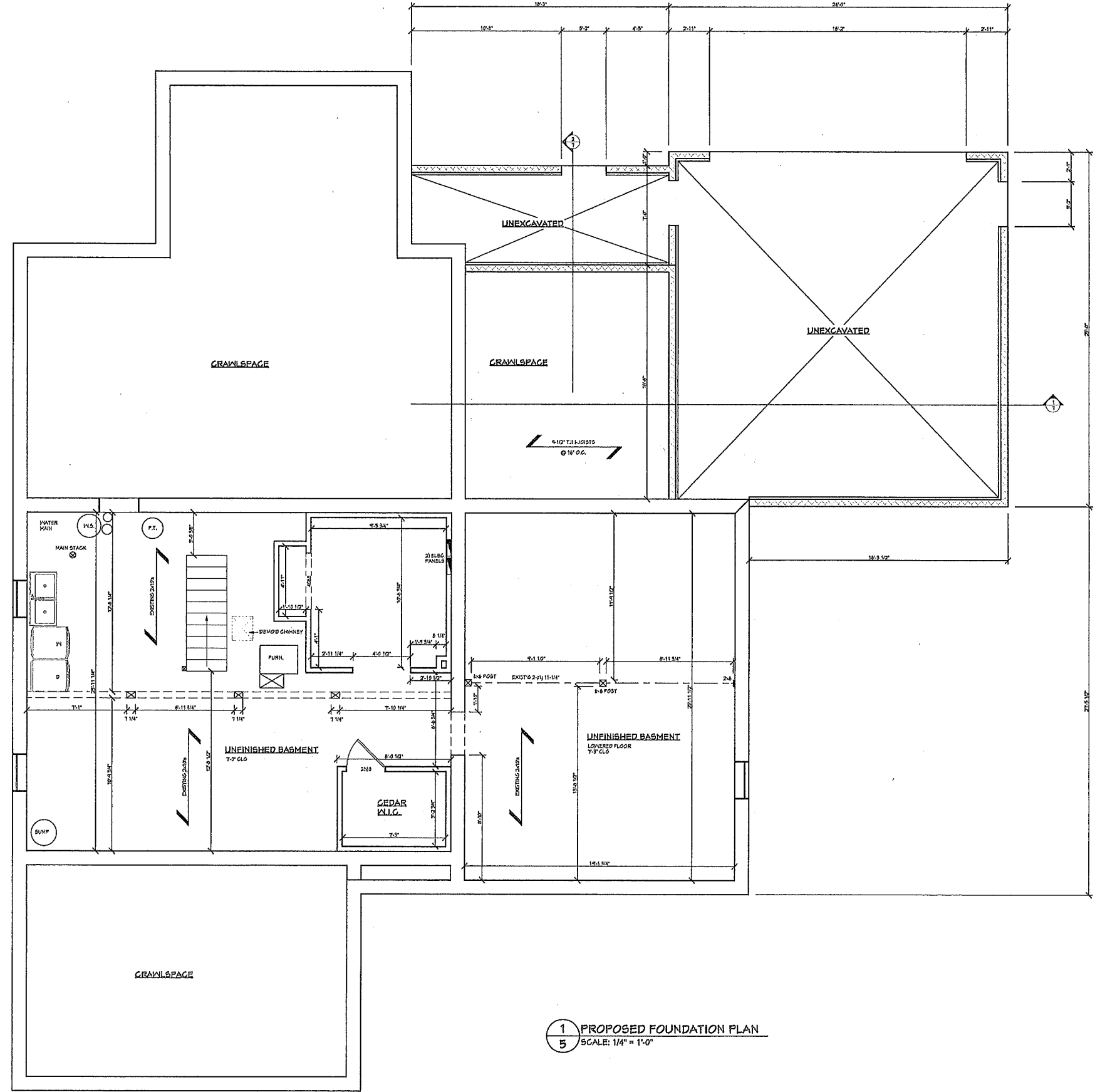
CARLSON RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN 55110

BLD CO.



WALL LEGEND

	= EXISTING FRAMING WALL
	= NEW FRAMING WALL
	= DEMO WALL
	= EXISTING CONCRETE WALL
	= NEW CONCRETE WALL



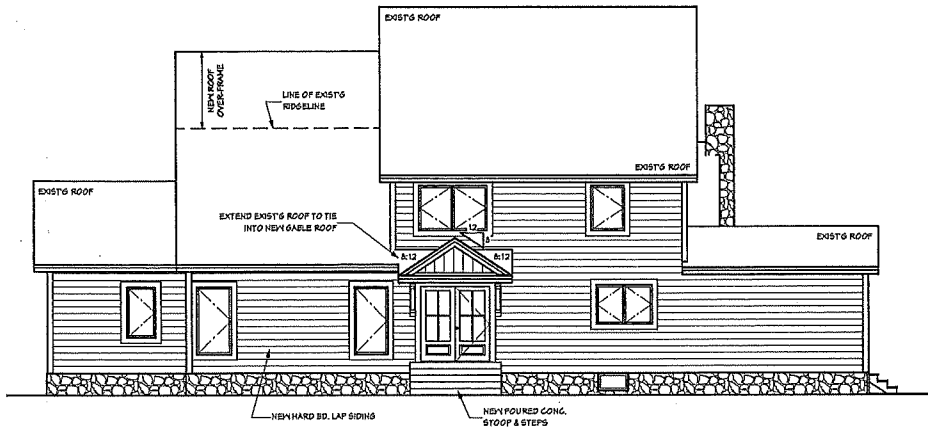
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5 SCALE: 1/4" = 1'-0"

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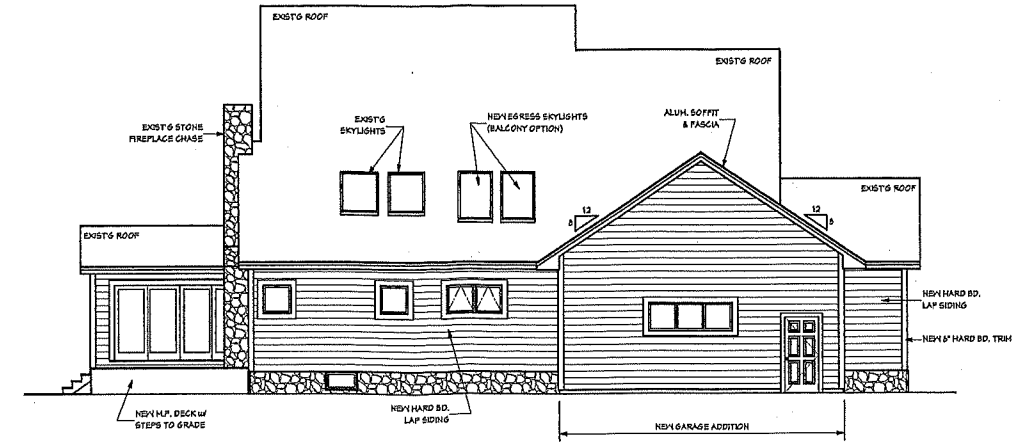
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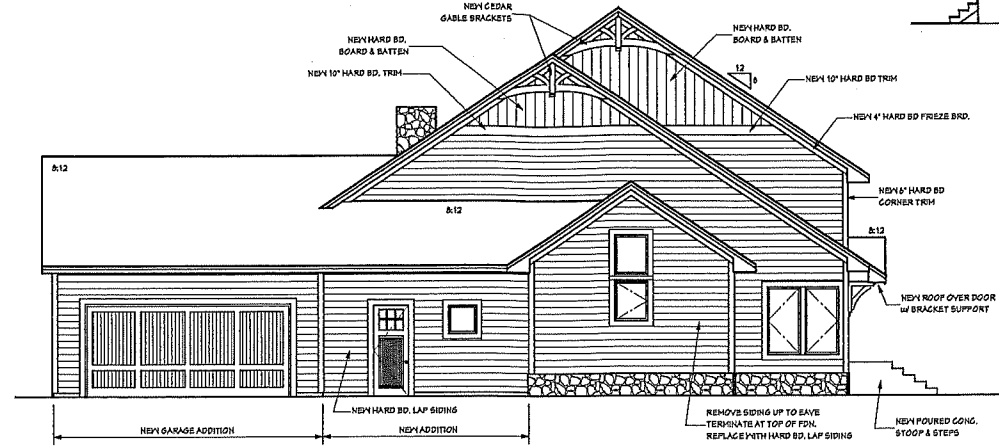
BL d. CO.



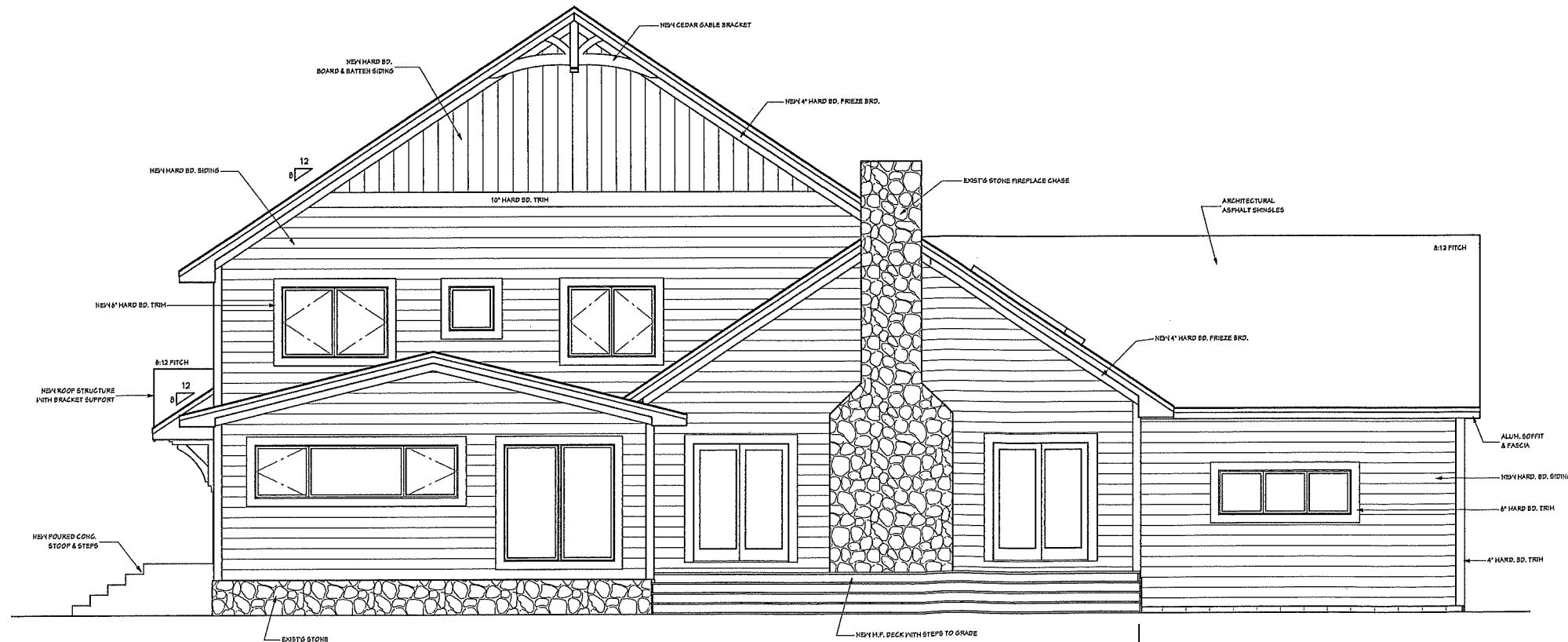
2 PROPOSED LEFT (WEST) ELEVATION
6 SCALE: 1/8" = 1'-0"



4 PROPOSED RIGHT (EAST) ELEVATION
6 SCALE: 1/8" = 1'-0"



3 PROPOSED REAR (NORTH) ELEVATION
6 SCALE: 1/8" = 1'-0"



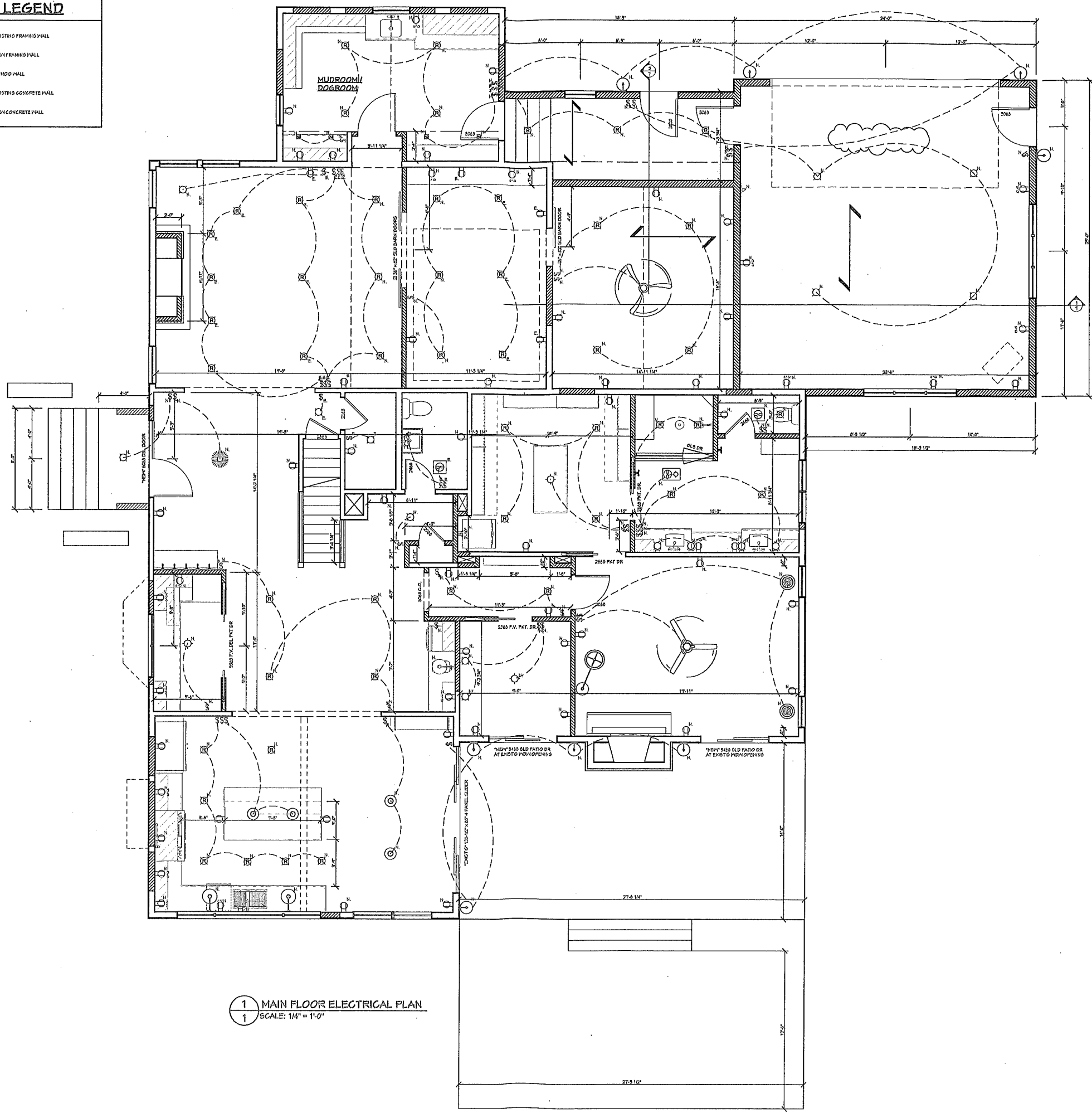
1 PROPOSED FRONT ELEVATION
6 SCALE: 1/4" = 1'-0"

REVISION RECORD	
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4/15/22	

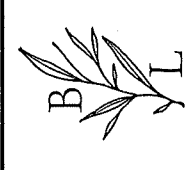
CARLSON RESIDENCE
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B L d. CO.

WALL LEGEND	
	EXISTING FRAMING WALL
	NEW FRAMING WALL
	DEMOLD WALL
	EXISTING CONCRETE WALL
	NEW CONCRETE WALL



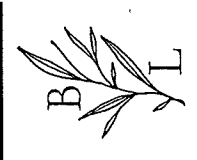
1 MAIN FLOOR ELECTRICAL PLAN
 1 SCALE: 1/4" = 1'-0"



REVISION RECORD	
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4/15/22	

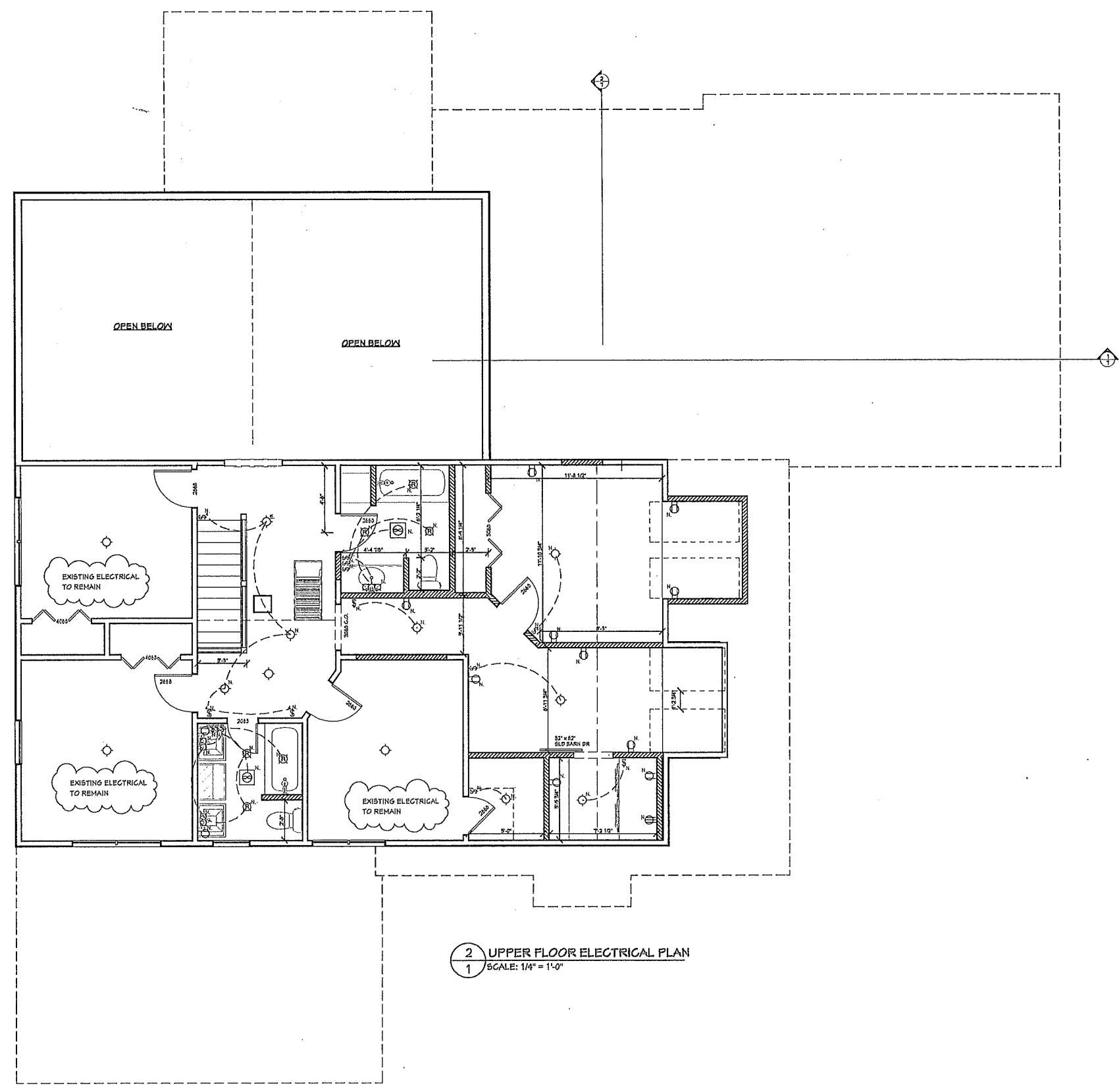
CARLSON RESIDENCE
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BL d. CO.



WALL LEGEND

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	NEW FRAMING WALL
	DEMOP WALL
	EXISTING CONCRETE WALL
	NEW CONCRETE WALL



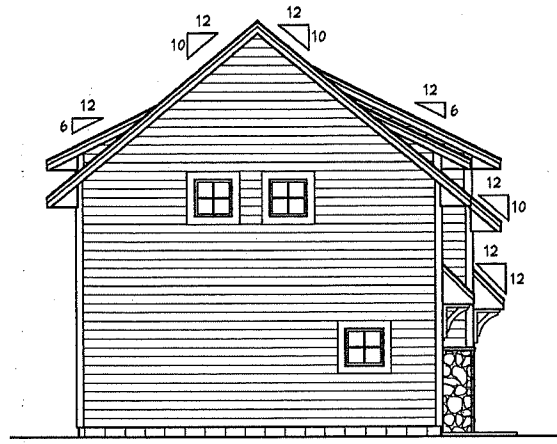
2 UPPER FLOOR ELECTRICAL PLAN
1 SCALE: 1/4" = 1'-0"

REVISION RECORD

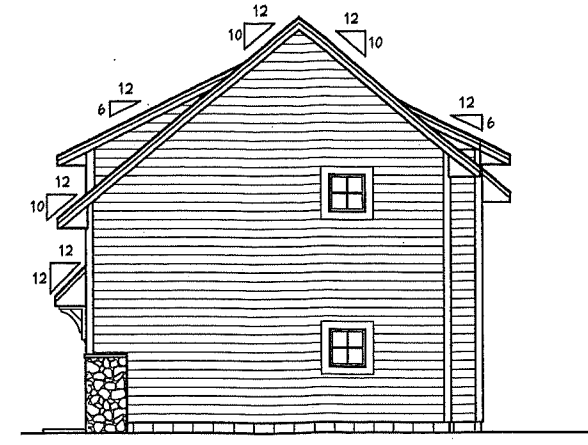
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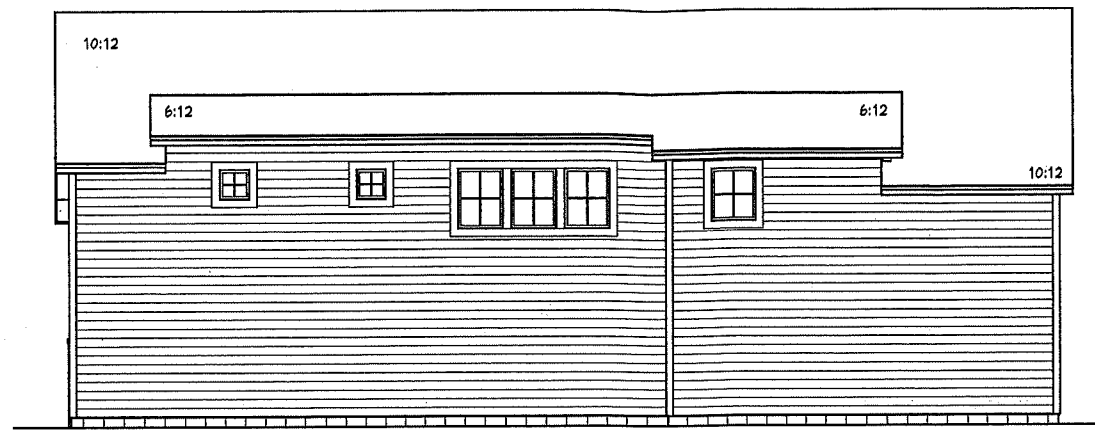
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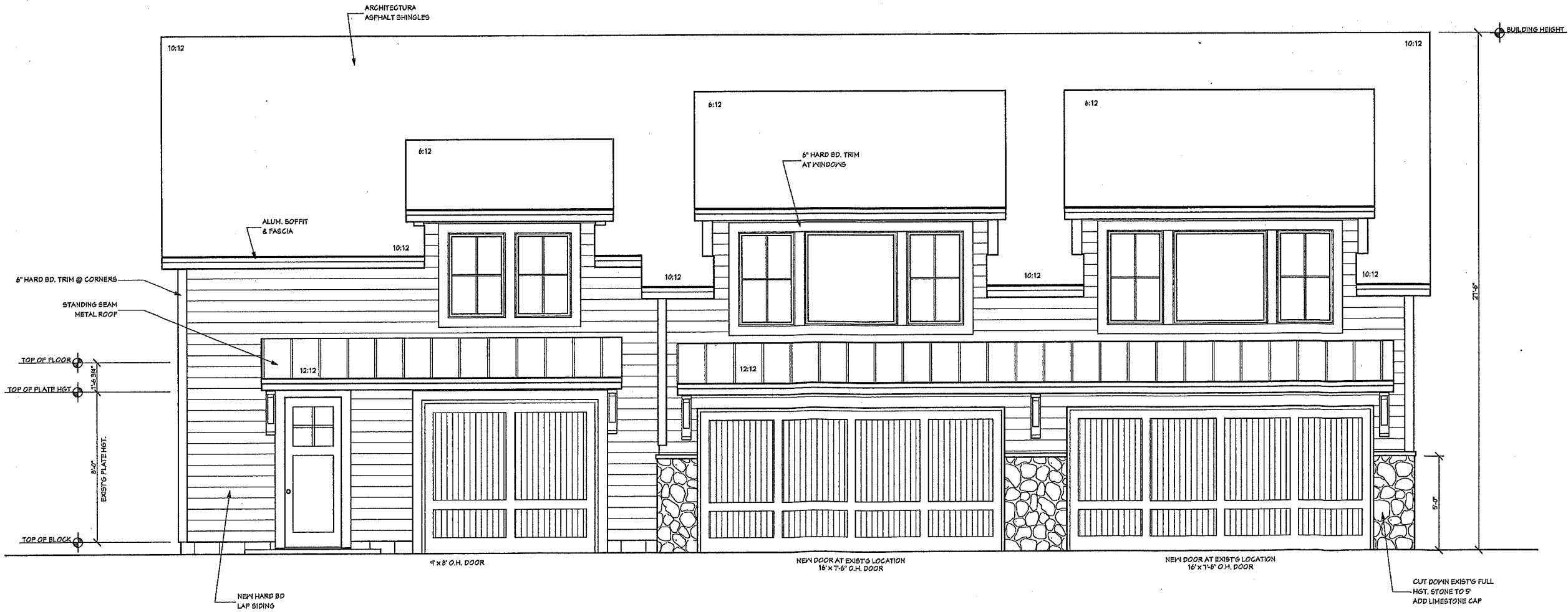
2 PROPOSED LEFT (WEST) ELEVATION
1 SCALE: 1/8" = 1'-0"



4 PROPOSED RIGHT (EAST) ELEVATION
1 SCALE: 1/8" = 1'-0"



3 PROPOSED REAR (NORTH) ELEVATION
1 SCALE: 1/8" = 1'-0"



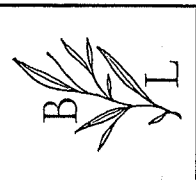
1 PROPOSED CARRIAGE HOUSE FRONT ELEVATION
1 SCALE: 1/4" = 1'-0"

REVISION RECORD

2/2/22	
4/6/22	

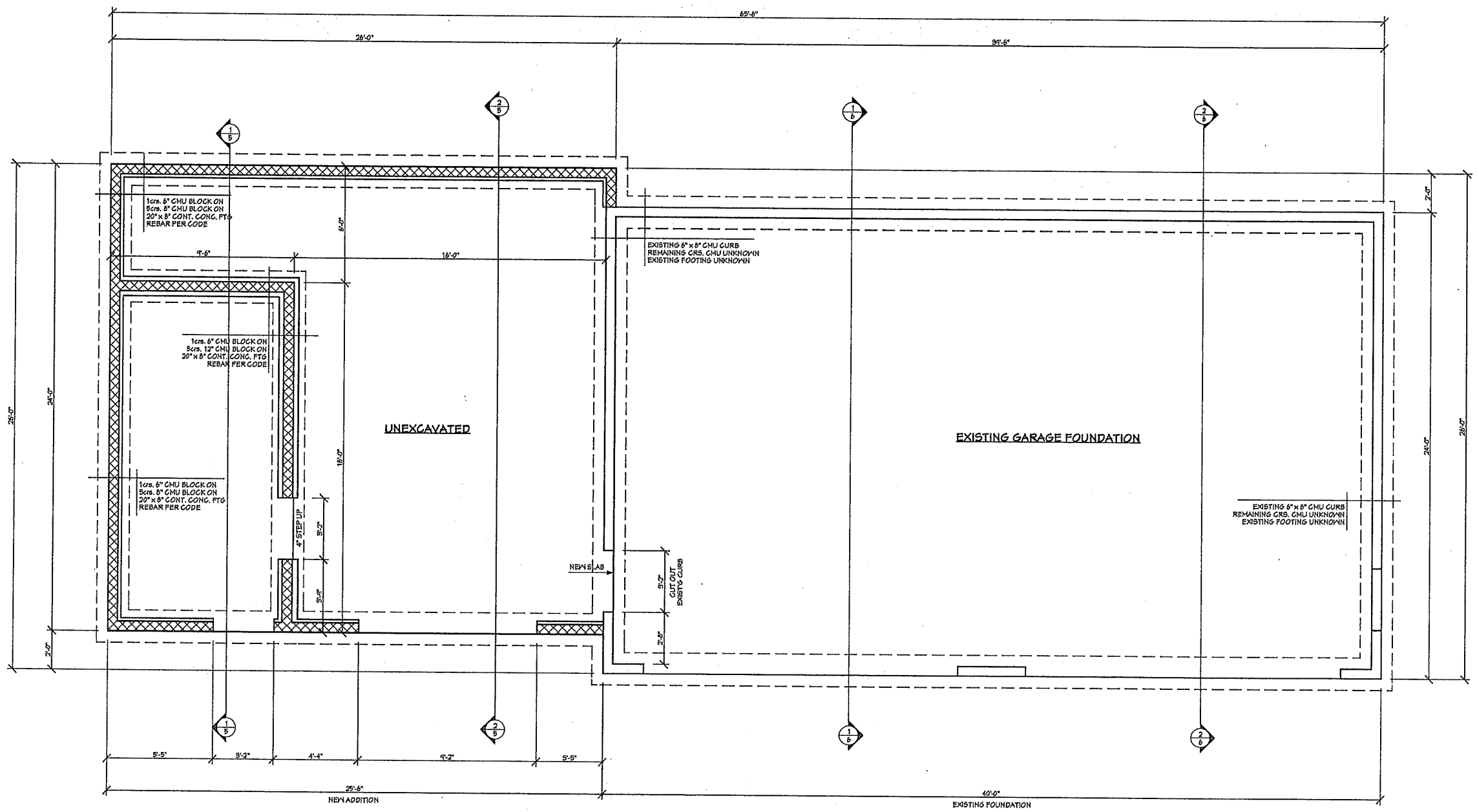
CARLSON-PLAISTED RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN

B L d. Co.



WALL LEGEND

- = EXISTING FRAMING WALL
- = NEW FRAMING WALL
- = DEMO'D WALL
- = EXISTING CONCRETE WALL
- = NEW CONCRETE WALL



REVISION RECORD

2/2/21	
4/2/22	

CARLSON-PLAISTED RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN

BLD. CO.

1 PROPOSED CARRIAGE HOUSE FOUNDATION
 2 SCALE: 1/4" = 1'-0"



REVISION RECORD			
	2/2/21		
	4/2/21		

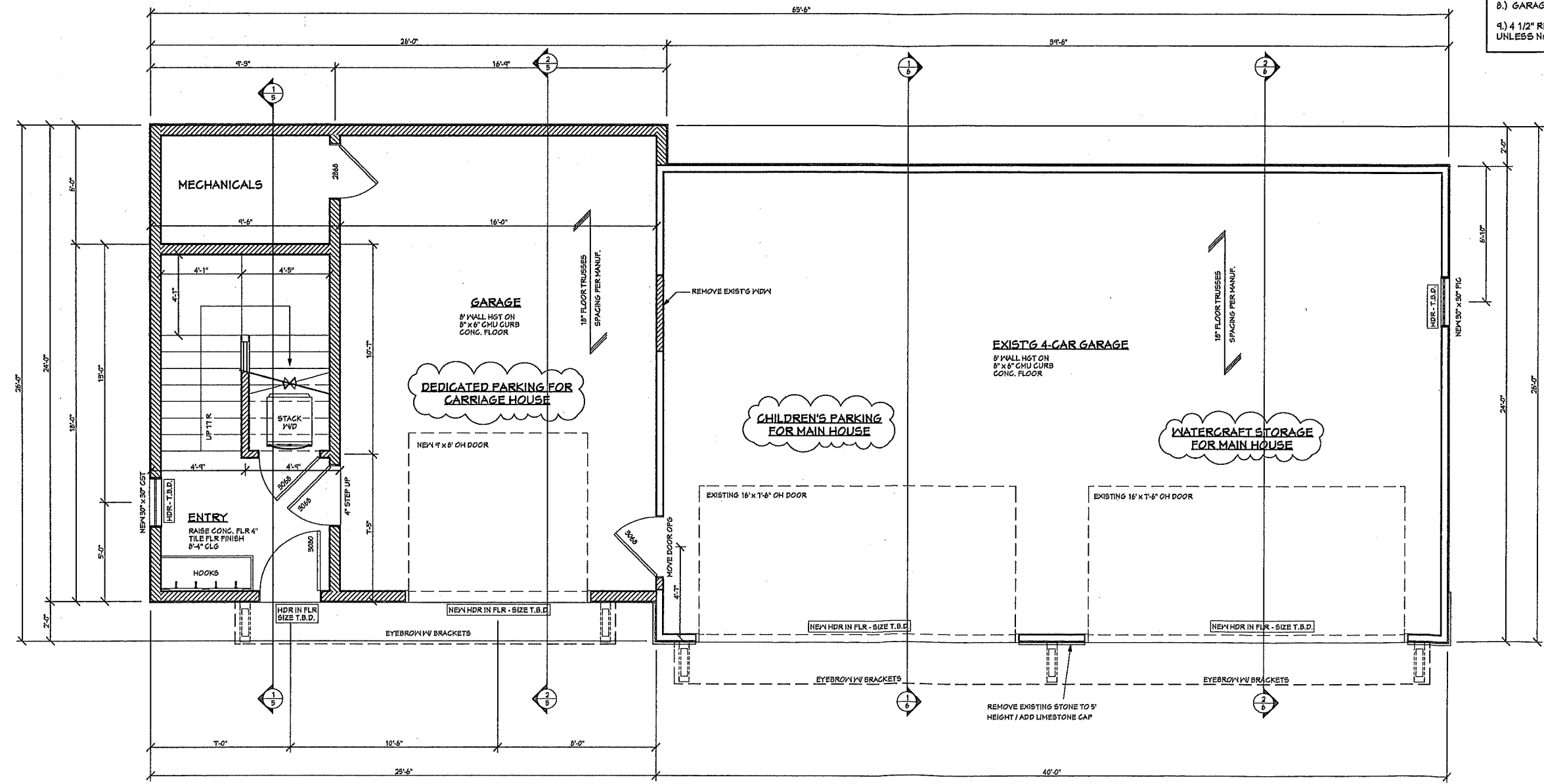
CARLSON-PLAISTED RESIDENCE
2505 LAKE AVENUE
WHITE BEAR LAKE, MN

BLd. Co.

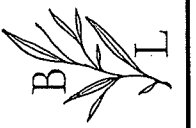
WALL LEGEND	
	EXISTING FRAMING WALL
	NEW FRAMING WALL
	DEMOLD WALL
	EXISTING CONCRETE WALL
	NEW CONCRETE WALL

- NOTES:**
- 1.) ALL INTERIOR & EXTERIOR HEADERS RELATIVE TO THE PLAN TO BE SIZED BY THE SUPPLIER
 - 2.) STAIR TREAD CUT SHOWN @ 10° - 13/4" MAX RISE
 - 3.) ALL ANGLED WALLS ARE DRAWN AT 45° UNLESS NOTED OTHERWISE.
 - 4.) ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
 - 5.) MAIN FLOOR WINDOWS @ 7'-10" HGT. (TRANSOMS ABOVE) UNLESS NOTED OTHERWISE.
 - 6.) UPPER FLOOR WINDOWS @ 6'-10" HGT. (TRANSOMS ABOVE) UNLESS NOTED OTHERWISE.
 - 7.) TRUSS & JOISTS MANUF. TO VERIFY SIZE AND SPACING OF JOISTS & TRUSSES.
 - 8.) GARAGE WALLS 2x6 TYP.
 - 9.) 4 1/2" RETURNS ON ALL DOORS UNLESS NOTED OTHERWISE

**** ALL BEAMS AND HEADER RELATIVE TO THE PLAN TO BE DESIGNED BY THE SUPPLIER ****



1 PROPOSED CARRIAGE HOUSE MAIN FLOOR
3 SCALE: 1/4" = 1'-0"



REVISION RECORD	
2/1/21	4/1/21

CARLSON-PLAISTED RESIDENCE
 2505 LAKE AVENUE
 WHITE BEAR LAKE, MN

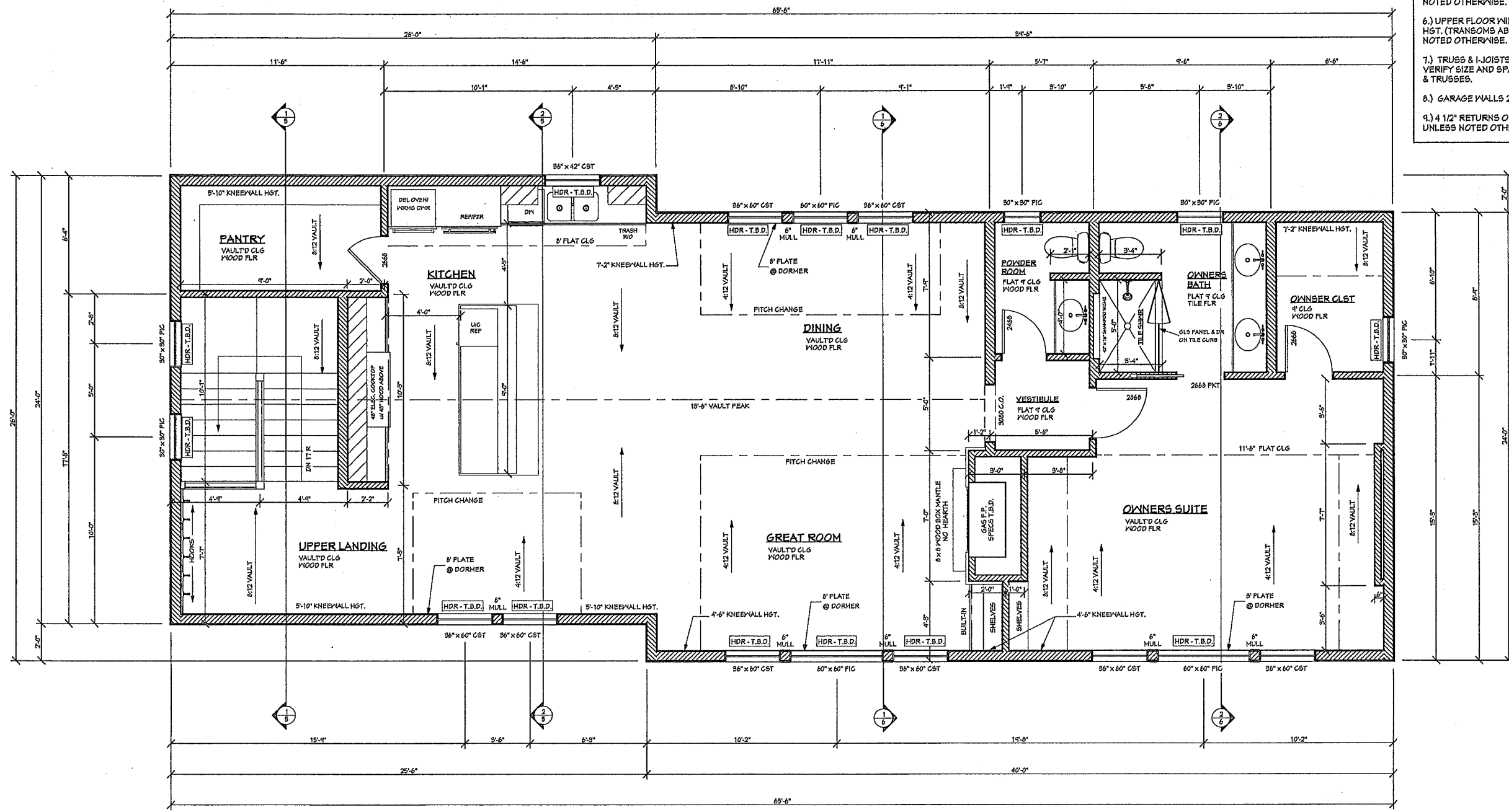
BLd. Co.

4/2/2022

4 of 6

- NOTES:**
- 1.) ALL INTERIOR & EXTERIOR HEADERS RELATIVE TO THE PLAN TO BE SIZED BY THE SUPPLIER
 - 2.) STAIR TREAD CUT SHOWN @ 10° - 7 3/4" MAX RISE
 - 3.) ALL ANGLED WALLS ARE DRAWN AT 45° UNLESS NOTED OTHERWISE.
 - 4.) ALL EXTERIOR DIMENSIONS TO OUTSIDE OF SHEATHING.
 - 5.) MAIN FLOOR WINDOWS @ 7'-10" HGT. (TRANSOMS ABOVE) UNLESS NOTED OTHERWISE.
 - 6.) UPPER FLOOR WINDOWS @ 6'-10" HGT. (TRANSOMS ABOVE) UNLESS NOTED OTHERWISE.
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 - 8.) GARAGE WALLS 2x6 TYP.
 - 9.) 4 1/2" RETURNS ON ALL DOORS UNLESS NOTED OTHERWISE

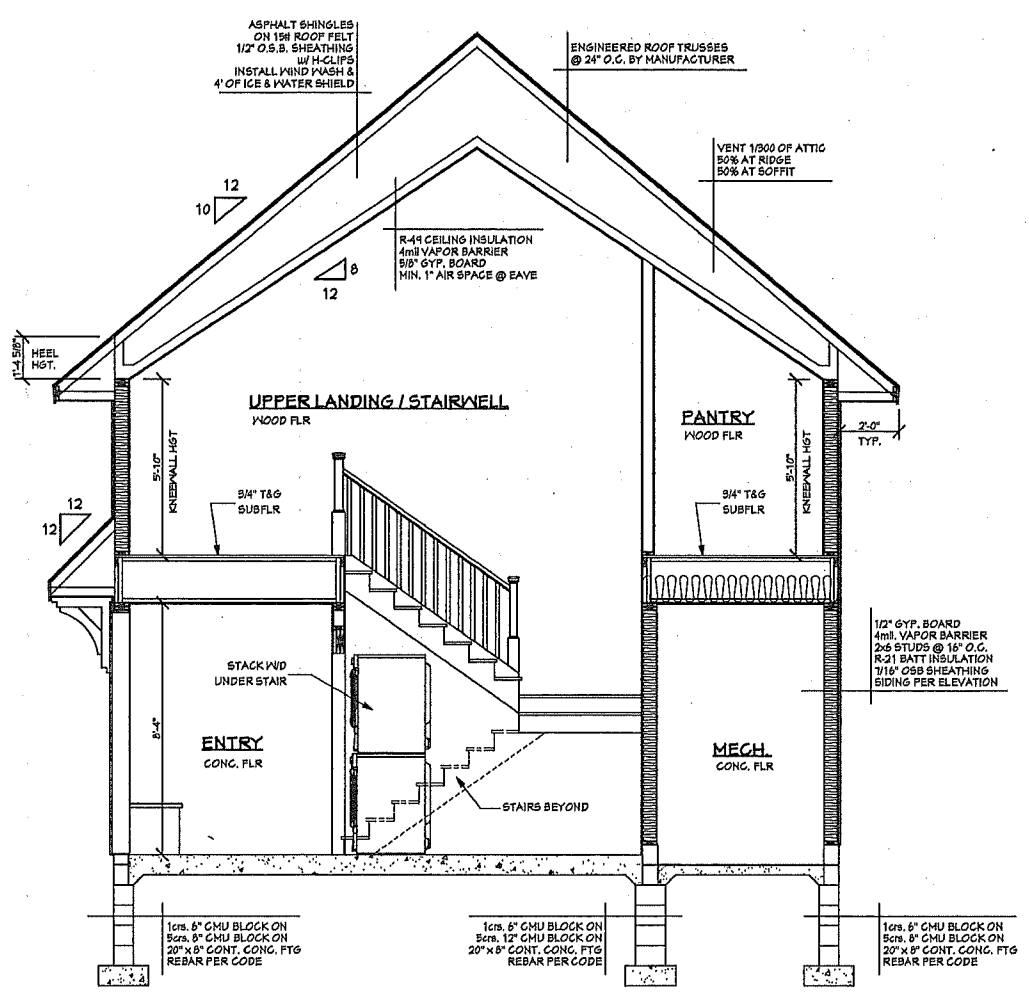
**** ALL BEAMS AND HEADER RELATIVE TO THE PLAN TO BE DESIGNED BY THE SUPPLIER ****



1 PROPOSED CARRIAGE UPPER PLAN
 4 SCALE: 1/4" = 1'-0" 1,593 SQ FT

3/16/24	
4/1/24	

NOTE:
 ALL GIRDERS & BEAMS RELATIVE TO THE ROOF STRUCTURE ARE TO BE ENG. & DESIGNED BY THE TRUSS MNF. REFER TO THE SPEC/LAYOUT SHEETS PROVIDED BY THE TRUSS MNF.

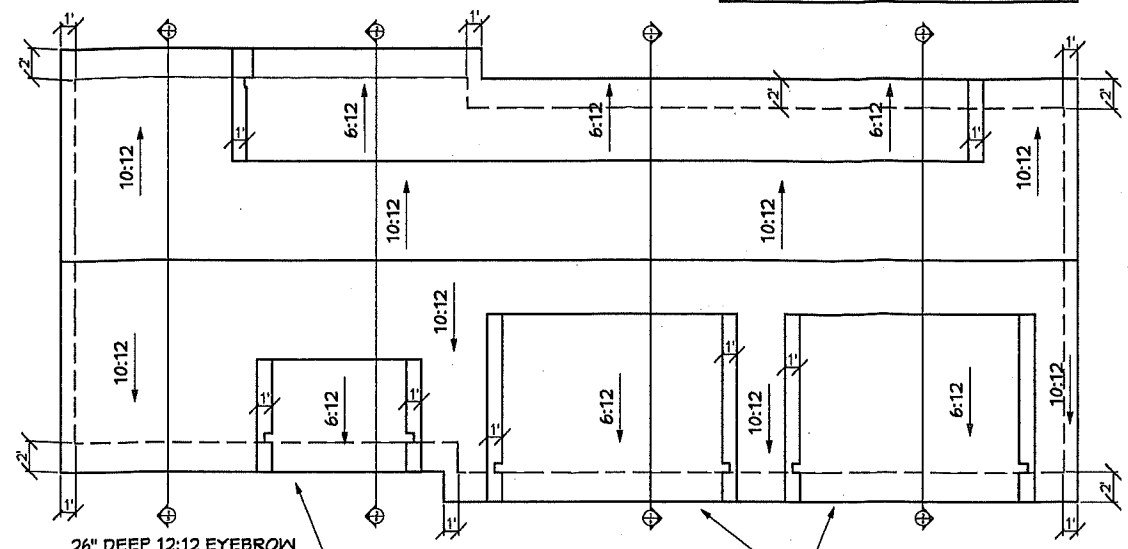


1 BUILDING SECTION
 5 SCALE: 1/4" = 1'-0"

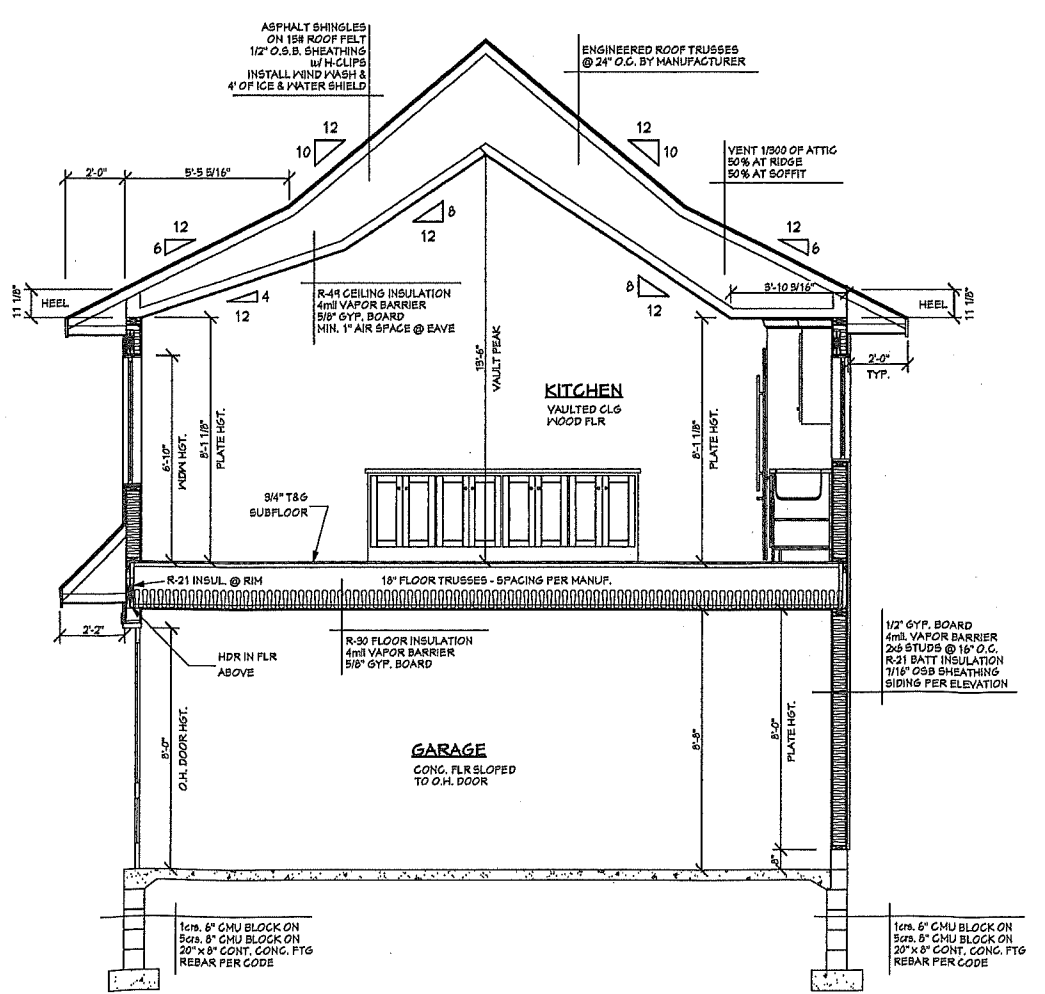
NOTE:
 INSTALL TWO - MEMBRANE TAR PAPER BACKING UNDER ALL ROCK, STONE, AND STUCCO PRODUCTS

NOTE:
 BUILDING WRAP & TAR PAPER EXTERIOR IN PROPER FORM

NOTE:
 INSTALL KICK-OUT FLASHING FOR STONE EXTERIOR



3 ROOF PLAN
 5 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
 5 SCALE: 1/4" = 1'-0"



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, Planning Technician
DATE: May 23, 2022
SUBJECT: Pacheco Special Home Occupation Permit, 3791 Prairie Rd,
 Case No. 22-2-SHOP

SUMMARY

A request for a special home occupation permit for massage therapy.

GENERAL INFORMATION

Applicant/Owner: Rachel Pacheco

Existing Land Use / Zoning: Single Family; zoned R-3: Single Family Residential

Surrounding Land Use / Zoning: North, East, & West: Single Family; zoned R-3: Single Family Residential
 South: Bossard Park; zoned P: Public

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,500 sq. ft.; 80 feet
 Site: 19,260 sq. ft.; 138 feet

ANALYSIS

The subject site is located on the southwest corner of the Prairie Road and Oak Terrace intersection. There is a single family home with an attached two-car garage on the lot that was constructed in 1971. The roughly 50 foot long and 24 foot wide driveway accesses Prairie Road, which dead ends to Bossard Park.

Ms. Pacheco will be the only employee. She will work primarily from 9 a.m. to 6 p.m. on weekdays, with sporadic weekend appointments. She will have one client at a time and will generally have one to three clients in a single day. On occasion, she will have up to five clients a day. Sessions will be between 30 and 90 minutes long and will not overlap.

No changes will be made either to the inside or outside of the residence. The home occupation will be conducted entirely within the principal structure. The business will generate only one additional vehicle at a time, and there is ample room in the driveway to accommodate clients,

so there will be minimal impact on the surrounding neighborhood. A massage therapy license is required from the City and Ms. Pacheco has already obtained the necessary approvals.

The first issuance of a home occupation permit is a trial period. The applicant must seek a renewal of the permit after one calendar year. If any issues arise from the proposed home occupation during the trial year, they can be addressed prior to renewal.

SUMMARY / RECOMMENDATION

The business is proposed to be incidental and secondary to the residential use of the home and does not appear that it will have a negative effect on the surrounding neighborhood. For these reasons, staff recommends approval of the special home occupation, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1302.120, Subd.3, if within one (1) year after granting the Home Occupation Permit, the use as allowed by the permit is not established, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This permit is issued for a one-year period with the expiration date being **June 14, 2023**, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
4. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered *de novo* without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
7. The applicant shall comply with applicable building, fire, and health department codes and regulations.
8. The applicant shall maintain a Massage Therapist License and Massage Therapy Establishment License with the City for the duration of the home occupation.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative (1 page) & Plans (2 pages)

Neighbor Letter of Support

RESOLUTION NO.

**RESOLUTION GRANTING
A SPECIAL HOME OCCUPATION PERMIT
FOR 3791 PRAIRIE ROAD
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-2-SHOP) has been submitted by Rachel Pacheco to the City Council requesting approval of a conditional use permit and two variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 3791 Prairie Road

LEGAL DESCRIPTION: Lot 1, Block 9 of Green Acres, Ramsey County, Minnesota.
(PID #: 253022310026)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A Special Home Occupation Permit, per Zoning Code Section 1302.120, in order to operate a massage therapy business out of the single-family home; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on May 23, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed special home occupation permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

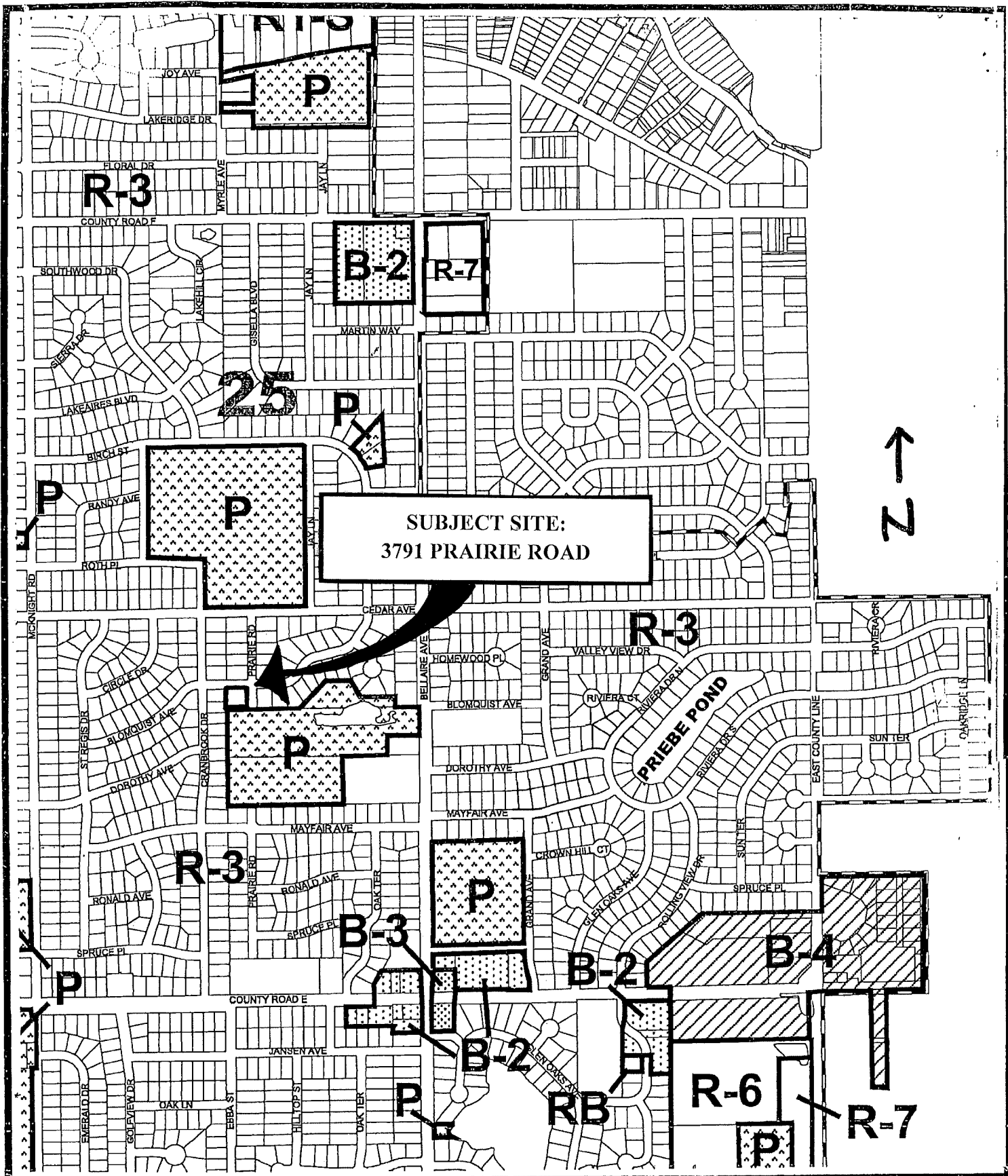
1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

RESOLUTION NO.

7. The special conditions attached in the form of conditional use permits are hereby approved.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1302.120, Subd.3, if within one (1) year after the granting the Home Occupation Permit, the use as allowed by the permit is not established, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This permit is issued for a one-year period with the expiration date being **June 14, 2023**, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
4. The applicant shall not have the vested right to a permit by reason of having obtained a pervious permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered *de novo* without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
7. The applicant shall comply with the applicable building, fire, and health department codes and regulations.
8. The applicant shall maintain a Massage Therapist License and Massage Therapy Establishment License with the City for the duration of the home occupation.



**SUBJECT SITE:
3791 PRAIRIE ROAD**



City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 22-2-SHOP
CASE NAME : Pacheco
DATE : May 23, 2022

Hi my name is Rebecca Pacheco. I've been a massage therapist for 20 years. Most of this time has been spent in a Chiropractic Clinic. I've been working in Vadnais Heights for the past 13 years as the Office Manager and Massage Therapist for a Chiropractic Clinic. My clientele load and needs for my family are changing and I'm resigning as the Office Manager. I plan to massage 1 day per week at Performance Chiropractic and Sunbear Salon. I'd like to see my clients on other days from my home office space. I would usually be seeing people during the daytime hours 9am-6pm and on the weekdays. I could see up to 5 people per day, but I'd prefer 1-3. I will request for my clients to park in my driveway or in front of my house. I won't have any employees. I will have online scheduling available for my clients. The people I will be seeing are existing clients of mine and friends/family referrals. I prefer not to work weekends, but if the need arises, I'd like to be able to accommodate that as well. My appointment times are 30, 60, and 90 minutes long.

Please feel free to contact me with any questions or concerns.

651-706-7935

Thank you

3804

3803

Prairie Rd.

Blomquist Ave.

Oak Terrace

3790

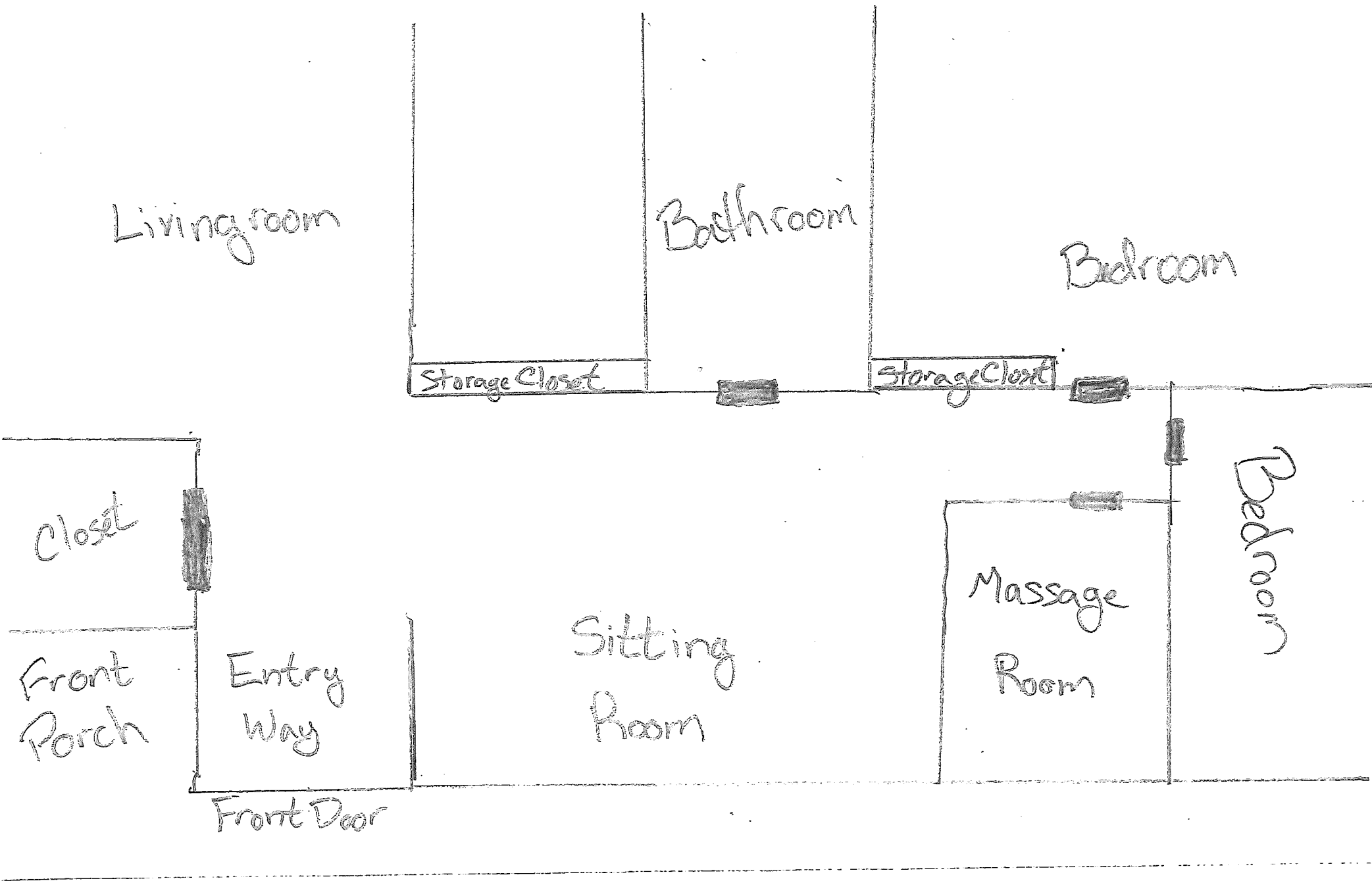
Street Parking

Driving Parking

3791 Prairie Rd.

Home

Bossard Park



May 15, 2022

Planning Department
4701 Highway 61
White Bear Lake, MN 55110

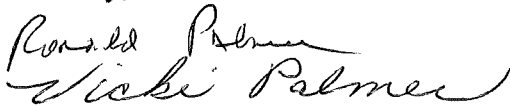
Subject: Case No. 22-2-SHOP

We are writing in support of the application by Rebecca Pacheco, 3791 Prairie Road, White Bear Lake, for a Special Home Occupation permit to operate a massage therapy business out of her home. We have known Rebecca and her family since they moved in a several years ago and they are great, very considerate neighbors.

The house is situated on a dead-end street and the house is set up nicely for the intended use. With the low number of clients per day who will be arriving at scheduled times, there is absolutely no concern that this will create any type of traffic problem. The house also has a large drive-way that will easily accommodate client parking.

If you have any questions, you can contact us as 651-429-7100.

Sincerely,



Ronald and Vicki Palmer
3803 Prairie Rd
White Bear Lake, MN 55110



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, Planning Technician
DATE: May 23, 2022
SUBJECT: Prelude Minor Subdivision & Recombination Subdivision, 4870 Otter Lake Rd, 4859 Sandra Lane, & 1567 Quast Court, Case No. 22-2-LS

SUMMARY

A request for a minor subdivision and recombination subdivision in order to split one lot into two and convey two tracts of land to two abutting neighbors.

A public hearing is not required for this type of lot split.

GENERAL INFORMATION

Applicant/Owner: Prelude Holdings, LLC

Existing Land Use / Zoning: Single Family; zoned R-3: Single Family Residential

Surrounding Land Use / Zoning: North, East, & South: Single Family; zoned R-3: Single Family Residential
 West: Single Family; zoned R-3 & S: Shoreland Overlay

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,500 sq. ft.; 80 feet
 Site: 94,525 sq. ft.; 202 feet

ANALYSIS

The subject site is located on the east side of Otter Lake Road and south of 9th Street. The property was platted in 1933 and a lot split was approved in 1979 subdividing the northern 130 feet from the rest of the property. According to Ramsey County, the existing single-family home was constructed in 1939 and the detached garage in 1981.

Minor Subdivision

The first aspect of the request is to subdivide the lot to create one new parcel while retaining the home on the existing lot. Both lots will exceed the width and area required for properties in the R-3 district. The existing home and garage will continue to meet the required setbacks and rear yard cover limitations. There are no plans for construction on the new property at this

time, but the buildable area is large enough to support a home without any variances.

The parcels should comply with the Comprehensive Plan. The Land Use section of the plan identifies the neighborhood as “Low Density Residential”, which allows 3 to 9 units per acre. The proposed subdivision would result in a density of roughly 2.23 units per acre for 48XX Otter Lake Road and 1.1 units per acre for 4870 Otter Lake Road, bringing the property into greater compliance with the Future Land Use designation desired.

Recombination Subdivision

The second aspect of the request is to carve out two pieces of land from the existing property and convey each piece to neighboring properties. Both receiving properties, 4859 Sandra Lane and 1567 Quast Court, already meet lot width, area, setbacks, and other aspects of the code, so the addition of 32,256 square feet and 3,015 square feet of land to the parcels, respectively, will not create or intensify a nonconformity.

The following table displays the existing and proposed lot widths and areas of all four parcels. As demonstrated, each parcel will continue to meet the minimum standards for the R-3 Zoning District.

Table I	EXISTING		PROPOSED	
Property Address	WIDTH	AREA	WIDTH	AREA
48XX Otter Lake Rd	N/A	N/A	122 ft.	19,521 sq. ft.
4870 Otter Lake Rd	202 ft.	94,525 sq. ft.	80 ft.	39,708 sq. ft.
1567 Quast Ct	80 ft.	10,530 sq. ft.	No Change	13,545 sq. ft.
4859 Sandra Ln	157 ft.	52,153 sq. ft.	No Change	84,409 sq. ft.

Other

A tree preservation plan and park dedication will be required at the time building permits are submitted for construction on the newly created lot. Sewer and water are available along Otter Lake Road, which is under the jurisdiction of Ramsey County, so right-of-way access permits will need to be coordinated with the County. There is a small wetland on the northwest corner of the existing lot that will not be impacted by the proposed subdivision.

Finally, the site plan denotes three sheds, one of which is partially on the property to be combined with 4859 Sandra Lane. The code allows for two accessory structures, the first one being the garage, so the encroaching shed, along with one other, will need to be removed to bring the property into conformity.

SUMMARY

The City’s discretion in approving or denying a minor subdivision and recombination subdivision is limited to whether or not the proposed subdivision meets the standards outlined in the Zoning Ordinance and Subdivision Regulations. If it meets these standards, the City must approve the subdivision.

Staff has reviewed the request for compliance with the Subdivision Regulations and the Zoning Code and finds that all applicable requirements have been met.

RECOMMENDATION

Staff recommends approval, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Within 6 months after the approval of the survey by the City, the applicant shall record the survey, along with the instruments of conveyance with the County Land Records Office, or the subdivision shall become null and void.
3. The resolution of approval shall be recorded against all four properties and notice of these conditions shall be provided as condition of the sale of any lot.
4. The applicant shall provide the City with proof of recording (receipt) as evidence of compliance with conditions #2 and #3. Within 120 days after the date of recording, the applicant shall provide the City Planner with a final recorded copy of the Certificate of Survey.
5. The applicant shall agree to reapportion any pending or actual assessments on the original parcel or lot of recording in accordance with the original assessment formula on the newly approved parcels, as per the City of White Bear Lake finance office schedules.
6. Durable iron monuments shall be set at the intersection points of the new lot lines with existing lot lines. The applicant shall have one year from the date of Council approval in which to set the monuments.
7. Two sheds on 4870 Otter Lake Rd shall be removed to bring the property into conformity with the City's accessory structure regulations.
8. The park dedication fee shall be collected for Parcel A at the time when a building permit is issued.
9. Metropolitan Council SAC (Sewer Availability Charge) and WAC (Water Availability Charge) and City SAC and WAC shall be due at the time of building permit for Parcel A.
10. Water and sewer hook-up fees shall be collected at the time when a building permit is issued for Parcel A.
11. A tree preservation plan shall be submitted for review and approval prior to the issuance of a building permit for Parcel A.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative & Plans (4 pages)

RESOLUTION NO.

**RESOLUTION GRANTING A MINOR SUBDIVISION & RECOMBINATION SUBDIVISION
FOR 4870 OTTER LAKE ROAD, 4859 SANDRA LANE, & 1567 QUAST COURT
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-2-LS) has been submitted by Prelude Holdings, LLC to the City Council requesting approval of a minor subdivision and recombination subdivision per the Subdivision Code of the City of White Bear Lake for the following locations:

LOCATION: 4870 Otter Lake Road, 4859 Sandra Lane, and 1567 Quast Court

EXISTING & PROPOSED LEGAL DESCRIPTION LEGAL DESCRIPTION: See Attached.

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: Approval of a minor subdivision, per Code Section 1407.030, to split 4870 Otter Lake Road into two lots, and a recombination subdivision, per Code Section 1407.040, to convey 32,256 square feet of land to 4859 Sandra Lane and 3,015 square feet of land to 1567 Quast Court; and

WHEREAS, the Planning Commission has reviewed this proposal on May 23, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed subdivision upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested subdivision, subject to the following conditions:

RESOLUTION NO.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Within 6 months after the approval of the survey by the City, the applicant shall record the survey, along with the instruments of conveyance with the County Land Records Office, or the subdivision shall become null and void.
3. The resolution of approval shall be recorded against all four properties and notice of these conditions shall be provided as condition of the sale of any lot.
4. The applicant shall provide the City with proof of recording (receipt) as evidence of compliance with conditions #2 and #3. Within 120 days after the date of recording, the applicant shall provide the City Planner with a final recorded copy of the Certificate of Survey.
5. The applicant shall agree to reapportion any pending or actual assessments on the original parcel or lot of recording in accordance with the original assessment formula on the newly approved parcels, as per the City of White Bear Lake finance office schedules.
6. Durable iron monuments shall be set at the intersection points of the new lot lines with existing lot lines. The applicant shall have one year from the date of Council approval in which to set the monuments.
7. Two sheds on 4870 Otter Lake Rd shall be removed to bring the property into conformity with the City's accessory structure regulations.
8. The park dedication fee shall be collected for Parcel A at the time when a building permit is issued.
9. Metropolitan Council SAC (Sewer Availability Charge) and WAC (Water Availability Charge) and City SAC and WAC shall be due at the time of building permit for Parcel A.
10. Water and sewer hook-up fees shall be collected at the time when a building permit is issued for Parcel A.
11. A tree preservation plan shall be submitted for review and approval prior to the issuance of a building permit for Parcel A.

RESOLUTION NO.

EXISTING LEGAL DESCRIPTION

4870 Otter Lake Road

All that part of Lot 15, Auditors Subdivision Number 83, lying Westerly of the East 157 feet, except the North 130 feet thereof, Ramsey County, Minnesota.

4859 Sandra Lane

The east 157 feet of Lot 15, Auditor's Subdivision Number 83, Ramsey County, Minnesota.

1567 Quast Court

Lot 6, Block 2, Independent Estates Plat, according to the recorded plat thereof, Ramsey County, Minnesota.

PROPOSED LEGAL DESCRIPTION

4870 Otter Lake Road

That part of Lot 15, AUDITOR'S SUBDIVISION NUMBER 83, Ramsey County, Minnesota, described as follows: Beginning at the Southwest corner of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, assumed bearing, along the South line of said Lot 15, a distance of 250.31 feet; thence North 00 degrees 28 minutes 50 seconds West, 30.00 feet to the North line of the South 30.00 feet of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, along said North line of the South 30.00 feet of Lot 15; a distance of 50.00 feet; thence North 00 degrees 25 minutes 44 seconds West, 172.18 feet to the South line of the North 130.00 feet of said Lot 15; thence South 89 degrees 58 minutes 35 seconds West, along said South line of the North 130.00 feet of Lot 15, a distance of 300.46 feet to the West line of said Lot 15; thence South 00 degrees 28 minutes 50 seconds East, along said West line of Lot 15, a distance of 202.19 feet to said point of beginning. EXCEPT the South 122.00 feet of the West 160.00 feet of said Lot 15.

48XX Otter Lake Road

The South 122.00 feet of the West 160.00 feet of Lot 15, AUDITOR'S SUBDIVISION NUMBER 83, Ramsey County, Minnesota.

4859 Sandra Lane

The East 157.00 feet of Lot 15, AUDITOR'S SUBDIVISION NO. 83, Ramsey County, Minnesota. Together with that part of said Lot 15, AUDITOR'S SUBDIVISION NUMBER 83, Ramsey County, Minnesota, described as follows: Commencing at the Southwest corner of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, assumed bearing, along the South line of said Lot 15, a distance of 250.31 feet; thence North 00 degrees 28 minutes 50 seconds West, 30.00 feet to the North line of the South 30.00 feet of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, along said North line of the South 30.00 feet of Lot 15, a distance of 50.00 feet to the point of beginning; thence continuing North 89 degrees 58 minutes 35 seconds East, along said North line of the South 30.00 feet of Lot 15, a distance of 53.23 feet; thence South 09 degrees 49 minutes 48 seconds West, 30.45 feet to said South line of Lot 15; thence North 89 degrees 58 minutes 35 seconds East, along said South line of Lot 15, a distance of 119.23 feet to the West line of the East 157.00 feet of said Lot 15; thence North 00 degrees 25

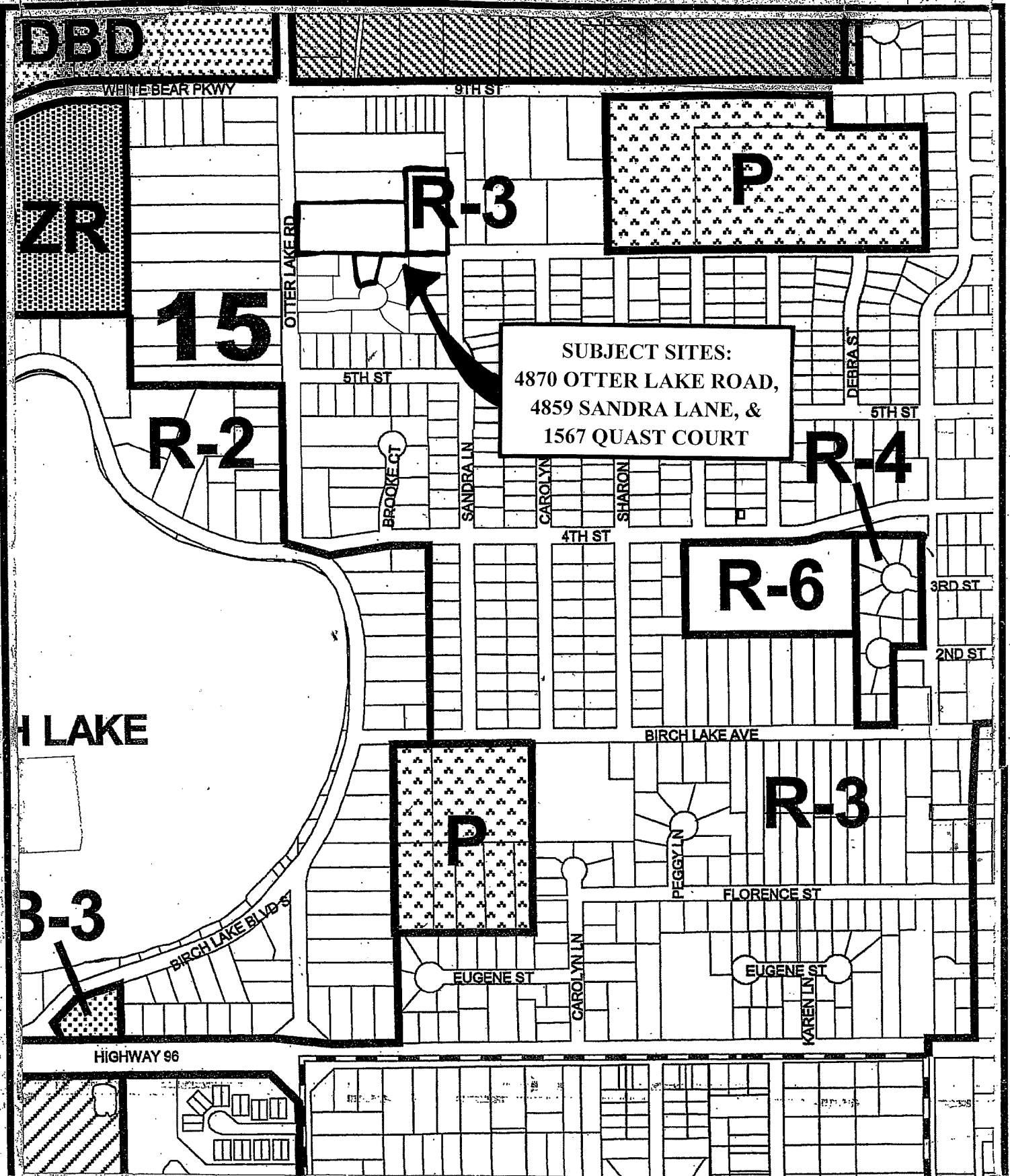
RESOLUTION NO.

minutes 44 seconds West, along said West line of the East 157.00 feet of Lot 15, a distance of 202.18 feet to the South line of the North 130.00 feet of said Lot 15; thence South 89 degrees 58 minutes 35 seconds West, along said South line of the North 130.00 feet of Lot 15, a distance of 167.04 feet to its intersection with a line bearing North 00 degrees 25 minutes 44 seconds West from said point of beginning; thence South 00 degrees 25 minutes 44 seconds East, 172.18 feet to said point of beginning.

1567 Quast Court

Lot 6, Block 1, INDEPENDENT ESTATES PLAT 2, Ramsey County, Minnesota.

Together with that part of Lot 15, AUDITOR'S SUBDIVISION NUMBER 83, Ramsey County, Minnesota, described as follows: Commencing at the Southwest corner of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, assumed bearing, along the South line of said Lot 15, a distance of 250.31 feet to the point of beginning; thence North 00 degrees 28 minutes 50 seconds West, 30.00 feet to the North line of the South 30.00 feet of said Lot 15; thence North 89 degrees 58 minutes 35 seconds East, along said North line of the South 30.00 feet of Lot 15, a distance of 103.23 feet; thence South 09 degrees 49 minutes 48 seconds West, 30.45 feet to said South line of Lot 15; thence South 89 degrees 58 minutes 35 seconds West, along said South line of Lot 15, a distance of 97.78 feet to said point of beginning.



SUBJECT SITES:
 4870 OTTER LAKE ROAD,
 4859 SANDRA LANE, &
 1567 QUAST COURT

City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 22-2-LS
 CASE NAME : Prelude Holdings LLC
 DATE : May 23, 2022

Otter Lake Road. Minor Sub-Division.

Dear Community Leaders:

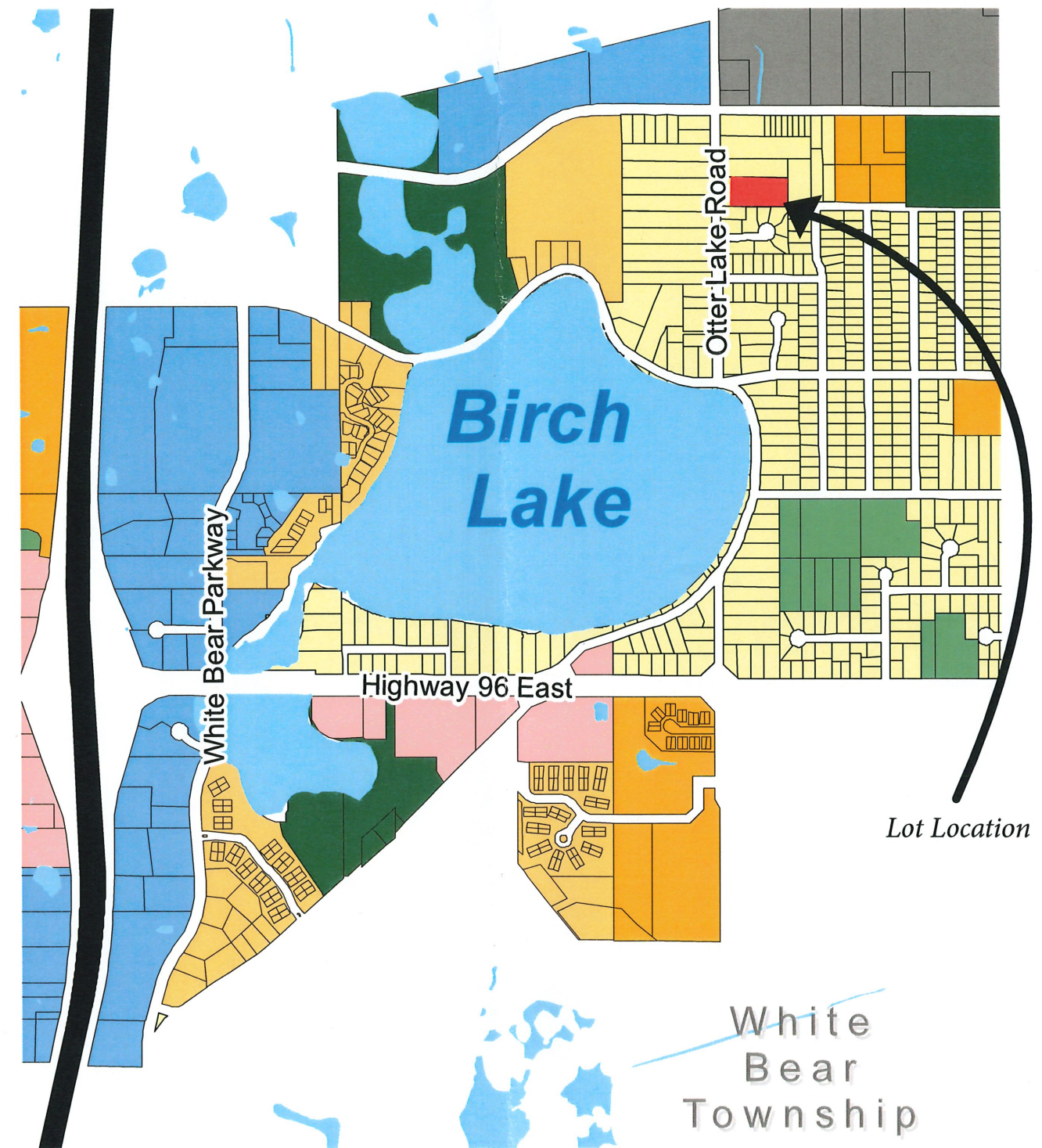
We are pleased to submit a minor sub-division for the 4870 Otter Lake Road plot of land. This division would benefit the neighbors, the neighborhood, the applicant, and the city. We would divide off two parcels of land benefiting two neighboring lots for both privacy and personal use. In addition to that, we would have another division at the front of the property to place a new home on as an addition to the neighborhood.

Prelude Homes & Services is a leader in the senior memory care field serving those with high acuity dementia. Prelude is privileged to have a small campus in White Bear Lake at 4650 White Bear Parkway.

The work associated with this minor subdivision is related to our employee housing program. Through this program we enable our core front line hourly wage workers to fix their housing costs and ultimately own homes near their work site and in school districts which give their children exceptional opportunities. The sale proceeds of parcels from this minor subdivision will help fuel this program so we can acquire additional homes to add to the two existing homes we have in this area.

Thank you for your consideration.

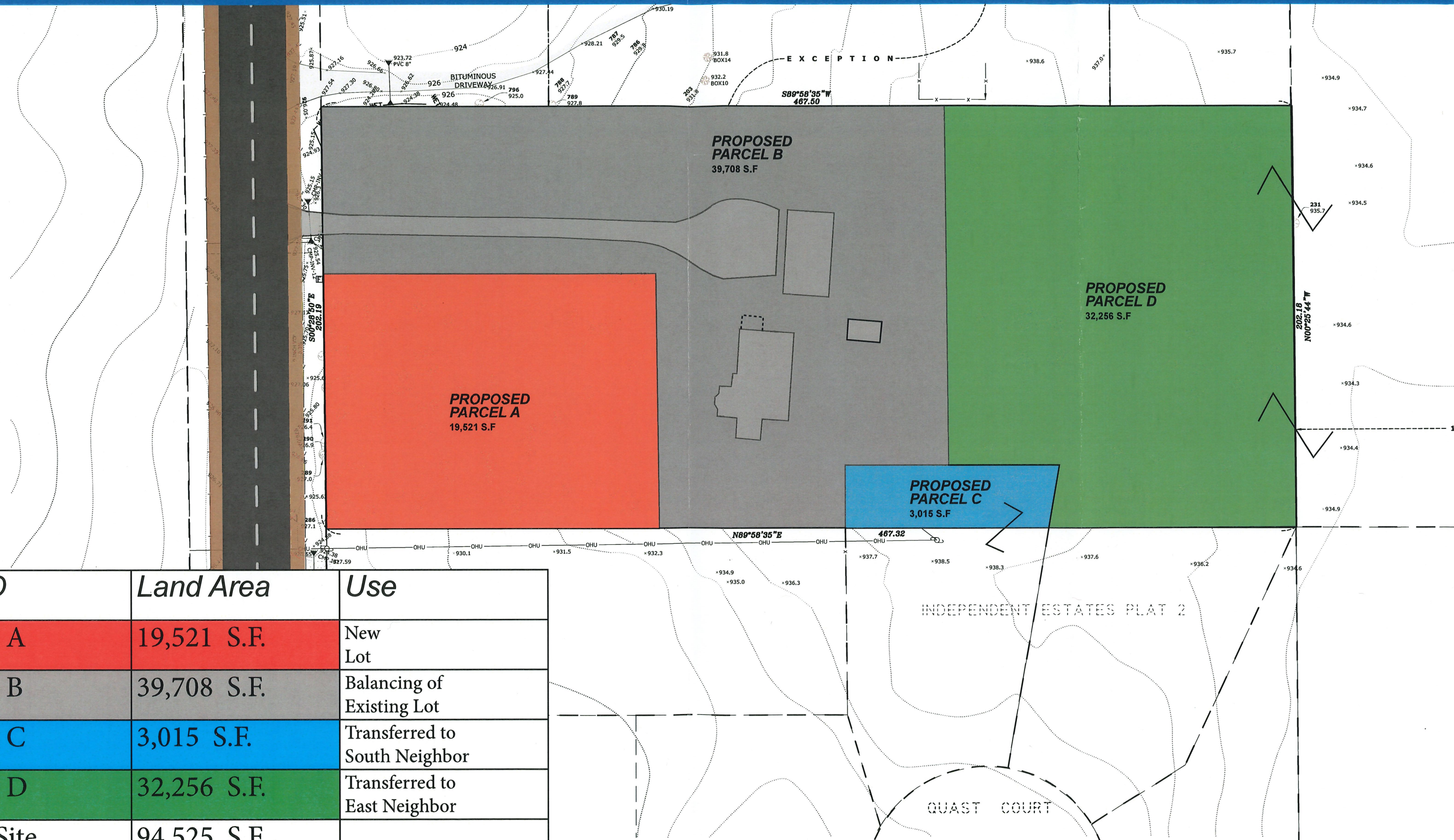
Preludevillage.com | Preludecares.com | Preludemministries.org



Philip Dommer
Founder & President
612-363-5015

Graham Dommer
Asset Manager
651-895-4664

Proposed Sub-Division Parcels



CERTIFICATE OF SURVEY

~for~ PRELUDE CARES
 ~of~ 4870 Otter Lake Road
 White Bear Lake, MN

LEGAL DESCRIPTION

(Per Title Commitment by Burnet Title, File No. 2167020-04477, Effective Date 3/29/2020 at 7:00am)

All that part of Lot 15, Auditor's Subdivision Number 83, lying Westerly of the East 157 feet, except the North 130 feet thereof, Ramsey County, Minnesota.

(Per said Title Commitment, there are no surveyable easements on this property.)

BENCHMARK

RAMSEY COUNTY BENCHMARK #9140
 ELEVATION = 932.662 (NAVD88)

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 06/02/20.
- Bearings shown are on Ramsey County datum.
- Parcel ID Number: 15-30-22-13-0079.
- Tree inventory completed by Jacobson Environmental. See species key and tree table.
- No wet lands were flagged or delineated on site by others.
- Existing zoning = R-3 Residential
- All adjacent properties are zoned R-3 Residential

SPECIES KEY

(SPECIES KEY PROVIDED BY OTHERS)

EC	Eastern Cottonwood
WS	White Spruce
WP	White Pine
SE	Siberian Elm
SP	Scotch Pine
BC	Black Cherry
BO	Red Oak
BD	Bur Oak
WO	White Oak
AB	American Basswood
AE	American Elm
NM	Norway Maple
BW	Black Walnut
AM	Amur Maple
PC	Prairie Crabapple

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 25341
- DENOTES FINISHED FLOOR ELEVATION
- DENOTES AIR CONDITIONING UNIT
- DENOTES CABLE PEDESTAL
- DENOTES CURB STOP
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES FIBER OPTIC BOX
- DENOTES GAS METER
- DENOTES LIGHT POLE
- DENOTES MAILBOX
- DENOTES POWER POLE
- DENOTES STORM SEWER APRON
- DENOTES WATER VALVE
- DENOTES GAS VALVE
- DENOTES WELL
- DENOTES FENCE
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD UTILITY
- DENOTES CONCRETE SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES PAVER SURFACE

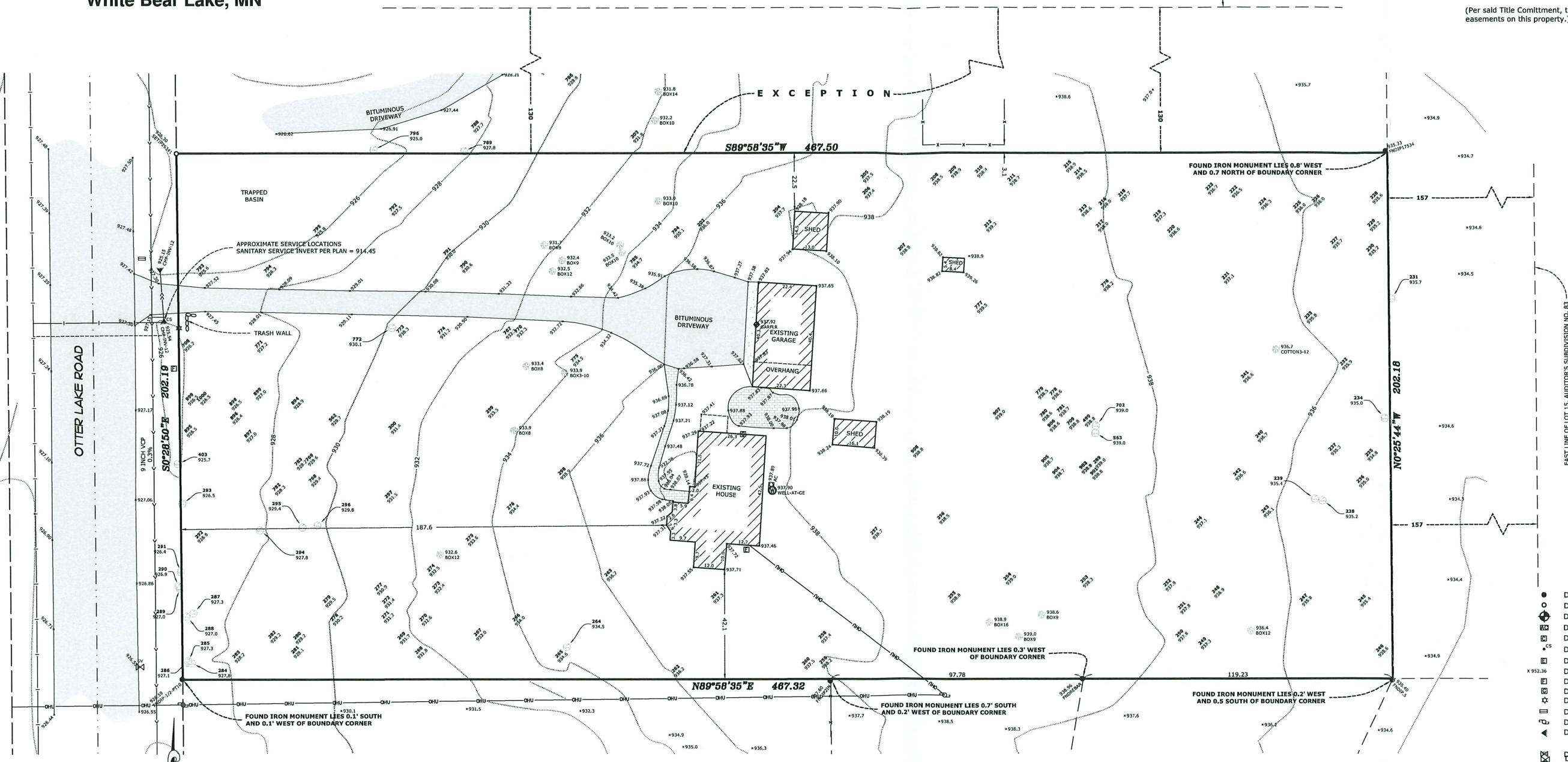
TREE DETAILS

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE
- DENOTES TREE TAG NO.
- DENOTES ELEVATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Daniel W. Obermiller
 DANIEL W. OBERMILLER
 Date: 6/10/2020 License No. 25341

DRAWN BY: CHB	JOB NO: 200562BT	DATE: 06/10/20
CHECK BY: DWJ	FIELD CREW:	
1		
2		
3		
NO.	DATE	DESCRIPTION



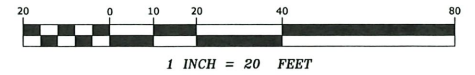
TREE TABLE

(TREE INVENTORY COMPLETED BY OTHERS)

Tag #	DBH	Species	Condition
202	8	NM	6
203	12	RO	4
204	28	WP	5
205	9	AE	4
206	6	SP	4
207	20	BW	7
208	6	WS	3
209	7	WS	3
210	6	WS	3
211	9	WP	5
212	19	WP	6
213	10	WP	4
214	10	SP	4
215	18	WP	5
216	7	WS	1
217	6	WS	4
218	12	WP	5
219	18	EC	4
220	7	WS	5
221	20	WP	6
222	7	WP	3
223	10	SE	2
224	10	SP	5
225	7	BC	3
226	6	RO	4
227	13	WP	6
228	14	RO	6
229	6	WS	4
230	6	WS	5
231	14	WP	5
232	24	EC	5
233	6	WS	2
234	9	WP	5
235	7	SP	3
236	8	BO	4
237	10	WS	2
238	7	WS	3
239	9	WS	5
240	17	RO	4
241	6	WS	4
242	12	WS	4
243	10	WS	4
244	9	BO	5
245	16	WP	6
246	21	EC	4
247	17	SE	2
248	10	RO	4
249	13	RO	5
250	28	EC	5
251	27	EC	5
252	13	BC	3
253	6	WS	4
254	7	AM	3
255	6	BC	4
256	9	BW	5
257	15	SM	6
258	10	BO	5
259	25	WO	6
260	6	BC	2
261	27	RO	5
262	22	RO	4
263	12	SM	5
264	6	RO	1
265	16	RO	5
266	16	RO	4
267	10	RO	4
268	9	RO	4
269	7	RO	4
270	30	EC	6
271	11	WO	4
272	16	BO	5
273	10	RO	5
274	9	RO	4
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276	8	RO	5
277	7	RO	5
278	18	WO	5
279	9	RO	5
280	7	RO	4
281	10	RO	6
282	12	RO	5
283	11	RO	5
284	12	RO	5
285	8	BO	5
286	7	BO	5
287	7	AB	5
288	12	RO	4
289	12	AE	4
289	8	WP	4
290	27	EC	5
291	11	RO	4
292	9	RO	5
293	14	RO	5
294	12	BC	4
295	6	AB	4
296	6	RO	4
297	11	RO	4
298	21	BW	6
299	30	RO	5
300	32	RO	6
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562	7	RO	4
563	9	WP	4
702	10	WP	5
708	15	RO	4
709	7	WP	3
767	7	RO	4
768	7	RO	5
769	14	RO	4
770	12	RO	5
771	13	RO	5
772	13	RO	4
773	9	RO	5
774	12	RO	5
775	7	AE	4
776	11	SE	5
777	11	BC	5
778	6	WS	3
779	7	WS	4
780	9	WP	5
781	7	WP	4
782	6	RO	4
783	10	RO	3
784	13	NM	5
785	8	NM	2
786	8	AE	4
787	21	WP	4
788	18	WO	4
789	15	WO	6
790	12	SE	3
791	18	RO	5
792	21	WO	6
793	11	AE	5
794	20	AB	6
795	8	BC	4
796	9	WO	6
894	20	RO	3
895	16	RO	5
896	13	RO	4
897	7	RO	5
898	6	RO	3
899	8	RO	4
901	8	SP	3
902	12	BW	5
903	8	SP	3
904	8	SP	3
905	8	AE	4
906	6	SP	3
907	17	AE	5
908	10	PC	3
999	17	RO	5
1000	13	RO	4

NORTH

GRAPHIC SCALE



E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

CONCEPT PLAN

~for~ PRELUDE HOLDINGS, LLC ~of~ 4870 Otter Lake Road, White Bear Lake, MN

LEGAL DESCRIPTION

(Per Title Commitment by Burnet Title, File No. 2167020-04477, Effective Date 3/29/2020 at 7:00am)

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(Per said Title Commitment, there are no surveyable easements on this property.)

NOTES

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- Parcel ID Number: 15-30-22-13-0079.
- Tree inventory completed by Jacobson Environmental. See species key and tree table.
- Wet lands were delineated by Jacobson Environmental in June 2020.
- Existing zoning = R-3 Residential
- All adjacent properties are zoned R-3 Residential

LEGEND

- ⊕ DENOTES FINISHED FLOOR ELEVATION
- ⊕ DENOTES AIR CONDITIONING UNIT
- ⊕ DENOTES CABLE PEDESTAL
- ⊕ DENOTES CURB STOP
- ⊕ DENOTES ELECTRICAL BOX
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- ⊕ DENOTES EXISTING SANITARY SEWER
- ⊕ DENOTES EXISTING STORM SEWER
- ⊕ DENOTES EXISTING WATER MAIN
- ⊕ DENOTES OVERHEAD UTILITY
- ⊕ DENOTES CONCRETE SURFACE
- ⊕ DENOTES CONCRETE SURFACE
- ⊕ DENOTES PAVER SURFACE
- ⊕ DENOTES WET LAND AS DELINEATED BY JACOBSON ENVIRONMENTAL IN JUNE 2020

SITE DATA

TOTAL SITE AREA = ±2.17 AC.
 PARCEL A AREA = ±0.45 AC.
 PARCEL B AREA = ±0.91 AC.
 PARCEL C AREA = ±0.07 AC.
 PARCEL D AREA = ±0.74 AC.

MINIMUM R-3 SETBACK DATA:
 FRONT = 30 FT.
 SIDE = 10 FT.
 CORNER = 30 FT.
 REAR = 30 FT.

TREE TABLE

(TREE INVENTORY COMPLETED BY OTHERS)

Tag #	DBH	Species	Condition
202	8	NM	6
203	12	RO	4
204	28	WP	5
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208	6	WS	3
209	7	WS	3
210	6	WS	3
211	9	WP	5
212	19	WP	6
213	10	WP	4
214	10	SP	4
215	18	WP	5
216	7	WS	1
217	6	WS	4
218	12	WP	5
219	18	EC	4
220	7	WS	5
221	20	WP	6
222	7	WP	3
223	10	SE	2
224	10	SP	5
225	7	BC	3
226	6	RO	4
227	13	WP	6
228	14	RO	6
229	6	WS	4
230	6	WS	5
231	14	WP	5
232	24	EC	5
233	6	WS	2
234	9	WP	5
235	7	SP	3
236	8	BO	4
237	10	WS	2
238	7	WS	3
239	9	WS	5
240	17	RO	4
241	6	WS	4
242	12	WS	4
243	10	WS	4
244	9	BO	5
245	16	WP	6
246	21	EC	4
247	17	SE	2
248	10	RO	4
249	13	RO	5
250	28	EC	5
251	27	EC	5
252	13	BC	3
253	6	WS	4
254	7	AM	3
255	6	BC	4
256	9	BW	5
257	15	SM	6
258	10	BO	5
259	25	WO	6
260	6	BC	2
261	27	RO	5
262	22	RO	4
263	12	SM	5
264	6	RO	1
265	16	RO	5
266	16	RO	4
267	10	RO	4
268	9	RO	4
269	7	RO	4
270	30	EC	6
271	11	WO	4
272	16	BO	5
273	10	RO	5
274	9	RO	4
275	19	BO	5
276	8	RO	5
277	7	RO	5
278	18	WO	5
279	9	RO	5
280	7	RO	4
281	10	RO	6
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283	11	RO	5
284	12	RO	5
285	8	BO	5
286	7	BO	5
287	7	AB	5
288	12	RO	4
289	12	AE	4
289	8	WP	4
290	27	EC	5
291	11	RO	4
292	9	RO	5
293	14	RO	5
294	12	BC	4
295	6	AB	4
296	6	RO	4
297	11	RO	4
298	21	BW	6
299	30	RO	5
300	32	RO	6
403	7	AE	4
499	10	WP	4
562	7	RO	4
563	9	WP	4
702	10	WP	5
708	15	RO	4
709	7	WP	3
767	7	RO	4
768	7	RO	5
769	14	RO	4
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771	13	RO	5
772	13	RO	4
773	9	RO	5
774	12	RO	5
775	7	AE	4
776	11	SE	5
777	11	BC	5
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779	7	WS	4
780	9	WP	5
781	7	WP	4
782	6	RO	4
783	10	RO	3
784	13	NM	5
785	8	NM	2
786	8	AE	4
787	21	WP	4
788	18	WO	4
789	15	WO	6
790	12	SE	3
791	18	RO	5
792	21	WO	6
793	11	AE	5
794	20	AB	6
795	8	BC	4
796	9	WO	6
894	20	RO	3
895	16	RO	5
896	13	RO	4
897	7	RO	5
898	6	RO	3
899	8	RO	4
901	8	SP	3
902	12	BW	5
903	8	SP	3
904	8	SP	3
905	8	AE	4
906	6	SP	3
907	17	AE	5
908	10	PC	3
999	17	RO	5
1000	13	RO	4

SPECIES KEY

(SPECIES KEY PROVIDED BY OTHERS)

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- SP=Scotch Pine
- BC=Black Cherry
- RO=Red Oak
- BO=Bur Oak
- WO=White Oak
- AB=American Basswood
- AE=American Elm
- NM=Norway Maple
- BW=Black Walnut
- AM=Amur Maple
- PC=Prairie Crabapple

TREE DETAILS

- ⊕ DENOTES ELEVATION
- ⊕ DENOTES TREE QUANTITY
- ⊕ DENOTES TREE SIZE IN INCHES
- ⊕ DENOTES TREE TYPE
- ⊕ DENOTES TREE TAG NO.
- ⊕ DENOTES ELEVATION

DRAWN BY: KCH	JOB NO: 200562.1PP	DATE: 3/10/22
CHECK BY: XXX	FIELD CREW:	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

BENCHMARK

RAMSEY COUNTY BENCHMARK #9140
 ELEVATION = 932.662 (NAVD88)

NORTH

GRAPHIC SCALE



1 INCH = 30 FEET

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission
From: Samantha Crosby, Planning & Zoning Coordinator
Date: May 23, 2022
Subject: Taco Bell, 4600 Centerville Road – Case No. 22-1-PUD & 22-1-P

SUMMARY

A request for a preliminary plat to subdivide one parcel into two, and approval of both “general concept stage” and “development stage” Planned Unit Development (PUD), in order to construct a fast food restaurant with a drive-thru and a pylon sign at the property located at 4600 Centerville Road. See applicant’s narrative. Staff recommends denial based on the findings described in the report and detailed in the attached resolution.

GENERAL INFORMATION

Applicant/Owner: Marvin Development III, LLC / Border Foods

Existing Land Use / Zoning: Vacant;
PZ – Performance Zone

Surrounding Land Use / Zoning: North: Grocery Store; zoned PZ – Performance Zone
West: Automotive Store; zoned B-4 – General Business
South: Pharmacy and Fast Food; zoned B-4 – General Business
East: Interstate 35-E

Comprehensive Plan: Commercial

Lot Size & Width: Code: None
Site: 1.84 acres

ANALYSIS

Site Characteristics

The site is located in the northwest quadrant of Highway 96 and Interstate 35 E “behind” (to the east of) the Tires Plus and to the north of McDonald’s. The property is a “flag” lot that has an approximately 30-foot wide “pole” of frontage with right-in/right-out only access to Centerville Road. The property has easements with the adjacent parcels to the north and south to allow access internal service drives located on the Walgreen’s parcel and the Lunds & Byerlys site.

Background

In 2013, the City approved a Conditional Use Permit for site plan approval of a strip commercial development in the PZ zoning district and a Conditional Use Permit for a drive-through. The applicant had requested that the project be constructed in two phases with only half the building in phase one and the other half of the building in phase two. Phase two was never constructed and the entitlements for expanding the building expired. See attached “White Oak” site plan. Since then, both the 113 unit White Bear Heights Senior Housing (2016) and the Lunds & Bylers grocery store (2018) were developed, intensifying the surrounding development pattern and further defining the access and traffic circulation.

Rather than constructing an addition on the east side of the building, the applicant is proposing to subdivide the property into two separate parcels with agreements between the two properties that provide for cross access, cross parking, and cross utilities. The eastern parcel will be the Taco Bell site, we’ll call the remaining western parcel the Anytime Fitness site. The entire property is referred to as White Oak.

Zoning

Allowed uses in the PZ district include the range of commercial uses throughout the city’s other commercial zones. A fast food restaurant with a drive thru is first regulated by the B-3 district. Where two provisions of any part of the zoning code are not the same, the more restrictive provision shall apply. Therefore, the parameters of the B-3 district apply in addition to the performance standards of the PZ district.

PUD

“The purpose of the PUD – Planned Unit Development Overlay District - is to provide for the integration and coordination of land parcels as well as the combination of varying types of residential and commercial uses.” The PUD is designed to allow greater flexibility in development by allowing variation from the strict provisions of the zoning code to encourage a more desirable and creative environment than might be possible throughout the strict application of the code, as well as higher standards of site and building design. In exchange for the flexibility offered by the Planned Unit Development, the applicant is expected to detail how they intend to provide a higher quality development than could otherwise be developed under the typical zoning regulations or meet other City goals. The proposed PUD requests four deviations from code, and five enhancements to design.

As mentioned in the narrative, the deviations from code include:

- Deviation from minimum lot size, per the B-3 zoning district,
- A land-locked parcel that relies on other properties for access and utilities,
- To have a pylon-style sign, and
- That the pylon size and height exceeds that which would be allowed elsewhere in the city.

The enhancements to the proposal include:

- Enhanced landscaping
- Increased stormwater treatment (off site)

- A bike rack
- A white roof
- Two electric vehicle charging stations

Traffic, Stacking, Circulation

The applicant has provided a traffic study. The proposed development is expected to generate approximately 73 am peak hour trips, 97 pm peak hour trips and 1,370 daily gross trips, according to the study. This is roughly twice the 691 trips per day projected for the entire 15,000 square foot retail building by White Oak's 2006 study. The Taco Bell study projects that the functionality of the adjacent roads and intersections will remain un-impacted by the proposed use: they currently operate at a Level of Service (LOS) of B and would continue to do so post development.

Staff anticipates that the internal circulation of the property will be problematic. The routing of customers through the anytime fitness parking lot on the way in and across the Lunds & Byler's front entrance on the way out is less than ideal for a use that draws heavy traffic. See staff's circulation graphic. The applicant's narrative states that the City had approved a conditional use permit for two drive-through facilities. This is incorrect; only one drive-through was approved. The concept of a second drive-through with the Phase Two expansion of the building was only ever conceptual in nature and was contingent upon an updated Traffic Study and approval of a Conditional Use Permit.

The code requires that the "stacking space and on-site circulation shall be sufficient to accommodate the demand". The design has stacking for 9 vehicles, which is deemed sufficient by general standards, which are measured from the pick-up window, not the order menu. Counting from the order menu, there are only 5 spaces before over-flowing into the Anytime Fitness parcel or backing up into the parking lot. As currently designed, any increase in stacking hinders emergency vehicle access, on-site circulation and off-site circulation. Wayfinding signage on the remaining Anytime Fitness parcel would need to be installed to allow patrons to properly orient their vehicles for traversing the drive-thru.

Parking

Parking stalls are required at the rate of one stall for every 2.5 seats. With 40 seats, the 19 proposed parking stalls exceed code by three. Bicycle parking is required at the rate of one bicycle space for every 30 parking spaces, therefore a rack is not required. For such an auto-oriented use in a non-bike-friendly location, staff does not find bike parking to be a substantial off-set. The electric vehicle (EV) charging stations are a nice amenity, but only if they are the fast-charging type as this is a fast-food establishment.

Stormwater

The proposed project meets the requirements of the Engineering Design Standards with an under-ground system. In an attempt to provide additional "benefit" to off-set the deviations requested, the applicant is proposing that the existing basin on the Anytime Fitness parcel be improved by adding iron-enhanced sand. (As the stormwater filters through the iron sand mixture, the iron pull phosphorous out of the stormwater.) This would be treating the water to

a higher level. The applicant would be responsible for maintaining this improvement and would have agreements in place providing for such. While we appreciate the applicant's effort to increase the public benefit, staff has strong reservations about providing off-sets off site. To the best of staff's knowledge this is not something the City has permitted before. Staff does not support this as it complicates maintenance and responsibility.

Utilities

The sewer and water would connect to a private line rather than the municipal main. The Building Official checked with the Department of Labor who indicated they could approve the unique permit, however formal application has not yet been made. Again, the applicant would be responsible for maintaining their own lines, and would have agreements in place to do so. However, to the best of staff's knowledge, this is not something the City has permitted before. Staff does not support this as it complicates maintenance and responsibility.

Signage

The sign code does not permit pylon signs in the PZ zoning district. (They are only permitted in the industrial districts - BW, I-1 & I-2). The proposed pylon would be 55 feet in height and 146 square feet in size. The applicant is requesting this sign based on the McDonald's pylon next door, which was also part of a PUD request in 1993. At that time, pylons up to 25 feet in height were permitted in the B-4 zoning district. McDonald's ask was to have something taller and bigger than otherwise allowed; not to have something that is not allowed at all. Even if staff were supportive of a pylon type sign at this location, the visual analysis provided by the applicant is taken from a point past the south-bound off-ramp. It is likely that, by the time the 55 foot tall sign can be seen, it is too late to exit the freeway. Finally, there is a highway sign further north on 35-E that provides for south-bound traffic a list of businesses available at the next exit. The effective signage would already be in place.

Landscaping

The landscape plan does exceed code. The code requires 8 overstory trees and the plan provides 8 overstories and 8 ornamental trees. The plan also provides more shrubs than required. Landscape islands internal to the parking lot are only required when the lot exceeds 20 stalls in size, therefore none have been provided. The applicant indicated that the snow would either be stored in the 3 excess parking stalls, or if needed, hauled off-site.

Architecture

The PZ zoning district language specifically mentions architectural compatibility and the proposed brick and stone are comparable to the neighboring franchises. The applicant's narrative lists the exterior finishes as an off-set for the PUD flexibility, but this is not the case as it is a code requirement.

Preliminary Plat

The subdivision regulations require that "the minimum lot area, width and depth shall not be less than that established by the Zoning Code in effect at the time of adoption". The PZ zoning district does not specify a minimum lot area or width requirement, but rather refers to a list of performance standards that regulate the use rather than the parcel. While the applicant has

tried to minimize the improvements, staff feels that the proposal still does not fit the small size of the site. Comparing to other stand-alone drive-thru developments throughout the city, the average parcel size is 1.13 acres, compared to the proposed 0.63 acres. The applicant would point out that the proposed building does not have as many seats as some of the existing establishments, and therefore the parking is significantly less. Other stand-alone drive-thrus have an average of 50 stalls and the subject site has 16. At 272 square feet per stall, that is a difference of 9,248 square feet or .21 of an acre. Staff finds the site undersized for the proposed use.

The regulations further require “every lot must have the minimum frontage on a city-approved street other than an alley, as specified in the lot width requirements of the Zoning Code.” Again, the PZ zoning district does not have minimum lot front requirements, but the B-3 district, the district under which drive-thrus are regulated, requires 100 feet. The applicant might point out that the lot fronts on I-35 E, but I-35 E is not a city-approved street and does not allow direct access to individual parcels.

The city has one development off of White Bear Parkway where two of the four parcels only have frontage only on I-35 E. It was also developed as a PUD. That site design includes a shared access that all four parcels have “frontage” on. The site design is far more logical in that customers need not navigate through the parking lot of another business to reach their destination. The McDonald’s directly to the south of the subject site also has a dedicated access aisle through the Walgreens site that allows for internal circulation without driving through the parking lot.

Other

The applicant’s narrative had listed storing the trash internal to the building as an enhancement to off-set the PUD flexibility, however, the zoning code requires refuse to be stored in an enclosed building, whether it is the principal building or a separate enclosure.

The applicant has also listed a white roof as an enhancement. A white roof reflects sunlight, absorbing less solar energy, which lowers the temperature of the building and reduces the draw on electricity to cool the building. It could be argued that such a feature is a benefit to the public as it contributes to reducing the “heat island” effect of the built environment and reduces energy consumption.

Discretion

The City’s discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the Zoning Ordinance and Subdivision Regulations. If it meets these standards, the City should approve the plat.

The City’s discretion in approving or denying both the concept stage and the development stage PUD is high. A PUD must be consistent with the Comprehensive Plan. It is up to the City to decide whether the flexibility requested from code is a reasonable trade-off for the quality of development proposed. Similar to a CUP, the City may impose reasonable conditions it deems necessary to promote the general health, safety and welfare of the community and surrounding

area.

The subject property was originally zoned and developed primarily as commercial suites with the possibility of limited accessory drive-thru activity. Those approvals have expired. Given the surrounding development pattern and limited access to the site, staff does not support such an intense use of the site. The proposed PUD appears to create a lot that was never meant to be, for a use with poor internal circulation, and a sign that would not otherwise be allowed. The applicant has made a legal land use request; the project could be approved. But just because it's possible doesn't mean it's desirable. As stated above, the City has the discretion whether or not to approve the proposed PUD and - based on the reliance upon the surrounding parcels for things such as circulation, stacking, utilities and off-set for deviations - staff recommends denial.

Deviation from the Zoning Code must be approved in order to approve the Preliminary Plat. The PUD is the tool to approve that deviation. Should the PUD be denied, the Preliminary Plat must also be denied.

RECOMMENDEATION

Staff recommends denial of the PUD & Preliminary Plat based on the following findings:

1. The higher standards of site and building design are not commensurate with the deviation from code.
2. The proposed layout does not create a more desirable environment than might be possible through the strict application of the code.
3. The PUD would not be in harmony with the general purpose and intent of the code, as circumventing the sign code is not the intent of the PUD process.
4. The PUD is not in harmony with PZ zoning district, as the proposed design is not the best utilization of the site within the context of the area in which it is located.

ATTACHMENTS

Draft Resolution of Denial
Location/Zoning Map
Applicant's Narrative & Response to 9 Design Principles
Project Plan Set
2013 White Oak Phase Two Concept Plans
Circulation Graphic

RESOLUTION NO.

**RESOLUTION DENYING A PRELIMINARY PLAT
AND PLANNED UNIT DEVELOPMENT
AT 4600 CENTERVILLE ROAD
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-1-P & 22-1-PUD) has been submitted by Marvin Development III LLC / Border Foods to the City Council requesting a Preliminary Plat and Planned Unit Development from the City of White Bear Lake at the following site:

ADDRESS: 4600 Centerville Road

LEGAL DESCRIPTION: Part of the North 194.41 feet of the South half of the SW quarter of the SE quarter of Section 16, Township 30, Range 22, Ramsey County, MN lying westerly of the right-of-way line of Interstate Highway No. 35E and except the North 160.00 feet of the West 183.00 feet of said South half of the SW quarter of the SE quarter. (PID #: 163022430017)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: A Preliminary Plat to subdivide one parcel into two, and approval of both “general concept stage” and “development stage” Planned Unit Development, per Code Section 1301.070, in order to construct a fast food restaurant with a drive-thru and a pylon sign; and

WHEREAS, the Planning Commission has held a public hearing as required by the City Zoning Code on May 23, 2022; and

WHEREAS, after hearing from the public and considering the applicant’s requests, the Planning Commission voted to forward the request to the City Council with a ____ recommendation that the request be denied; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission considering the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of White Bear Lake hereby denies the request, based upon the findings and determinations as follows:

1. The higher standards of site and building design are not commensurate with the deviation from code.
2. The proposed layout does not create a more desirable environment than might be

RESOLUTION NO.

possible through the strict application of the code.

3. The PUD would not be in harmony with the general purpose and intent of the code, as circumventing the sign code is not the intent of the PUD process.
4. The PUD is not in harmony with PZ zoning district as the proposed design is not the best utilization of the site within the context of the area in which it is located.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Kara Coustry, City Clerk

W.P. Township

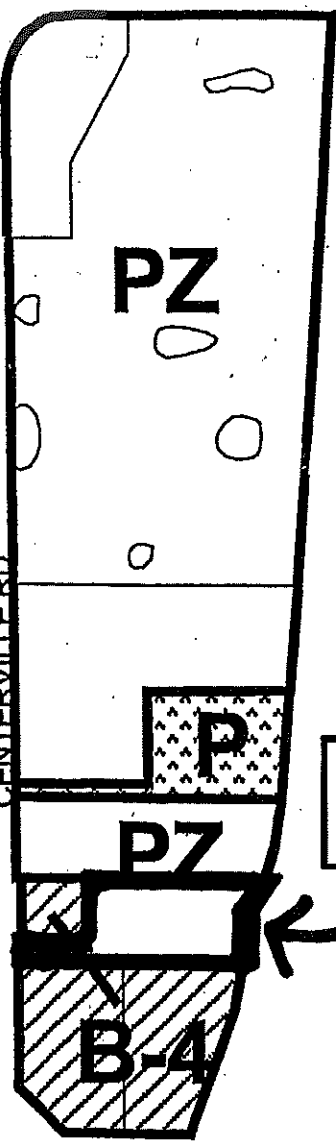
Vaara's Heights

CENTERVILLE RD

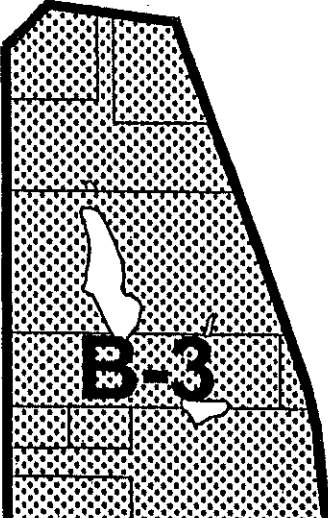
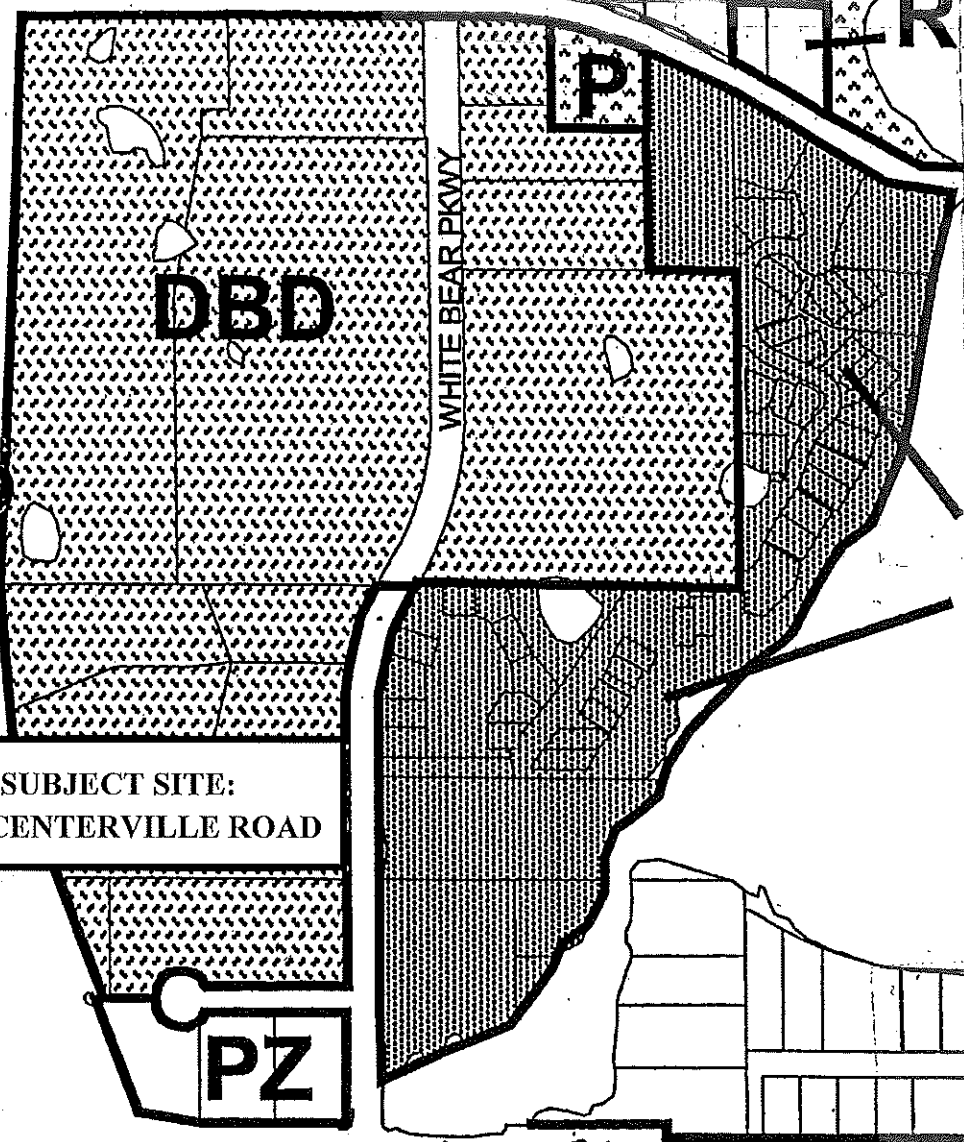
WHITE BEAR PKWY

HWY. 96

I-35 E



SUBJECT SITE:
4600 CENTERVILLE ROAD

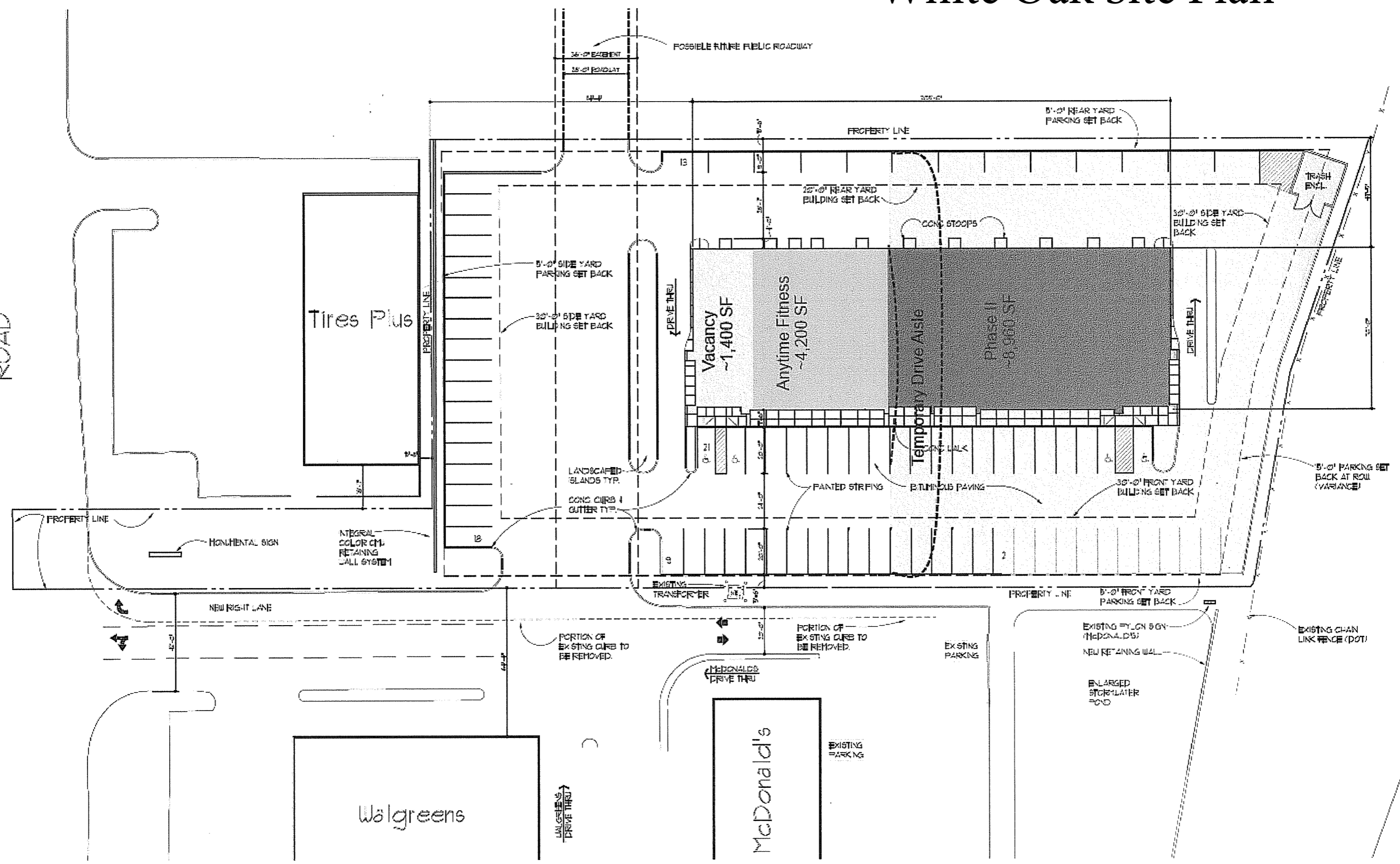


City of
White Bear Lake
Planning and Zoning Office
(612) 429-8561

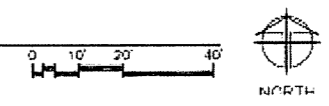
CASE NO. : 22-1-PUD & 22-1-P
 CASE NAME : Taco Bell
 DATE : May 23, 2022

White Oak Site Plan

CENTERVILLE ROAD

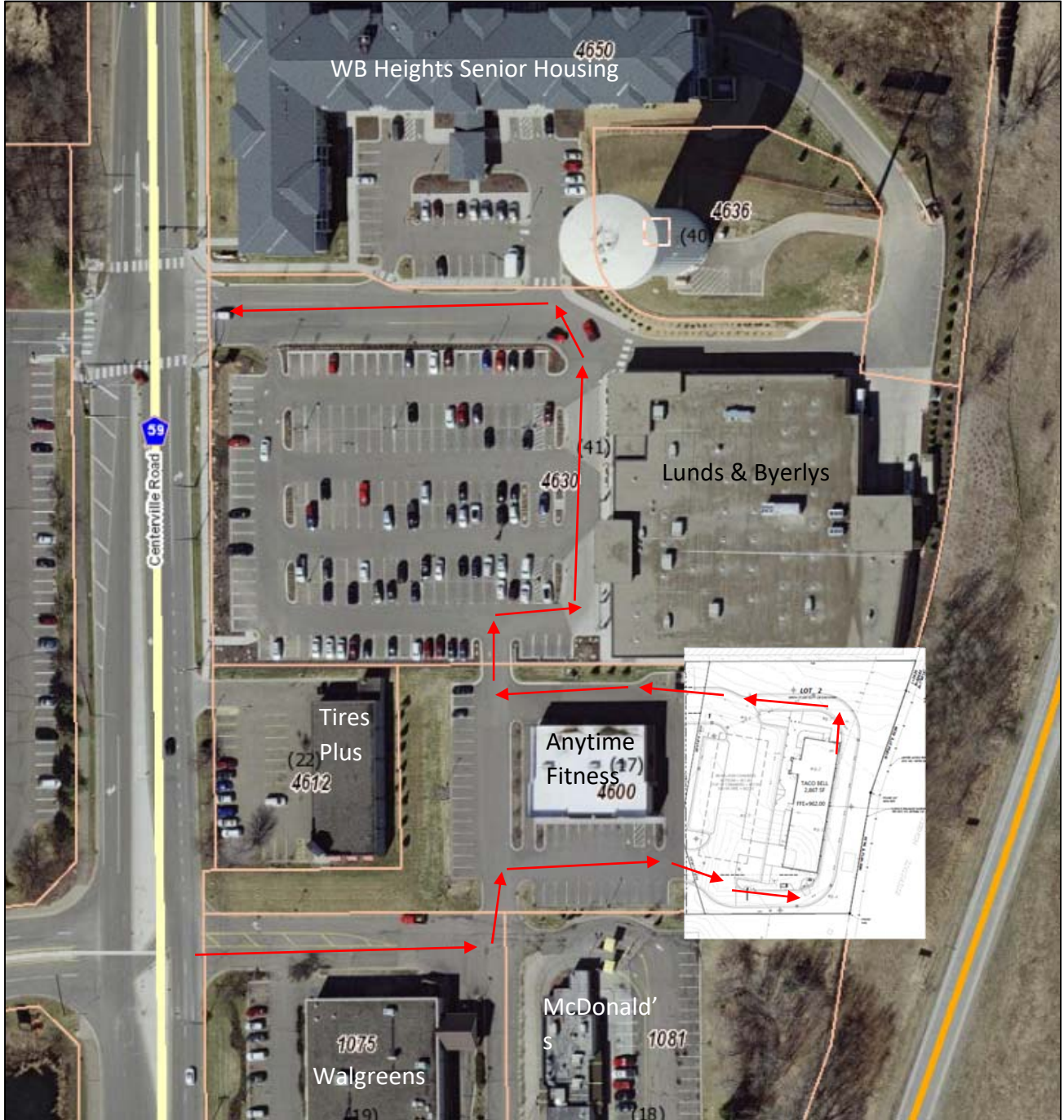


1 SITE PLAN
A1.1 1"=20'-0"



35E SB EXIT RAMP

CIRCULATION GRAPHIC





5425 Boone Avenue North
New Hope, MN 55428

Prepared For:
City of White Bear Lake
4701 Highway 61
White Bear Lake, Minnesota 55110

To Whom it May Concern:

Border Foods is a local franchisee of Taco Bell Corp. and has been operating Taco Bell restaurants since 1996. Our founders are Lee and Jeff Engler who have been operating restaurants in Minnesota since 1980 beginning with Los Primos Restaurant in Southdale. Since 2009, our company has completed numerous ground up restaurants throughout the metro and in greater Minnesota.

Marvin Development III, LLC on behalf of Border Foods, LLC is proposing to purchase the easterly portion of the existing property located at 4600 Centerville Road, White Bear Lake, MN 55127 and build a modern rectangular building that is 2,867 sq. ft. and involves the use of a single drive thru lane. This provides circulation that moves the drive thru lane to the perimeter of the parcel along the east side of the building. Below, we have addressed the Nine Design Principles.

This submittal is being made as a P.U.D. application to request flexibility from certain aspects of the zoning code as they would relate to this property including a restaurant drive-thru lane, pylon sign for the Taco Bell site, and a landlocked parcel with shared access agreements to the public street and easements to private utilities.

This lot had previously been approved for construction in two phases which included an addition to the retail building. The city council had approved a conditional use permit for two drive-through facilities. Per previous resolutions approved by city council, the addition and second drive-through were considered consistent with the city's comprehensive plan. It was found to be consistent with existing and future land uses in the area as well. Council confirmed that the past proposal conformed to the zoning code and was shown to not over burden the existing public services. It was also shown that the traffic generation would be within capabilities of the existing streets.

Our proposal of a 2,876 sq. ft. separate building with a single drive-thru lane is similar to what has been previously considered and approved by city council. Our use is a retail addition with one drive-through facility. This use does not substantially deviate from the expected future use of this parcel.

The drive-thru has been designed to meet the requirements as outlined in the B-3 Zoning District. We have made several enhancements to the design which exceed minimum city code requirements for consideration of the flexibility towards the items mentioned above. Such enhancements include increased landscaping to the site, brick and stone exterior finishes on the

building (Taco Bell Corporate standard is James Hardie Fiber Cement Siding), increased stormwater quality treatment, along with several Leed Sustainable Design strategies such as bicycle storage, Heat island effect-Roof (white TPO roofing), Low-emitting materials, electric vehicle charging stations, and sustainable cleaning products to name a few. We value improving both our site as well as the neighboring area to overall benefit the community as a cohesive whole.

Regionalism

Historically, this area has been developed since the 1960's for commercial use, with our proposed site being zoned "P-Z" - Performance Zone District. This zoning district indicates as Conditional Uses for all permitted, accessory, and conditional uses allowed within the "O" through "B-6" zoning districts. Restaurants are a permitted use in the "B-6" district and drive-through require a Conditional Use Permit in the "B-3" district as is being applied for this submittal under the P.U.D. application. The primary architectural design and finishes of the building utilize neutral colors of brick and stone which blend well with the surrounding buildings developed in this community over its history.

Context

The project has been designed to fit within the confines of the site and topography with efficiency of layout for required parking, function of drive-thru lane and positioning of the building for both customer use and aesthetically pleasing views from nearby public roadways. With feedback from city staff, we have adjusted our site plan to include reducing our drive thru to one lane, shifting our building to effectively eliminate a retaining wall on the north side of the property, added additional landscaping around our building, reduced the brand colors on the building, added stone and brick in lieu of our brand standard fiber cement board, widened driveway areas, and shown appropriate traffic flow via a traffic study. We are eager to be a part of the White Bear Lake community to offer a service to the area that will benefit patrons and are willing to make these adjustments to fit well with the city.

We are also requesting the installation of a pylon sign on the east side of our property to have visibility from I-35. We have measured the existing neighboring McDonald's pylon sign and determined we can be slightly shorter and still maintain visibility. This is vital to the wellbeing of our business as this will provide recognition to vehicles traveling on I-35 past our location, contributing to the economic vibrancy of the area.

Scale and Massing

The proposed Taco Bell building is a 1-story structure which is consistent with buildings located on adjacent properties. The customer dining area incorporates extensive storefront windows providing daylighting/views for all within. Landscaping has been provided throughout the property to both enhance the site and screen portions of the building.

Composition

Our Taco Bell is built with the utmost intent and attention to detail. We have designed a roof with high parapet walls that extend the entire perimeter of the building providing for varying heights and screen the mechanicals on the roof. An internal trash room within the building footprint has been incorporated into the design which eliminates the need for an unsightly exterior trash corral. The building was intentionally designed to be as sleek and tidy as possible to enhance the surroundings.

Hierarchy

When first looking at our proposed Taco Bell, you will see the main focal point: the Taco Bell sign and logo above the front door. This will help identify the building easily for customers. You will also notice the clean look of brick veneer and stone border to match the surrounding retail buildings.

Color

In order to match the surrounding architecture, the primary exterior materials are a combination of tan and dark gray brick veneer and stone with corner tower and entry tower accent of prefinished metal wall panels. The naturally durable brick and stone along with the prefinished metal panels carrying a 30-year warranty on the finish will insure an attractive building for the long term. Our building will modestly reveal the classic 'Taco Bell purple'. Per the feedback from the Planning Commission, we have significantly reduced the purple across our building for a more natural and blended appearance while still complying with our brand image. We believe the amount of purple represented in our design is proportionately equivalent or less than other national franchise businesses in the surrounding area such as Applebee's, Arby's, AutoZone, Cub Foods, Holiday, Tires Plus, and McDonald's to name a few. Color building elevations will be provided with our vision.

Detail and Craftsmanship

We will be utilizing a local Twin Cities contractor that has built many of our restaurants. We also use Fullerton Building Systems on all our projects. Fullerton prefabricates the exterior walls and roof structure. Constructing our building off site allows for the construction site to be less loud, busy, and obstructive for our neighbors throughout the construction process. We have perfected this system over numerous Taco Bells we have built and have found it to be a far superior process. You may look at some of our recent projects listed below:

- 12320 Wayzata Blvd, Minnetonka, MN 55305
- 3015 Holiday Lane, Eagan, MN 55121
- 9816 Hospital Dr N, Maple Grove, MN 55369
- 7049 10th St N, Oakdale, MN 55128
- 100 Schumann Drive NW, Stewartville, MN 55976

Transformation

We are supporting White Bear Lake's image of being environmentally conscious by installing electric charging stations to be used by patrons. By providing these charging stations, we will draw drivers from I-35 to charge their vehicles. In turn, this will bring customers into the area to support the community. We understand the importance of White Bear Lake being at the forefront of clean energy and are contributing this additional service to help offset our P.U.D. application's zoning code flexibility requests while reinforcing the city's goals. By adding another retail option to the trade area, we are contributing to the vitality of the surrounding businesses.

Our building size and layout can be repurposed for a variety of retail uses. For example, in 2019 Chipotle took over one of vacated spaces in Shakopee, MN. While this is not our intent, our design and footprint will be well serving to the local community for the indefinite future.

Simplicity

We have worked extensively with city staff over the past 6 months to adjust overall site layout, landscaping, exterior elevations, and finishes of the "corporate brand approved" Taco Bell

restaurant design. We believe our concept fits in perfectly with the surrounding retail trade area. We also feel our concept is substantially similar to the previously approved and expected use of the parcel.

As always we are open to additional feedback to help facilitate our fit within the community and contribute to economic prosperity. Thank you for considering our project and working with us to find a way forward.

Kind Regards,

Shannon Marcus

Shannon Marcus

Real Estate Development Assistant

From: Greg Dahling
Sent: Tuesday, April 12, 2022 3:09 PM
To: Samantha Crosby <scrosby@whitebearlake.org>
Subject: Taco Bell - White Bear Lake

Good Afternoon Samantha,

Pylon Sign: We are requesting deviation from code requirements specific to the site pylon sign to allow visibility from the adjacent Interstate 35E. Due to this site's location, there is not good visibility available fitting within the parameters of the zoning code allowances due to the existing site being elevated high above I-35E and a large grove of existing trees between I-35E and the majority of the site. We are requesting similar pylon signage as the adjacent McDonald's property. An outline of the specific variance requests to the pylon are indicated below:

- Freestanding Pylon signs are allowed in the B-W, I-1 and I-2 districts. The P-Z zoning district of this property is not listed. We are requesting to have a pylon sign of similar size and height as the existing adjacent McDonalds property to allow for visibility from the adjacent Interstate 35E much the same as the existing McDonalds has.
 - Adjacent McDonald's property is zoned B-4, which is also not listed in the approved zoning districts to allow a pylon sign.
- In those zoning districts that are permitted pylon signs, the maximum area of the sign permitted is 120 sq. ft. We are proposing a 150 sq. ft. pylon sign. In our experience at other similar locations and the recommendation of the sign manufacturer, due to the distance from I-35E and the speed of traffic on I-35E - the 150 sq. ft. sign is the proper size to allow for recognition of our business's location.
 - We estimate the size of the existing McDonald's pylon sign to be about 11.5 ft. x 14 ft in size, or 161 sq. ft.
- In those zoning districts that are permitted pylon signs, the maximum height of the sign permitted is 25'-0" above grade. Due to the existing grove of trees between our site and I-35E and the elevation of our site compared to I-35E, the 25'-0" pylon sign would not have any visibility from I-35E. We are proposing a pylon sign with an overall height of 55'-0" to allow viewing from I-35E, similar to the existing McDonald's pylon sign.
 - The adjacent McDonald's property's pylon sign field measured to be 48'-6" to the bottom of the sign. Estimated to be 60'-0" to the top of the McDonald's pylon sign.
- The required setback from the property line for pylon signs is 10'-0". The current location indicated on the plan is 9 feet to the post and 4 feet to the edge of the cabinet. It has been placed in this location to be consistent with the placement of the adjacent McDonald's pylon sign. This location allows visibility over the top of the existing trees and keeps our sign spaced far enough away from the McDonald's sign to avoid blocking visibility to their sign.
- Sheet A104 of the plans submitted provides diagrams, images and details of the proposed pylon sign for visual reference to the proposed height, size, and location requests outlined above.



Perspective 1

05.05.2022



Perspective 2

05.05.2022



Perspective 3

05.05.2022



Perspective 4

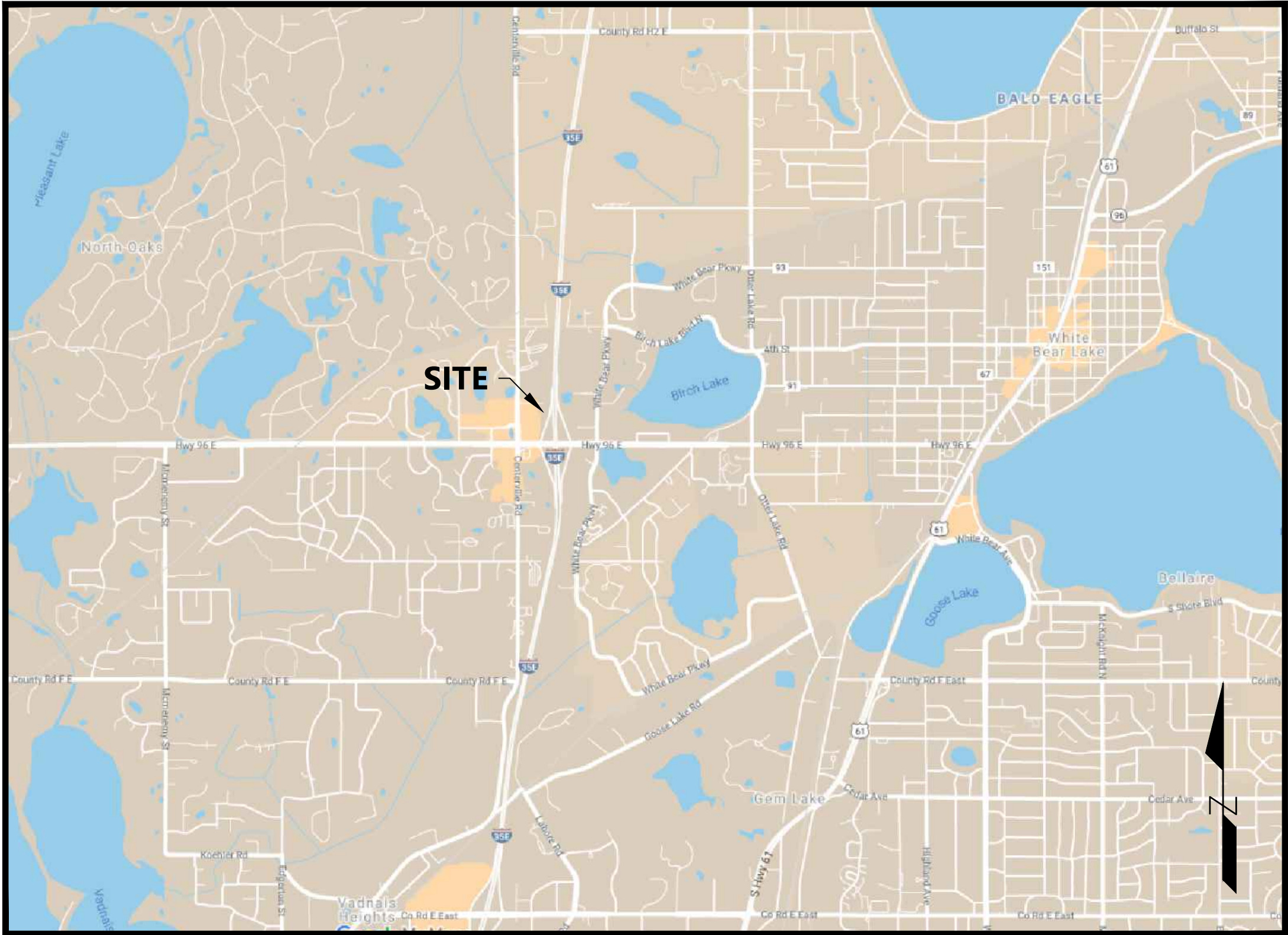
05.05.2022

SITE IMPROVEMENT PLANS

FOR

WHITE BEAR LAKE TACO BELL

WHITE BEAR LAKE, MN



Vicinity Map
(NOT TO SCALE)

PREPARED FOR:

BORDER FOODS, INC.

5424 BOONE AVENUE N

NEW HOPE, MN 55428

CONTACT: ZACH ZELICKSON

PHONE: (763) 489-2968

EMAIL: ZZELICKSON@BORDERFOODS.COM

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0030322.00

CONTACT: TYLER D. MAXSON

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	ALTA NSPS LAND TITLE SURVEY
C2.0	PRELIMINARY PLAT
C3.0	CIVIL SITE PLAN
C4.0	GRADING & EROSION CONTROL PLAN
C5.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
T1.0	WB-40 TURNING MOVEMENT
T1.1	L812 TURNING MOVEMENT
T1.2	L914 TURNING MOVEMENT

NO.	DATE	REVISION	SHEETS
	01/10/22	CITY COMMENTS	
	04/11/22	CITY COMMENTS	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	

SITE IMPROVEMENT PLANS

FOR

WHITE BEAR LAKE TACO BELL
 WHITE BEAR LAKE, MN

INITIAL SUBMITTAL DATE: 12/13/21 SHEET: C0.0

DESIGNED:	12/13/21
CHECKED:	07/10/22
DRAWN:	04/11/22
DATE:	04/11/22

PREPARED FOR:
BORDER FOODS, INC.
5424 BOONE AVENUE N
NEW HOPE, MN 55428

WHITE BEAR LAKE
TACO BELL
WHITE BEAR LAKE, MN

WHITE BEAR LAKE
TACO BELL
WHITE BEAR LAKE, MN

Westwood
12701 Whitehawk Drive, Suite 600
Minnetonka, MN 55343
Phone: (952) 837-5100
Fax: (952) 837-5022
www.westwoodps.com

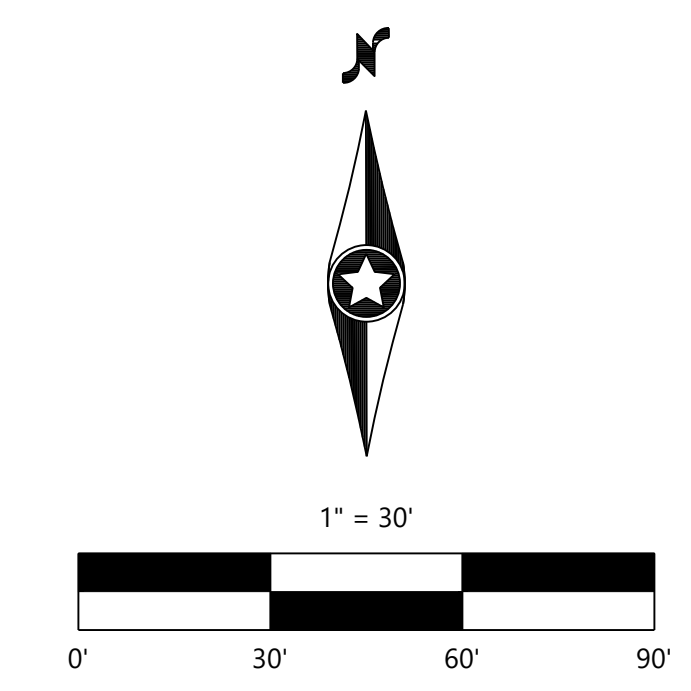
**ALTA/NSPS
LAND TITLE
SURVEY**

SHEET NUMBER:
C1.0

DATE: 04/11/22

LEGEND

⊙	SANITARY MANHOLE	⊠	ELECTRIC BOX	⊠	HAND HOLE/JUNCTION BOX	⊙	BUSH/SHRUB	—	BOUNDARY LINE	—	PUG	—	POWER UNDERGROUND
⊙	SEWER CLEANOUT	⊠	ELECTRIC METER	⊠	FIBER OPTIC PEDESTAL	⊙	CONIFEROUS TREE	—	RIGHT-OF-WAY LINE	—	SAN	—	SANITARY SEWER
⊙	STORM MANHOLE	⊠	ELECTRIC MANHOLE	⊠	NATURAL GAS METER	⊙	DECIDUOUS TREE	—	LOT LINE	—	FO	—	FIBER OPTIC
⊙	BEEHIVE CATCH BASIN	⊠	STREET LIGHT	⊠	STEEL/WOOD POST	⊙	FOUND MONUMENT	—	EASEMENT LINE	—	X	—	FENCE LINE
⊙	CATCH BASIN	⊠	DOWNSPOUT	⊠	SIGN	⊙	FOUND CAST IRON MONUMENT	—	GAS	—	—	—	CONTROLLED ACCESS
⊙	FLARED END SECTION	⊠	CULVERT	⊠	HANDICAPPED STALL	⊙	SET MONUMENT	—	POH	—	—	—	CURB & GUTTER
⊙	CATCH BASIN MANHOLE	⊠	IRRIGATION VALVE	⊠	CURB STOP BOX	⊙	HYDRANT	—	STO	—	—	—	CONCRETE SURFACE
									WAT	—	—	—	BITUMINOUS SURFACE



POSSIBLE ENCROACHMENTS

- 1 FENCE LINE CROSSES OVER SUBJECT PROPERTY LINE



LEGAL DESCRIPTION (PER TITLE COMMITMENT NO. ORTE747508)

That part of the North 194.41 feet of the South Half of the Southwest Quarter of the Southeast Quarter, Section 16, T. 30, R. 22, Ramsey County, Minnesota, lying Westerly of the right of way line of Interstate Highway No. 35E and except the North 160.00 feet of the West 183.00 feet of said South Half of the Southwest Quarter of the Southeast Quarter.

TOGETHER WITH that certain non-exclusive easement for ingress and egress as granted in that certain Easement and Use Agreement filed February 5, 2008, as Document No. 4078342.

GENERAL NOTES

- This survey was prepared using Old Republic National Title Insurance Company, Title Commitment Number ORTE747508 having an effective date of March 21, 2021 at 7:00 A.M.
- Address of subject property: 4600 Centerville Road, White Bear Lake, MN 55127. (Table A, Item 2)
- Subject property appears to be classified as "Zone X" (area of minimal flood hazard) when scaled from Flood Insurance Rate Map Community - Panel Number 27123C0035G, dated 06/04/2010. (Table A, Item 3)
- Subject property contains 80,007 Sq. Ft. or 1.84 acres. (Table A, Item 4)
- According to the zoning record provided by the client, dated September 29, 2021 the subject property is currently zoned P2-Performance Zone. Setbacks are as follows. (Table A, Item 6 (b))
Front Yard: 30 feet
Interior Side Yard: 10 feet
Side Yard Abutting Street: 30 feet
Rear Yard: 30 feet
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in use or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (Gopher One Call ticket number: 212564968) (Table A Item 11)
- Adjacent Ownership information shown per Ramsey County GIS Website. (Table A, Item 13)
- There was no observable evidence of earth moving work, or outside building construction at the time of this survey. (Table A, Item 16)
- As of the date of this survey, there are no proposed changes in street right of way lines, per City of White Bear Lake 2021 Street Improvement Projects. As of the date of the field work was completed for this survey, there was no observable evidence of recent street or sidewalk construction or repairs. (Table A, Item 17)
- Based on the information contained within the title commitment listed above and a physical inspection of the subject property, the surveyor is not aware of any of site easements or servitudes other than shown herein. (Table A, Item 18)
- Contours are shown at 1-foot intervals based upon NAVD 88.

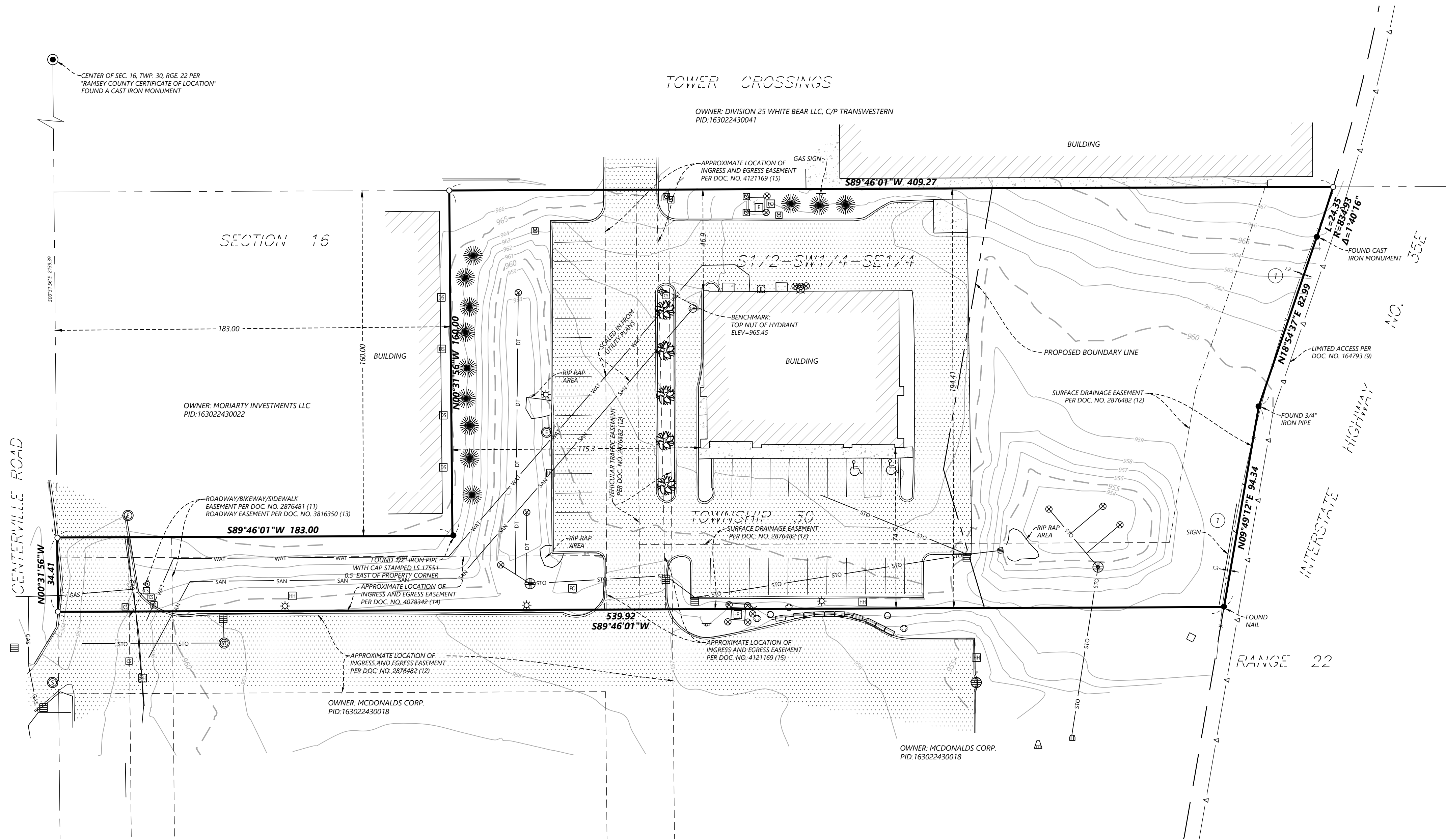
EXCEPTIONS (PER TITLE COMMITMENT NO. ORTE747508)

- The following notes correspond to the numbering system of Schedule B, Section II of the above mentioned title commitment.
- Limitations of rights of access in favor of the State of Minnesota as created in Warranty Deed dated February 16, 1965, filed March 23, 1965, as Document 1643793. (SHOWN ON SURVEY)
 - Easement for joint driveway purposes, together with incidental rights thereof, as set forth in that certain Easement Agreement dated September 14, 1962, filed January 31, 1966, as Document No. 1669084. (NOT ON SUBJECT PROPERTY)
 - Easements for roadway/bike/sidewalk purposes and for underground utility purposes, together with incidental rights thereof, as set forth in that certain Declaration of Easements dated June 22, 1995, filed July 11, 1995, as Document No. 2876481. (SHOWN ON SURVEY)
 - Declarations, restrictions and easements as set forth in that certain Declaration of Easements and Use Restrictions dated June 22, 1995, filed July 11, 1995, as Document No. 2876482. (SHOWN ON SURVEY)
 - First Amendment to Declaration of Easements and Use Restrictions dated October 19, 1995, filed November 29, 1995, as Document No. 2900316
 - Subject to a road easement over part of the property as evidenced by that certain Warranty Deed dated October 26, 2004, filed December 16, 2004, as Document No. 3816350. (SHOWN ON SURVEY)
 - Covenants, terms and conditions set forth in that certain Easement and Use Agreement dated June 7, 2007, filed February 5, 2008, as Document No. 4078342. (SHOWN ON SURVEY)
 - Covenants, terms, conditions and easement(s) set forth in that certain Drainage Easement and Use Restriction Agreement dated September 29, 2008, filed October 10, 2008, as Document No. 4121169. (SHOWN ON SURVEY)
 - Terms and conditions of City of White Bear Lake Resolution No. 10478 amending a conditional use permit filed March 30, 2009, as Document No. 4148781. (NOT PLOTTABLE)

CERTIFICATION

TO OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; MARVIN DEVELOPMENT III, LLC.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAILED REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 8, 11(b), 13, 16, 17 and 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 09/21/21.

CHRISTOPHER R. FOLEY, LS DATE 10/18/21
MN LICENSE NO. 55343, EXPIRATION 06/30/2022
CHRIS.FOLEY@WESTWOODPS.COM

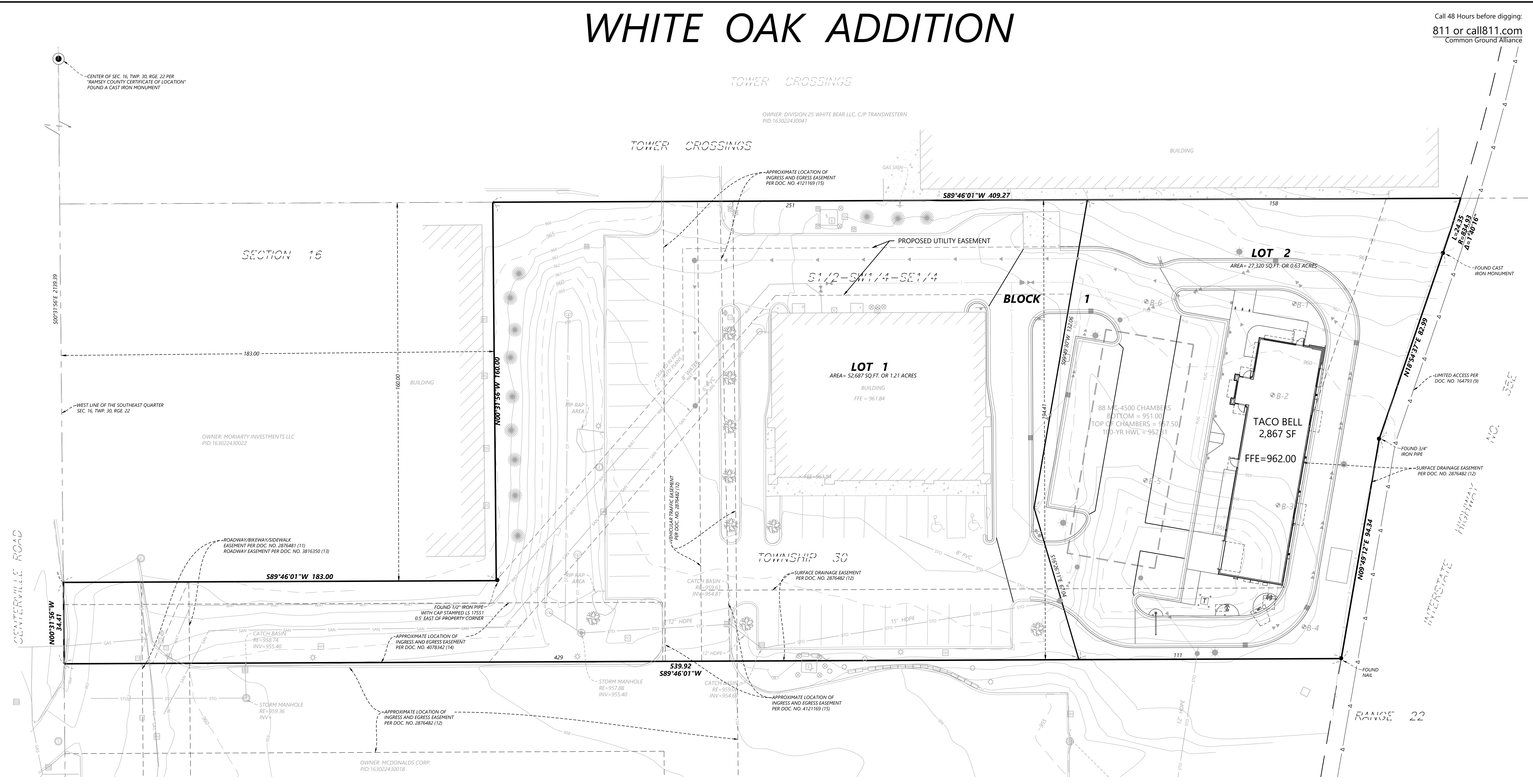


NOT FOR CONSTRUCTION

WHITE OAK ADDITION

Call 48 Hours before digging:
811 or call811.com
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DESIGNED:	12/13/21
CHECKED:	07/10/22
DRAWN:	04/11/22
HORIZONTAL SCALE:	AS SHOWN
VERTICAL SCALE:	AS SHOWN

PREPARED FOR:
BORDER FOODS, INC.
5424 BOONE AVENUE N
NEW HOPE, MN 55428

PROPERTY OWNER: MCDONALDS CORP.
PID: 163022430018
DATE: 04/11/22

WHITE BEAR LAKE
TACO BELL
WHITE BEAR LAKE, MN

Westwood
12701 Whitewater Drive, Suite 8000
Minneapolis, MN 55433
www.westwoodps.com

LEGAL DESCRIPTION (PER TITLE COMMITMENT NO. ORTE747508)

That part of the North 194.41 feet of the South Half of the Southwest Quarter of the Southeast Quarter, Section 16, T. 30, R. 22, Ramsey County, Minnesota, lying Westerly of the right of way line of Interstate Highway No. 35E and except the North 160.00 feet of the West 183.00 feet of said South Half of the Southwest Quarter of the Southeast Quarter.

TOGETHER WITH that certain non-exclusive easement for ingress and egress as granted in that certain Easement and Use Agreement filed February 5, 2008, as Document No. 4078342.

GENERAL NOTES

- This survey was prepared using Old Republic National Title Insurance Company, Title Commitment Number ORTE747508 having an effective date of March 21, 2021 at 7:00 A.M.
- Address of subject property: 4600 Centerville Road, White Bear Lake, MN 55127.
- Subject property appears to be classified as "Zone X" (area of minimal flood hazard) when scaled from Flood Insurance Rate Map Community - Panel Number 27123C0035G, dated 06/04/2010.
- Subject property contains 80,007 Sq. Ft. or 1.84 acres.
- According to the zoning report provided by the client, dated September 29, 2021 the subject property is currently zoned PZ-Performance Zone.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (Gopher One Call ticket number: 212564968)
- Contours are shown at 1-foot intervals based upon NAVD 88.

LEGEND

	SANITARY MANHOLE		ELECTRIC BOX		HAND HOLE/JUNCTION BOX		BUSH/SHRUB		BOUNDARY LINE		PLUG		POWER UNDERGROUND
	SEWER CLEANOUT		ELECTRIC METER		FIBER OPTIC PEDESTAL		CONIFEROUS TREE		RIGHT-OF-WAY LINE		SAN		SANITARY SEWER
	STORM MANHOLE		ELECTRIC MANHOLE		NATURAL GAS METER		DECIDUOUS TREE		LOT LINE		FIBER OPTIC		FENCE LINE
	BEEHIVE CATCH BASIN		STREET LIGHT		STEEL/WOOD POST		FOUND MONUMENT		EASEMENT LINE		CONTROLLED ACCESS		CURB & GUTTER
	CATCH BASIN		DOWNSPOUT		SIGN		FOUND CAST IRON MONUMENT		GAS LINE		CONCRETE SURFACE		BITUMINOUS SURFACE
	FLARED END SECTION		CULVERT		HANDICAPPED STALL		SET MONUMENT		POWER OVERHEAD		STORM SEWER		PROPOSED PROPERTY LINE
	CATCH BASIN MANHOLE		IRRIGATION VALVE		CURB STOP BOX		HYDRANT		STORM SEWER		WATERMAIN		PROPOSED CURB AND GUTTER

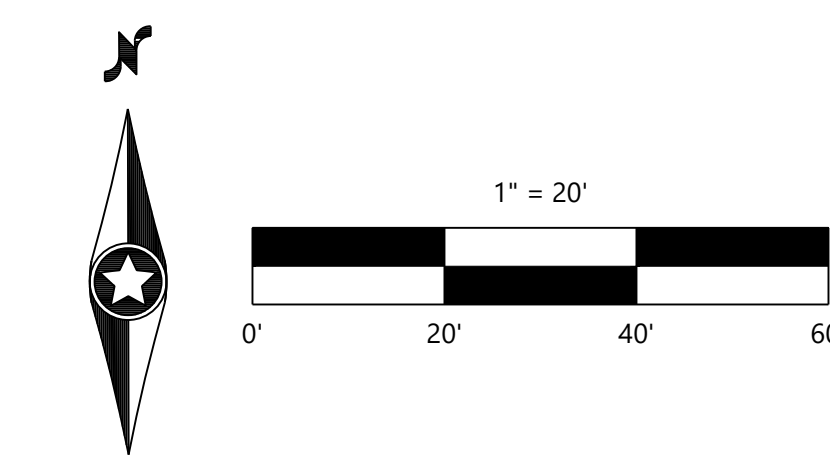
OWNER:
White Oak Development Company LLC
10608 Sanctuary Drive Northeast
Minneapolis, MN 55449

SURVEYOR/ENGINEER:
Westwood Professional Services, Inc.
3701 12th Street North, Suite 206
St. Cloud, Minnesota 56303

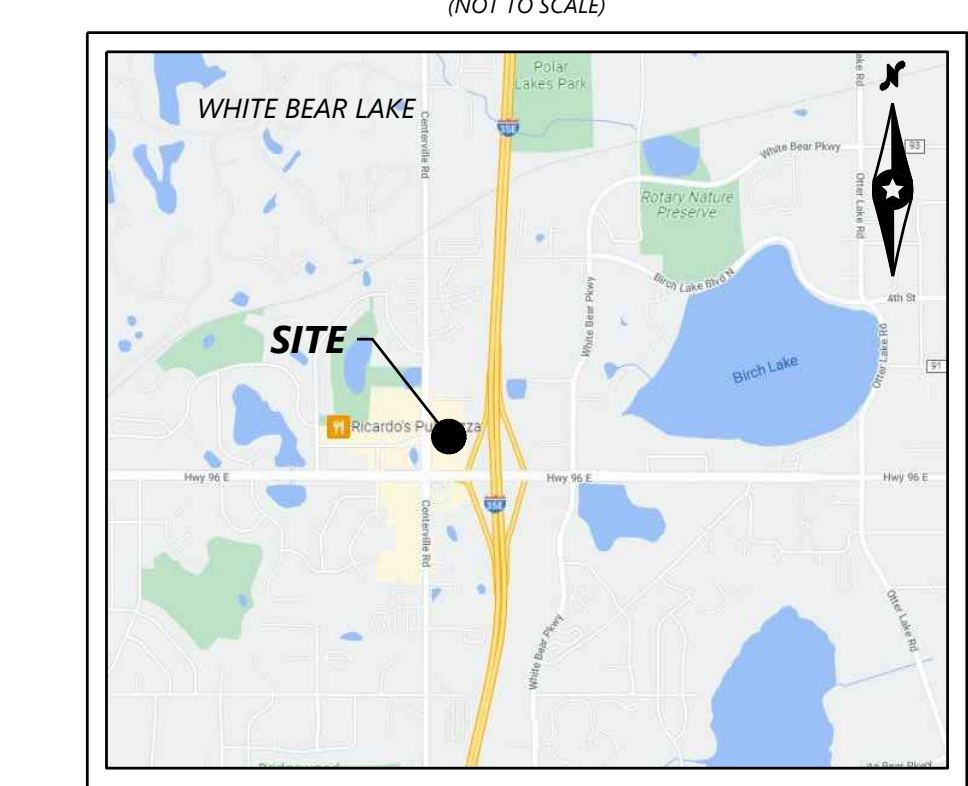
PID:
163022430017

LOT AREA CHART

LEGAL DESCRIPTION	LOT AREA (ACRE)
LOT 1	1.21 AC.
LOT 2	0.63 AC.
TOTAL	1.84 AC.



VICINITY MAP (NOT TO SCALE)



PRELIMINARY
PLAT

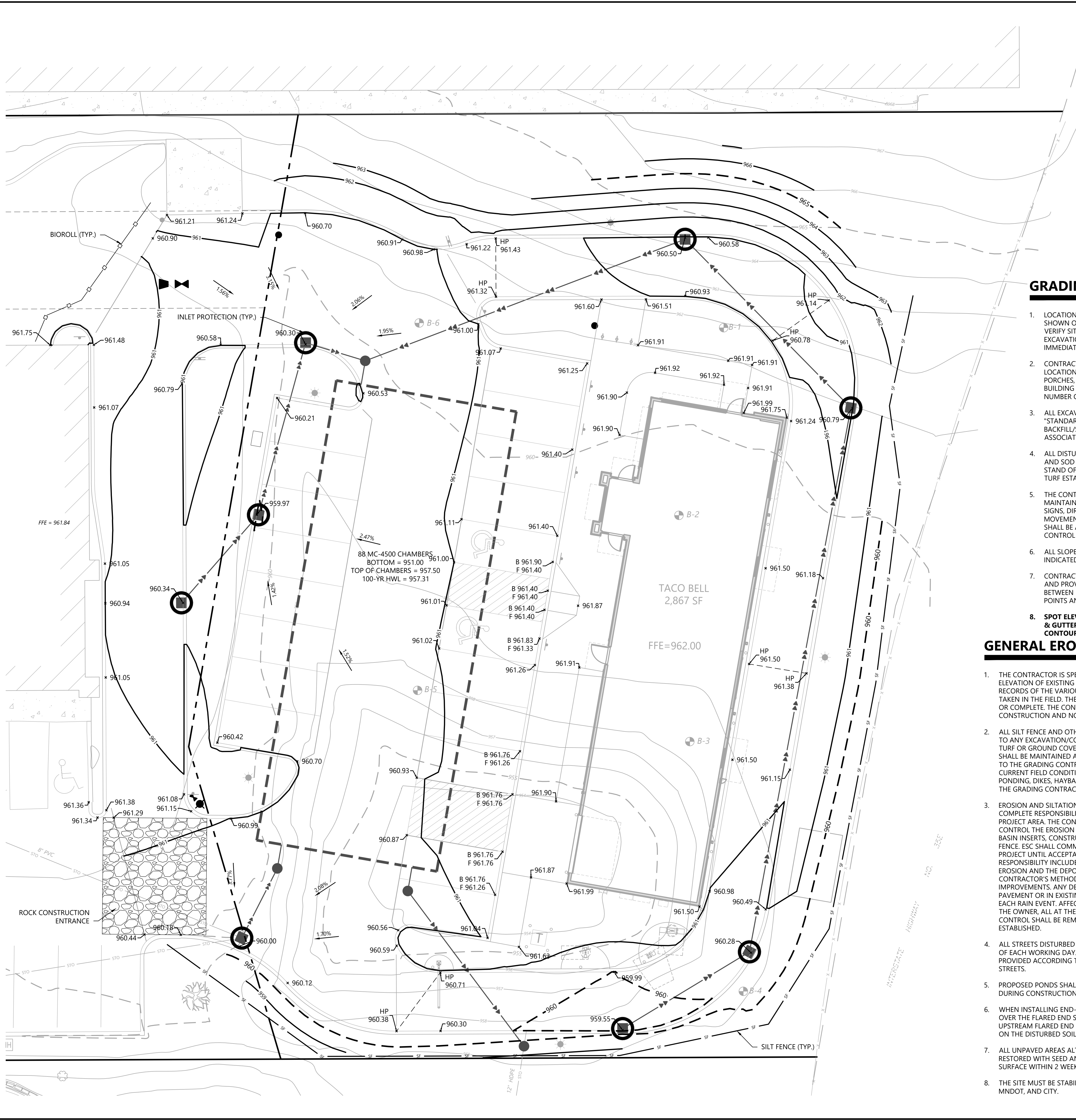
SHEET NUMBER:

C2.0

DATE: 04/11/22

PROJECT NUMBER: 0030322.00

WHITE BEAR LAKE TACO BELL



GRADING LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

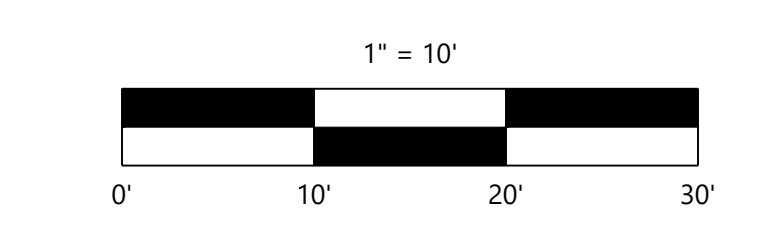
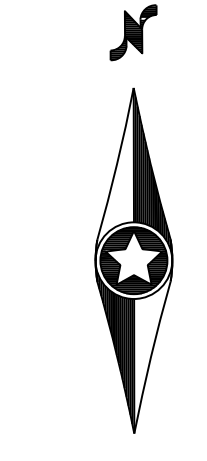
Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
- TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
- TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
- GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
- MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
- PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.



NOT FOR CONSTRUCTION

DESIGNED:	DMP
CHECKED:	DMP
DATE:	07/10/22
CITY COMMENTS:	
DATE:	04/11/22
CITY COMMENTS:	
HORIZONTAL SCALE:	1" = 30'
VERTICAL SCALE:	1" = 10'

PREPARED FOR:
BORDER FOODS, INC.
 5424 BOONE AVENUE N
 NEW HOPE, MN 55428

VERIFIED CERTIFY THAT THE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 TYLER D. WAXSON
 DATE: 04/11/22 LICENSE NO. _____

**WHITE BEAR LAKE
 TACO BELL**
 WHITE BEAR LAKE, MN

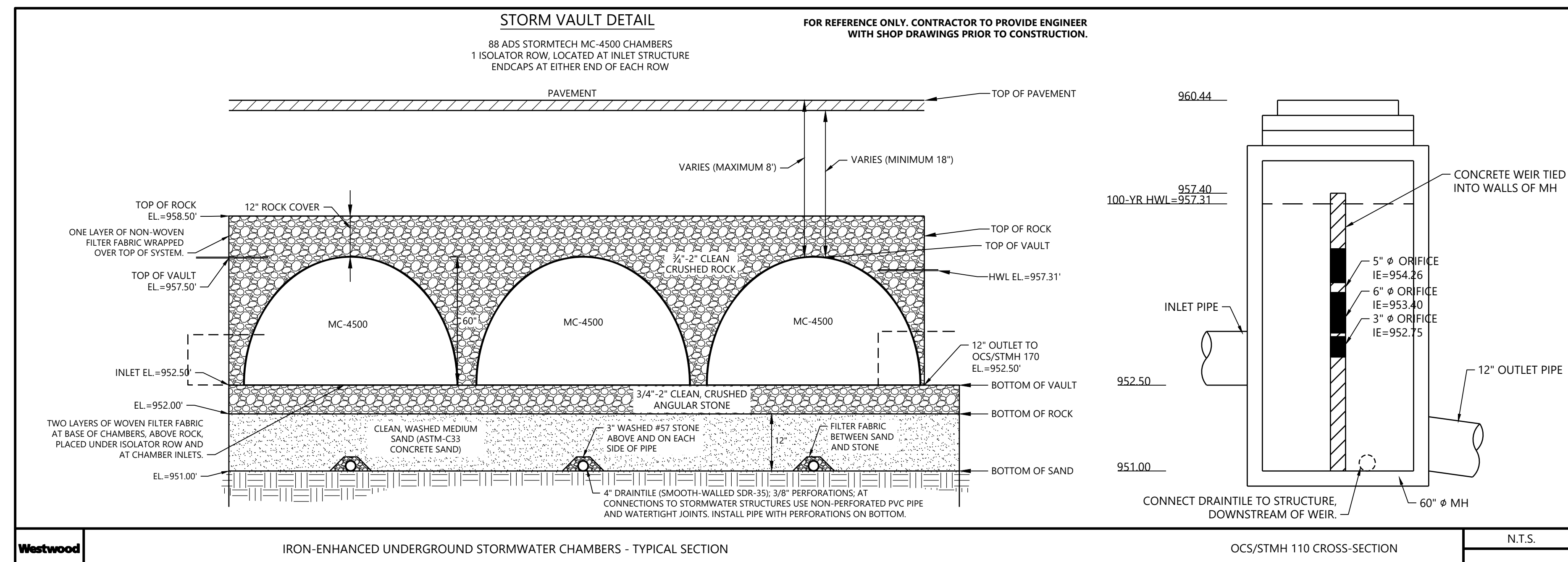
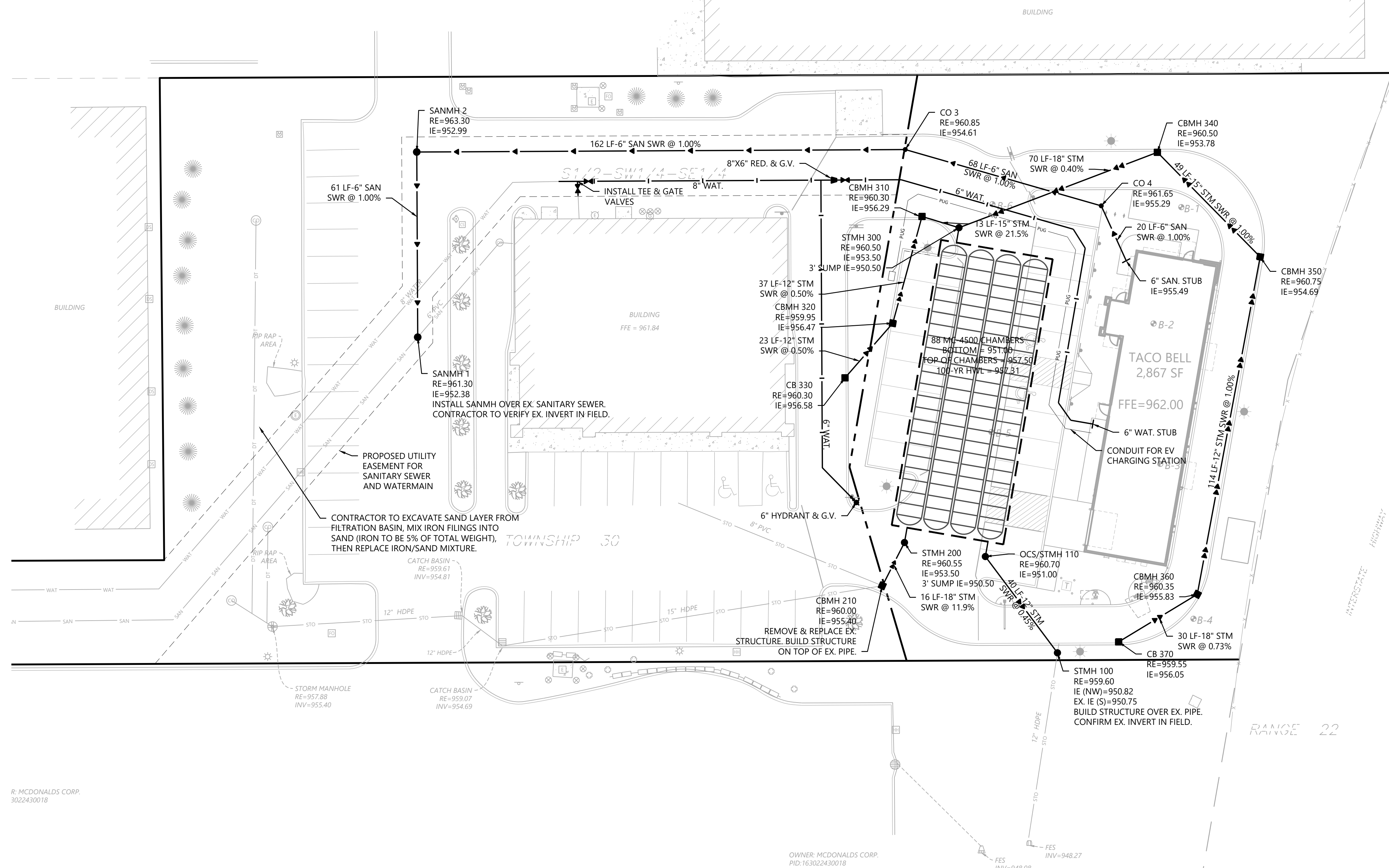
Westwood
 Professional Services, Inc.
 12701 Whitehawk Drive, Suite 6000
 Minneapolis, MN 55434
 (612) 937-5100
 (612) 937-5022
 Fax: (612) 937-5022
 westwood@westwoodps.com
 westwoodps.com

**GRADING &
 EROSION
 CONTROL PLAN**

SHEET NUMBER:
C4.0
 DATE: 04/11/22
 PROJECT NUMBER: 0030322.00

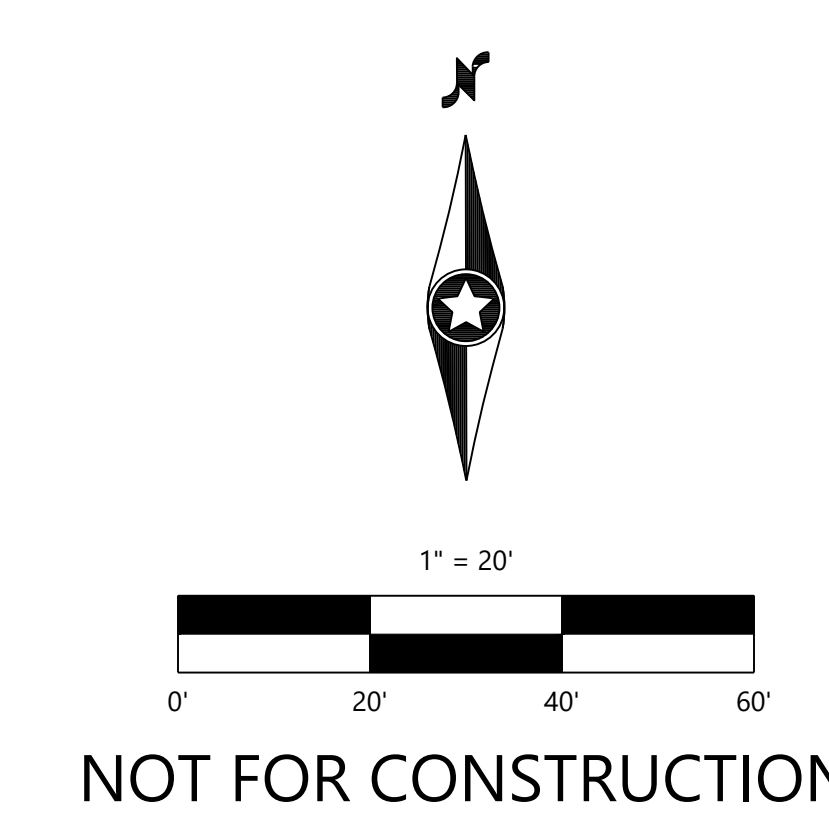
GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5" MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
 - HDPE STORM PIPE 4- TO 10- INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60- INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A796 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET.



UTILITY LEGEND

EXISTING	PROPOSED	PROPERTY LINE
SAN	---	EASEMENT LINE
STO	---	CURB AND GUTTER
WAT	---	SANITARY SEWER
WAT	---	STORM SEWER
GAS	---	WATER MAIN
PUG	---	HYDRANT
POH	---	GAS
TMS	---	UNDERGROUND ELECTRIC
TOH	---	OVERHEAD ELECTRIC
FO	---	UNDERGROUND TELEPHONE
CTV	---	OVERHEAD TELEPHONE
DT	---	TELEPHONE FIBER OPTIC
	---	CABLE TELEVISION
	---	DRAIN TILE
	---	GATE VALVE
	---	FLARED END SECTION (WITH RIPRAP)
	---	LIGHT POLE



DESIGNED: DMP
CHECKED: DMP
DRAWN: TDM
HORIZONTAL SCALE: 30'
VERTICAL SCALE: 1"=10'

INITIAL ISSUE: 12/13/21
REVISIONS: 07/10/22 CITY COMMENTS
04/11/22 CITY COMMENTS

PREPARED FOR: **BORDER FOODS, INC.**
5424 BOONE AVENUE N
NEW HOPE, MN 55428

UTILITY SERVICES SHALL BE PROVIDED BY THE CITY OF MINNESOTA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE COST OF ALL UTILITY CONNECTIONS AND SERVICE LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND FOR THE REPAIR OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.

TYLER D. WAXSON
DATE: 04/11/22 LICENSE NO. _____

WHITE BEAR LAKE TACO BELL
WHITE BEAR LAKE, MN

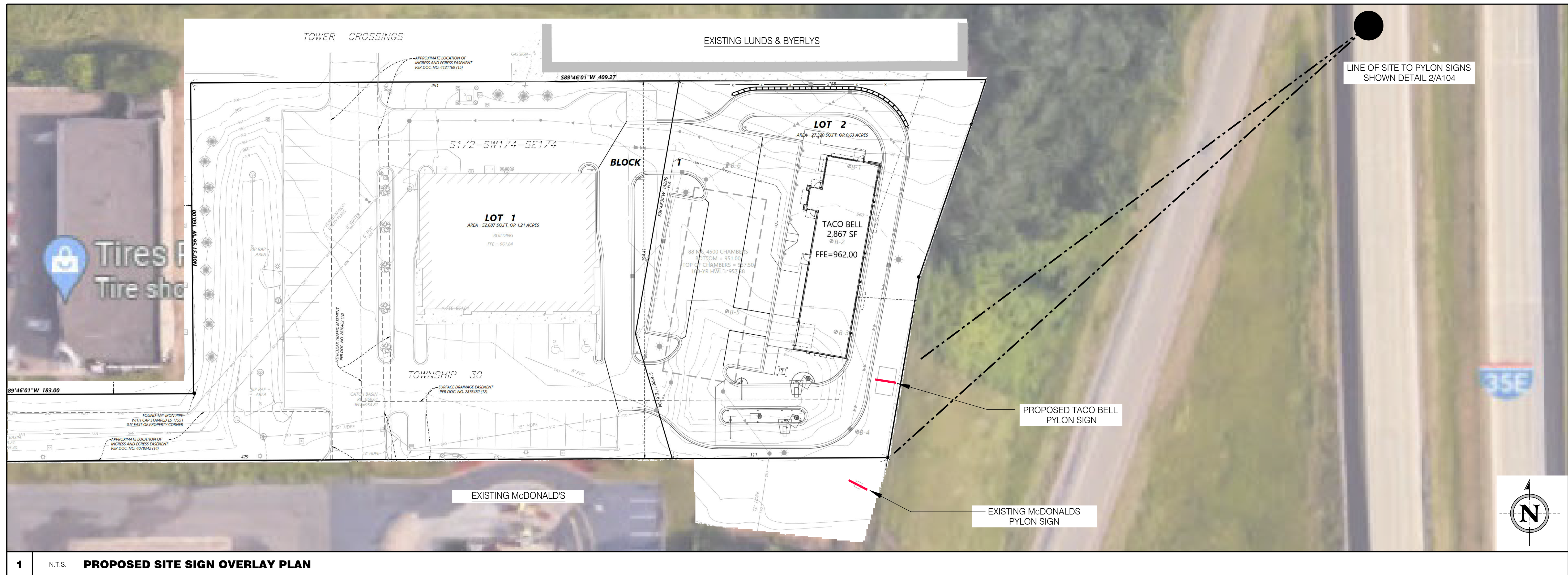
Westwood
12701 Whitewater Drive, Suite 6000
Minnetonka, MN 55343
Phone: (952) 837-5100
Fax: (952) 837-5022
www.westwoodps.com

UTILITY PLAN

SHEET NUMBER: **C5.0**

DATE: 04/11/22

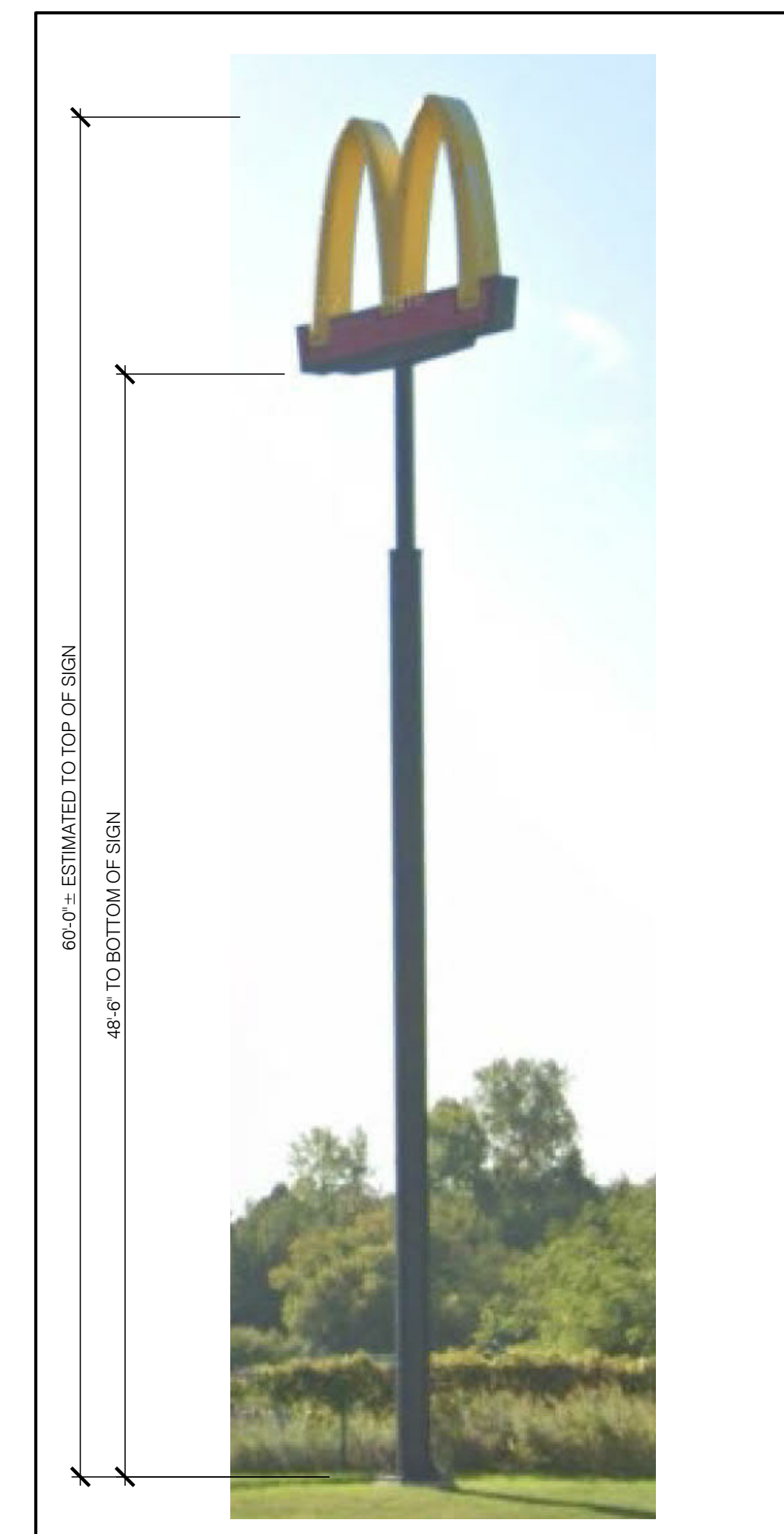
PROJECT NUMBER: 0030322.00



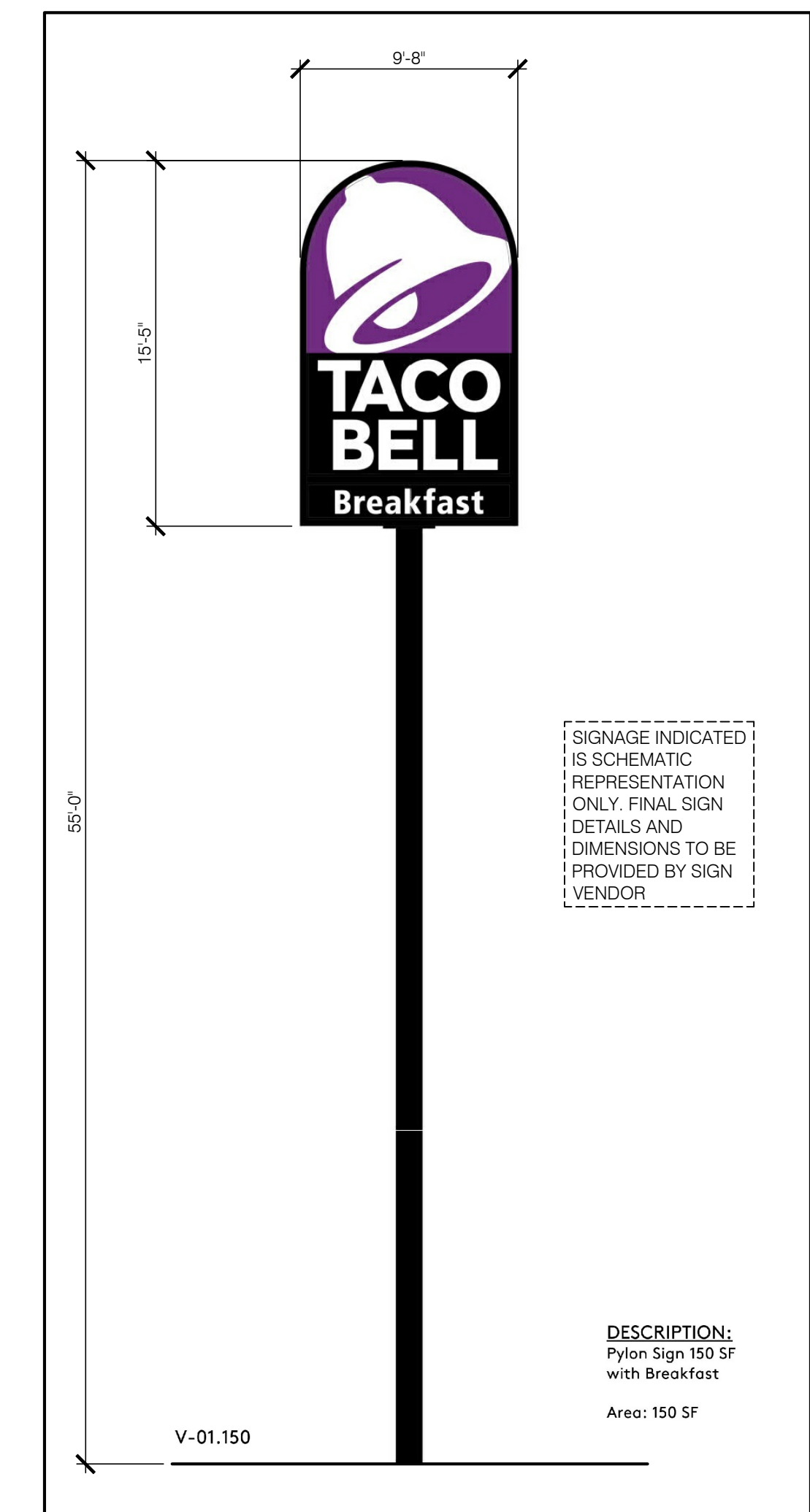
1 N.T.S. **PROPOSED SITE SIGN OVERLAY PLAN**



2 N.T.S. **SITE SIGN VIEW FROM I-35E**



3 N.T.S. **EXISTING McDONALDS SIGN**



4 N.T.S. **PROPOSED TACO BELL SIGN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name _____

License Number _____ Date _____



T.B.D. - LOT SPLIT OF EXISTING
4600 CENTERVILLE RD.
WHITE BEAR LAKE, MN 55127

Applicant/Owner:
MARVIN DEVELOPMENT III, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428
Tenant:
BORDER FOODS
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428
Contact: Zach Zelikson
Phone: 763-489-2968

ENDEAVOR
40 SEATS / 2,867 S.F.

PROJECT NO.: TB20-08

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

P.U.D. SUBMITTAL: 12.13.2021

CITY COMMENTS: 01.10.2022

CITY COMMENTS: 04.11.2022

PRELIMINARY - NOT FOR CONSTRUCTION

PYLON SIGN DETAILS

A104

TACO BELL, WHITE BEAR LAKE, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name _____

License Number _____ Date _____



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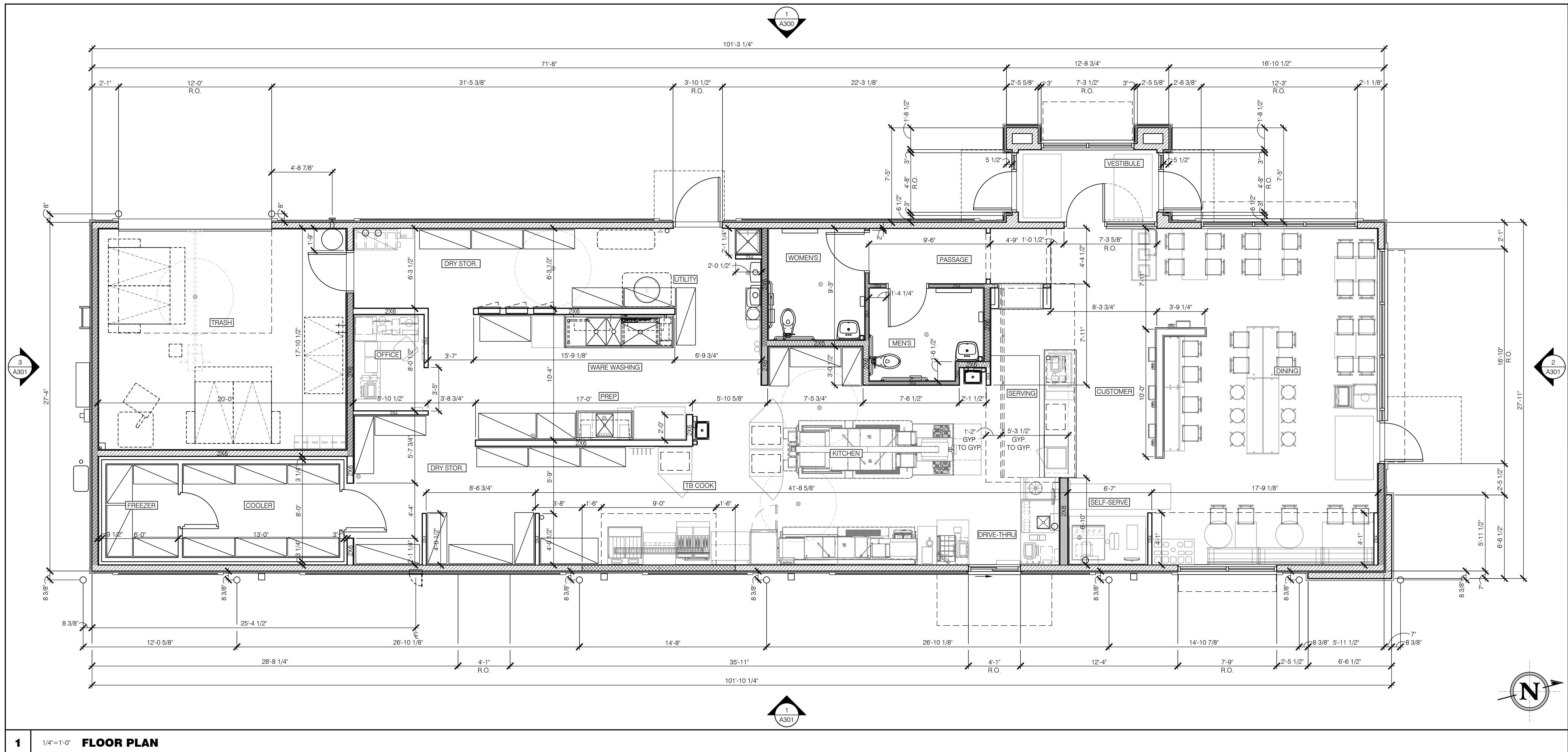
CITY COMMENTS: _____ 04.11.2022

PRELIMINARY - NOT FOR CONSTRUCTION

FLOOR PLAN

A200

TACO BELL, WHITE BEAR LAKE, MN



1 1/4"=1'-0" **FLOOR PLAN**

WALL LEGEND

	TYPICAL EXTERIOR WALL: 2X6 WD. STUDS AT 16" O.C. WITH SHEATHING AS SCHEDULED (SEE STRUCTURAL DRAWINGS) AND R-21 FIBERGLASS BATT INSULATION U.N.O. FULLERTON SHALL PROVIDE EXTERIOR AIR BARRIER.
	TYPICAL INTERIOR WALL: 2X4 WD. STUDS AT 16" O.C. (2X6 OR 2X8 WHERE NOTED).
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL WITH 3 1/2" OR 5 1/2" UNFACED FIBERGLASS BATT INSULATION.
	HOOD WALL: TYPICAL EXTERIOR WALL WITH METAL STUDS, 1/2" CEMENT WALL BOARD AND 20 GA. S.S. PANEL BEHIND HOOD.
	SHEAR WALL: (SHOWN SHADED - VERIFY LOCATIONS WITH FULLERTON PLANS) PLYWOOD SHEAR WALL SHEATHING FROM SILL PLATE TO TOP PLATE PER FULLERTON PLANS. INSTALL SECOND LAYER OF SHEATHING PER WALL SUBSTRATE OUTLINE BELOW AS REQUIRED TO ACCOMMODATE FINISHES SCHEDULED. (WHERE WALL FACE EXTENDS BEYOND SHEAR WALL - EXTEND SECOND LAYER OF SHEATHING SO FINISHES RUN CONTINUOUS.)

WALL SUBSTRATES: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION

- DINING ROOM: 1/2" GYPSUM WALLBOARD FROM TOP OF SLAB TO 6" ABOVE CEILING HEIGHT U.N.O. SEE 17 & 19/A503. (NOTE: 1/2" CEMENT BOARD IS TO BE SUBSTITUTED FOR GYPSUM WALLBOARD FOR THE FIRST 5' A.F.F. FOR BASE TILE APPLICATION.) (SEE ELEVATION DRAWING SHEET A600 FOR LOCATIONS)
- KITCHEN & WALK-IN COOLER/FREEZER WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO 12" A.F.F. SEE 20/A503. 1/2" CDX PLYWOOD WITH F.R.P. SURFACE FINISH FROM 12" A.F.F. TO 6" ABOVE CEILING HEIGHT U.N.O. 1/2" CEMENT WALLBOARD FULL HEIGHT ON METAL STUD WALLS AT HOOD WITH STAINLESS STEEL WALL PANEL LOCATIONS. SEE HOOD WALL LEGEND ABOVE.
- RESTROOM WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO TOP OF CERAMIC TILE FINISH, WITH 1/2" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. (SEE SHEET A201 FOR HEIGHTS AND LOCATIONS) NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 18/A503.
- TRASH ROOM WALLS: FIRE RATED WALLS TO RECEIVE FULL HEIGHT GYPSUM WALLBOARD. ALL OTHER WALLS TO RECEIVE 1/2" PLYWOOD FROM FINISHED FLOOR TO 6'-0" A.F.F. THEN 1/2" GYPSUM WALLBOARD FROM PLYWOOD TO CEILING. FIRE RATED WALLS TO RECEIVE 1/2" PLYWOOD OVER GYPSUM WALLBOARD AND ALL WALLS TO RECEIVE WHITE F.R.P. FROM FINISHED FLOOR TO 3'-0" A.F.F. WITH HORIZONTAL F.R.P. TRIM CAP. (SEE KEYNOTES #38 AND #43)
- ALL OTHER FRAME WALL CONDITIONS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO HEIGHT OF CERAMIC TILE FINISH, WITH 1/2" GYPSUM WALLBOARD FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. FINISH AS SCHEDULED.

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD U.N.O. REFER TO FOUNDATION PLAN FOR FACE OF CONCRETE DIMENSIONS.
- DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MINIMUM REQUIRED NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES WITH VENDOR PRIOR TO INTERIOR WALL FRAMING.

WINDOWS / DOORS:

- SEE SHEET A000 FOR WINDOW TYPES AND DOOR SCHEDULE.
- ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENINGS.

FINISH SUBSTRATES:

- PROVIDE 1/2" THICK CEMENT WALL BOARD, FROM FLOOR SLAB TO 5" OR 12" A.F.F. MINIMUM (SEE WALL LEGEND) IN LIEU OF GYPSUM WALLBOARD AT WALLS EXCEPT SHEARWALL SURFACES, U.N.O.
- ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.
- ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.N.O.

DECOR:

- SEE A203 FOR FLOOR FINISHES.
- SEE A204 FOR CEILING FINISHES.
- SEE A205 FOR SEATING PLAN AND DETAILS.
- SEE A600, A601 AND A602 FOR WALL FINISHES.

GENERAL:

- FULLERTON BUILDING SYSTEMS TO ENSURE THAT ALL NAIL / SCREW FASTENING POINTS ARE CLIPPED OFF / REMOVED WITHIN WALL CAVITY PRIOR TO INSTALL OF WALL INSUL. AND VAPOR BARRIER. G.C. TO COORDINATE.
- FULLERTON BUILDING SYSTEMS TO ENSURE ALL "L" ROOF TRUSS CLIPS AND FASTENERS ARE INSTALLED CORRECTLY WITHIN THEIR RESPECTIVE CLIP SLOTS. G.C. TO COORDINATE.
- G.C. TO PROVIDE UNFACED FIBERGLASS BATT INSULATION R-21 WITH POLY VAPOR BARRIER AT EXTERIOR WALL STUD CAVITY. TAPE AND SEAL ALL VAPOR BARRIER SEAMS.
- OWNER TO PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 LB. ABC AND (1) K CLASS - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
- THESE DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
- ALL ATTACHMENTS MADE THROUGH WALLS SHALL BE SLEEVED OR GROMMET SET IN SEALANT TO PREVENT DAMAGE TO THE FINISH.
- ALL PENETRATIONS THROUGH WALLS & CEILINGS SHALL BE SEALED USING MFRS. APPROVED METHOD.
- ALL WALL AND CEILING PENETRATIONS IN TRASH ROOM TO BE SEALED WITH A FIRE RATED SEALANT.
- PAINT ALL EXTERIOR EXPOSED PIPING TO MATCH ADJACENT WALL.
- PROVIDE 2" RIGID INSULATION R-10 WITH 1/2" BILDRITE PROTECTION BOARD ON EXTERIOR FACE OF RIGID INSULATION ON THE FOUNDATION, FROM TOP OF FOOTING TO TOP OF FOUNDATION CONTINUOUSLY AROUND PERIMETER OF FOUNDATION.

FLOOR PLAN KEY NOTES

- STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXTERIOR WALL STUDS).
- 6" STUD INTERIOR WALL, FINISHED PER WALL LEGEND.
- ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECTRICAL DRAWINGS.
- HOOD WALL, SEE WALL LEGEND.
- ALUMINUM ROOF LADDER AND SECURITY GATE. SEE DETAILS 9, 19 AND 20/A500.
- INSTALL OWNER SUPPLIED CO2 FILL BOX. SEE EXTERIOR ELEVATIONS 1/A300 AND DETAIL 4/A502. COORDINATE LOCATION WITH OWNER.
- ALUMINUM THRESHOLD, SEE DETAIL 1 AND 8/A501.
- MOP SINK. REFER TO SHEET A002 AND A205.
- PROVIDE STEEL PIPE BOLLARD AND INSTALL OWNER SUPPLIED YELLOW PROTECTIVE COVER. SEE CIVIL DRAWINGS. SEE DETAILS 2, 3 & 6/A504.
- INSTALL OWNER SUPPLIED S.S. CORNER GUARD / WALL CAP, TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAILS 11 AND 13/A503.
- ELECTRICAL PANELS RECESSED IN WALL. SEE ELECTRICAL DRAWINGS.
- NOT USED.
- PROVIDE 6" DIA. PVC CHASE THRU CEILING FOR SYRUP LINES. SEE DETAIL 2/A504.
- INSTALL OWNER SUPPLIED WALL MOUNTED WATER HEATER. CONTRACTOR TO PROVIDE REQUIRED FLUE VENTING.
- PROVIDE DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A000.
- KEEP CLEAR FOR UTILITIES AND SYRUP LINES. SEE DETAIL 3/A504.
- PROVIDE 6" DIA. PVC STUB THROUGH CEILING. SEE 6 & 6/A504. COORDINATE LOCATION WITH OWNER.
- DASHED LINE INDICATES CONCRETE STOOP. SEE STRUCTURAL DRAWINGS.
- WALL / BASE DETAIL AT HOOD WALL. SEE 9/A503.
- WALL / BASE DETAIL AT TOILET ROOM WALLS. SEE 18/A503.
- METAL STUDS AT WIDTH OF KITCHEN HOOD - EXTEND 1'-6" MIN. BEYOND EDGE OF HOOD.
- INSULATE TRASH ROOM WALLS AND CEILING.
- THRU WALL ROOF SCUPPER AND DOWNSPOUT.
- 3'-4'X7'-0" FINISHED OPENING. G.C. TO INSTALL OWNER SUPPLIED STAINLESS STEEL WRAP AT JAMBS AND HEAD.
- PROVIDE GREASE INTERCEPTOR. COVER PLATE TO BE FLUSH WITH FLOOR FINISH. SEE CIVIL AND PLUMBING DRAWINGS.
- WATER METER LOCATION. TO BE LOCATED AS TIGHT AS POSSIBLE TO EXTERIOR WALL.
- PARTIAL HEIGHT WALLS. SEE 5/A602 AND ELEVATIONS ON A600 FOR HEIGHT. PROVIDE 1/2" GYP. BD. SHEATHING AT ALL SURFACES AT CLUBBY FIXTURE OPENING. FINAL COORDINATE FINISHED OPENING WITH DECOR VENDOR.
- INSTALL OWNER SUPPLIED WINDOW SHADES AT LOCATIONS AND QUANTITIES VERIFIED THROUGH OWNER. WINDOW SHADES TO BE MANUFACTURER: ROLL-A-SHADE. PHONE: 1.888.245.5077. MODEL: LEGACY SYSTEMS, MANUAL OPERATION. MATERIAL: MEMMET KOOL BLACK, 5" OPENESS. COLOR: T.B.D. (BY OWNER). BRACKETS AND BOTTOM RAIL TO BE POWDERED COATED BLACK CLUTCHES TO BE BLACK WITH STAINLESS STEEL CHAIN AND BLACK CHILD SAFETY TENSION DEVICE. VERIFY WINDOW DIMENSIONS.
- PROVIDE NO SMOKING SIGNAGE ON ENTRY DOORS.
- PROVIDE 8" H. WHITE VINYL ADDRESS NUMBERS ON WINDOW AT TOP. SEE 1/A300.
- PULL STATION FOR HOOD FIRE SUPPRESSION SYSTEM.
- GAS METER.
- G.C. TO PROVIDE FIRE DEPARTMENT KNOX LOCK BOX. COORDINATE FINAL LOCATION WITH L.A.H.J.
- PROVIDE STEEL PLATE JAMBS AND HEAD AT OVERHEAD DOOR. EPOXY PAINT. SEE 2/A402.
- O.H. DOOR AS SCHEDULED.
- HOT AND COLD WATER HOSE BIB. SEE PLUMBING DRAWINGS.
- PROVIDE 1/2" PLYWOOD AND WHITE FRP WALL FINISH WITH TRIM FROM FINISHED FLOOR TO PLYWOOD BUMP RAIL. PAINT WALL AND BUMP RAILS ABOVE. SEE 14/A600.
- PROVIDE TREATED 3/4" PLYWOOD BUMP RAIL. SEE 14/A600.
- RECYCLE AND TRASH CONTAINERS PROVIDED BY OWNER.
- PROVIDE OVERHEAD CEILING MOUNTED GAS FIRED UNIT HEATER. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- SERVICE COUNTER PROVIDED BY OWNER'S DECOR VENDOR.
- WATER CONDITIONING SYSTEM. SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. SEE EQUIPMENT PLAN AND SCHEDULE.
- NOT USED.
- NOT USED.
- PROVIDE THRU WALL FRESH AIR IN-TAKE LOUVER AND SCREEN WITH BACK DRAFT DAMPER. SEE EXTERIOR AND MECHANICAL DRAWINGS.
- PROVIDE THRU CEILING / ROOF EXHAUST FAN. FAN CONTROLLED BY WALL SWITCH. SEE ROOF, REFLECTED CEILING, ELEC. AND MECH. DWGS. COORDINATE LOCATION. ALSO ELECTRICAL DRAWINGS.
- AUTOMATIC GARAGE DOOR OPENER MOUNTED TO CEILING AS SCHEDULED. SEE ALSO ELECTRICAL DRAWINGS.
- IF GAS SHUT OFF REQUIRED BY LOCAL INSPECTOR TO BE INTERIOR OF BUILDING (VERIFY); PROVIDE PROTECTIVE PIPE GUARD OR SHEET ROCK ENCLOSURE WITH ACCESS PANEL TO GAS SHUT OFF FROM B.O. GAS PIPE TO CEILING AS REQUIRED.
- GREASE COLLECTION SYSTEM TANK BY SANIMAX. PROVIDED AND INSTALLED BY OWNER.
- PARTIAL HEIGHT WALL. SEE DETAILS FOR ADDITIONAL INFORMATION.
- INSTALL VAPOR BARRIER ON FACE OF EXTERIOR 2X6 WALL STUDS TYP. FULL HEIGHT. INSTALL INTERIOR 2X4 WALL OVER VAPOR BARRIER TO BOTTOM OF SOFFIT FRAMING.
- 6'-0" DIAMETER SLOPED FLOOR TO DRAIN. SEE A203 FLOOR FINISH PLAN.
- DASHED LINE DENOTES METAL CANOPY ABOVE WITH LIGHTS.
- PROPOSED LOCATION OF 'ABC' CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
- PROPOSED LOCATION OF 'K' CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
- DASHED LINES DENOTE GYPSUM BOARD CEILING OR BULKHEAD ABOVE. SEE REFLECTED CEILING PLAN A204.
- OWNER SUPPLIED EASIWASH EQUIPMENT. INSTALL BY G.C.
- INSTALL OWNER SUPPLIED EASIWASH (EQUIP. #B-500) REMOTE VALVE & CONTROL STAINLESS STEEL ENCLOSURE. SEAL WALL PENETRATION AIR & WEATHER TIGHT. FINAL COORDINATE LOCATION WITH OWNER. G.C. TO PROVIDE PVC SLEEVE IN OFFICE WALL FRAMING.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

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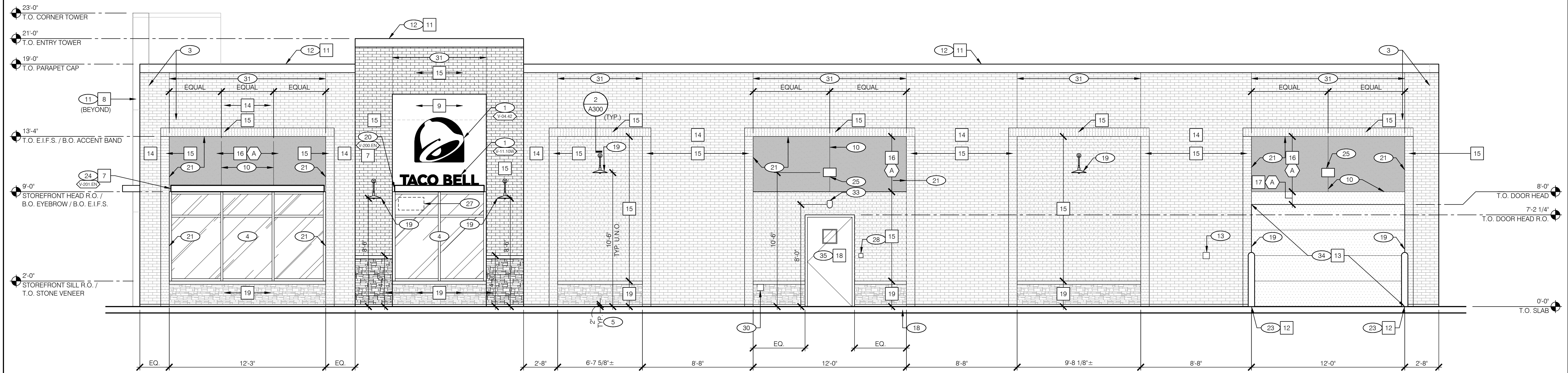
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PRELIMINARY - NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

A300

TACO BELL, WHITE BEAR LAKE, MN



1 1/4"=1'-0" WEST ELEVATION

2 NOT USED

QTY.	ITEM
1	GO MOBILE - EXPRESSION PANEL
1	GO MOBILE - EXPRESSION PANEL
1	GO MOBILE - EXPRESSION PANEL
1	GO MOBILE - EXPRESSION PANEL

EXTERIOR ARTWORK SCHEDULE

MISCELLANEOUS:

- SEE SHEET A000 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECIFICATIONS):

- SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.
- APPLY NEOPRENE GASKET (CONTINUOUS) BETWEEN BUILDING AND CANOPY.

"CRITICAL" DIMENSIONS:

- REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE / BUILDING ELEMENTS DIMENSIONS.

PAINTING:

- APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION. PRIMER: 1 COAT SW A24W8300 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES

QTY	ITEM DESCRIPTION	ELEC.
2	DRIVE-THRU AWNING 9'-0" X 4'-0" BLACK	X
1	VESTIBULE AWNING 7'-0" L. X 6'H. X 3'-0"D. BLACK (CUSTOM)	
1	SIDE EYEBROW (WINDOW) 12'-0" L. X 6'H. X 1'-4"D. BLACK	
1	FRONT EYEBROW (WINDOW) 16'-7" L. X 6'H. X 1'-4"D. BLACK	X
1	D.T. EYEBROW (WINDOW) 7'-8" L. X 6'H. X 1'-4"D. BLACK	

CANOPY AND BUILDING ACCENT SCHEDULE

QTY	ITEM DESCRIPTION	ELEC.
1	TACO BELL PYLON / GO MOBILE SIGN 9'-8"W X 15'-5"H SIGN FACE - T.O. SIGN AT 55'-0" ABOVE GRADE (150 S.F.)	X
3	42" SWINGING BELL PURPLE LOGO. 3'-6"H. X 3'-10 1/2"W. (13.53 S.F.)	X
2	14" WHITE CHANNEL LETTERS - WALL MOUNTED (9.9 S.F.)	X
1	10" WHITE CHANNEL LETTERS - AWNING MOUNTED (5.01 S.F.)	X

NOTE: SIGNAGE UNDER SEPARATE PERMIT

SIGN SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144"L. X 8.25" W.; 7' EXPOSURE - COMES PRIMED FOR PAINT - PAINT: WORLDLY GRAY (SW7043) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
2	SCUPPERS	-	PREFINISHED CYBERSPACE (SW7076) KYNAR 500 COATING	-
3	DOWNSPOUTS	-	PREFINISHED CYBERSPACE (SW7076) KYNAR 500 COATING	-
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" X 4.5" PAINT: CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM - PAINT: CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
6	ELECTRICAL EQUIPMENT	-	PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	-
7	AWNINGS	SIGNAGE VENDOR	BLACK BY SIGNAGE VENDOR	-
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
9	RECESS OF SIDE ENTRY PORTAL	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM - PAINT: SW PURPLE TB2603C SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
11	METAL PARAPET CAP	-	24 GA. GALVANIZED - CYBERSPACE (SW7076) KYNAR 500 COATING	-
12	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL	COVER PROVIDED BY OWNER, INSTALLED BY G.C.
13	OVERHEAD DOOR	-	PRE-FINISHED (COLOR TO MATCH CYBERSPACE (SW7076)) PROVIDE COLOR SAMPLE TO ARCHITECT FOR APPROVAL	-
14	THIN BRICK	INTERSTATE BRICK	ASH L-4 MATTE MODULAR THIN BRICK	SUPPLIER CONTACT: METRO BRICK, INC. - BRYAN BRACCINI, 952.417.0200, BRYANB@METROBRICKINC.COM
15	THIN BRICK	ENDICOTT CLAY PRODUCTS	MANGANESE IRONSPOT VELOUR MODULAR	SUPPLIER CONTACT: METRO BRICK, INC. - BRYAN BRACCINI, 952.417.0200, BRYANB@METROBRICKINC.COM
16	ACCENT COLOR (E.I.F.S.)	SHERWIN WILLIAMS	SW PURPLE TB2603C	SHERWIN WILLIAMS: BRAD HARRINGTON, 216-228-5558 X115 (PHONE), BRAD.HARRINGTON@SHERWIN.COM (EMAIL), E.I.F.S. CONTACT: STO CORP. - CHUCK DUFFIN, 949-894-2092 (PHONE), 949-894-2095 (FAX) CDUFFIN@STOCORP.COM (EMAIL)
17	ACCENT COLOR (E.I.F.S.)	SHERWIN WILLIAMS	CYBERSPACE SW7076	
18	HOLLOW METAL DOOR	-	PAINT CYBERSPACE (SW7076) SEMI-GLOSS	-
19	MANUFACTURED STONE	PROVIA	LEDGESTONE - OXFORD WITH GRAY WATER SILL GROUT: BLACK	-

EXTERIOR FINISH SCHEDULE

E.I.F.S. LEGEND / NOTES

A BASE THICKNESS - 1" THICK E.I.F.S.

PAINTING OVER E.I.F.S. APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION. PRIMER: 1 COAT SW A24W8300, LOXON CONCRETE & MASONRY PRIMER. FINISH: 2 COATS SW A82-100 SERIES, A-100 EXTERIOR LATEX SATIN

EXTERIOR ELEVATION KEY NOTES

- BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- DRIVE-THRU WINDOW. SEE SHEET A000 AND A200.
- DASHED LINE INDICATES ROOF BEYOND.
- STOREFRONT, TYPICAL.
- HOLD THIN BRICK FINISH ABOVE FINISHED GRADE PER MANUFACTURER'S RECOMMENDATIONS. (2" MIN. AT CONCRETE / BITUMINOUS; 4" MIN. AT SOIL / TURF / LANDSCAPING).
- SWITCH GEAR. PAINT TO MATCH WALL. PREP AS REQUIRED FOR PAINT ADHESION.
- NOT USED.
- NOT USED.
- ASSUME DRIVE-THRU LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING AND SITE PLAN.
- 1/2" W. X 1/2" D. V-GROOVE REVEAL.
- TOWER WITH THIN BRICK FINISH PROVIDED BY FULLERTON.
- PREFINISH PARAPET COPING.
- CO2 FILLER VALVE AND COVER. SEE DETAIL 4/A502 SIMILAR.
- EASIWASH EXTERIOR ACCESS PANEL. SEAL AIR & WEATHER TIGHT TO WALL WITH SEALANT TO MATCH ADJACENT EXTERIOR WALL FINISH.
- GAS SERVICE. DO NOT PAINT.
- WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- SCUPPER, COLLECTOR, AND OPEN FACE DOWNSPOUT. PROVIDE WITH FACTORY POWDER COAT OR KYNAR 500 PAINT FINISH - COLOR AS SCHEDULED. (BOTTOM OF DOWNSPOUT TO BE 6'-8" ABOVE GRADE)
- CONCRETE CURB.
- SCONCE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- METAL AWNING OVER VESTIBULE WINDOW PROVIDED AND INSTALLED BY SIGN VENDOR.
- THIN BRICK ACCENT WITH RETURN TO ADJACENT FINISH. SEE 8 & 13/A502.
- NOT USED.
- BOLLARD. SEE DETAIL 4/A101.
- METAL EYEBROW OVER WINDOWS PROVIDED AND INSTALLED BY SIGN VENDOR.
- WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- NOT USED.
- ADDRESS SIGN. 12" HIGH WHITE VINYL LETTERS APPLIED TO GLASS SURFACE.
- FIRE DEPARTMENT KNOX BOX.

- STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 19/A502.
- FULLERTON PANEL JOINT, WITH BACKER ROD AND SEALANT TO MATCH FINISH.
- DRIVE-THRU CANOPY BY VENDOR.
- EMERGENCY LIGHT FIXTURE WITH BATTERY BACK UP. SEE ELECTRICAL DRAWINGS.
- O.H. DOOR AS SCHEDULED.
- INSULATED HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH WALL.
- ALUMINUM ROOF ACCESS LADDER AND DOOR. (DO NOT PAINT) SEE DETAILS 9, 19 AND 20/A500.
- 12"X12" FRESH AIR INTAKE METAL GRILL. PAINT TO MATCH WALL AND SEAL AIR AND WEATHER TIGHT. VERIFY LOCATION. PAINT TO MATCH WALL.
- OVERFLOW SCUPPER. PROVIDE WITH FACTORY POWDER COAT OR KYNAR 500 PAINT FINISH - COLOR AS SCHEDULED. FULLERTON TO PROVIDE OPENING SIZED PER STATE PLUMBING CODE AT HEIGHT NOT TO EXCEED MAXIMUM PONDING WATER FOR WHICH THE ROOF STRUCTURE WAS DESIGNED FOR BY CODE.
- GREASE COLLECTION SYSTEM EXTERIOR CONNECTION BOX. PROVIDED AND INSTALLED BY OWNER.



City of White Bear Lake
Community Development Department

MEMORANDUM

To: The Planning Commission
From: Samantha Crosby, Planning & Zoning Coordinator
Date: May 23, 2022
Subject: Schafer Richardson /3600 & 3646 Hoffman Road / Case No. 22-2-PUD &

SUMMARY

A request for concept stage approval of a Planned Unit Development (PUD), in order to construct a 243-unit apartment complex in two buildings at the properties located at 3600 and 3646 Hoffman Road. See applicant's narrative. Staff recommends approval with adjustments.

GENERAL INFORMATION

Applicant/Owner: Schafer Richardson / WBL Land, LLC

Existing Land Use / Zoning: Stadium Bar & Grill and a single-family residence;
B-4 – General Business

Surrounding Land Use / Zoning: North: Hoffman Place Apts; zoned R-6 – Medium Density Residential
West: Burlington Northern RR & City of Gem Lake
South: Xcel Energy; zoned I-1 Limited Industry
East: The Barnum Apts; zoned R-7 – High Density Residential

Comprehensive Plan: TOD – Transit Oriented Mixed Use

Lot Size & Width: Code: None
Site: 5.7 acres; 440 feet

ANALYSIS

Background

The site is located at the northeast corner of Hoffman Road and Highway 61. It also includes the small triangular-shaped piece across Hoffman Road (on the northwest corner of Hoffman and 61). The applicants purchased the property in 2018 and have been leasing the site back to the Stadium owners since then. In 2020, the applicants constructed The Barnum Apartments, located directly to the east of the subject site. The project leased up in record time and has retained a very low vacancy rate.

On March 4th, the applicant held a neighborhood meeting to gather feedback regarding the concept plan. The notice was post mailed to 158 surrounding property owners. Six people attended the meeting. One of the residents who attended expressed excitement about the affordable component, as she had considered selling her house and moving to The Barnum, but couldn't afford it. Another resident expressed concerns about traffic, particularly if the north side parking lots were to connect. At the time, the plan was that they would not.

Comprehensive Plan / Density

It has long been the City's intent to concentrate development near higher capacity roadways, particularly along principal arterials such as County Road E. In June of 2021, the City finalized and adopted the 2040 Comprehensive Plan which designates the subject site as Transit-Oriented Development (TOD), and allows for 25 to 50 dwelling units per acre. At 243 units on 5.7 acres, the proposed project is 42.6 units per acre. For comparison purposes, The Barnum is 41.7 units per acre. Staff has not yet had time to draft and codify a new TOD zoning district that corresponds to the TOD land use category, therefore the proposal is being processed as a PUD.

Process

The PUD review and approval process typically consists of three (3) phases: General Concept Plan, Development Stage, and Final Plat. The concept phase is the entitlement phase. So long as the approval has not expired, and the plans do not substantially deviate or reveal additional previously undisclosed information, there is little authority to deny the next stages of the review and approval process. The first two stages require public hearings before the Planning Commission with a final determination by the City Council. The last step is the final plat (Council approval only) and an administrative review of the construction design drawings. This current request represents the initial phase of the PUD process: Concept Plan.

Building Height / Setbacks

The zoning code permits building height to be 35 feet to the mean by right, but allows heights above that when, for each additional story over three floors, or for each additional 10 feet above 40 feet, the front and side yard setback requirements are increased by 5%. The height of the southern (4 story) building is proposed to be 48 feet tall, and the height of the northern (5 story) building is proposed at 59 feet tall. With the additional height - 13 feet and 24 feet, respectively - the setback requirements are: 33 feet from the fronts (both County Road E and Hoffman Road), 30 feet from the rear (north side) and 16.5 feet from the side (east side). The proposed building complies with all setbacks except the south side. The setback from the south property line is 22 feet rather than 33 feet; an 11 foot or 33% deviation. This is one of the ways in which PUD flexibility is being requested from the strict application of the code. Staff supports the deviation as it provides the proximity desired for walk-up type units which are an enhancement to design in regards to the aesthetic of the building from a street-level perspective.

Traffic & Circulation

The applicant is proposing direct access from both County Road E and Hoffman Road. Because the underground parking connects under both buildings, residents will be able to utilize either access no matter where they are on site. Originally, the applicant proposed that the north side

parking lot and the north side parking lot of The Barnum connect with a gate between the two; however, it is both the preference of the Engineering Department and the Fire Department that either cross access be maintained at all times (no gate), or the lots be disconnected and a full curb and the required hard-surface setback be provided. The latter option would require the parking lot on the north side of the site to connect with the parking on the south side of the site to provide emergency vehicles full access around the building. The applicant would rather not revise the plans so substantially, consequently is asking to retain full access between the lots.

A traffic study has been provided, and because the site is currently developed with the Stadium Bar and Grill, the projected increase in traffic is a total of 267 trips, with 90 in the a.m. peak hour and 24 in the p.m. peak hour. This is about one-third of The Barnum. The traffic study estimates the traffic flow with and without the connection between the two north side lots. With the connection, the traffic onto Linden Avenue increases by 21 a.m. peak trips and 25 p.m. peak trips. The study further projects that, with the connection retained, the functionality of the Linden Avenue and County Road E intersection will remain un-impacted by the proposed use: it currently operates at a Level of Service (LOS) of B and would continue to do so post development. The County has reviewed the project and does not have any comments in relation to the access or connection.

Without a turn-around for emergency vehicles, it appears that the north side of The Barnum parking lot was designed with the intention of connecting. Generally speaking, access and connectivity are beneficial. Having more options, rather than fewer, helps traffic flow. Staff understands the desire of those who live in the townhomes to limit traffic on Linden, but given the relatively small amount of increase, staff supports making the connection. Staff further recommends that a pedestrian connection (a sidewalk) be provided as well to facilitate access to the Bruce Vento Regional Trail by Linden Avenue residents.

Parking

The code requires two stalls per unit, half of which are fully enclosed. The proposal provides 1.59 stalls per unit, 48% of which are fully enclosed. While the proposal does not meet current code, the city's requirement does not take into consideration the size of the units. A more refined requirement, available to the city as part of the flexibility inherent in a PUD, would correlate with the number of bedrooms per unit. The Barnum was approved at 1.14 per bedroom with 21 proof of parking stalls, which – if ever deemed necessary – would increase the ratio to 1.22. The current proposal provides 1.02 per bedroom and no proof of parking. The main difference between the two projects is that The Barnum does not have any 3-bedroom units and the current proposal has 30. Staff recognizes that 3-bedroom units are a limited product type in the community that would provide greater variety of options for families in the market. At the same time, it has been acknowledged that The Barnum appears to be “right-sized” in relation to parking. It is important that the parking not spill into the street and therefore staff is not comfortable with anything less than 1.14. Staff recommends that the applicant redesign the site so the units and parking meet the 1.14 ratio of spaces per bedroom, while maintaining at least some of the 3-bedroom units.

The applicant has requested that the underground parking be 9.0' x 18.5' in size rather than the code-required 8.5' x 20'. Staff has reviewed the potential impacts of this request and does not foresee any issues.

The Fire Department is also asking that the island and parking stalls be removed from the cul-de-sac on the south side of the site. This will further reduce the parking count.

Utilities

Prior to application for development stage approval, a sanitary sewer study must be conducted to determine if the size of the sanitary sewer trunk line along Hoffman Road, County Road E and Willow Avenue is large enough to accommodate proposed flows from the development.

Stormwater

All stormwater run-off will be directed towards a treatment system located underground. The applicant intends to meet all requirements of the Engineering Design Standards in relation to retention and infiltration. The Barnum provided a tree trench that exceeded the minimum requirements.

Landscaping & Open Space

The applicant intends to meet all requirements of the zoning code in relation to landscaping and a more detailed plan will be submitted with the next phase. For multi-family housing, the zoning code requires 500 square feet of useable open space per unit. The definition of useable open space is: ground or terrace area intended and maintained for either active or passive recreation, available and accessible to and useable by all persons occupying the unit and their guests. Such areas must be grassed and landscaped for recreational purpose. The applicant estimates 410 square feet per unit – an 18% deviation from code. For comparative purposes, the Barnum has 430 square feet per unit; a 14% deviation. The proposal does provide substantial amenities in the open space, including a pool, a community garden, a pet park, an outdoor fitness gym and yard games area. Staff would rather see the open space be closer to The Barnum ratio and suspects that the difference is an indication that the proposal is too dense.

Elevations

Exterior appearance lacks sufficient articulation (see comparison of other recently constructed multi-family buildings, attached). The expanse of flat walls without any change in plane is too large. Staff recommends that the amount of undulation (insets or bump-outs) be increased to break up the building mass. Also that a greater amount of ornamentation, such as the moldings and balconies, be used to help increase articulation. Finally, the walk-up units lack definition. We realize this is only a concept rendering and the applicant probably hasn't delved into this level of detail yet, but staff recommends elevating the entrances by two or three feet so that they are a true walk-up design. Staff further recommends including additional architectural features to enhance each entrance. For example, some patios to provide an area for these residents to place a couple of chairs. The patios could be bordered around 2 or 3 sides by a short retaining wall to provide some privacy.

Plat

The properties will need to be platted, which triggers a few things: right-of-way (ROW) dedication, park dedication, and boulevard trees. For ROW dedication, the County has indicated they will be requiring an additional 10 feet of right-of-way along the County Road E frontage, as they did with The Barnum.

Since the city has quite a few parks already, developers typically provide a monetary contribution to meet the park dedication requirement. The current mix of units would result in \$135,100 dedication. Staff inquired about the possibility of land dedication in lieu of cash payment and the applicant indicated a desire to retain the land for commercial purposes that might compliment the residential use.

Other

Trash and recycling will be stored inside the building and all roof top and ground mounted mechanical equipment will be screened.

Affordability

The applicant is proposing that 20% of the units, (48 units) be affordable at 50% of area median income (AMI). This would provide “work force” housing. The discounted units would be affordable to approximately 30% of White Bear Lake area residents.

The need for more affordable housing has been identified in the 2040 Comprehensive Plan, the 2019 Housing Marking Analysis and the 2021 Housing Task Force Report. Additionally, in reaffirming its participation in the Metropolitan Council’s Livable Communities Act Program for 2021-2030, the City Council approved a resolution establishing affordable housing goals of 110-200 units. The creation of 48 units at 50% AMI would put the City much closer to both achieving its affordable housing goals and meeting the local need.

Because other state and federal funding options were not available, the applicant is asking the City for Housing TIF (Tax Increment Financing) to close the gap created by the lower rents of the affordable units. The use of TIF to support affordable housing with this project is a City Council decision. If the Council is supportive of using Housing TIF, the applicants would need to make a formal request with the next stage of the PUD process.

Discretion

The City’s discretion in approving or denying a Concept PUD is high. It is up to the City to decide whether the flexibility requested from code is a reasonable trade-off for the quality of development proposed. A PUD must be consistent with the Comprehensive Plan, and, similar to a CUP, the City may impose reasonable conditions it deems necessary to promote the general health, safety and welfare of the community and surrounding area.

Summary

In addition to much needed housing, the project would provide a boost to the local tax base. The increase in residential households will have a significant positive economic impact in the

immediate area, and will help to both attract and retain businesses, stimulating opportunities for the enhancement of the County Road E corridor.

Staff is supportive of the project, but finds that the development falls short of the standard set by the developer in 2019. The parking ratios are not comparable, the storm water design does not exceed the minimum standards, and the deviation from open space is greater. Staff recommends redesigning the site to bring the project closer to the standard set by The Barnum and has provided some generalized conditions of approval for doing so.

The project is an ideal opportunity for affordable units. The location is near the regional Bruce Vento Trail corridor and the developer is experienced in constructing and managing a mixed income project. Based on a strong need for units of all types, Staff further recommends supporting the affordable housing component.

RECOMMENDATION

Staff finds that, with the revisions outlined below, the flexibility requested from code is a reasonable trade-off for the quality of development proposed. Therefore, staff recommends approval of the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit, unless revised to comply with conditions listed below.
2. The concept shall be revised to:
 - a. Redesign the site so the units and parking meet the 1.14 ratio of spaces per bedroom, while maintaining at least some of the 3-bedroom units.
 - b. Provide greater variety and articulation in the building elevations, subject to staff approval.
 - c. Elevate the entrances by a few feet so that they are a true walk-up design and include additional architectural features to enhance each entrance.
 - d. Either full access shall be provided at all times between the two north side parking lots, or a full curb and the required hard-surface setback be provided and the site redesigned so that the north side lot connects with the parking on the south side of the site for full emergency vehicle access around the building.
 - e. Include a pedestrian connection by sidewalk between Linden Avenue and Hoffman Road.
3. The applicant shall apply for a Development Stage PUD within six (6) months from the date the City Council grants General Concept Plan approval. The following items shall be submitted with the Development Plan Stage application:
 - a. Existing Conditions Survey
 - b. Tree Survey, Preservation Plan and Replacement Plan
 - c. Detailed Landscape Plan with species chart and planting details
 - d. Grading and Drainage Plan with stormwater infiltration details and calculations

- e. Erosion Control Plan
- f. Utility Plan
- g. Sewer capacity study
- h. Photometric Plan with lighting fixture details
- i. Demolition Plan
- j. Complete Floor Plans
- k. Building Elevations – all four sides
- l. Building Material Sample Board and Color Palette
- m. Shadow Study
- n. Written statement outlining any changes to the plans since General Concept Plan approval, and a summary explaining the rationale behind those changes.
- o. A TIF application.

ATTACHMENTS

Draft Resolution of Approval
Location/Zoning Map
Project Narrative & Nine Design Principles Response
Concept Plans (8 pages)
Recently Constructed Multi-Family Photos
Desorro Email, received May 19, 2022

RESOLUTION NO.

**RESOLUTION GRANTING
GENERAL CONCEPT PLAN APPROVAL OF
A PLANNED UNIT DEVELOPMENT
FOR 3600 & 3646 HOFFMAN ROAD
WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (22-2-PUD) has been submitted by Schafer Richardson/WBL Land LLC, to the City Council requesting approval of a Concept Phase of a Planned Unit Development (PUD) from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 3600 & 3646 Hoffman Road

LEGAL DESCRIPTION: Attached as Exhibit A. (PID: 273022440210 & 273022440198); and

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: General Concept Stage approval of a Planned Unit Development, per Code Section 1301.070, in order to construct 243 units of multi-family apartments in two buildings; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on May 23, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed Concept PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the Concept PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

RESOLUTION NO.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the PUD General Concept Plan, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit, unless revised to comply with conditions listed below.
2. The concept shall be revised to:
 - a. Redesign the site so the units and parking meet the 1.14 ratio of spaces per bedroom, while maintaining at least some of the 3-bedroom units.
 - b. Provide greater variety and articulation in the building elevations, subject to staff approval.
 - c. Elevate the entrances by a few feet so that they are a true walk-up design and include additional architectural features to enhance each entrance.
 - d. Either full access shall be provided at all times between the two north side parking lots, or a full curb and the required hard-surface setback be provided and the site redesigned so that the north side lot connects with the parking on the south side of the site for full emergency vehicle access around the building.
 - e. Include a pedestrian connection by sidewalk between Linden Avenue and Hoffman Road.
3. The applicant shall apply for a Development Stage PUD within six (6) months from the date the City Council grants General Concept Plan approval. The following items shall be submitted with the Development Plan Stage application:
 - a. Existing Conditions Survey
 - b. Tree Survey, Preservation Plan and Replacement Plan
 - c. Detailed Landscape Plan with species chart and planting details
 - d. Grading and Drainage Plan with stormwater infiltration details and calculations
 - e. Erosion Control Plan
 - f. Utility Plan
 - g. Sewer capacity study
 - h. Photometric Plan with lighting fixture details
 - i. Demolition Plan
 - j. Complete Floor Plans
 - k. Building Elevations – all four sides
 - l. Building Material Sample Board and Color Palette
 - m. Shadow Study
 - n. Written statement outlining any changes to the plans since General Concept Plan

RESOLUTION NO.

approval, and a summary explaining the rationale behind those changes.

- o. A TIF application.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date

RESOLUTION NO.

EXHIBIT A

LEGAL DESCRIPTION

The Land is described as follows:

Parcel 1: (Commonly known as 3646 Hoffman Rd.)

That part of Lot 22, "Strawberry Acres", according to the plat thereof, lying Westerly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point on the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.

Ramsey County, Minnesota
Abstract Property

Parcel 2: (Commonly known as 3600 Hoffman Rd.)

The following described property in Ramsey County, Minnesota.

Parcel 2(a)

Lot 26, except the East 330 feet thereof, "Strawberry Acres", according to the plat thereof.

AND

Parcel 2(b)

That part of the East 330 feet of Lot 26, "Strawberry Acres", lying Westerly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measure along said North right of way line, EXCEPT that portion of said Lot 26 lying Southerly of the Northerly right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2.

AND

Parcel 2(c)

Lot 24, "Strawberry Acres", according to the plat thereof.

AND

Parcel 2(d)

That part of Lot 25, "Strawberry Acres", according to the plat thereof, lying Northeasterly of the following described line: Beginning at a point on the West line of said Lot 25, distant 50 feet North of the Southwest corner thereof; thence run Southeasterly to a point on the South line of said Lot 25, distant 50 feet from said Southwest corner.

Abstract Property



Gem Lake

Bruce Vento / Burlington Northern RR Corridor

B-3

P

R-7

KINGSLEY AVE

HILL AVE

ROTH PL

HIGHLAND AVE

R-3

B-4

KERRIANN LN

CHERI CT

RICHARD CT

ALIGER AVE

R-5

R-6

R-7

SPRUCE CT

SPRUCE PL

R-6

B-

COUNTY ROAD E

AUGER AVE

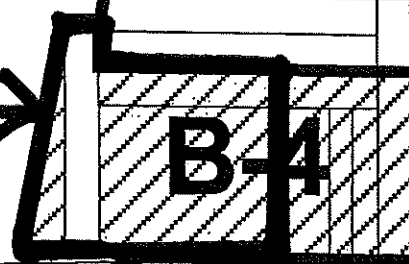
HIGHLAND AVE

I-1

DBD

R-5

SUBJECT SITE:
3600 & 3646 HOFFMAN ROAD



B-4

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 22-2-PUD

CASE NAME : Schafer Richardson

DATE : May 23, 2022

RECENTLY CONSTRUCTED MULTI-FAMILY



WB Heights Senior Living



The Waters Senior Housing

From: "K. Bushee" <k.bushee@hotmail.com>

Date: May 19, 2022 at 12:40:36 PM CDT

To: scrosby@whitebearlake.org

Cc: barbdesarro@gmail.com

Subject: Fire lane gate between Schafer Richardson buildings





To Whom It May Concern:

It is our understanding that the Fire and Engineering Department of White Bear Lake determined there either should not be a gate between The Barnum parking lot and the proposed new apartment building next to it, maintaining open access between the two, or the access be closed completely and the proposed development be redesigned to provide access around the entire building.

According to the traffic study, to maintain open access would increase the traffic on Linden Avenue by 21 more cars in the morning rush hour and 25 more cars in the evening rush hour. The Barnum Building access off of Linden Avenue has already caused a significant increase in traffic during these hours.

I, Barb DeSarro, have lived at 3610 Linden Avenue for 28 years and Karen Bushee has lived at 3614 Linden Avenue for 26 years. Our townhomes are right on the corner of County Road E and Linden Avenue. (Please refer to the photos and measurements to see how close we are to that intersection.) We can't tell you how many times we've almost been rear-ended as we've tried to turn into our driveways, even after turning on our turn signal and hazard flasher as well as opening our garage doors. Having more cars turn onto Linden Avenue from County Road E would only exacerbate the problem.

We have talked with several of our neighbors who also agree that people are coming down Linden Avenue way too fast, much beyond the speed limit in a residential neighborhood.

We ask that Schafer Richardson re-design their plan so that access to and from the new building be only off of County Road E or Hoffman Road. There should be no more traffic diverted to Linden Avenue.

The measurement from County Road E curb to Barb's driveway is approximately 56 feet.

The length of a:

- Schoolbus is 35-45 feet
- FedEx truck is 22 feet
- Chevrolet Silverado pickup is 22 feet
- Chevrolet Suburban is 21 feet

Thank you for your attention to this matter.

Barb DeSarro
3610 Linden Avenue
651-888-1088

Karen Bushee
3614 Linden Avenue
612-999-3098

Memorandum

Date: 11 April 2022

Project: 3600 & 3646 Hoffman Road
White Bear Lake, Minnesota

From: Erik Peterson, AIA

To: Samantha Crosby
Planning & Zoning Coordinator – City of White Bear Lake

Re: Nine Design Principles – 3600 & 3646 Hoffman Road

The following is a list of responses to the Nine Design Principles as they pertain to the proposed apartment project at 3600 & 3646 Hoffman Road.

1. Regionalism: How does the architecture fit with the community in respect to climate, local material and history?

Response: The site is at an important zone of the neighborhood. The corner of County Road E and Hoffman Road represents part of the transitional zone from residential to commercial and industrial areas. The placement of the buildings continues the buffer for the townhomes and single-family homes to the east much like Hoffman Place and The Barnum provides. The heights, density, and size of the homes in the area mimic this transition. The heights vary in the area from 1-4 stories. The building heights evolve from the shorter single-family homes on Auger Avenue, to the townhomes along Linden Avenue, to Hoffman Place, The Barnum, The Waters and the proposed project. The density progresses from low-density homes to medium density townhomes and lastly high-density buildings, as they get closer to Highway 61.

2. Context: How was the project designed to fit within the context of the site (such as topography, views, other natural features and characteristics of surrounding properties)?

Response: The buildings are designed with an open orientation to maximize the available sun exposure. Seventy-five percent of the units will have either a south, west and/or east-facing window, allowing them to receive sunlight during some portion of the day. The "C" shape to the buildings wraps around the courtyard space to create a microclimate by blocking the prevailing winds while still providing southern exposure for the pool and courtyard areas. The orientation of the buildings (with attention to minimizing surface parking) also helps create a centralized green space. We are proposing to limit the length of the northeast leg of Building 1 in order to preserve as much of the Barnum's view corridor to the west. The careful placement of landscaping around the site will define a public street realm from the private realm while still allowing the project to be part of the greater neighborhood. Placing the buildings near the western and southern property line will help block noise pollution into the courtyard. The increased setback from the neighboring multifamily building to north will provide a buffer between



DESIGN/BUILD | CONSTRUCTION MANAGEMENT | GENERAL CONTRACTING

the two living communities. The building placements will also allow walkup units on the western and southern façades to help create a residential streetscape.

3. Scale and Massing: How does the scale of the building fit with the surrounding buildings and what massing strategies have been used to affect scale at a pedestrian level as well as the distant panoramic view? What techniques have been employed (such as landscaping) to mitigate any large, blank surface, such as a windowless façade or a large expanse of asphalt? Can daylight reach into all parts of the building?

Response: The design of the buildings uses many features that are compatible with The Barnum, The Waters, Hoffman Place, and other multistory residential buildings in the area. While the northern building (Building 1) is 5 stories in height, the use of a flat roof as opposed to a gabled roof demonstrates that it would be subordinate to The Barnum's height (please see elevations as a reference). The site also benefits from a roughly 6' grading difference compared to The Barnum, providing a further reduction in relative massing. The flat roofline is broken up by various parapet heights and recessed vertical segments help reduce the massing from public right of way. The articulations of the façade and use of different textures and material colors create visual interest and variety. The fiber-cement lap siding, fiber-cement board & batten siding, thin brick, and glass create depth and texture to the exterior skin. We chose to use these materials because they reflect the character of the existing residential buildings in the area. Care has been taken to design landscape islands into the parking areas along with perimeter landscaping to screen the adjacent properties.

4. Composition: Is the building proportionally correct? (ie: is the roof of a one-story building only a foot or two above the ceiling?)

Response: Proportionally the building mass is pared down by the integration of different material sizes and colors. The blue recess components break up the larger structure into smaller features. The window sizing & spacing offers repetition and movement between all the different material finishes bringing them all together as one.

5. Hierarchy: What is the visual emphasis of the building?

Response: The building was designed to emulate the vertical/horizontal separations provided in existing White Bear Lake architecture. The courtyard and single story entries are the core of the project. The single story common area, serving as the main entrance and amenity space, is stepped down to provide a contrast and transition between the two buildings. This common area was designed to be the main sense of arrival for guests and serve as a connection between the two buildings. The courtyard will be visible through the main entry. The courtyard also generates wayfinding that draws residents to the site from County Road E.

6. Color: What is the color pallet? Please provide a material sample board with color pallet for review.

Response: The color pallet consists of a mixture of neutral greys with white trim accents and a crisp blue for juxtaposition. There is a nautical theme to the color elements, as an homage to the lake community. The strong building base will be emphasized by a warm grey colored thin brick extending to the upper floors in locations create visual separations and color contrast against the lighter gray siding.



DESIGN/BUILD | CONSTRUCTION MANAGEMENT | GENERAL CONTRACTING

7. Detail and Craftsmanship: Who is the builder? Do you have any existing projects we can visit?

Response: Amcon Construction will provide Architectural services and General Contracting services for the project. The project will be realized through the Design-Build delivery method. With the design-build delivery method, the Owner manages a single contract with a sole point of responsibility. The designer and contractor work together from the early design stages to the final completed project, as a team, providing unified project recommendations to fit the Owner's vision and budget. Any alterations are addressed by the entire team, owner, designer, and contractor, leading to collaborative problem solving and innovation.

Individually Amcon Construction and Shafer Richardson have completed numerous multifamily housing projects. In the past 6 years, the team of Shafer Richardson and Amcon Construction have completed four apartment projects together:

*The Parkway Off Central (2017) (191 Units)
9436 Ulysses St NE
Blaine, MN 55434*

*Sixton (2018) (133 Units)
1601 Harvest Lane
Shakopee, MN 55379*

*The Barnum (2021) (192 Units)
1711 County Road East
White Bear Lake, MN 55110*

*Timber & Tie (2021) (175 Units + 5,000 SF of Commercial)
900 14th Avenue NE
Minneapolis, MN 55413*

8. Transformation: How well will the building adapt to changes in tenants? Can this design gracefully transform into another use- what is its reincarnation?

Response: A structure designed for multi-family housing is difficult to transition to another use that is not some type of housing. However, the buildings can transform into other types of lodging. With small modifications to the interior program, the buildings can adapt to assisted living facility, cooperative apartment, short term or extended stay hotel, senior housing and so on.

9. Simplicity: What is the idea or concept behind this design? Are there any faux elements? If so, please explain their reason.

Response: The design is based on the goal providing a quality and convenient housing experience for a diverse living community. The inspiration was driven by feedback from The Barnum in terms of tenant experiences and needs. Our project offers spacious studio, one-, two-, and three-bedroom floor plans designed with open kitchens, solid surface counter tops and modern cabinetry. Our community amenities include a spacious fitness center, yoga studio, courtyard with pool, barbeque grills, fire pit, pet park, community garden and contemporary landscaping. Residents will also enjoy indoor amenities such as a club room with a kitchen for private parties, game room, work from home space, and mail



DESIGN/BUILD | CONSTRUCTION MANAGEMENT | GENERAL CONTRACTING

room with package notification system. The first floor common area will provide a sense of arrival with comfortable seating, a fireplace, and conveniently located on-site management office to greet guests.

If you have further questions or concerns please feel free to contact me at 651.379.9015

Sincerely

Erik Peterson, AIA
Director of Architecture
Amcon Construction

4/11/2022 (Revised 5.12.2022)

3600 & 3646 Hoffman Road Redevelopment:

Project Statement & Narrative

Schafer Richardson is proposing the redevelopment of two contiguous parcels, totaling 5.7 acres at the intersection of County Road E East and Hoffman Road, into a multifamily rental community. Please see the “**Legal Descriptions**” attachment for exact descriptions of the land. This will be the second phase of a development undertaken by Schafer Richardson in White Bear Lake and is preceded by a 192-unit multifamily building directly east of this site (commonly “The Barnum”). Based on the popularity and interest experienced at The Barnum, there is clearly demand for more multifamily on this site.

The site that is subject to this proposal is currently operated by the Village Sports Bar as a restaurant, sports bar and ballpark. One single family house with a garage is located on the lot to the north of the Village Sports Bar. Schafer Richardson is submitting this concept application for a Planned Unit Development (PUD) in order to pursue flexibility in site and scale-related necessities.

The proposed redevelopment will consist of two separate buildings connected by a single-story common area, with the first building to the north (Building 1) consisting of five stories at 127,045 square feet and the second building to the south (Building 2) consisting of four stories at 122,012 square feet. A single-story common area will house amenities and occupant circulation between the buildings; this will be roughly 9,850 square feet. The total building area is 258,907 square feet above ground. There will be one level of underground parking beneath the footprint of all structures with approximately 70,000 square feet. The building will contain approximately 243 apartments. The current mix of units includes studios (18), alcove (44) 1-bedroom (75), 2-bedroom (76), and 3-bedroom (30) units. Please refer to the “**Concept Site Plan**” attachment.

As provided in the Comprehensive Housing Market Study for the City of White Bear Lake, dated January 27, 2020, there is a need for more quality affordable housing in White Bear Lake. These findings, together with our track record of providing both market rate and affordable housing within the communities where we operate, has motivated the proposed design as a mixed-income apartment community. Twenty percent of the total apartments within this project will be occupied by households whose total income is 50% or less of the area median income (AMI), or \$36,750 for 1 person, \$42,000 for 2 persons and \$47,250 for 3 persons (2021). Income limits and rent restrictions are set annually by the U.S. Department of Housing and Urban Development (HUD). The remainder of the units (80%) will be market rate (no income or rent restrictions).

While the current zoning is B-4 (General Business), the R-7 (High Density Residential) classification is more appropriate for zoning comparison purposes as a multifamily redevelopment. The land use for these parcels was identified as “TOD Mixed Use” within the White Bear Lake 2040 Comprehensive Plan. This

designation is intended to “accommodate community and regional serving commercial retail and service businesses, offices and high-density housing” and it was anticipated that “stacked multifamily housing and courtyard apartments will be the predominant land use, with a desired density of 25 to 50 dwelling units per net acre”. The project would have a density of approximately 43 units per acre, a ratio that is consistent with The Barnum (at 42 units per acre) and within the range provided in the Comprehensive Plan.

The building has been designed to be compatible within the surrounding area, as well as The Barnum next door. The “**Concept Elevations**” attachment shows the proposed exterior appearance of the building. The building’s cladding will be a mixture of masonry (brick), fiber cement and lap siding materials with a flat roof and parapet. Additional information on design can be found in the “**Nine Design Principles**” attachment.

The development will feature indoor and outdoor amenity spaces, with indoor amenities primarily located on the first level to serve community residents. These will include a fitness and yoga center, club room, game room, work from home space, package notification and storage system, and an on-site management office. In-unit amenities will include solid surface countertops, stainless steel appliances, balconies or patios in select units and an in-unit washer/dryer. The two buildings are oriented on the site to accommodate a larger courtyard with green space, recreation and other outdoor amenities common to similarly sized apartment communities. The courtyard will include a patio with a pool and spa, pergolas and grilling area, lounge, fenced pet park, community garden, and an outdoor recreational area. The orientation of the buildings also enables the surface parking to be concealed from the public right of way along County Road E.

There will be approximately 387 parking stalls in total, with 185 located in the underground garage and 202 as surface parking stalls. The site plan shows direct entrances from both County Road E (as a right-in, right out) and Hoffman Avenue. The entrance from Hoffman Road is intended to be the main entrance with guest parking availability near the one-story common entry. The rear surface parking to the north of the site will be connected to the existing surface parking behind The Barnum to create mutual egress from both sites on Hoffman Rd. and Linden Ave. This would eliminate dead ends and allow required fire department access between the two sites; it would also provide a continuous pedestrian and bicycle access to the future Bruce Vento trailhead.

The underground parking is connected between both buildings, via the one-story common area, giving residents in either building the option to enter & exit onto either County Road E or Hoffman Rd. This also alleviates traffic congestion on County Road E. A “**Traffic Study**” has been conducted and is included in the submission materials. To summarize, “*the inclusion of site-generated traffic does slightly increase delays and queuing, but operations remain acceptable and no development related mitigation measures are recommended*”.

A preliminary demolition plan is overlaid on an existing conditions site plan, included in the “**Concept Site Plan**” attachment. Landscaping, lighting, grading and drainage plans elements will be consistent with

code §1302.030. Landscaping will include an appropriate combination of native and urban-tolerant trees and plantings and will also provide screening for vehicular lighting to the east and north boundary lines as required in the code. Appropriate screening will serve as a buffer between walkup entrances and public right of way. With the majority of the off-street parking enclosed within the courtyard, lighting can easily be arranged to deflect light away from any adjoining residential zones, from the public, and from neighboring properties. Subtle decorative lighting fixtures will be used on the building façade that will enhance security and safety for residents. Please see the “**Concept Site Utilities & Stormwater**” attachment for proposed locations of utilities and underground stormwater management. The site will meet the required stormwater management standards through both traditional underground retention systems (beneath the surface parking) as well as permeable landscaping within the courtyard.

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The proposed site plan includes several differences from White Bear Lake’s building code, listed below and described in detail thereafter:

- Reduced parking count from 2 stalls per unit to 1.59 stalls per unit
- Reduced parking stall sizes for underground parking from 8.5’ x 20’ to 9.0’ x 18’-6”
- Reduced usable open space from 500 square feet per unit to 410 square feet per unit
- An increase in height limitations to four stories and five stories for the respective buildings
- A reduced building setback for the south elevation, along County Rd. E.

Parking requirements per code provide a minimum of two parking stalls per unit. Schafer Richardson is requesting a deviation from parking requirements as the proposed development would have approximately 1.59 stalls per unit (387 stalls/243 units). Parking on the site was designed using data and feedback from property management and residents from The Barnum, which has 1.48 stalls per unit.

Our experience has been that determining parking needs for apartments based on a stalls-per-bedroom approach is more indicative of sufficiency as opposed to a stalls-per-unit ratio as it adjusts for the unit mix of the building. It would not be reasonable to require two parking stalls per unit for this project considering the number of studio, alcove and one-bedroom units, accounting for over half of the mix (~56%). We have found that the parking minimum to satisfy ample demand is no less than one stall per bedroom. The proposed project has 1.02 stalls per bedroom (387 stalls/379 bedrooms) which will provide sufficient parking accommodations for residents without further burdening the site. The underground parking was maximized within the footprint of the structures in order to alleviate the impact of additional surface parking. If the project were to meet code, an additional 99 surface spots would be required and would reduce the common open space significantly.

A second deviation related to parking code is related to underground parking stall and drive aisle sizes. The floor plate sizing will be driven by the parking stall sizes and drive aisles within the single level of underground parking. Per code, the parking stall size requirement is 8.5’ x 20’ and staff has provided that the acceptable drive aisle width is 22’. Proposed plans for this project include sizing of all underground parking stalls at 9.0’ x 18’-6” with a 24’ drive aisle, which is due to the required column spacing. The



request is not motivated by a need for “compact parking”, but rather to manage the overall building footprint and size from a feasibility perspective. There are several reasons for this request including but not limited to reduced construction burdens, more efficiency in unit sizing, reduced impervious surfaces and more availability for green space, useable open space & landscaping.

Estimates of useable open space on the site result in 410 square feet per unit, a shortfall of approximately 90 square feet per unit (or 21,870 square feet in total) to meet the code requirement of 500 square feet per unit. We believe the slight reduction of open space over the entire site (5.7 acres) would not materially impact the experience of the common space considering the expansive courtyard.

Regarding height requirements, code indicates that no structure shall exceed three stories and thirty-five (35) feet, measured from the mean ground level to the top of a flat roof. The height for Building 1 is approximately fifty-nine (59) feet at five stories and the height for Building 2 is approximately forty-eight (48) feet at four stories. With a flat roof design as opposed to gabled roof, the massing for this project would still be subordinate to The Barnum next door; this is represented in the elevation provided. Building 2 would be lower in height than The Barnum and the decision for having the taller structure towards the rear of the site was to reduce the visual impact along the primary right of way at the intersection of County Rd. E and Hoffman Road. The massing and scaling are further described in the “**Nine Design Principles**” attachment.

Proposed building setbacks compared to requirements in R-7 (High Density Residential) are below (both County Rd. E and Hoffman Road are considered front yards):

TABLE 1	<u>R-7: High Density Residential</u>	<u>3600 & 3646 Hoffman Road</u>
Setbacks	Front: Not less than 30 ft	Front : 33’-9” (Hoffman Road) 22 ft (County Rd. E)
	Side: Not less than 15 ft	Side: 47’-4” ft
	Rear: Not less than 30 ft	Rear: 89’-4” ft

As Table 1 indicates, the setback from County Rd. E is 22 feet rather than 30 feet. The structure was positioned closer to the street in order to encourage a pedestrian friendly relationship with walkup entries to first floor living spaces. The slightly reduced setback also allowed surface parking to be concealed within the courtyard as opposed to having large expanses of asphalt visible in front of the building. Other setback dimensions are in line with R-7 standards.

Staff has requested feedback on the potential for dedicating the south side of the triangular piece to the west of Hoffman Road (currently being used as overflow parking for the Village Sports Bar) as park dedication. Schafer Richardson had previously dedicated the northern portion of this lot in conjunction



with The Barnum development, and it is our intention to maintain the remainder of the lot as-is until plans can materialize for a future development that would activate the site. Given its frontage on County Rd. E, a main arterial corridor, it could potentially be a drive-through coffee establishment, restaurant or similar commercial function that would not require a large structure but would still need area for parking & drive lanes. We believe this would complement the subject site and would create more value for White Bear Lake residents than park dedication.





Schafer Richardson is requesting financial support for the project from the City of White Bear Lake in the form of Tax Increment Financing (TIF). This request is necessary in order to fill the financing gap created by the inclusion of affordable/workforce housing units (20% of total units). The current estimated TIF request from the city is between \$5,500,000 - \$6,000,000.

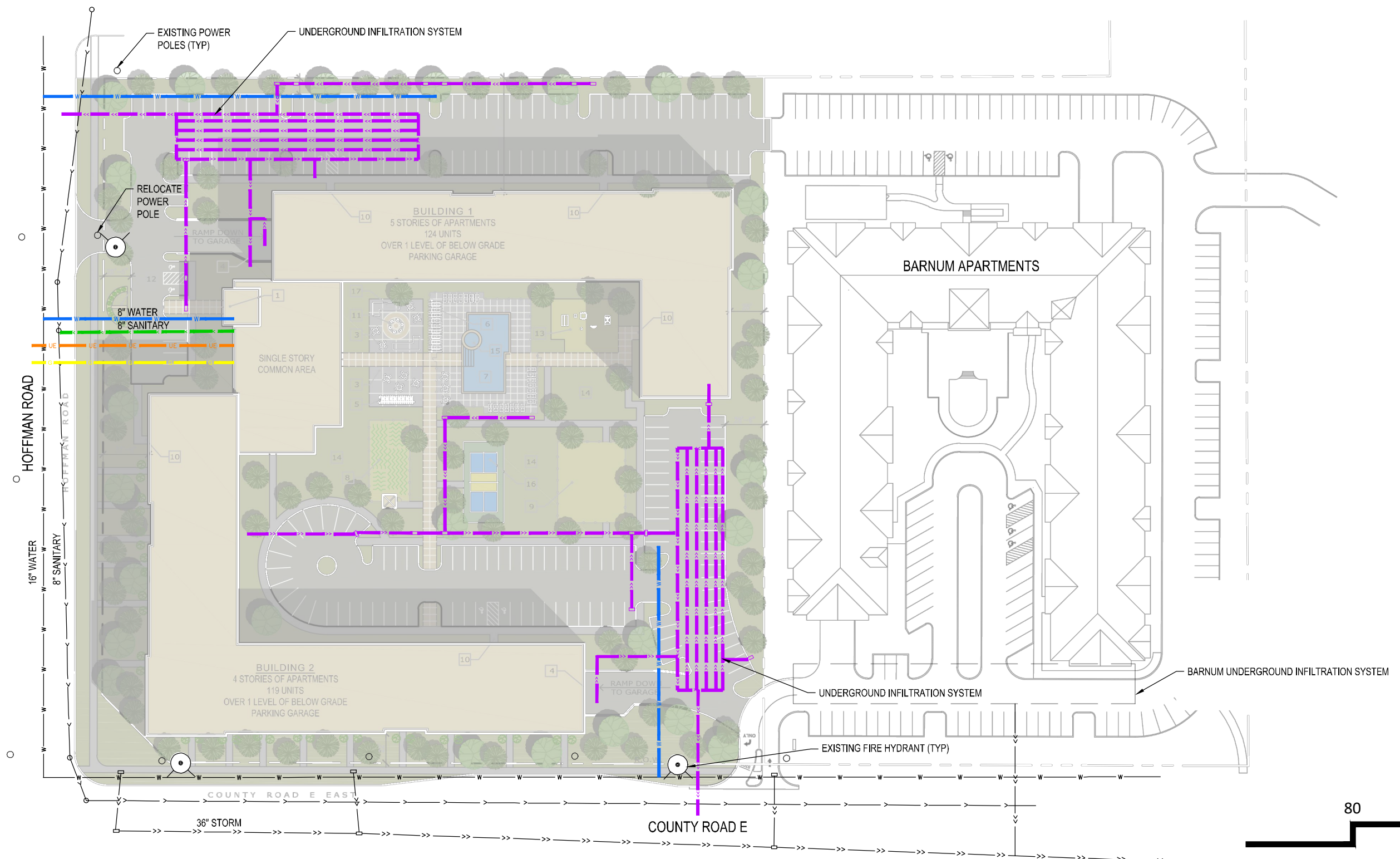
This project will provide approximately 48 units of housing affordable to households earning 50% of the area median income; a metric that nearly one-third of current White Bear Lake households meet. The need for a variety of housing types and affordability levels is outlined in both the City's Comprehensive Housing Market Study (2020) and the City's Housing Task Force Report (2021). TIF financing allows the City to utilize a portion of the tax increase created by this new development to off-set the cost of creating workforce housing units. The investment made by the City of White Bear Lake in the form of TIF will yield a significant public benefit, particularly for family-sized households, through the generation of high quality, affordable, apartments.

The design and density were based on the highest and best use for the site given the demand for housing and the proximity to core transit within White Bear Lake. We are excited to work with the City of White Bear Lake again and look forward to the opportunity to present to the Planning Commission.



LEGEND

-  SANITARY SEWER
-  WATER MAIN/ SERVICE
-  NATURAL GAS
-  UNDERGROUND ELECTRIC
-  STORM SEWER





Metal Coping

Board & Batten
(Cement Fiber Panels)

Cement Fiber Lap
Siding or Plank

Brick



White Bear Lake Apartments - Phase II

White Bear Lake, Minnesota

Concept Rendering

March 21, 2022

CITY COUNCIL MEETING SUMMARY

May 10, 2022

APPROVAL OF MINUTES – Approved

- A. Minutes of the Regular City Council Meeting on April 26, 2022

APPROVAL OF THE AGENDA – Approved

CONSENT AGENDA – Approved

- A. Acceptance of Minutes: February Park Advisory Commission, March Environmental Advisory Commission, March White Bear Lake Conservation District, April Planning Commission meeting
- B. Resolution authorizing food truck operations at Lakewood Hills Park for a graduation party. **Resolution No. 12978**
- C. Resolution authorizing execution of a Stormwater Maintenance and Operations Agreement with the Rice Creek Watershed District for a portion of South Shore Blvd. **Resolution No. 12979**
- D. Resolution approving a request by Shawn & Craig Carpenter for two variances and a conditional use permit at 2150 Roth Place. **Resolution No. 12980**
- E. Resolution approving a request by Jerry Rodrique for a conditional use permit at 1961 3rd Street. **Resolution No. 12981**

VISITORS AND PRESENTATION

- A. Marketfest and Manitou Days presentations and resolution authorizing financial participation. **Resolution No. 12982**
- B. 2021 Financial Audit presentation and resolution accepting audit report. **Resolution No. 12983**

PUBLIC HEARINGS – Nothing scheduled

UNFINISHED BUSINESS – Nothing scheduled

NEW BUSINESS – Approved

- A. Resolution awarding the sale of General Obligation Improvement Bonds to finance a portion of 2022 Street Improvement Projects. **Resolution No. 12984**
- B. Resolution approving a request by Beartown Bar & Grill for an amendment to a conditional use permit and a variance at 4875 Highway 61. **Resolution No. 12985**
- C. Resolution approving a request by Christianson Companies / Tommy Car Wash for a conditional use permit, site plan review, and three variances at 4061 Highway 61. **Resolution No. 12986**
- D. Resolution approving recommendations and authorizing the City Manager to invite participants for County Road E Project Team and Advisory Group. **Resolution No. 12987**

DISCUSSION – Nothing scheduled

COMMUNICATIONS FROM THE CITY MANAGER

- Welcome to Jason Lindahl, the City's new Community Development Director.
- Spring Cleanup last Saturday was the reportedly the busiest ever.
- Touch a Truck is at Podvin Park this Thursday, May 12th at 5:00 p.m., please bring a donation to fill the Food Shelf Truck.
- NewTrax holding a 10th year Anniversary Open House on May 23rd, rsvp encouraged.
- On May 21st, Mayor Louismet, Councilmember Hughes and City Manager Crawford will be attending Fire Operations 101 in Maplewood with other community leaders.

Mayor Louismet welcomed Jason Lindahl to the City.

Councilmember Walsh provided an update on the Purple Line. He was pleasantly surprised at the group's reception during the first Purple Line Corridor Management Committee meeting on April 29th. During the meeting, he was asked to report on the City's resolution and describe the history and discussions about the future of the City and the risk of becoming isolated without a transit option versus the risk of losing the small town character. He described a staff presentation of pros and cons with various options for the Purple Line as follows:

- Continue the Rush Line as originally planned through White Bear Lake.
- Re-route the Rush Line by stopping at Maplewood Mall, then running feeder buses into White Bear Lake.
- Re-route the Rush Line through Buerkle Road up to County Road E in Vadnais Heights, then down I35E to 694, or Willow Lane.

Councilmember Walsh explained the Purple Line Corridor Management Committee will be meeting again in June to vote on suspending the locally preferred alternative route as the next action item, which will then provide a green light to continue planning other routes. He added that Ramsey County Commissioner Victoria Reinhardt and Metropolitan Council representative Sue Vento are involved in this project.

ADJOURNMENT – 8:32 p.m.