



**AGENDA  
PLANNING COMMISSION OF THE  
CITY OF WHITE BEAR LAKE, MINNESOTA  
MONDAY, SEPTEMBER 26, 2022  
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

**2. APPROVAL OF AGENDA**

**3. APPROVAL OF THE MINUTES**

A. Minutes of the Planning Commission meeting on August 29, 2022

**4. CASE ITEMS**

A. **Case No. 04-18-Sa & 22-14-V:** A request by **AALFA Family Clinic** to amend a conditional use permit for site plan approval in both the DBD zoning district, per code section 1303.225, Subd.4.i and the Shoreland Overlay district, per 1303.230, Subd.6, and two variances: a 5 foot variance from the 10 foot setback for hard-surface from the north and south side lot line, per 1303.225, Subd.6.e, and a variance from the 30% impervious area limitation to allow 69% impervious surface, per 1303.230, Subd.5.a.5, in order to construct a 350 square foot building addition and expand the parking lot by 13 stalls, at the property located at 4465 White Bear Parkway.

B. **Case No. 22-18-V:** A request by **Rick Huston & Tracy Jacobs** for a 10.5 foot variance from the 80.5 foot average front yard setback, per code section 1303.040, Subd.5.c.1, in order to construct a home addition 70 feet from the front property line at the property located at 1525 Birch Lake Blvd N.

**5. DISCUSSION ITEMS**

Nothing Scheduled

**6. ADJOURNMENT**

Next Regular City Council Meeting ..... October 11, 2022

Next Regular Planning Commission Meeting ..... October 24, 2022



**MINUTES  
PLANNING COMMISSION MEETING  
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA  
MONDAY, AUGUST 29, 2022  
7:00 P.M. IN THE COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

Chair Jim Berry called the meeting to order at 7:00 p.m.

**MEMBERS PRESENT:** Mike Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt, and Andrea West.

**MEMBERS ABSENT:** None.

**STAFF PRESENT:** Jason Lindahl, Community Development Director, and Ashton Miller, City Planner.

**OTHERS PRESENT:** Peter Orth, Lisa Beecroft, Barb McIntyre, Karol & Jim Durdle, Vicki & Si Ford, Karen Sheib, Sara Hanson, Fritz Knaak, Terry Kellerman, Katie Anthony.

**2. APPROVAL OF AGENDA**

It was moved by Member **Lynch** seconded by Member **West**, to approve the agenda as presented.

Motion carried, 7:0

**3. APPROVAL OF THE MINUTES**

A. Minutes of July 25, 2022

It was moved by Member **Baltzer** seconded by Member **Enz**, to approve the minutes of the July 25, 2022 meeting as presented.

Motion carried, 7:0.

**4. CASE ITEMS**

- A. **Case No. 21-1-SHOPa1:** A request by **Barbara McIntyre** for a 3 year renewal of a Special Home Occupation Permit, per Code Section 1302.120, in order to continue operating a dog grooming business out of the home at the property located at 3696 Glen Oaks Avenue.

City Planner Miller discussed the case. Staff recommended approval of the request as proposed.

Member Berry opened the public hearing. As no one from the public spoke, Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 21-1-SHOPa1, seconded by Member **Lynch**.

Motion carried, 7:0.

- B. **Case No. 22-2-O:** A request by the **City of White Bear Lake** for consideration of the proposed land use designation of the Armory, per Code Section 1303.245, Subd.1.c, and rezoning from P – Public Facilities to B-5, Central Business for the property located at 2228 4th Street.

Miller discussed the case. Staff recommended approval of the request as proposed.

Member Berry opened the public hearing.

Attorney Fritz Knaak, representing Kellerman Events Center, stated that his client, as a business owner, is very sensitive to changes in the downtown area, especially as they relate to access and parking. His client has tried to work with the city in the past in purchasing the Armory to maintain its use as a public facility. The proposed use by the Historical Society needs to be fully analyzed. He stated that it is hard for surrounding business owners to approve of the change without knowing the full proposal. He requested that the proposal be tabled until there has been an opportunity for business owners to review the proposed use.

Sara Hanson, Executive Director of the White Bear Lake Area Historical Society (WBLAHS), provided information regarding the use of the Armory as a museum. She stated that an exhibit on the ski otters was a test run during Marketfest this summer for the programming they would like to provide. The preservation easement limits what can be done to the building, but they are planning to restore the front, turn the kitchen into a meeting space, remodel the offices, and replace the elevator and roof. She explained that there are no other specific plans at this time, rather they are looking to secure support from the City Council on the transfer of the Armory, so the organization can go out and campaign for funding.

Member West asked Ms. Hanson if the flow of people would be comparable to the number of people that visited the ski otter exhibit. Ms. Hanson replied that she did not think there would be as many people on typical days, unless during events like Marketfest, and that due to the short run of the exhibit, there was more urgency to visit.

Member Reinhardt wondered if there were plans to rent out the offices or hold events in that space. Ms. Hanson answered that it is unlikely that they would rent the offices because they need the space. She would like to hold events, such as a gala, film screening, or presentation. Generally, those events would be held during the day.

Member Berry asked about traffic flow and if events will be hosted on weekdays. Ms. Hanson replied that she does not believe that traffic will increase and may possibly be less than what is currently generated. She stated that for the most part, events will be during the weekday and not competing with weekend evening activities.

Terry Kellerman, Kellerman Event Center, 2222 4<sup>th</sup> Street, commented that he was not sure who would be running the museum and wondered if the state would be in charge. He is a part of the Economic Development Corporation and they have been working on addressing the parking issues in downtown for some time. They had plans to purchase the green house on the corner of 3<sup>rd</sup> Street and Cook Avenue to use for parking space before the WBLAHS bought it. He is concerned that the WBLAHS will extend the Armory back to where the house is now, which will reduce the number of parking spaces available for his business.

Member Reinhardt asked if Mr. Kellerman's concern was more with the Armory itself or the space behind. Mr. Kellerman replied that he is worried about the access behind his building being closed off. He bought the building because of the opportunity for double store fronts, and any changes to the rear lot will impact him. Mr. Kellerman added that his other main concern is that he does not want to see people from the Minnesota historical society running the museum and picking what is on the curriculum.

Member Enz asked how other business owners in the downtown area are reacting to the proposal. Mr. Kellerman answered that he has talked to some neighbors and the notice was posted to social media where it was met with a lot of negative feedback.

Member Reinhardt asked if there was a more ideal use for the space. Mr. Kellerman replied that the historical society is a good fit in the building as long as they do not plan to expand and shut off access to other businesses.

Sara Hanson, WBLAHS, offered answers to some of the questions raised by Mr. Kellerman. The museum would be run by the White Bear Lake Area Historical Society, as a private nonprofit corporation, not the state. They will be the sole owner of the building, like they are at the Fillebrown House. She explained that because of both the property's listing on the National Register of historic places and the preservation easement, there are limits as to what can be done to the building. She acknowledged that the Hanifl's have purchased the home on the corner for the WBLAHS with a three year time frame should they need to expand. She noted that proposed expansion would need to go before the Planning Commission and City Council, but at this time, there is no plan to expand.

Lisa Beecroft, Beecroft Marketing and Events, she explained that she has worked on Manitou Days, has run Marketfest for the last few years, and Explore White Bear, the tourism group for the City, which is where she started getting involved in the historical

society. It is a great draw for the community. Ms. Beecroft explained that she is on the Mainstreet Board and is currently the interim president. When the notice for the rezoning of the Armory was posted to the Mainstreet social media page, several business owners expressed concern because they did not know much about it, but no one felt strongly one way or the other regarding the proposal and no one has come to her with any concerns.

Terry Kellerman asked what the hurry is with the proposal. He thinks there are still unanswered questions, mainly around parking, that should be addressed before the Planning Commission makes a recommendation.

Member Berry closed the public hearing.

Member Berry commented that the Commissioners should focus on the findings as laid out in the report when deciding how they would vote the recommended action.

Member Amundsen asked if the property would continue to be zoned Public if the sale did not go through. Lindahl confirmed that the B-5, Central Business rezoning would be contingent on the sale of the property to the WBLAHS. The rezoning request has been brought before the Planning Commission in anticipation of the sale of the Armory.

Member Amundsen then clarified that the proposal is just for the rezoning, not the sale of the property.

Member Lynch asked about possible expansion, since there is public land between the Armory and the house on the corner. Lindahl stated that the parking lot is zoned Public and owned by the City, so it would not be eligible for expansion of the Armory without a rezoning and subdivision of the lot.

It was moved by Member **Amundsen** to recommend approval of Case No. 22-2-O, seconded by Member **Baltzer**.

Motion carried, 7:0.

- C. **Case No. 22-2-PUD:** A request by **Schafer Richardson** for development phase approval of a Planned Unit Development, per Code Section 1301.070, in order to construct 244 units of multi-family apartments in two buildings at the properties located at 3600 and 3646 Hoffman Road.

Lindahl discussed the case. Staff recommended approval of the request as proposed with a number of conditions listed in the report. After discussions with the applicant, staff recommended that condition number four be amended to use a ratio of 0.75 bicycle parking stalls/unit be required and that 75% of all stall be inside.

Member Amundsen asked about the use of the phrase “final stage”. Lindahl stated that it is in the second of three stages, but that it is the last time it will be in front of the Planning Commission.

Member Amundsen wondered if the number of three bedroom units was reduced because the height of the building was reduced by one story. He was disappointed that so many three bedroom units were removed from the proposal, since everything he reads indicates those types of units are missing. He was supportive of the five story building.

Lindahl replied that the applicants may better speak to the design changes made in response to the feedback from the City Council.

Member West commented that because the City Council did not support TIF funding for the site, the applicants took the affordable housing component out of the proposal, which she was disappointed to see, and she wondered how this would impact the City’s housing goals in the 2040 Comprehensive Plan. She asked where affordable units would go, since there is very little land left in the City to develop. She is concerned that the City cannot meet its goals.

Lindahl stated that the affordable units were removed based on feedback from the Council and that the City will not be making any progress towards the goals in the Comprehensive Plan to provide more affordable housing as part of this proposal. Staff is still working with the City Council on the recommendations from the Housing Task Force on forming goals and policy directions.

Member Berry opened the public hearing.

Karol Durdle, 1847 Birch Lake Avenue, expressed disappointment for the loss of many of the three bedroom units. She thought it seemed that the City was more concerned with where bikes would go than where kids would sleep, since it is very hard for families with multiple children to find housing. She wished the affordable units were still part of the request.

Katie Anthony, Schafer Richardson, Vice President of Development, spoke to the affordability and three bedroom units component. The company has been working with the City for months on including affordable housing in the project. As an organization, they recognize the importance of affordable housing in the community. However, there are limited financial tools to provide such housing. She hopes the community will work to see the value of affordable housing, otherwise it will not happen. The feedback from the City Council made it clear that affordable housing was not going to be a part of this project.

Ms. Anthony continued that the original number of three bedroom units were designed to meet the needs of families looking for affordable housing. With the shift away from

affordability, they made the decision to change the units to meet a more typical demographic for market rate housing.

Member West asked if there was any other funding available to provide the affordable units. Ms. Anthony replied that there are a few sources of funding available, the primary one being low income tax credits. The proposed site is not a great candidate and the procedure is quite competitive. The gap to cover 20% affordable was approximately \$4.5 to \$5.5 million, and it is very hard to piece together funding to cover that.

Peter Orth, Schafer Richardson, Development Manager, noted the changes that have been made to the proposal since the concept phase to improve the aesthetics and living experience of residents. He wondered if staff could provide an explanation for the requested sidewalk connection on the northeast side of the site.

Lindahl explained that there are no internal sidewalks connecting the north and south sides of the property, so the sidewalks would give consistent access throughout the site.

Member Amundsen asked if there was a risk to losing trees if a sidewalk was required along the parking lot and if there was building access on that side. Mr. Orth confirmed it may impact the landscaping plan and there is no access. He would be open to a sidewalk along the east side of the northern building, but does not see a purpose for a sidewalk running all the way south to County Road E.

Mr. Orth mentioned that there is a dedicated bike storage room inside the building. Lindahl added that the room will provide roughly 46 spaces for bikes, so it covers only a portion of what the City is asking for in terms of bicycle parking.

Mr. Orth stated that they will work on providing a sidewalk connection between the new apartment and the Barnum and they are working on the stormwater filtration oversizing condition. He commented that they are concerned with condition number one regarding the exterior materials. The new apartment has more accent brick than the Barnum has stone. The Barnum has 10.3% coverage of stone and the proposed project has 17.2% brick. They were intentional about placement of the brick to enhance the visible portions of the buildings. He believes that they have been amenable to the feedback from the City and have made design changes. They are asking staff to reconsider condition number 1.

In response to a question from Member West, Mr. Orth confirmed that the walk up units do not have a step up and that architectural elements were added after the concept phase.

Member Enz asked if there were charging stations available for electric vehicles. Mr. Orth confirmed that there were three charging stations proposed. Member Enz wondered if that will be enough in the future as more people buy electric. Her building

has none, which means people are always looking for a charging station. She does not know if she can support only three stations. Mr. Orth acknowledged that they can look into providing more.

Member Berry commented that there was a recommendation that conduit be installed for future charging stations. Ms. Anthony confirmed they provide electric vehicle charging stations at all their properties and there will be conduit laid for the future.

Member Reinhardt sought to clarify that the affordable units were removed due to the lack of funding from the City. Ms. Anthony confirmed that was accurate.

Member Berry closed the public hearing.

Member Amundsen asked about the exterior elevations and where staff was asking for brick. Lindahl pointed on the graphic where brick should be added and commented that the blue sections were a hardie board material. He noted that, in comparison to the Barnum, the new building is closer to the street and has more surface area of the building facing the street, therefore, the materials should be a higher quality.

Member Enz wondered why the additional brick is needed. It would eliminate some of the blue color, which as stated by the applicants, they are trying to highlight in reference to the city and the lake.

Lindahl stated that the idea is to have higher quality materials facing the public pedestrian realm, which are the lower levels and street frontage. The materials are more durable and break up the massing of the long side of the building. Staff's rationale for requesting the higher quality design is in trying to find an equal benefit for the community in exchange for the deviations proposed as part of the PUD process.

Member Lynch stated that he does not feel like the Planning Commission should design the project and wonders if they could provide broader conditions such as 'more brick' and 'provide sidewalk connections'.

Member Amundsen asked if staff had a percentage of brick coverage in mind. He thinks that would give the architect and design team more flexibility to design it how they want. Lindahl replied that yes, as part of a PUD, they could add that condition, however, the applicant has not been agreeable to any proposed exterior material changes.

Member Amundsen stated that since the building is closer to the road, he thinks the City should push for the higher quality design.

Member Baltzer asked if what is approved is carved in stone or if the applicant and staff could work together to come up with a condition agreeable to all before the City Council meeting. Lindahl stated the Planning Commission is an advisory body, so nothing is set and that a condition could be altered, however staff has been talking to the applicant



about this issue since the concept phase and they have not been able to come to an agreement.

Member Enz stated that she likes the uniqueness of the proposed building. She thinks adding the brick will create a look referred to as a “millennial kennel”. She does not want to look like every other community in the Twin Cities.

Member Reinhardt agreed, stating that it is likely an arbitrary determination of what constitutes higher quality. As long as it is maintained, it is an excellent design. He would be supportive of removing condition one. He commented that in light of the City Council withholding funding for affordable housing, the City is quickly running out of space to build. This project is a huge opportunity to move towards the goals laid out in the Comprehensive Plan. He does not understand why the City would go against its own plan. The affordable units were a large reason the project moved forward in the first place. He is unsure whether he can support the project now.

Member Lynch concurred that this was a missed opportunity and that using TIF in this scenario would have been a good idea. He thinks the building is beautifully designed and is torn between the blue and the better materials. He added that he supports modifying the sidewalk condition to eliminate the need for the long sidewalk along the east side of the property.

Member West stated that she shares Member Lynch’s views on the exterior materials and the sidewalk. She is very concerned with the affordable units. She does not feel that she can support the request if there is not an affordability component.

Lindahl commented that there is not a standard in the zoning code that requires affordability, so the discretion to use the financial tool lies with the City Council. The Planning Commission’s role is focused on the zoning code standards. There is not a zoning basis to recommend denial because of the lack of affordable units and he does not think the developer would find that helpful.

Member Lynch wondered if they could vote against the proposal, but add a note that if affordable units were added back in, they would support the project. He thinks some members of the Planning Commission want to vocalize their concerns.

Member Berry asked if the City Council was unanimous in its vote against TIF. Lindahl replied that there was not a direct vote on TIF, but the Council removed the condition regarding TIF consideration.

It was moved by Member **Lynch** to recommend condition number three be amended to require 0.75 bike stalls per unit and that at least 75% be inside, seconded by Member **Baltzer**. Motion carried, 7-0.

It was moved by Member **Lynch** to recommend condition number two be amended to require sidewalks between the gaps of the parking lots and on the northeast side, seconded by Member **Amundsen**. Motion carried, 7-0.

It was moved by Member **Enz** to recommend condition number one be removed, seconded by Member **Berry**. Member Amundsen stated that he supports staff since they are they experts. Motion carried, 5-2. Members Baltzer and Amundsen opposed.

Member Reinhardt asked if they could add a condition that the City Council reconsider TIF financing. Lindahl cautioned the Commissioners from doing something outside of the zoning standards. He stated that the Commissioners could make a separate statement that could be carried forward to the City Council.

Member Amundsen suggested the Commissioners watch the City Council meeting where this was discussed. He does not think they should add conditions that would hurt the developer.

Member Lynch does not think the City Council will change their opinion on TIF and he does not want to delay the project.

Member West stated she will support the project, but is very disappointed in the loss of affordable units and three bedroom units. Member Reinhardt concurred.

It was moved by Member **Lynch** to recommend approval of Case No. 22-2-PUD, seconded by Member **Amundsen**.

Motion carried, 7:0.

## 5. DISCUSSION ITEMS

### A. City Council Summary Minutes of August 10, 2022.

Member West asked about the proposed moratorium on THC products and tobacco shops. She noted that a tobacco shop recently opened close to her home and wondered how it would be impacted by the moratorium. Lindahl provided a background to the Commissioners regarding the proposal, how the zoning code needs to be updated in wake of State Statute changes, and when the Council will consider it next.

### B. Park Advisory Commission Minutes of June 16, 2022.

Member Enz stated that she hopes the Parks Commission has conversations with residents of Boatworks Commons before proceeding with the proposed open space renovations. They already have issues with noise and loitering, she does not want to see it get worse.

**6. ADJOURNMENT**

There being no further business before the Commission, it was moved by Member **Baltzer**, seconded by Member **West** to adjourn the meeting at 9:41 p.m.

Motion carried, 7:0

DRAFT



**City of White Bear Lake**  
Community Development Department

# M E M O R A N D U M

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** September 26, 2022  
**SUBJECT:** **AALFA Family Clinic Conditional Use Permit Amendment & Variances, 4465 White Bear Parkway, Case No. 04-18-Sa & 22-14-V**

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## SUMMARY

The applicant, Dr. Paul Spencer and AALFA Family Clinic, are requesting a conditional use permit amendment and two variances in order to construct a building addition and expand the existing parking lot. Site plan approval is required in both the Diversified Business District and the Shoreland Overlay District for construction or land alterations.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request. Further, based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of this request.

## GENERAL INFORMATION

Applicant/Owner: Dr. Paul Spencer / AALFA Family Clinic

Existing Land Use / Zoning: Clinic; zoned DBD: Diversified Business Development & S: Shoreland Overlay District

Surrounding Land Use / Zoning: North: Manufacturing/Assembly; zoned DBD & S  
 South: Office/Warehouse; zoned DBD & S  
 West: Office/Warehouse; zoned DBD & S  
 East: Townhomes; zoned R-5: Single Family – Two Family Medium Density Residential

Comprehensive Plan: Business Park

Lot Size & Width: Code: 1 acre; 150 feet  
 Site: 0.92 acres; 150 feet

## ANALYSIS

The applicant is requesting a conditional use permit amendment for site plan approval in order to

construct an addition that will be used as a breakroom for employees and to expand the parking lot on the west side of the lot. The proposed building addition is 350 square feet. The expansion of the parking lot includes a five foot variance from the ten foot hard surface side yard setback on both the north and south sides and a variance from the 30% impervious surface limit in order to allow 69% coverage on the property. The current number of stalls on site is 37, while the code requires 33. The new lot will add 13 more for a total of 50 parking stalls on the property.

#### Background

The subject site is located on the west side of White Bear Parkway and south of Highway 96 E. The building was constructed in 1987 and was used as a daycare until the clinic moved in. In 2004, Dr. Spencer was granted a conditional use permit for site plan approval in order to redevelop the site to its current use as a medical clinic. A five foot side yard setback variance for hard surface adjacent to the north and south lot lines and a 29.6% impervious surface variance was also granted at the time to expand the parking lot. The impervious surface variance was granted with a condition that the rear parking lot be constructed from pervious pavers consistent with the approved plans, so a 12% credit was granted to the site. Since the property was already at 52.9% impervious, with the credit, only 7% additional impervious surface was proposed and required to be mitigated.

The parking lot was not constructed within the time frame allowed, so the variance approvals expired. Sometime within the next several years, the parking lot was expanded, first with a bituminous lot on the south side, and later with a gravel lot on the west side of the lot, without permit, and without following the approved stormwater infiltration paver design. The current request is to rectify the past work and to allow the paving of the west side lot. However, the 12% credit should not be applied to the site, and all impervious surface above the 52.9% should be mitigated.

A condition of the original approval was that the runoff generated from the additional impervious surface be treated on site through the use of two rain gardens. As noted in the Engineering Department memo, dated September 12, attached, the rain gardens appear to have been partially or fully filled over time, and are therefore currently not treating the runoff from the excess impervious surface. Staff is including a condition of approval that the raingardens be reconstructed to treat the existing and proposed impervious surface to the extent possible (see Engineering Memo Comment #2).

#### Community Comment

Under state law and the City's zoning regulations, conditional use permit and variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding the request.

#### Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional

use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding:** The 2040 Comprehensive Plan Future Land Use Map guides the subject property “Business Park”, which “allows a mix of light industrial, warehouse, office, and limited retail uses. Uses should primarily be contained within primary structures with outdoor processing and storage generally prohibited.” The use as a medical office is consistent with the Business Park description.

2. The proposed use is or will be compatible with present and future land uses of the area.

**Finding:** The property is zoned DBD: Diversified Business District, which lists medical and dental services as a permitted use within the district. The purpose of the DBD district is “to provide for a limited mixture of land uses, made mutually compatible through controls and high quality standards; to facilitate moderate intensity development in environmentally sensitive areas and to encourage economic development which will enhance employment opportunities within the City. This district shall allow opportunities to integrate high quality office structures, hotels, restaurants, and selected office, office/warehouse, office/showroom, quality light manufacturing uses, and limited medium density housing, in areas with convenient access to the metropolitan market area and excellent visibility from major thoroughfares.” The surrounding properties are a mix of multi-tenant office, warehouse, and light industrial, which is reflective of the mix of businesses desired for both Business Park and the DBD zoning district and are compatible with the existing medical clinic.

3. The proposed use conforms with all performance standards contained herein.

**Finding:** The business conforms with the applicable zoning regulations, other than the two variances that accompany the request. The property complies with building setbacks and height, exterior wall finish requirements, and already provides the number of parking stalls required for a professional office of this size.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

**Finding:** The parking lot and building addition will not depreciate the area, rather it will improve the site from a gravel to paved lot and provide off-street parking for those who visit the clinic. There are a number of trees along the perimeter of the property that will be retained to provide a buffer, and the general exterior of the building is aesthetically similar to other properties in the surrounding neighborhood.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

**Finding:** The property is served by city water and sewer and there is not anticipated to be a change in demand. As stated above, the City has included a condition that as much stormwater runoff as feasible be directed towards the rain garden.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

**Finding:** The traffic generated from the business is not anticipated to increase with the proposed building or parking lot addition. The building addition is to provide more employee breakroom space, so will not increase the capacity to see patients or build new office area. Further, the new parking lot will take parked cars off of White Bear Parkway, reducing the amount of pedestrian traffic potentially crossing the road.

#### Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

The proposed parking lot expansion includes the following two variances: a five foot variance from the ten foot hard surface side yard setback on both the north and south sides and a variance from the 30% impervious surface limit in order to allow 69% coverage on the property. Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with purposes and intent of the ordinance?

**Finding:** The proposed variances are in harmony with the purpose and intent of the zoning regulations. Off street parking is required in the City to "alleviate or prevent congestion of the public right-of-way and to promote the safety and general welfare of the public", and providing additional parking meets this intent. Further, stormwater treatment of the increased impervious surface on site addresses the environmental sensitivity of the Birch Lake Shoreland Overlay district.

2. Is the variance consistent with the comprehensive plan?

**Finding:** The proposed variances are consistent with the comprehensive plan. As noted above, the medical clinic is aligned with the land use designation of “Business Park” as guided in the 2040 Comprehensive Plan. Staff recognizes the need for businesses to accommodate growing clientele and their parking demands, and since the Comprehensive Plan identifies the White Bear Parkway Business Park as a key economic area in the City, the City would like to work with the business to address those needs in order to retain a thriving business community.

3. Does the proposal put the property to use in a reasonable manner?

**Finding:** The proposed variances put the property to use in a reasonable manner. Expanding the parking lot to accommodate visitors that are currently parking off-site is a reasonable use of the property. The hard surface setback along the south side is an extension of what is existing, so is not intensifying the nonconformity, while the encroachment along the north side is just for turnaround space, so there is no vehicle parking within that encroachment.

4. Are there unique circumstances to the property not created by the landowner?

**Finding:** There are unique circumstances to the property. As stated in the applicant’s narrative, the existing building was originally constructed as a daycare in the center of the property to buffer a play area from the road. The location of the building limits the design of any parking lot expansion without encroaching into the required setback or making major modifications to the site.

5. Will the variance, if granted, alter the essential character of the locality?

**Finding:** The proposed variances will not alter the essential character of the neighborhood. Most of the commercial properties in the Birch Lake Shoreland Overlay district have impervious surface variances to accommodate parking and several of the businesses share drive aisles and parking lots, so it is not uncommon for there to be reduced hard surface setbacks.

## **RECOMMENDATION**

Staff recommends approval of the applicant’s request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to



petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

5. A building permit shall be obtained before any work begins.
6. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
7. The applicant shall conform with the requirements of the Engineering and Fire Departments.

**Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Engineering Review Memo dated 9-12-22

Fire Review Memo dated 9-9-22

Applicant's Narrative (2 pages) & Plans (13 pages)

**RESOLUTION NO.**

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT AMENDMENT AND TWO VARIANCES FOR 4465 WHITE BEAR PARKWAY WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Dr. Paul Spencer and AALFA Clinic (Case No. 04-18-Sa& 22-14-V) have requested a conditional use permit amendment for site plan approval in both the DBD zoning district, per code section 1303.225, Subd.4.i, and the Shoreland Overlay district, per 1303.230, Subd.6, and two variances: a 4.6 foot variance from the 10 foot setback for hard-surface from the north and south side lot lines, per 1303.225, Subd.6.e, and a variance from the 30% impervious area limitation to allow 69% impervious, per 1303.230, Subd.5.a.5, in order to construct an addition and parking lot at the following location:

**LOCATION:** 4465 White Bear Parkway

**LEGAL DESCRIPTION:** South 151.56 feet of Lot 2, Block 1 of White Bear Gateway Business Park, Ramsey County, MN. (PID #: 213022110010)

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on September 26, 2022; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit amendment and variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that, in relation to the Conditional Use Permit, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that, in relation to the variances, the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variances will allow the property to be used in a reasonable manner.

**RESOLUTION NO.**

- 4. There are unique circumstances to the property not created by the landowner.
- 5. Granting the requested variances alone will not alter the essential character of the neighborhood.

**BE IT FURTHER RESOLVED,** that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

- 1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
- 2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
- 3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
- 4. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
- 5. A building permit shall be obtained before any work begins.
- 6. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
- 7. The applicant shall conform with the requirements of the Engineering and Fire Departments.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
 Nays:  
 Passed:

---

Dan Louismet, Mayor

**ATTEST:**

---

Caley Longendyke, City Clerk

\*\*\*\*\*

**RESOLUTION NO.**

Approval is contingent upon execution and return of this document to the City Planning Office.  
I have read and agree to the conditions of this resolution as outlined above.

---

Applicant's Signature

Date



**City of White Bear Lake**  
Engineering Department

# MEMORANDUM

**To:** Ashton Miller, City Planner  
**From:** Connie Taillon P.E., Environmental Specialist/Water Resources Engineer  
**Date:** September 12, 2022  
**Subject:** **Aalfa Family Clinic Engineering Stormwater Review Comments – Land Use Application Review**

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The Engineering Department conducted a preliminary review of the stormwater calculations and civil plan sheets (C100, C200, C300, C400, C500, C501, C600) dated August 15, 2022 and received September 2, 2022 for the above referenced project and have the following stormwater related comments:

## **BACKGROUND**

- As per the Planning Commission memo date September 23, 2004, the current site at that time was developed with 52.9% impervious surfaces. A 7% increase in impervious surfaces was granted by the 2004 variance for a future 12 stall parking lot on the west side of the building, and future driveway access on the south side of the building. This 7% increase calculation included a 12% credit for porous paver areas.
- As per the Planning Commission memo date September 23, 2004, in order to mitigate the additional hard surface areas, the applicant had been asked to develop ponding areas on the north side of the building and in the boulevard along White Bear Parkway. The two ponding areas were to be designed as raingardens using native plantings to treat stormwater runoff. The two raingardens were proposed to capture stormwater runoff from all existing and future hard surfaces with the exception of the driveway leading from the parkway into the site. Resolution No 9678, which was passed by City Council on October 10, 2004, listed the addition of the two raingardens as a condition of variance approval.
- Both raingardens were constructed as part of the 2004 project. The north raingarden was designed to accept runoff from the future west parking lot and the existing roof area. The east raingarden was designed to treat runoff from the east parking lot that was reconstructed as part of the 2004 project via a curb cut in the NE corner of the parking lot. Both raingardens appear to not have been built per design and have also been partially or fully filled in.

- Based on a 2008 aerial photo, the south bituminous parking lot was extended sometime between 2006 and 2008. As per an email from Sam Crosby to Greg Buchal at Larson Engineering on August 31, 2021, Sam reviewed the address file for the property, PIMS (permitting) system, and in Laserfiche, and there was no record of a permit found for this parking lot extension.
- Based on a 2011 aerial photo, a gravel parking lot was added on the west side of the building sometime between 2009 and 2011. A permit was not pulled for this work.

## COMMENTS

- 1) The 2004 variance became null and void when the project was not completed within one calendar year after the approval date. A permit was not pulled for the construction of the expanded parking areas on either the south or west sides of the building, and the construction was not porous pavement as required by the 2004 variance. Therefore, for this project a variance will be required to mitigate additional impervious surfaces above 53%.
- 2) The applicant shall meet the intent of the Planning Commission memo dated September 23, 2004 and Resolution No 9678 to develop raingardens on the north side of the building and along the east side of the property to capture stormwater from all existing and future impervious surfaces, with the exception of the portion of the driveway leading from the parkway into the site that cannot feasibly be routed to a raingarden.
- 3) When adding the new impervious areas and the existing south parking lot impervious area that was installed without a permit, the project appears to be above the 10,000 square foot new and reconstructed impervious threshold; therefore, the project will trigger the City of White Bear Lake Engineering Design Standards for Stormwater Management. As per comment 2, the entire site shall meet these standards. Note that if the Engineering Design Standards are met for this project (including comment 2), the Shoreland Overlay District impervious mitigation requirements will also be met.
- 4) Sheet C200, Site Notes: please revise the following in the 'site areas' summary:
  - a) Itemize each 'other existing impervious' area (sidewalk areas, paved parking areas, curbs, sheds, etc.). For the existing parking areas, provide a separate parking area for the south parking lot that was constructed without a permit. Label this area as 'existing south parking lot constructed 20XX' (label the year it was constructed). Do the same for the other existing parking lot area(s) and include the year each was constructed.
  - b) For the new impervious calculations, please itemize each new impervious surface area including the new concrete sidewalk area(s), each new parking lot area (separating the west parking lot and south parking lot), and any other miscellaneous new pavement areas. If the new parking lot curb and gutter is included in the parking lot areas, note this next to each parking lot area calculation.
  - c) Add a total for all proposed impervious surfaces in the site areas summary.

- 5) For the rate control calculation, the existing conditions shall be modeled per the conditions of the site in 2004 when the site was at 52.9% impervious. The existing subcatchment area map shall show the 2004 site layout.
- 6) A detailed review of the stormwater calculations, civil plans, landscape plans, and geotechnical report will be completed after the above comments have been incorporated into the design.
- 7) An asbuilt survey and Stormwater Operations and Maintenance Agreement (SOMA) will be required for this project.



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



September 9, 2022

Alpha Family Clinic  
4465 White Bear Parkway  
White Bear Lake, MN 55110

Dear Alpha Family Clinic:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 4465 White Bear Parkway have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison  
Assistant Fire Chief / Fire Marshal  
651-762-4842

Encl.





## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



### General Comments

1. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes for the east and south lots. Trees are currently overhanging into the drive lanes, the trees shall be trimmed for a vertical clearance of 13 feet 6 inches.
2. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will lock the keys in the fire department key box on the exterior of the building.
4. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. The new additional shall be protected by the fire sprinkler system. City permit required **prior** to initiation of work.
5. The sprinkler system shall be current on annual inspection and testing. Any deficiencies noted during those reports shall be corrected.
6. The sprinkler system shall be properly monitored by a qualified monitoring company.
7. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
8. Install compliant exit signage as required by the 2020 MSFC.
9. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
10. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
11. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.



## City of White Bear Lake Fire Department

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12. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

### **Codes and Standards Used for this Review**

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 04-18-Sa + 22-14-V

CASE NAME : AALFA Family Clinic

DATE : September 26, 2022

**Larson Engineering, Inc.**  
3524 Labore Road  
White Bear Lake, MN 55110-5126  
651.481.9120 Fax: 651.481.9201  
www.larsonengr.com



August 15, 2022

Jason Lindahl, AICP  
Community Development Director  
City of White Bear Lake  
4701 Highway 61  
White Bear Lake, MN 55110

Re: Land Use & Variance Application Narrative  
4465 White Bear Parkway

Dear Jason Lindahl:

The landowner of this property, Paul J. Spencer, is seeking a variance related to the hard surface (parking lot pavement) for the side setback requirements and for the allowable amount of impervious surface.

A medical clinic is currently in operation at the property which is a permitted use in this zoning district, Diversified Business District, and the landowner would like to construct a breakroom addition to the west side of the existing building of about 350 square feet. In addition, the landowner would like to increase the number of available parking spaces to better accommodate the staff and patient parking needs for the facility, and reduce the need to park in the street (White Bear Parkway). To increase the amount of parking at the facility, it is proposed to construct parking on the west side of the building which would be used primarily by staff.

The existing parking lots on the east side of the building will not be modified. Currently the distance to the existing hard surface on the south side is 5 feet and a 10-foot setback is required. To align the new drive and parking areas to the west with those existing to the east, we are requesting a variance for the side setback to match that of the existing south side. Since these parking lots were in place when the property was purchased in 2003, these non-conforming setbacks represent an existing condition at that time that could not be mitigated without changes to the parking lot layout, with a loss of parking stalls, and significant cost beyond that intended for this project. The south lot will be modified slightly to make ADA compliant parking stalls, along with improved ADA access to the building.

With the added parking and building addition, the impervious surface of the site would be at approximately 69%. It is our understanding that the allowable limit for this property is currently 53% from the original CUP in 2004. The Owner is requesting approval of this variance to better accommodate staff and patient parking needs for safe and successful operation of the facility. Although parking is allowed on the adjacent street (White Bear Parkway), but it would be safer for the patients and families that utilize this medical facility to park on-site.


The overall size of the lot is relatively small (the smallest of those in the Gateway Business Park) such that when adequate parking and building space is provided for the current medical clinic facility, the relative percentage of impervious surface is higher and exceeds the standard coverage. The layout of the site with the building at the center of the lot was based upon the original use as a day care center which had a playground behind the building for separation and safety purposes. This configuration does not allow for efficient layout of parking spaces, such as typically having parking on both sides of a drive lane, due to space constraints.

It should also be mentioned that stormwater treatment is being provided for both the proposed building addition and the added parking at the facility, along with treating a portion (the building roof water) of the existing impervious surface at the site.

By approving these variances, the action would not impair the supply of light or air to the adjacent properties, increase congestion in the public street, increase the fire danger, or impair property values. Granting the variance would also be in harmony with the general purpose and intent of the Code for use in this zoning district and the Gateway Business Park and would not be detrimental to the public welfare.

If you have questions or need additional information, please let us know. Thank you for your consideration of these variance and land use requests.

Sincerely,  
**Larson Engineering, Inc.**



Greg Buchal  
Project Manager

# Aalfa Clinic BREAK ROOM EXPANSION

## DRAWING INDEX

### SCOPE OF WORK:

THIS SCHEMATIC DESIGN SET PERTAINS TO THE EXPANSION OF THE BREAK ROOM ALONG WEST SIDE OF EXISTING STRUCTURE, UNDERNEATH EXISTING CANOPY AND NEW CANOPY EXTENSION. DEMOLITION OF OPENINGS TO ACCESS NEW BREAK ROOM EXPANSION AND INSTALLATION OF NEW FOUNDATION, FRAMING FOR NEW WALLS AND CANOPY EXPANSION.

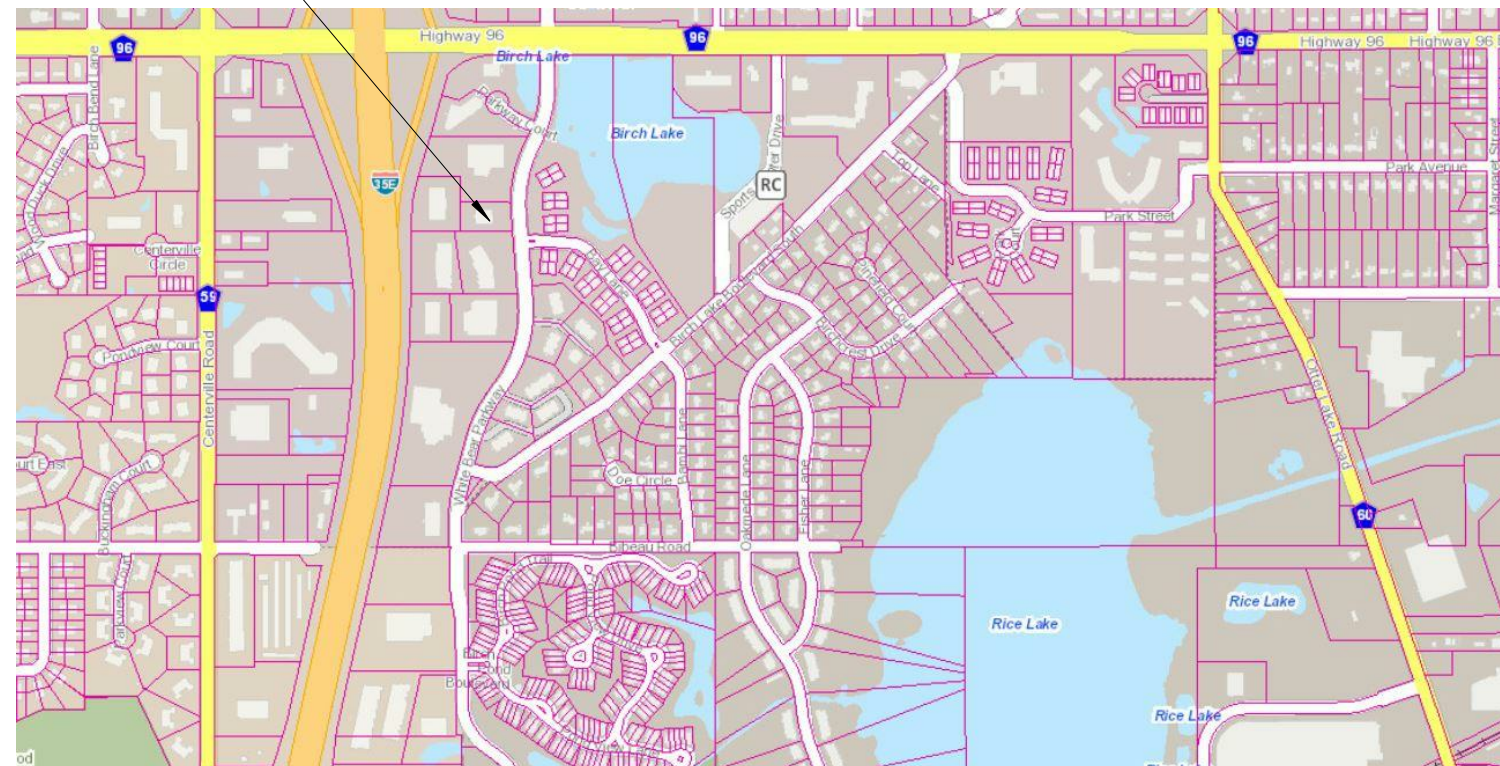
4465 White Bear Pkwy, White Bear Lake, MN 55110

No.	Sheet Name:	Rev:	Issue:	Date:
GENERAL				
G-100	COVER SHEET	A	30% SD	MAR 01, 2021
G-101	SITE PLAN	A	30% SD	MAR 01, 2021
ARCHITECTURAL				
A-100	GENERAL FLOOR PLAN	A	30% SD	MAR 01, 2021
A-110	FLOOR PLANS	A	30% SD	MAR 01, 2021
A-200	BUILDING DEMO ELEVATIONS	A	30% SD	MAR 01, 2021
A-201	BUILDING ELEVATIONS	A	30% SD	MAR 01, 2021



VIEW OF PROPOSED ADDITION

SITE LOCATION

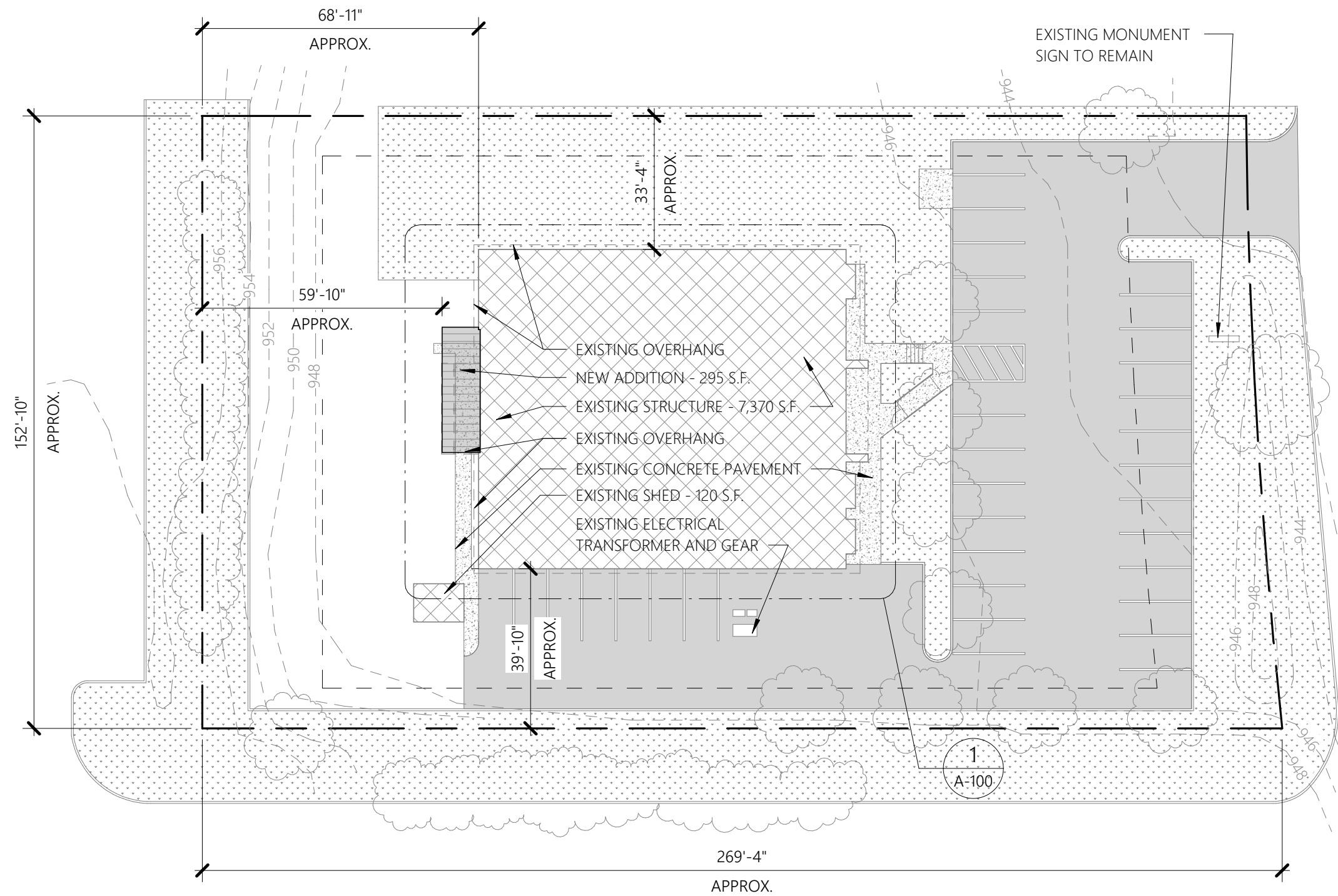



**1** SITE LOCATION  
 1 : 12000

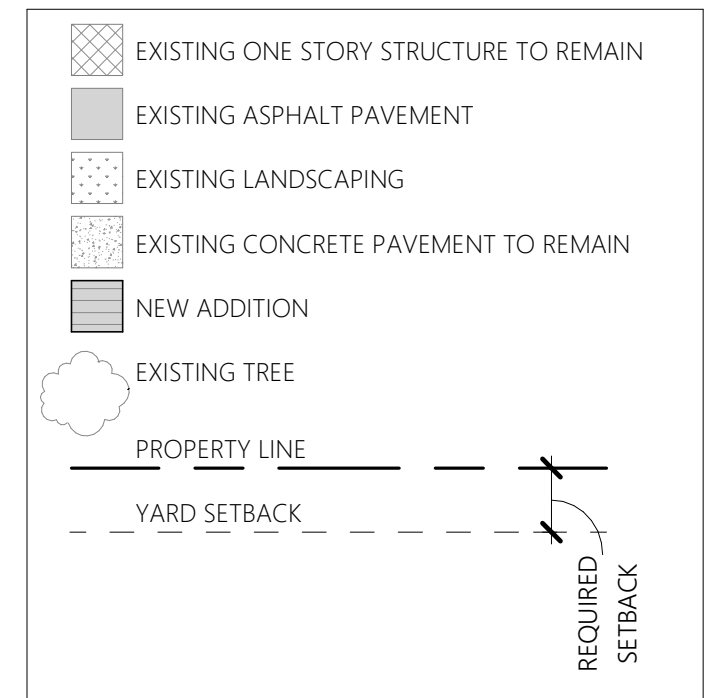
Aalfa Clinic  
BREAK ROOM EXPANSION

**G-100**

4465 White Bear Pkwy, White Bear Lake, MN 55110



**SITE LEGEND:**

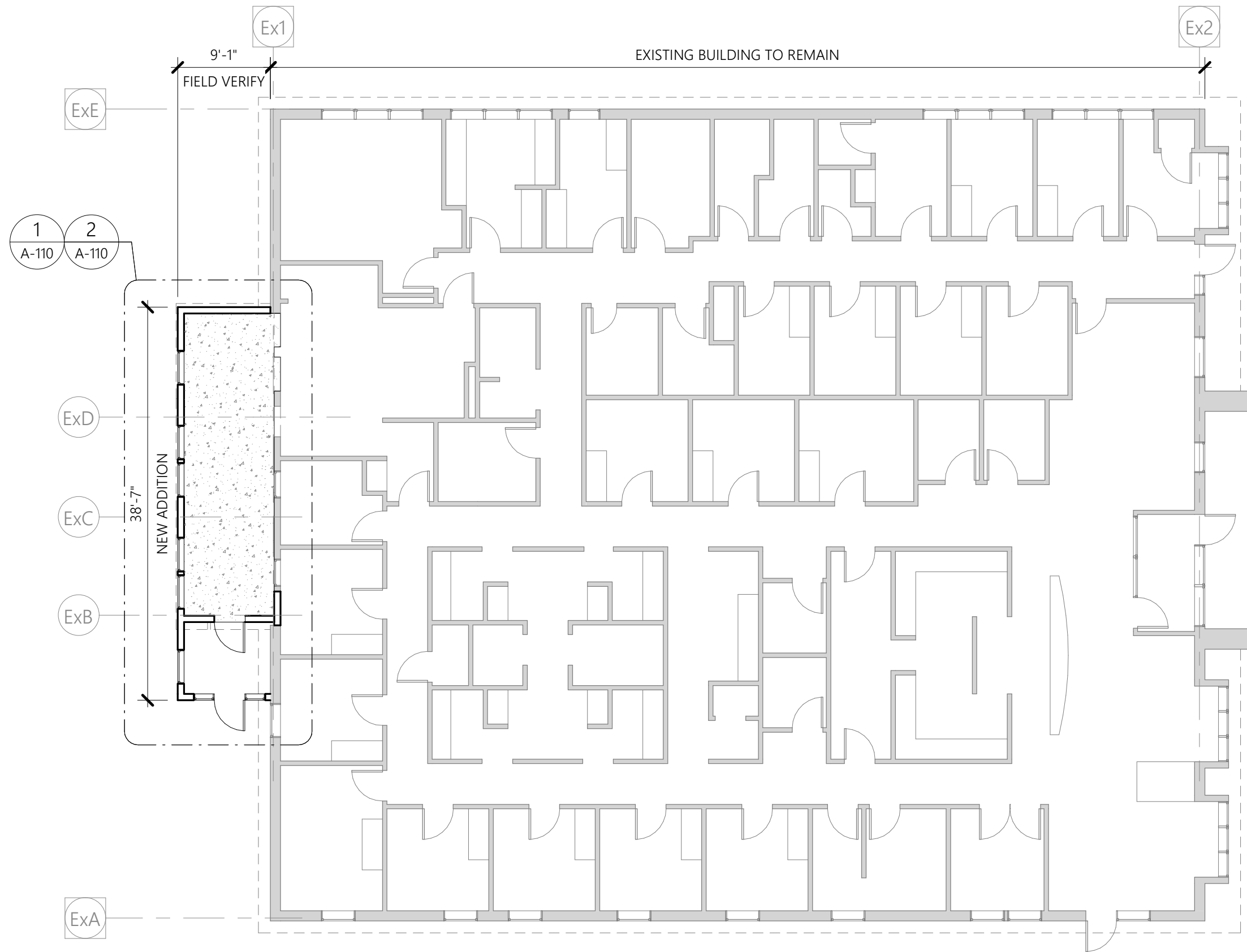


N  
 ① SITE PLAN  
 1" = 30'-0"

**Aalfa Clinic  
 BREAK ROOM EXPANSION**

4465 White Bear Pkwy, White Bear Lake, MN 55110

**G-101**



**GENERAL PLAN NOTES:**

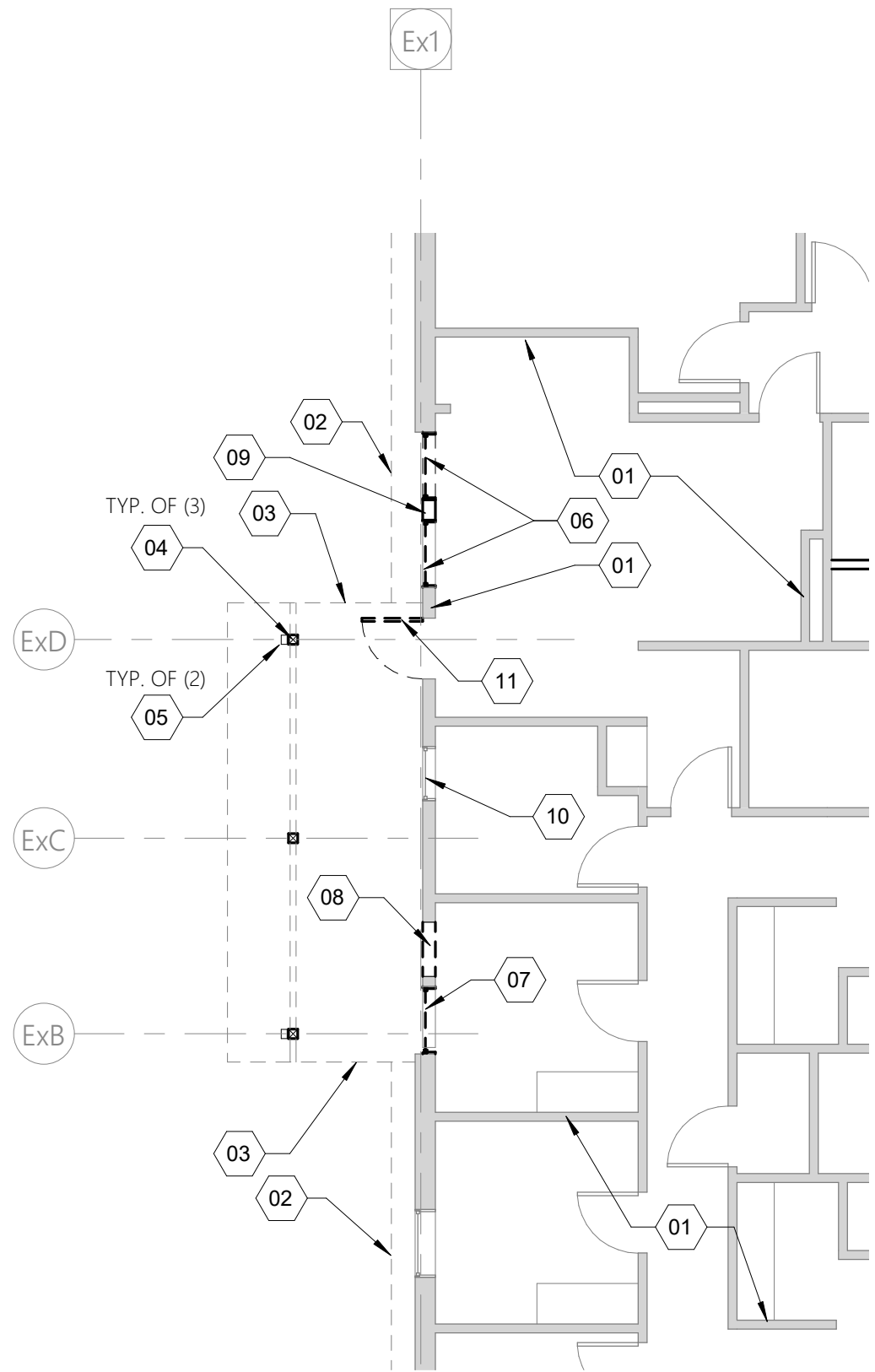
- A. EXISTING ITEMS TO REMAIN SHOWN TONED DOWN - PROTECT AS NECESSARY.
- B. BRACE EXISTING STRUCTURE AS REQUIRED DURING DEMOLITION.
  - a. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING STRUCTURAL CAPACITY OF EXISTING CANOPY TO REMAIN.
  - b. GENERAL CONTRACTOR IS RESPONSIBLE FOR DESIGN OF NEW STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO CANOPY SUPPORT, LINTELS & FOUNDATIONS.
  - c. PROVIDE STRUCTURAL DEFERRAL SUBMITTAL AS REQUIRED BY LOCAL JURISDICTION.
- C. COORDINATE ITEMS TO BE SALVAGE WITH OWNER.
- D. PATCH ITEMS TO REMAIN AS REQUIRED AT INTERSECTION WITH DEMOLISHED ITEMS.


 1 1ST LEVEL - GENERAL FLOOR PLAN  
 3/32" = 1'-0"

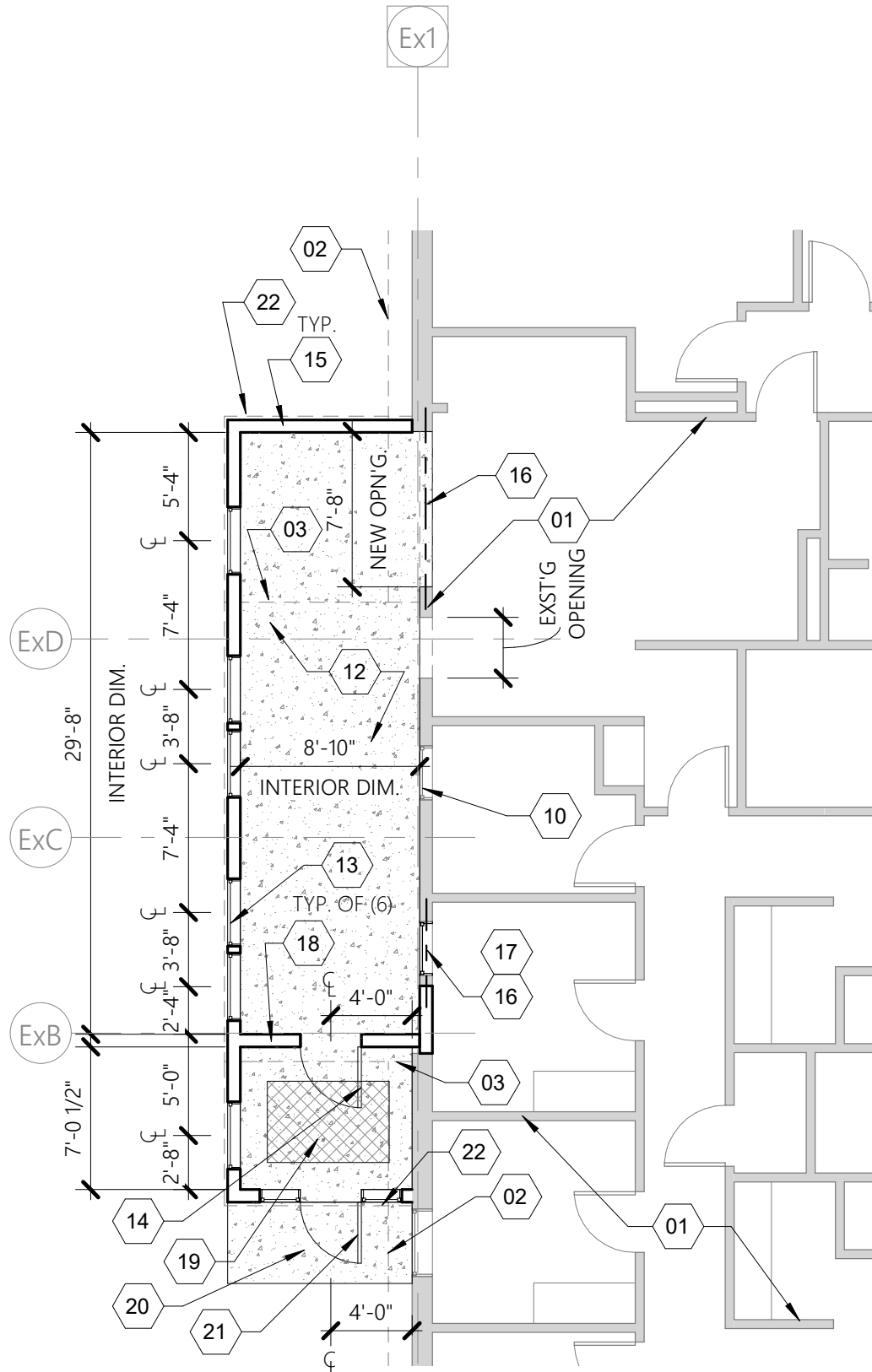
Aalfa Clinic  
**BREAK ROOM EXPANSION**

A-100





1 1ST LEVEL - DEMOLITION PLAN  
1/8" = 1'-0"



2 1ST LEVEL - FLOOR PLAN  
1/8" = 1'-0"

**GENERAL PLAN NOTES:**

- A. EXISTING ITEMS TO REMAIN SHOWN TONED DOWN - PROTECT AS NECESSARY.
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**PLAN KEY NOTES:**

- 1. EXISTING ITEMS TO REMAIN SHOWN TONED DOWN - PROTECT AS NECESSARY.
- 2. EXISTING SOFFIT ABOVE TO REMAIN SHOWN DASHED.
- 3. EXISTING CANOPY ABOVE TO REMAIN SHOWN DASHED.
- 4. REMOVE EXISTING WOOD COLUMN AND ASSOCIATED BEAM - REFER TO GENERAL NOTES FOR STRUCTURAL DESIGN COMMENTS.
- 5. REMOVE EXISTING METAL DOWNSPOUT.
- 6. REMOVE EXISTING ALUMINUM WINDOW IN ITS ENTIRETY, INCLUDING SILL WALL FOR NEW OPENING - SALVAGE AND RETURN WINDOW TO OWNER.
- 7. REMOVE EXISTING WINDOW IN ITS ENTIRETY FOR INFILL - SALVAGE AND RETURN WINDOW TO OWNER.
- 8. REMOVE PORTION OF EXISTING WALL FOR NEW GLASS BLOCK WINDOW.
- 9. REMOVE PORTION OF EXISTING WALL FOR NEW OPENING INTO BREAK ROOM EXPANSION.
- 10. EXISTING GLASS BLOCK WINDOW TO REMAIN.
- 11. REMOVE EXISTING HOLLOW METAL DOOR - SALVAGE AND RETURN TO OWNER.
- 12. NEW 4" CONCRETE SLAB, SHOWN HATCHED, OVER POLY VAPOR BARRIER, 2" RIGID INSULATION AND 6" OF SAND, SHOWN HATCHED.
- 13. NEW ALUMINUM WINDOW TO MATCH EXISTING WINDOWS SIZE AND FINISH.
- 14. NEW 3'-0" x 7'-0" HOLLOW METAL DOOR.
- 15. NEW EXTERIOR WALL OVER FROST CONTINUOUS CONCRETE FOUNDATION - REFER TO BUILDING ELEVATIONS FOR CONSTRUCTION.
- 16. NEW LINTEL - REFER TO GENERAL NOTES FOR STRUCTURAL DESIGN COMMENTS.
- 17. NEW GLASS BLOCK WINDOW TO MATCH EXISTING.
- 18. NEW INTERIOR PARTITION (6" METAL STUDS WITH FULL BATT INSULATION & 5/8" GYP. BD. BOTH SIDES).
- 19. NEW 4'x6' RECESSED FLOOR MAT.
- 20. NEW 4' LONG CONCRETE STOOP.
- 21. NEW ALUMINUM STOREFRONT DOOR AND SIDELIGHTS.
- 22. NEW ROOF OVERHANG BELOW EXISTING ROOF OVERHANG - REFER TO BUILDING ELEVATIONS.

Aalfa Clinic  
**BREAK ROOM EXPANSION**

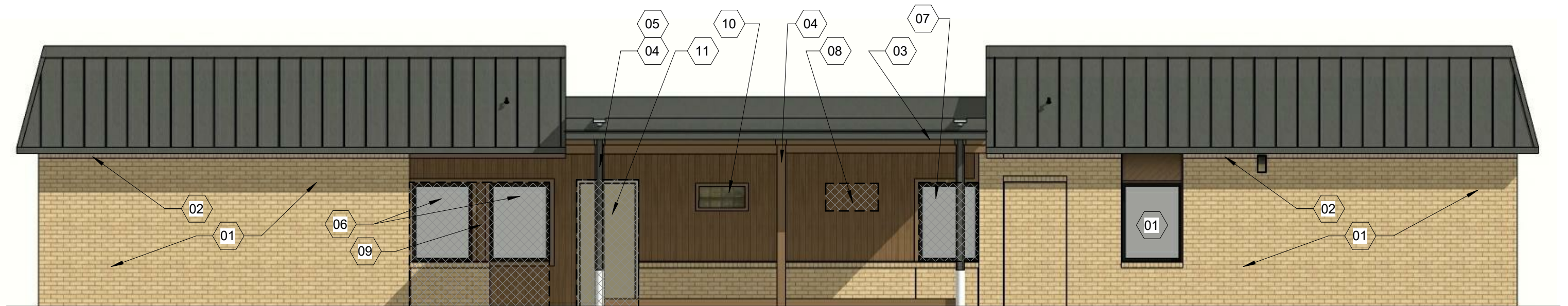
4465 White Bear Pkwy, White Bear Lake, MN 55110

**GENERAL PLAN NOTES:**

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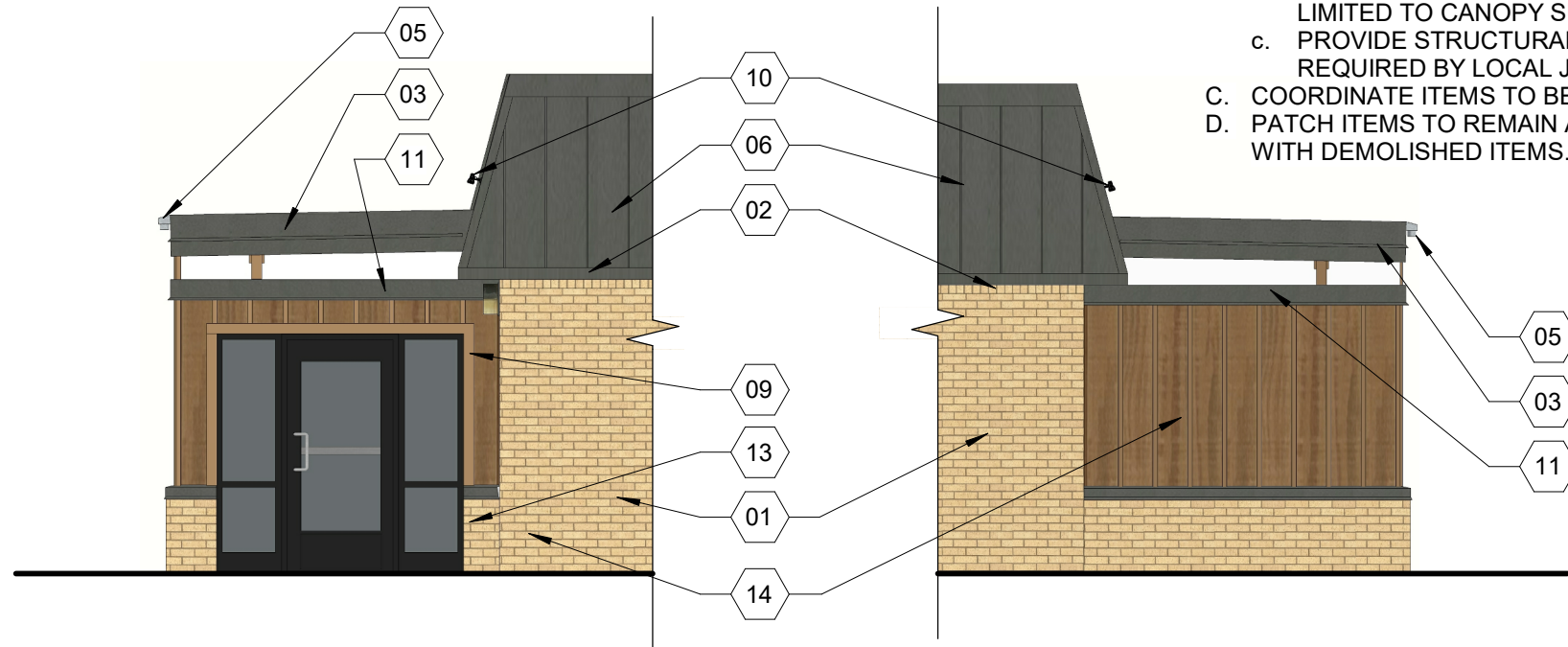
① DEMO WEST ELEVATION  
3/16" = 1'-0"

**GENERAL PLAN NOTES:**

- A. EXISTING ITEMS TO REMAIN SHOWN TONED DOWN - PROTECT AS NECESSARY.
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- C. COORDINATE ITEMS TO BE SALVAGE WITH OWNER.
- D. PATCH ITEMS TO REMAIN AS REQUIRED AT INTERSECTION WITH DEMOLISHED ITEMS.

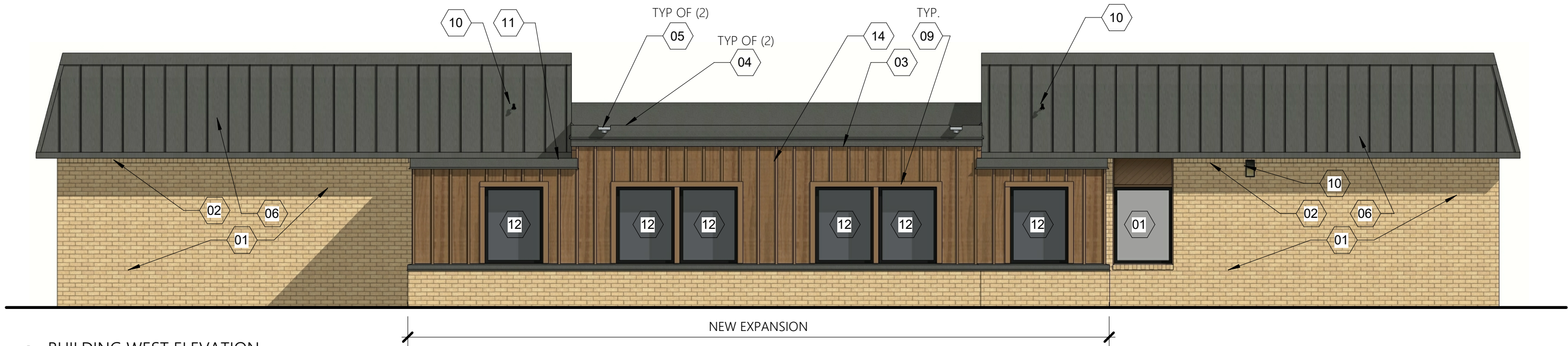
**PLAN KEY NOTES:**

- 1. EXISTING ITEMS TO REMAIN SHOWN TONED DOWN - PROTECT AS NECESSARY.
- 2. EXISTING SOFFIT ABOVE TO REMAIN.
- 3. EXISTING CANOPY ABOVE TO REMAIN.
- 4. REMOVE EXISTING CANOPY ROOF DRAIN.
- 5. EXISTING OVERFLOW SCUPPER TO REMAIN.
- 6. EXISTING METAL ROOF ABOVE TO REMAIN.
- 7. NEW THIN BRICK FINISH TO MATCH EXISTING BRICK.
- 8. NEW PREFINISHED METAL FLASHING TO MATCH EXISTING ROOF FLASHING COLOR.
- 9. NEW 3-1/2" WOOD TRIM AROUND WINDOWS TO MATCH EXISTING TRIM.
- 10. EXISTING LIGHT FIXTURE TO REAMIN.
- 11. NEW CANOPY EXTENSION.
- 12. NEW ALUMINUM WINDOW TO MATCH EXISTING WINODWS SIZE AND FINISH.
- 13. NEW 3'-0" x 7'-0" HOLLOW METAL DOOR.
- 14. NEW EXTERIOR WALL OVER FROST CONTINUOUS CONCRETE FOUNDATION:
  - BOARD AND BATTEN (12") LP SMART SIDING (INSTALL THIN BRICK SILL ON TOP OF 2" RIGID INSULATION AND CEMENT BOARD).
  - 4/8" SHEATHING
  - 2"x6" WOOD STUDS FILLED WITH BATT INSULATION
  - VAPOR BARRIER
  - 5/8" GYPSUM BOARD



② BUILDING SOUTH ELEVATION  
3/16" = 1'-0"

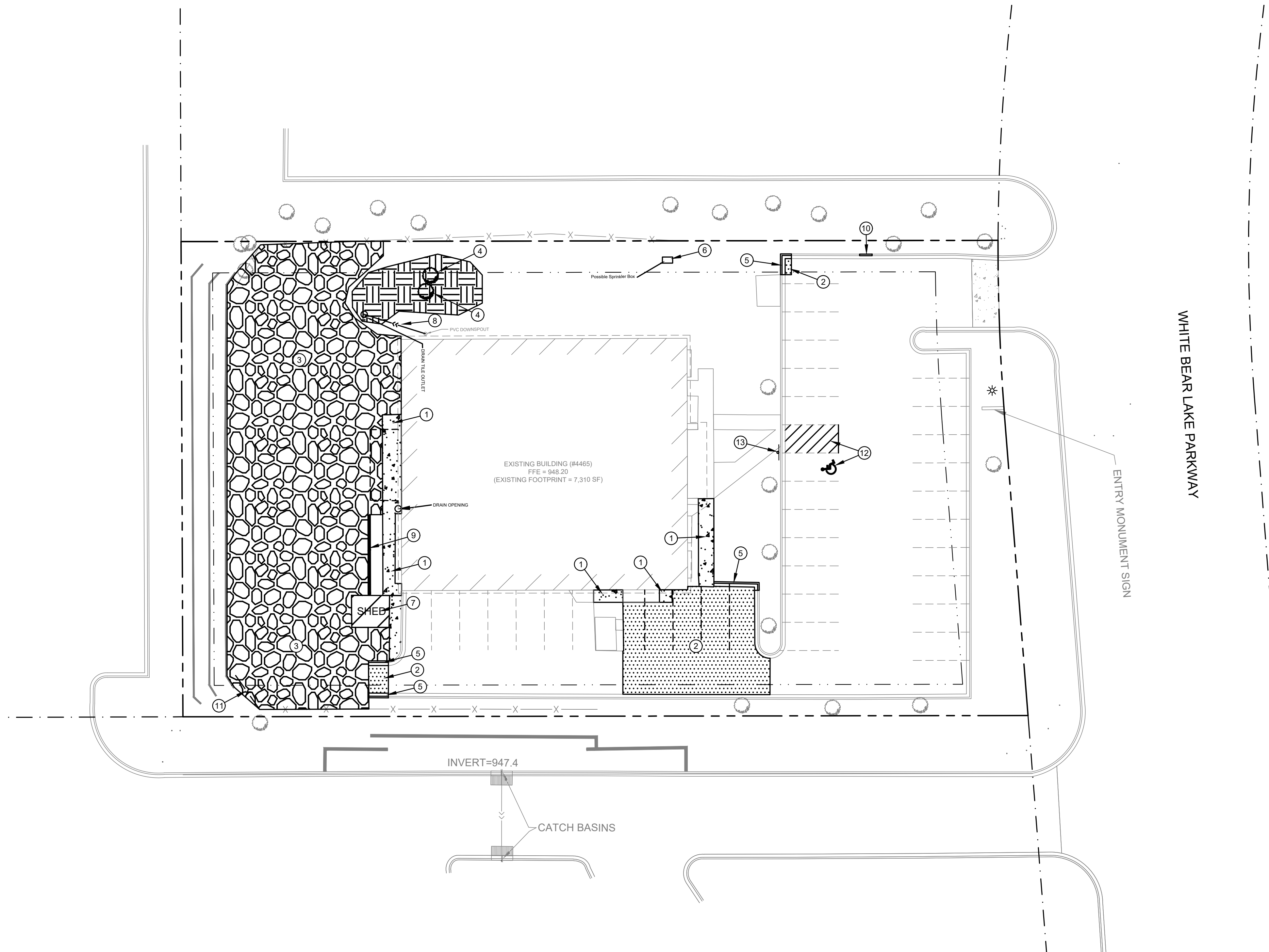
③ BUILDING NORTH ELEVATION  
3/16" = 1'-0"



① BUILDING WEST ELEVATION  
3/16" = 1'-0"

Aalfa Clinic  
**BREAK ROOM EXPANSION**

**A-201**



**SYMBOL LEGEND**

- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION.
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING GRAVEL PAVEMENT. AT CONTRACTORS OPTION, RECLAIM FOR USE AS BASE AGGREGATE
- REMOVE AND DISPOSE OF ALL UNDERBRUSH, TREES, AND ROOTS

**KEY NOTES**

- ① REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT.
- ② REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT.
- ③ REMOVE AND DISPOSE OF EXISTING GRAVEL PAVEMENT. AT CONTRACTORS OPTION, RECLAIM FOR USE AS BASE AGGREGATE.
- ④ REMOVE AND DISPOSE OF EXISTING TREE, STUMP, AND ROOTS.
- ⑤ REMOVE AND DISPOSE OF CONCRETE CURB.
- ⑥ REMOVE AND RELOCATE EXISTING IRRIGATION, COORDINATE WITH OWNER.
- ⑦ REMOVE AND RELOCATE EXISTING SHED, SEE SHEET C200 FOR PROPOSED LOCATION.
- ⑧ REMOVE AND DISPOSE OF EXISTING DRAINTILE LINE AND OUTLET.
- ⑨ REMOVE AND DISPOSE OF EXISTING TIMBER BEAM.
- ⑩ REMOVE AND DISPOSE OF EXISTING CURB BACK, GUTTER LINE TO REMAIN.
- ⑪ REMOVE AND DISPOSE OF EXISTING FENCE.
- ⑫ REMOVE EXISTING HANDICAP STRIPING.
- ⑬ REMOVE AND DISPOSE OF EXISTING HANDICAP SIGN, POST, AND ANY RELATED INFRASTRUCTURE.

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

**SITE NOTES**

**ZONING DISTRICTS:**  
 DIVERSIFIED BUSINESS DISTRICT  
 SHORELAND DISTRICT

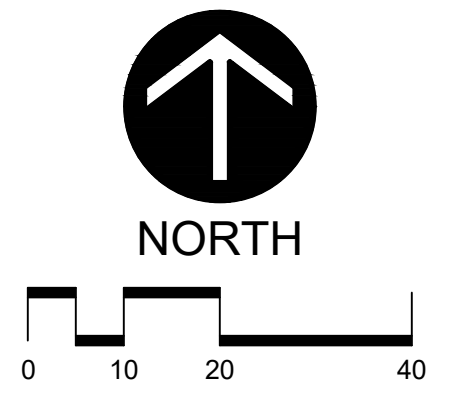
**PARKING SETBACK REQUIREMENTS:**  
 FRONT SETBACK: 20 FEET  
 SIDE/REAR SETBACK: 10 FEET

**PARKING STALLS:**  
 EXISTING PAVED PARKING TOTAL STALL COUNT: 37 STALLS\*  
 ACCESS AISLES: 1 STALL  
 HANDICAP PARKING STALLS: 1 STALL

\*NOTE: NO PARKING STALLS WERE ACCOUNTED FOR IN THE PAVED GRAVEL AREA AT THE BACK OF THE BUILDING.

**SITE AREAS:**  
 EXISTING ROOF: 7,310 SF  
 EXISTING GRAVEL PARKING: 6,992 SF  
 OTHER EXISTING IMPERVIOUS (SIDEWALKS, PAVED PARKING AREAS, CURB, ETC.): 14,363 SF

TOTAL AREA OF IMPERVIOUS (PRE-CONSTRUCTION): 28,665 SF  
 TOTAL AREA OF LOT: 40,023 SF  
 PERCENT COVERAGE OF IMPERVIOUS: 71.62%



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**ALPHA FAMILY CLINIC**  
 4465 WHITE BEAR PARKWAY  
 WHITE BEAR LAKE, MN 55110

Client:

**2022 BUILDING AND PARKING LOT ADDITION**  
 ALPHA FAMILY CLINIC  
 WHITE BEAR LAKE, MN 55110

Project Title:

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

First M. Last, P.E.  
 Date: 08.15.2022 Lic. No.: 23793


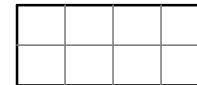
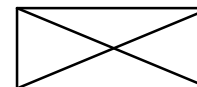
Rev.	Date	Description

Project #: 12216110  
 Drawn By: MTH  
 Checked By: GAB  
 Issue Date:  
 Sheet Title:

**DEMOLITION PLAN**

Sheet:  
**C100**

**SYMBOL LEGEND**

-  NEW BITUMINOUS PAVEMENT  
SEE DETAIL 1/C500
-  NEW CONCRETE PAVEMENT  
SEE DETAIL 2/C500
-  NEW CONCRETE STOOP  
SEE STRUCTURAL

**KEY NOTES**

- ① NEW B612 CONCRETE CURB, SEE DETAIL 3/C500
- ② NEW BITUMINOUS PAVEMENT, SEE DETAIL 1/C500
- ③ NEW CONCRETE PAVEMENT, SEE DETAIL 2/C500
- ④ NEW CURB CUT, SEE DETAIL 3/C501
- ⑤ NEW CURB BACK, SEE DETAIL 4/C500
- ⑥ RELOCATE EXISTING SHED TO NEW CONCRETE PAD
- ⑦ NEW ADA SIGN AND POST, SEE DETAIL 5/C500

**PAVING NOTES**

1. Mill and overlay existing bituminous pavement areas adjacent to new bituminous pavement as needed to ensure proper drainage.
2. Concrete joints are shown for general reference only to signify new light-duty and/or heavy-duty concrete pavement. Actual joints shall be constructed per the project specifications.

**SITE NOTES**

**ZONING DISTRICTS:**  
DIVERSIFIED BUSINESS DISTRICT  
SHORELAND DISTRICT

**PARKING SETBACK REQUIREMENTS:**  
FRONT SETBACK: 20 FEET  
SIDE/REAR SETBACK: 10 FEET

**PARKING STALLS:**  
EXISTING PAVED PARKING STALLS: 37 STALLS  
ACCESS AISLES STALLS: 1 STALL  
HANDICAP PARKING STALLS: 2 STALL  
NEW PAVED PARKING STALLS: 13 STALLS  
TOTAL PARKING STALLS: 50 STALLS

**SITE AREAS:**  
EXISTING ROOF: 7,310 SF  
NEW ROOF: 350 SF  
NEW IMPERVIOUS PAVEMENT:  
OTHER EXISTING IMPERVIOUS (SIDEWALKS,  
PAVED PARKING AREAS, CURB, ETC.): 12,170 SF

TOTAL AREA OF IMPERVIOUS: 27,677 SF  
TOTAL AREA OF LOT: 40,023 SF  
PERCENT COVERAGE OF IMPERVIOUS: 69.15%

PRELIMINARY NOT FOR CONSTRUCTION

Client:

**ALPHA FAMILY CLINIC**  
4465 WHITE BEAR PARKWAY  
WHITE BEAR LAKE, MN 55110

Project Title:

**2022 BUILDING AND PARKING LOT ADDITION**  
ALPHA FAMILY CLINIC  
WHITE BEAR LAKE, MN 55110

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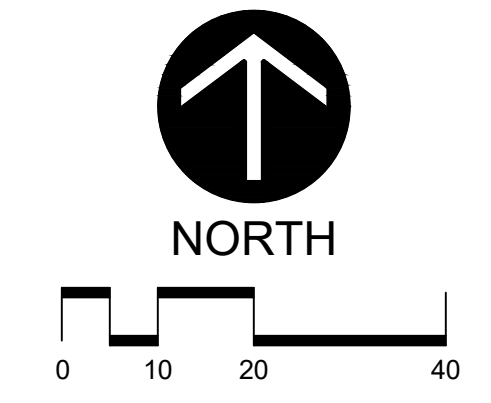
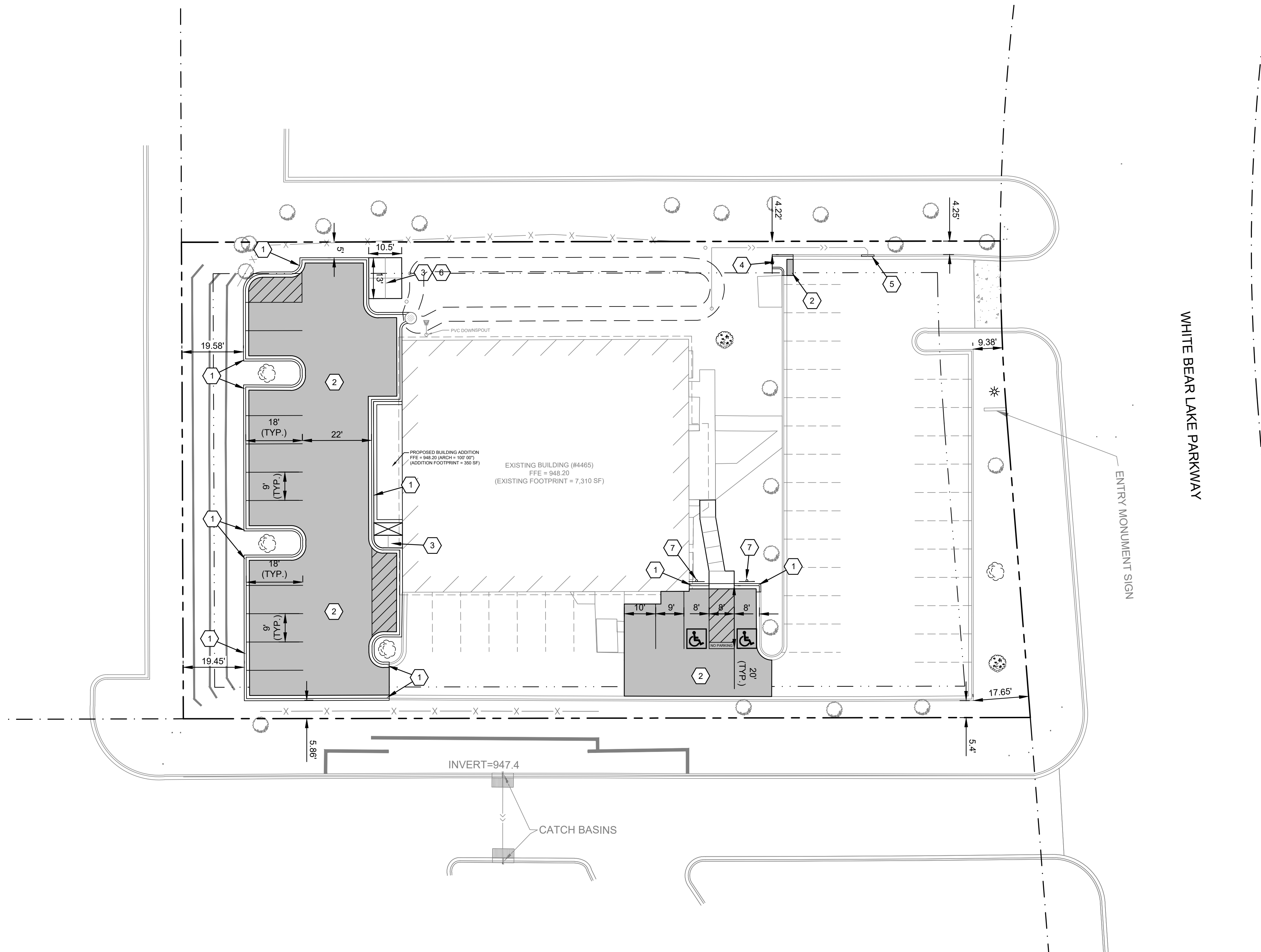
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Rev.	Date	Description

Project #: 12216110  
Drawn By: MTH  
Checked By: GAB  
Issue Date:  
Sheet Title:

**PAVING AND DIMENSION PLAN**

Sheet:  
**C200**

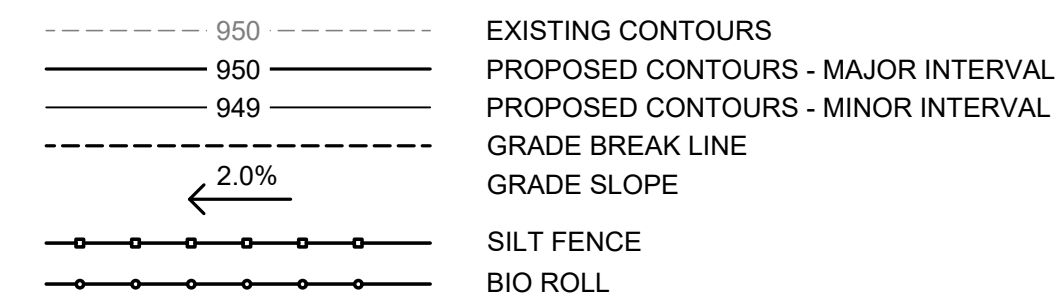


# EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.

- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

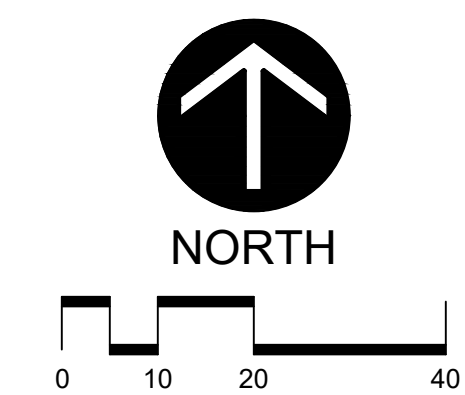
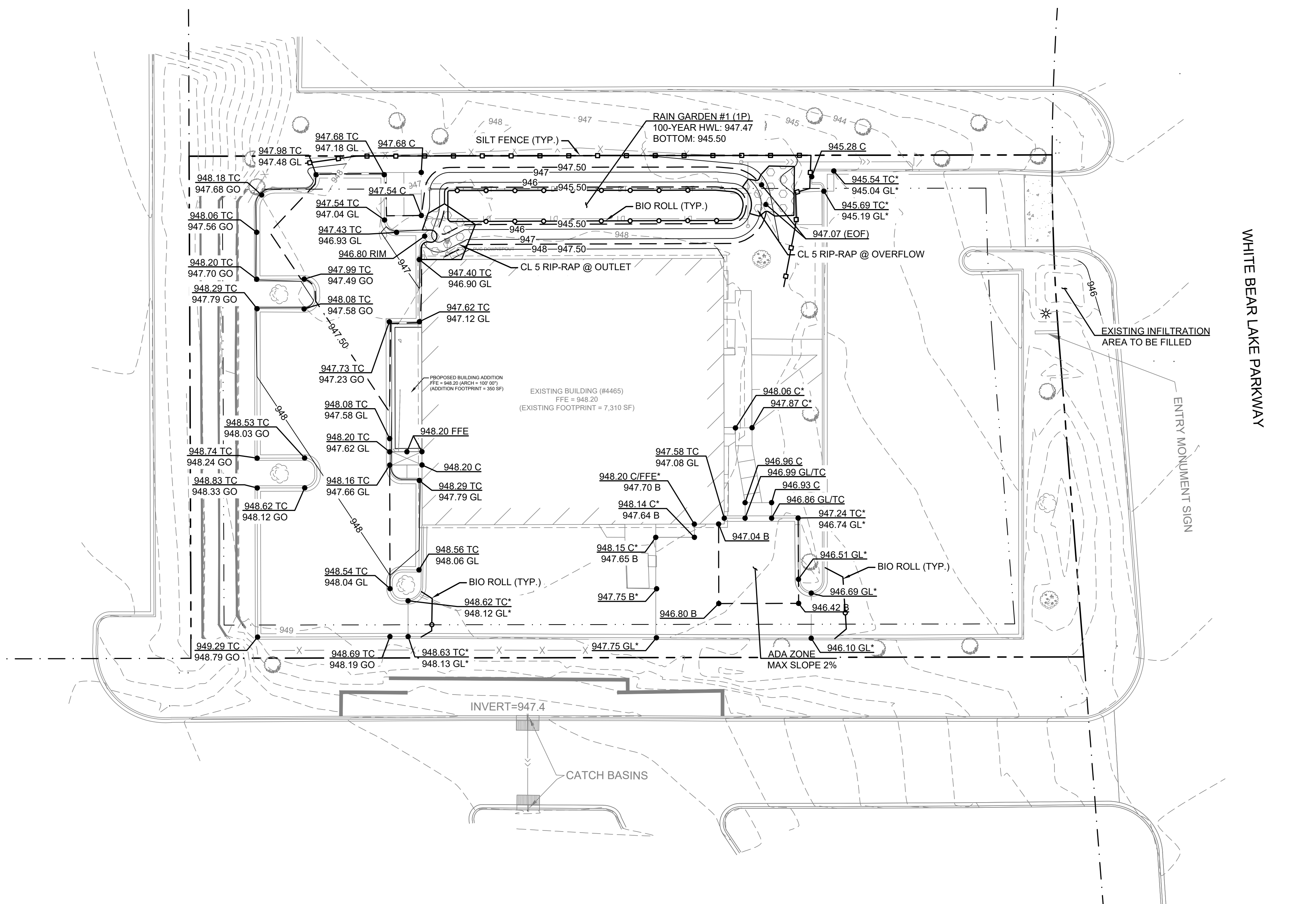
# SYMBOL LEGEND



**SPOT ABBREVIATIONS:**  
 TC - TOP OF CURB  
 GL - GUTTER LINE  
 GO - GUTTER OUT  
 B - BITUMINOUS  
 C - CONCRETE  
 EOF - EMERGENCY OVERFLOW  
 TW - TOP OF WALL  
 BW - BOTTOM OF WALL (F/G)  
 (\*) - EXISTING TO BE VERIFIED

# GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Refer to sheet C600 for all landscaping requirements.
- All construction shall be performed in accordance with state and local standard specifications for construction.



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**ALPHA FAMILY CLINIC**  
 4465 WHITE BEAR PARKWAY  
 WHITE BEAR LAKE, MN 55110

**2022 BUILDING AND PARKING LOT ADDITION**  
 ALPHA FAMILY CLINIC  
 WHITE BEAR LAKE, MN 55110

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 Date: 08.15.2022 Lic. No.: 23793

Rev.	Date	Description

Project #: 12216110  
 Drawn By: MTH  
 Checked By: GAB  
 Issue Date:  
 Sheet Title:  
**GRADING AND EROSION CONTROL PLAN**

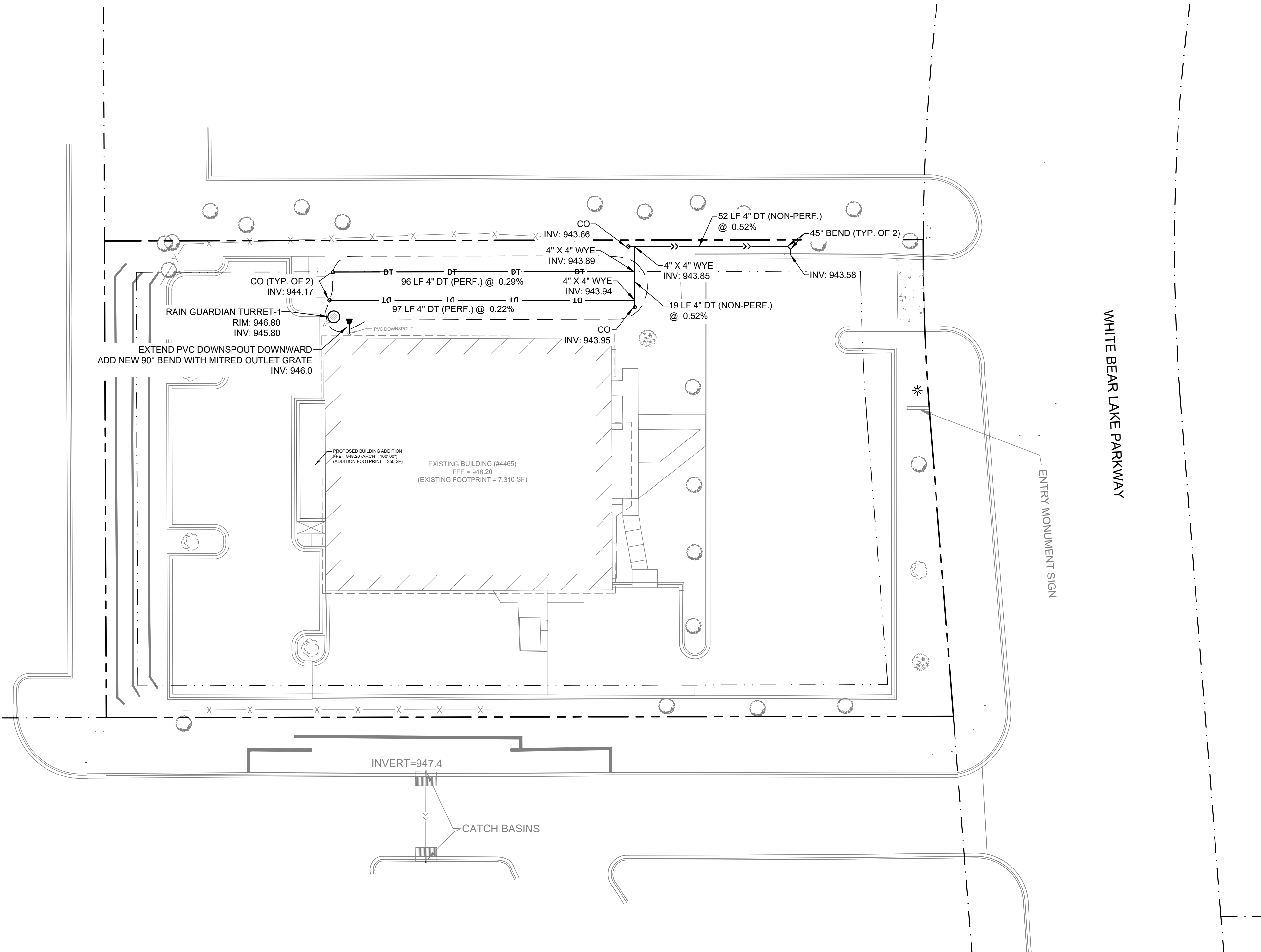
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**SYMBOL LEGEND**

	STORM MANHOLE		CABLE UNDERGROUND LINE
	CATCH BASIN		ELECTRIC OVERHEAD LINE
	CURB INLET		ELECTRIC UNDERGROUND LINE
	FLARED END		FIBER OPTIC UNDERGROUND LINE
	SANITARY MANHOLE		NATURAL GAS UNDERGROUND LINE
	HYDRANT		SANITARY SEWER PIPE
	GATE VALVE & BOX		STORM SEWER PIPE
	WATER SHUTOFF		TELEPHONE UNDERGROUND LINE
	LIGHT POLE		WATERMAIN PIPE
			DRAINTILE PIPE

**UTILITY NOTES**

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
- See Project Specifications for bedding requirements.



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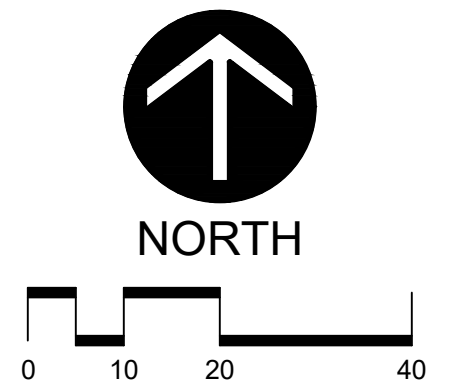
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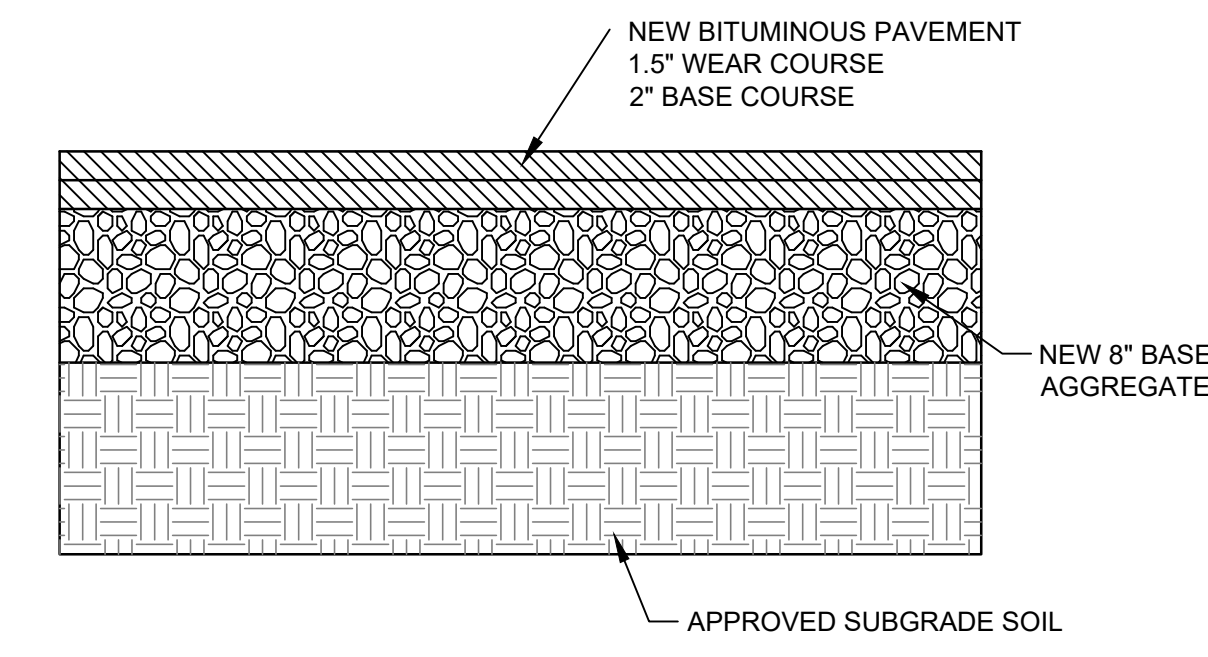
**UTILITY PLAN**

Sheet: **C400**

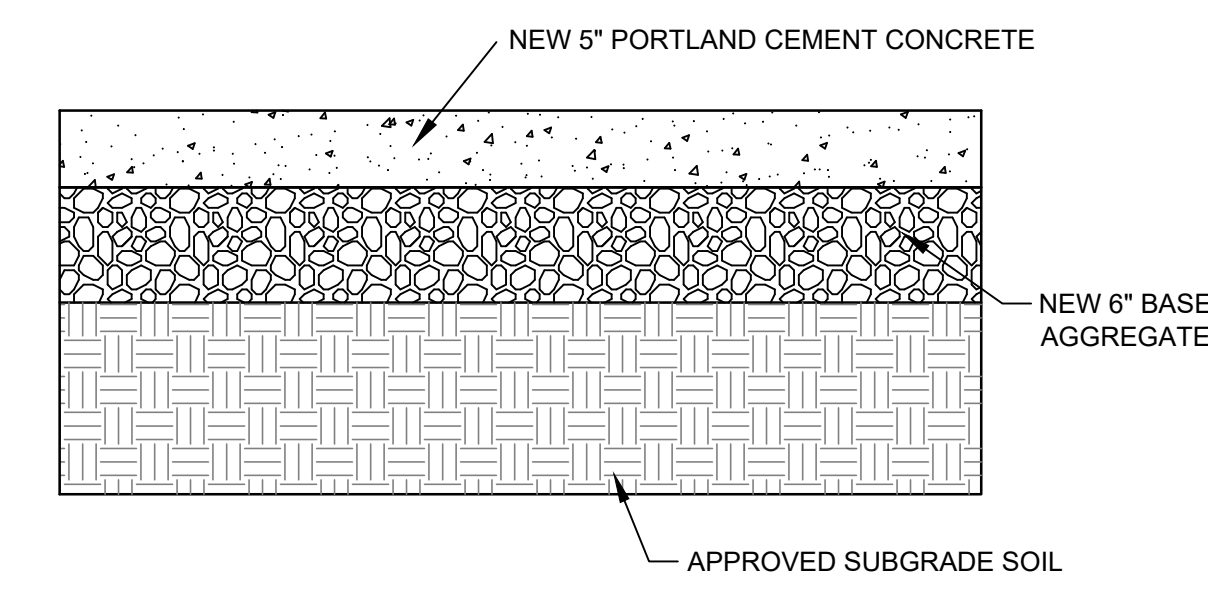


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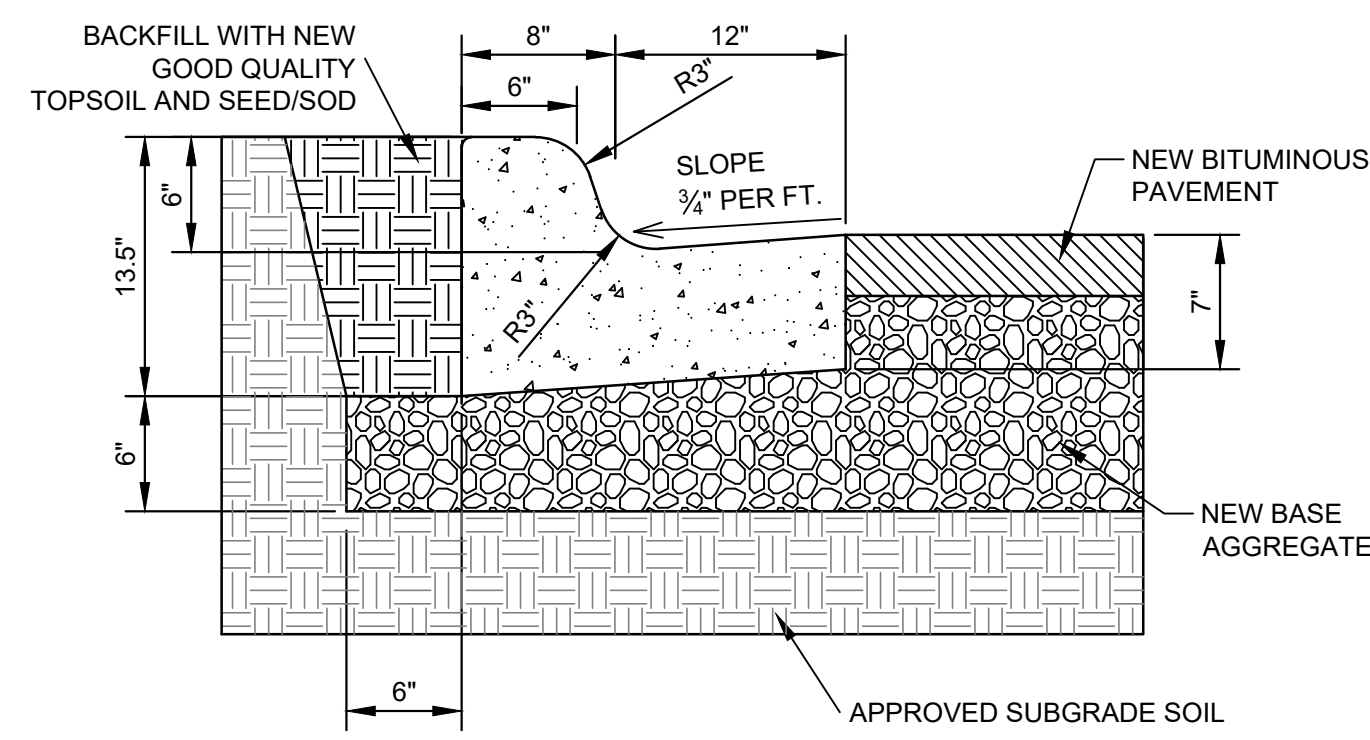
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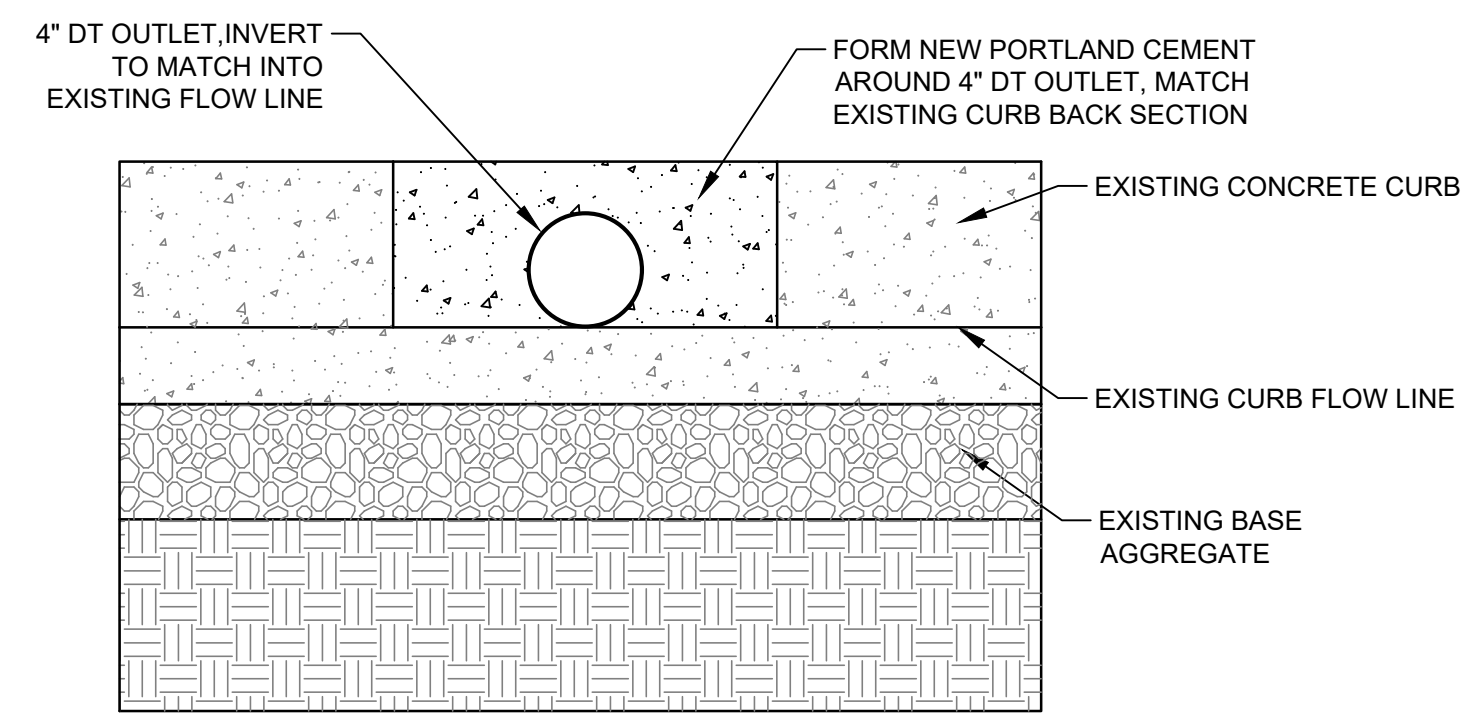
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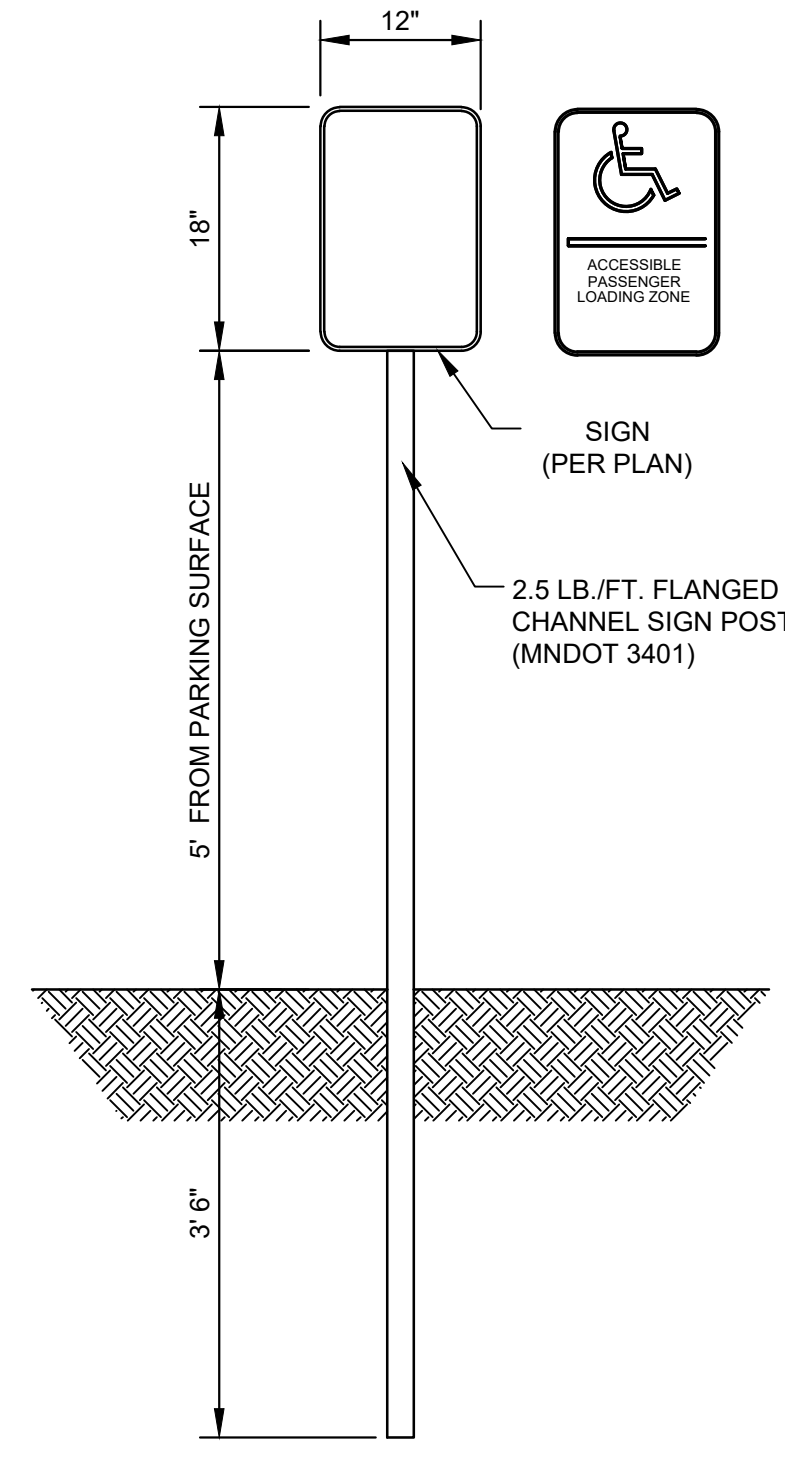
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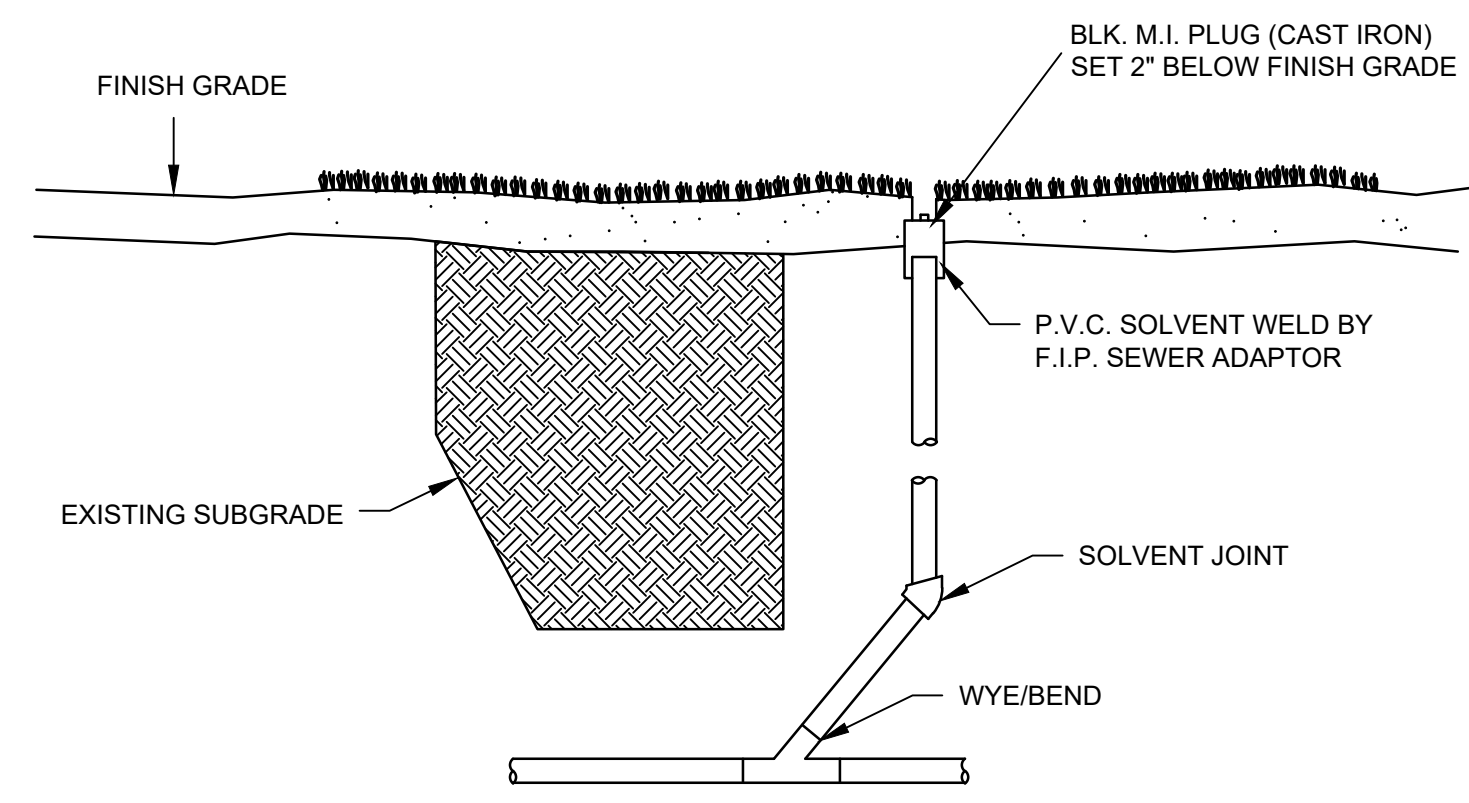
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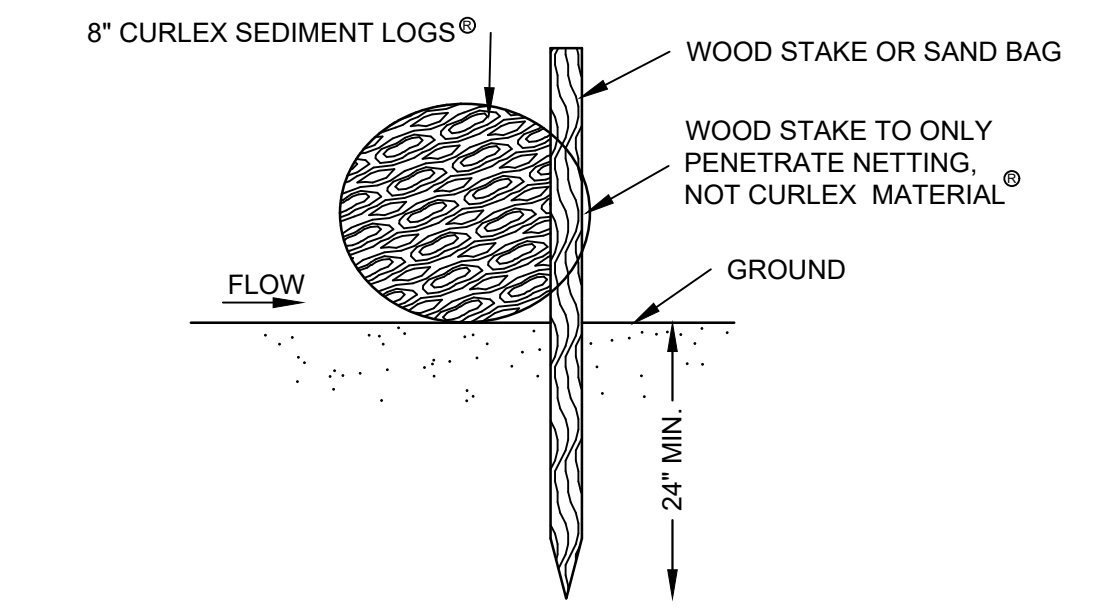
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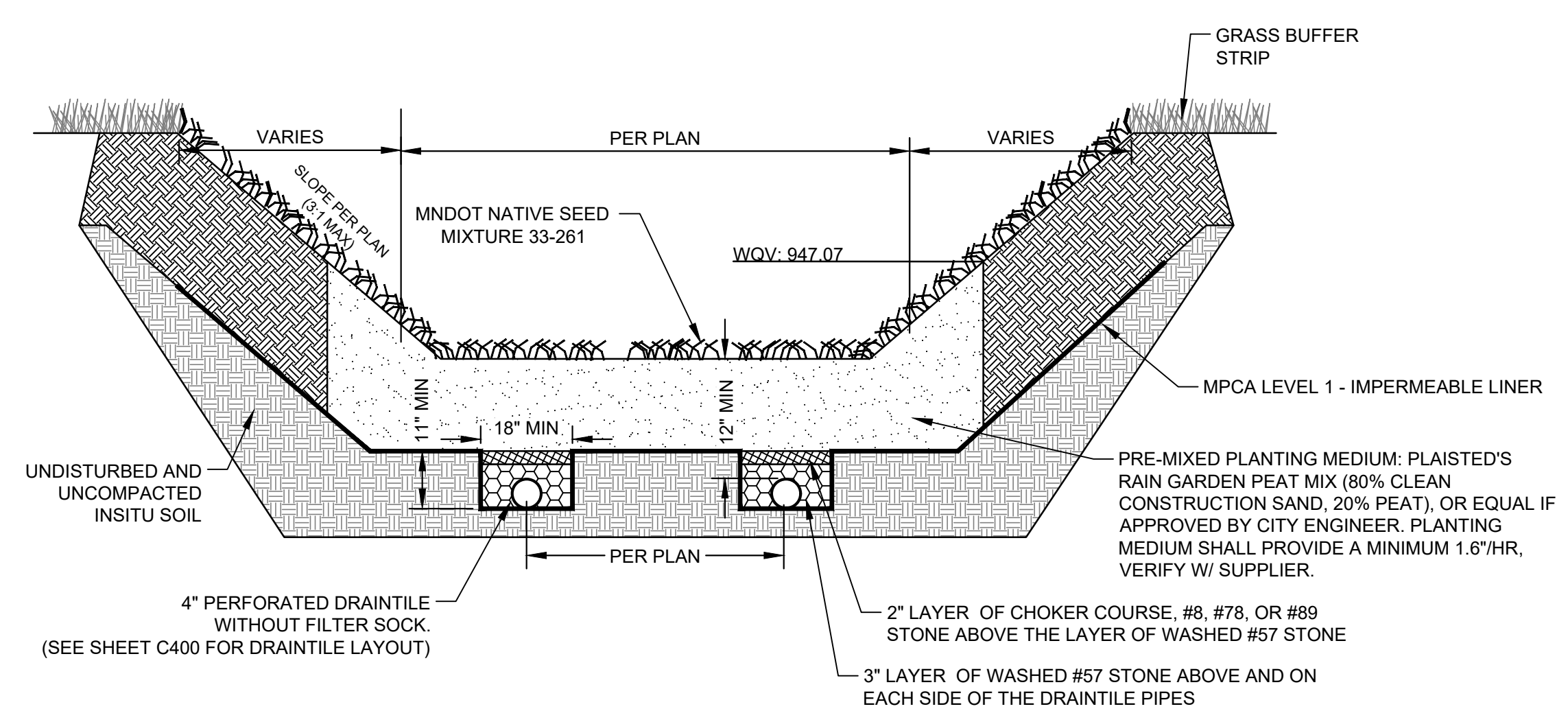
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6  
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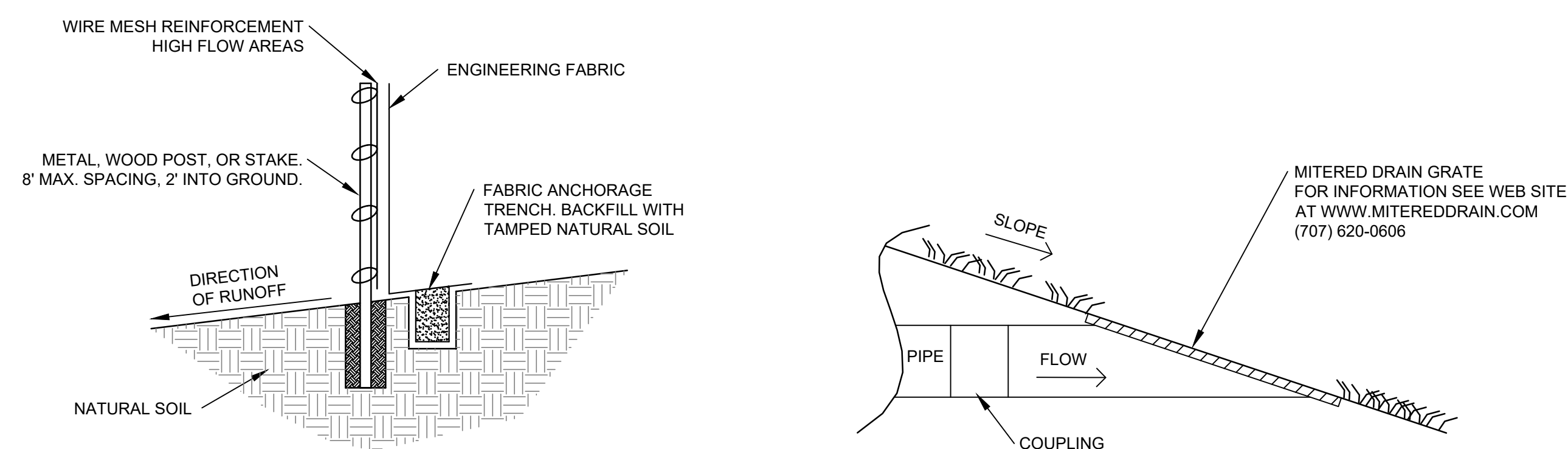


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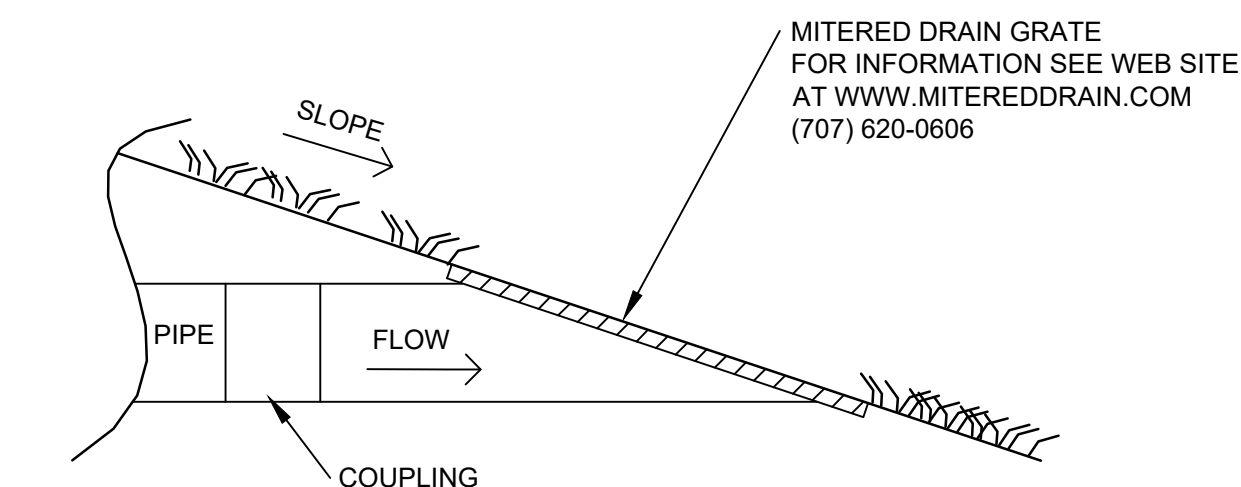
- FILTRATION BASIN NOTES:
- SOILS WITHIN FILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.
  - BASIN BOTTOM MUST EXCAVATED TO THE BOTTOM INVERT OF DRAINTILE, ROCK, AND SAND SECTIONS AND SIT OPEN AND DRY FOR AT LEAST 48 HOURS AND PRIOR TO INSTALLATION OF ROCK, DRAINTILE, STONE, AND SAND SECTIONS.
    - IF THE BASIN BOTTOM IS ABLE TO MAINTAIN A DRY BOTTOM, A LEVEL 1 - CLAY IMPERMEABLE LINER MAY BE INSTALLED. ON SITE CLAY SOILS MAY BE USED AS THE IMPERMEABLE LINER AS LONG AS THEY MEET THE MINNESOTA STORMWATER MANUALS DESIGN GUIDELINES FOR AN LEVEL 1 - IMPERMEABLE CLAY LINER.
    - IF BASIN BOTTOM IS UNABLE TO MAINTAIN A DRY BOTTOM A LEVEL 1 - PVC OR HDPE IMPERMEABLE LINER SHALL BE INSTALLED THROUGHOUT THE BASIN BOTTOM UP TO THE WATER QUALITY ELEVATION (WQV).
  - PROVIDE AS-BUILT SURVEY TO VERIFY CONSTRUCTED VOLUME. CORRECT NON-COMPLIANT BASINS.

8  
C500  
NOT TO SCALE



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

9  
C500  
NOT TO SCALE



10  
C500  
NOT TO SCALE

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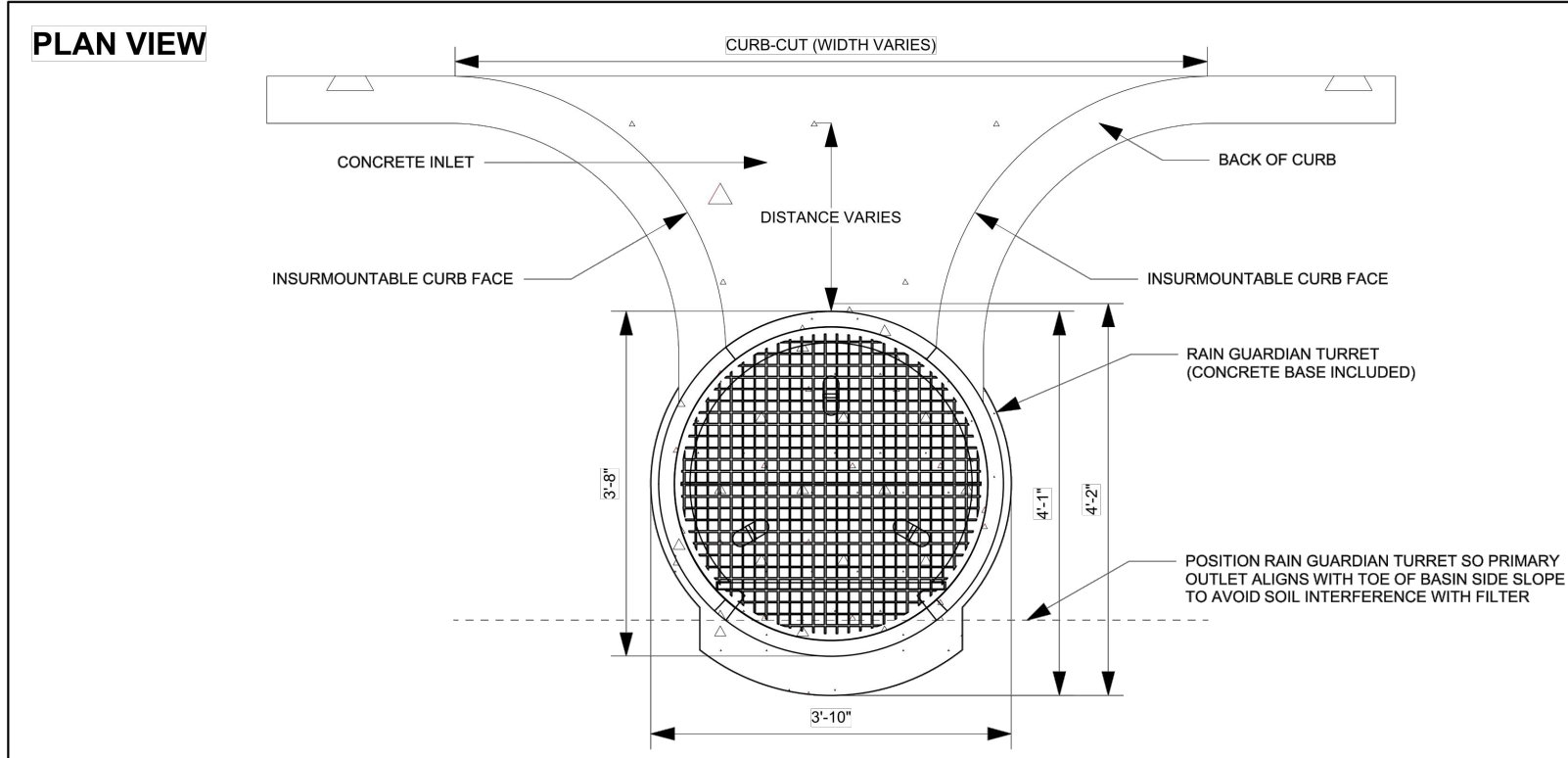
Rev.	Date	Description

Project #: 12216110  
 Drawn By: MTH  
 Checked By: GAB  
 Issue Date:  
 Sheet Title:

DETAILS  
 Sheet:  
**C500**

PRELIMINARY NOT FOR CONSTRUCTION





**PLAN VIEW NOTES**

1. INLET WIDTH AND DISTANCE BETWEEN BACK OF CURB AND RAIN GUARDIAN TURRET MAY VARY WITH SITE CONDITIONS.
2. CONCRETE BASE EXTENDS BEYOND THE FILTER WALL OF THE RAIN GUARDIAN TURRET TO SERVE AS A SPLASH DISSIPATOR.

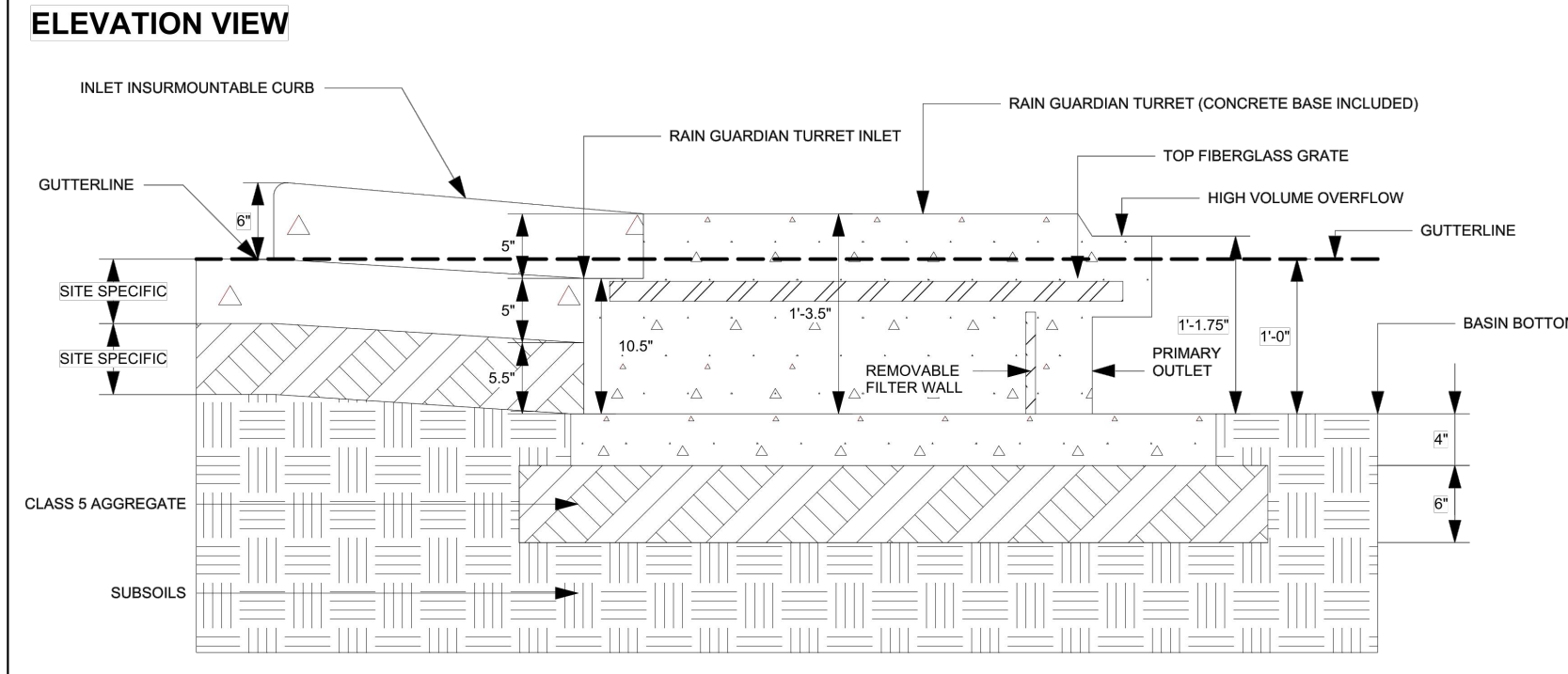


**SPECIFICATIONS**

1. STEEL REINFORCED, COLD JOINT SECURED MONOLITHIC CONCRETE STRUCTURE (1,030 LBS). CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. CONCRETE AIR ENTRAINMENT (4% TO 8% BY VOLUME). MANUFACTURED AND DESIGNED TO ASTM C88.
2. THREE-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
3. TWO-PIECE FIBERGLASS TOP GRATE (16 LBS/PIECE, 1-1/2" THICK) - 1,760 LB CONCENTRATED LOAD OR 409 LB/SQ-FT UNIFORM LOAD.

**INSTALLATION NOTES**

1. INSTALL THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR). THE DISTANCE FROM THE BACK OF THE CURB MAY VARY BASED ON SITE CONDITIONS, BUT CONSIDERATIONS SHOULD INCLUDE SLOPE OF THE INLET AND BASIN SIDE SLOPES ADJACENT TO THE RAIN GUARDIAN TURRET. POSITION RAIN GUARDIAN TURRET SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL. EXCAVATE 1' 10" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 1' PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" RAIN GUARDIAN TURRET BASE (INCLUDED). THEREFORE, THE TOP OF THE CLASS 5 COMPACTED BASE IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION. THE INLET TO THE RAIN GUARDIAN TURRET WILL BE 10-1/2" ABOVE THE TOP OF THE CONCRETE BASE AND 1-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN TURRET.
2. SET RAIN GUARDIAN TURRET ON THE PREPARED CLASS 5 BASE.
3. INSTALL FRAMING FOR INLET BETWEEN RAIN GUARDIAN TURRET AND BACK OF CURB. TOP ELEVATIONS OF THE FRAMING SHOULD MATCH THE TOP OF THE CURB ON THE STREET SIDE AND THE TOP OF THE RAIN GUARDIAN TURRET ON THE BIORETENTION SIDE.
4. INSTALL EXPANSION/CONTRACTION JOINT MATERIAL OR A SHEET OF POLY TO SERVE AS A BOND BREAK BETWEEN RAIN GUARDIAN TURRET AND CONCRETE INLET BEFORE POURING INLET.
5. SIDE CURBS OF THE POURED INLET MUST HAVE AN INSURMOUNTABLE PROFILE TO PREVENT WATER FLOW FROM OVERTOPPING THE DOWNSTREAM SIDE OF THE INLET.
6. REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC FACING THE RAIN GUARDIAN TURRET INLET.



**CROSS-SECTION VIEW NOTES**

1. THE TOP OF THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR) IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION.

MANUFACTURED BY: **FORTERRA**  
Structural & Specialty

**REVISION HISTORY**

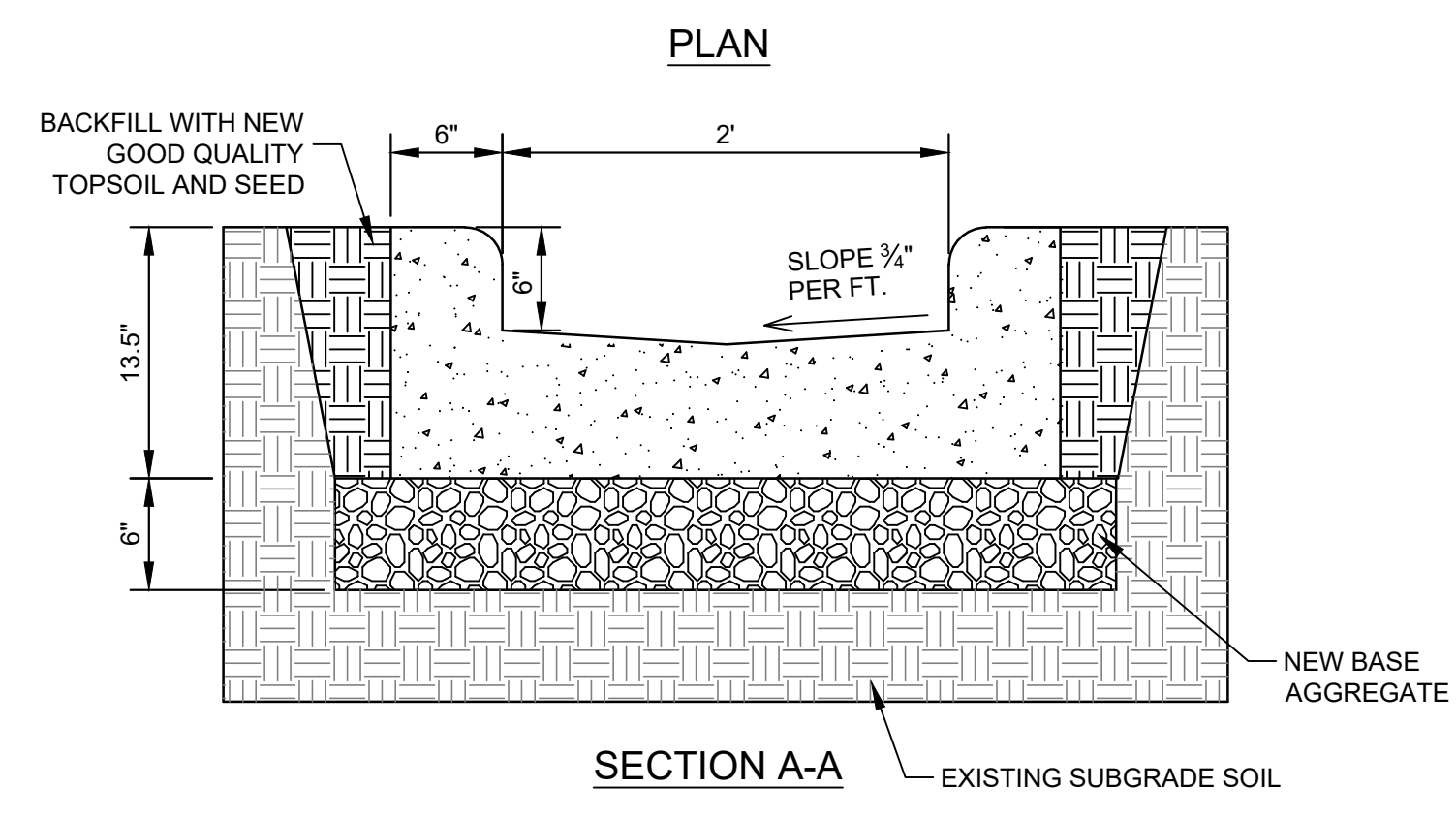
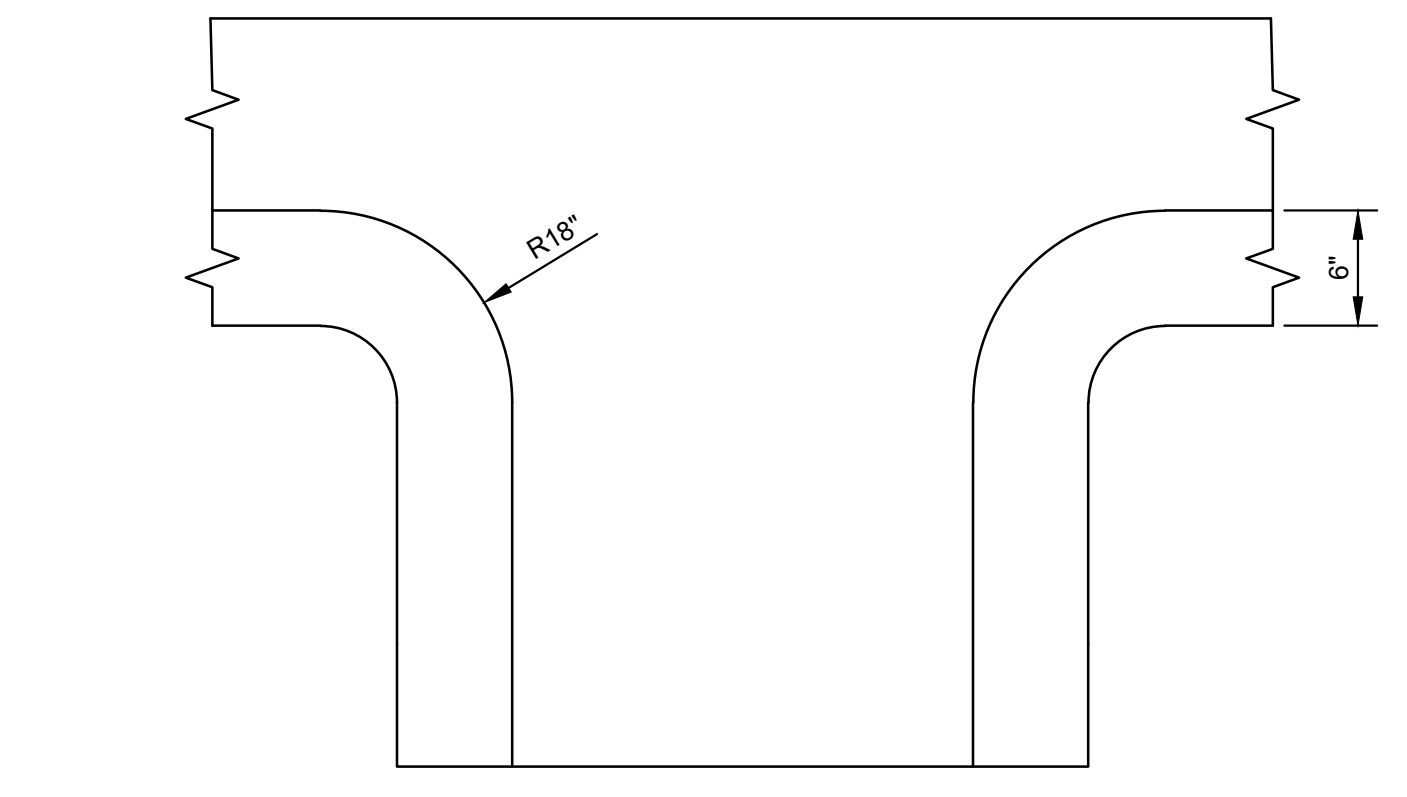
REV	BY	DATE	DESCRIPTION
A	MDH	08/29/18	TURRET - 1'

**ANOKA CONSERVATION DISTRICT**

Anoka Conservation District  
1318 McKay Dr. NE, Suite 300  
Ham Lake, MN 55304  
763-434-2030

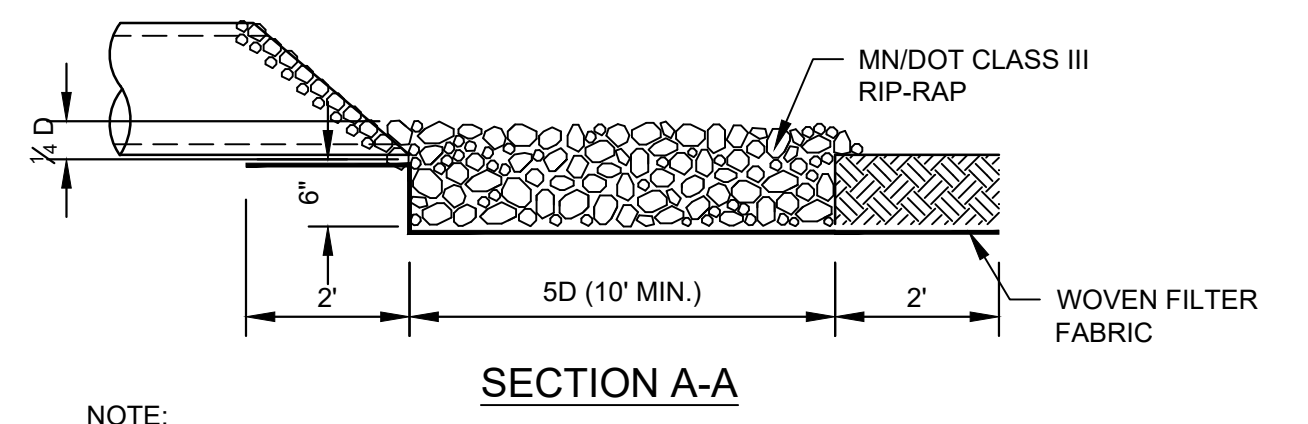
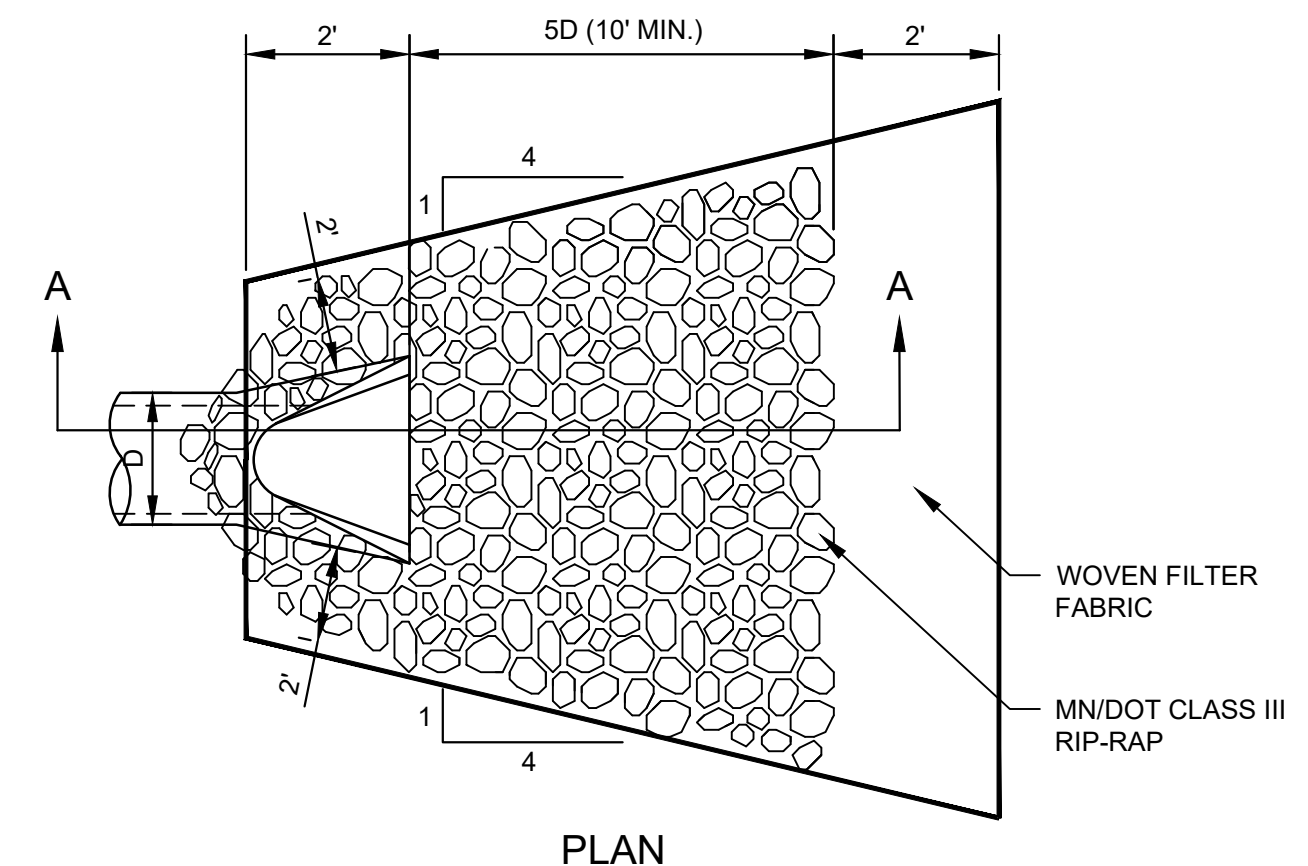


**RAIN GUARDIAN TURRET  
PRETREATMENT CHAMBER  
BIORETENTION PONDING DEPTH: 1'  
TYPICAL DETAIL**



**3 C501**  
NOT TO SCALE

**1 C501**  
RAIN GUARDIAN TURRET DETAIL  
NOT TO SCALE



NOTE:  
FW300 MIRAFI FABRIC OR EQUAL

**2 C501**  
RIP-RAP AT OUTLETS  
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Client:  
**ALPHA FAMILY CLINIC**  
4465 WHITE BEAR PARKWAY  
WHITE BEAR LAKE, MN 55110

Project Title:  
**2022 BUILDING AND PARKING LOT ADDITION**  
ALPHA FAMILY CLINIC  
WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

First M. Last, P.E.  
Date: 08.15.2022 Lic. No.: 23793

Rev.	Date	Description

Project #: 12216110  
Drawn By: MTH  
Checked By: GAB  
Issue Date:  
Sheet Title:

**DETAILS**

Sheet:  
**C501**

**Larson Engineering, Inc.**  
3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
www.larsonengr.com

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### TREE PLANTING SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER
OVERSTORY TREES, SEE DETAIL 1/C600				
-	White Oak	Quercus Alba	2-1/2" Cal	B & B
-	Sienna Glen Maple	Acer x Freemanii 'Sienna'	2-1/2" Cal	B & B

### RAIN GARDEN PLANTING SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	SIZE
5	Black Chokeberry	Aronia Melanocarpa	2" Plug
5	Grey Dogwood	Cornus Racemosa	2" Plug
46	Switchgrass	Panicum Virgatum	2" Plug
33	Joe-Eye Weed	Eupatorium Purpureum	2" Plug
56	Fox Sedge	Carex Vulpinoidea	2" Plug
70	Marsh Blazing Star	Liatris Spicata	2" Plug
28	Blue Flag Iris	Iris Versicolor	2" Plug
53	Butterfly Weed	Ascepias Tuberosa	2" Plug
63	Swamp Milkweed	Ascepias Incarnata	2" Plug

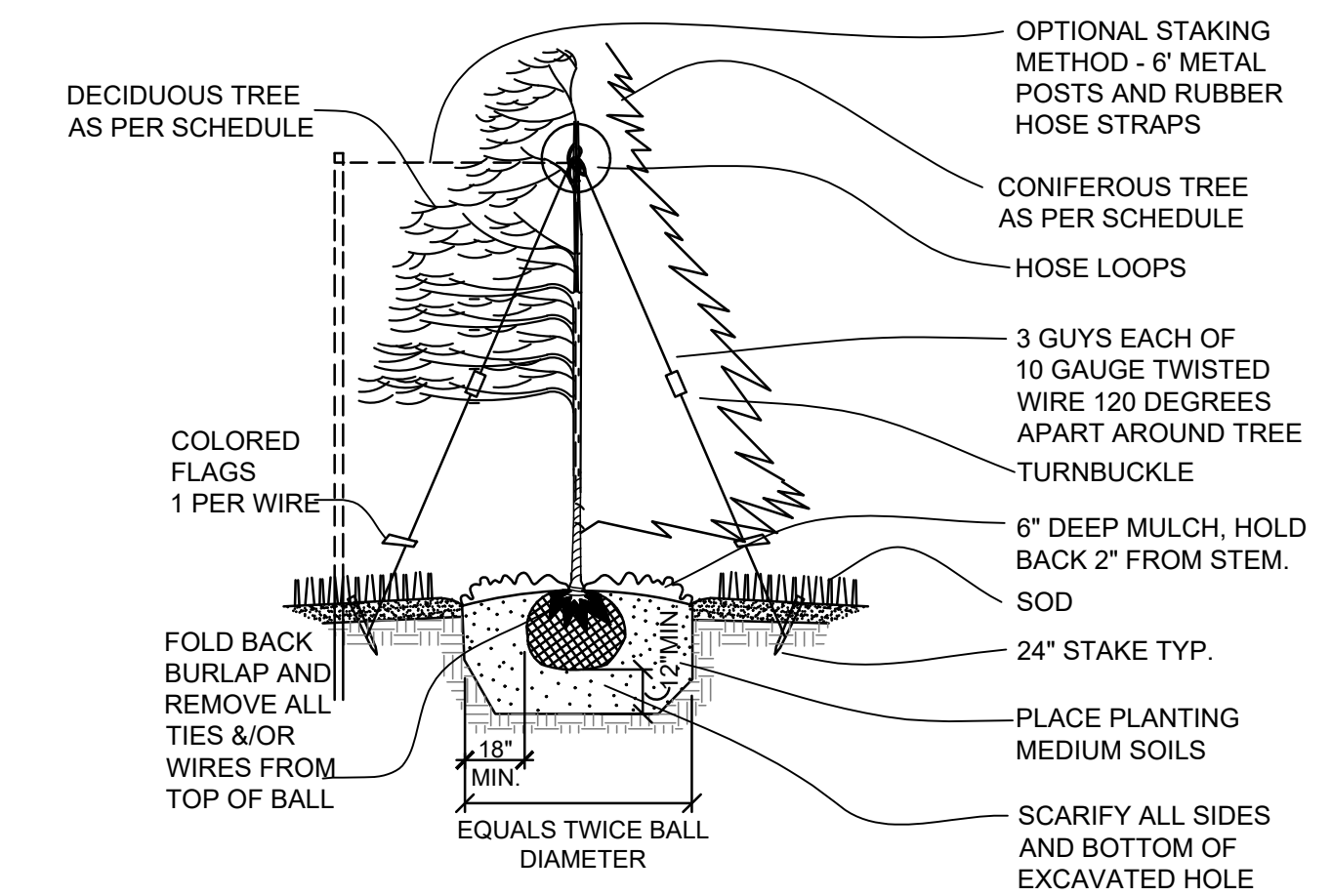
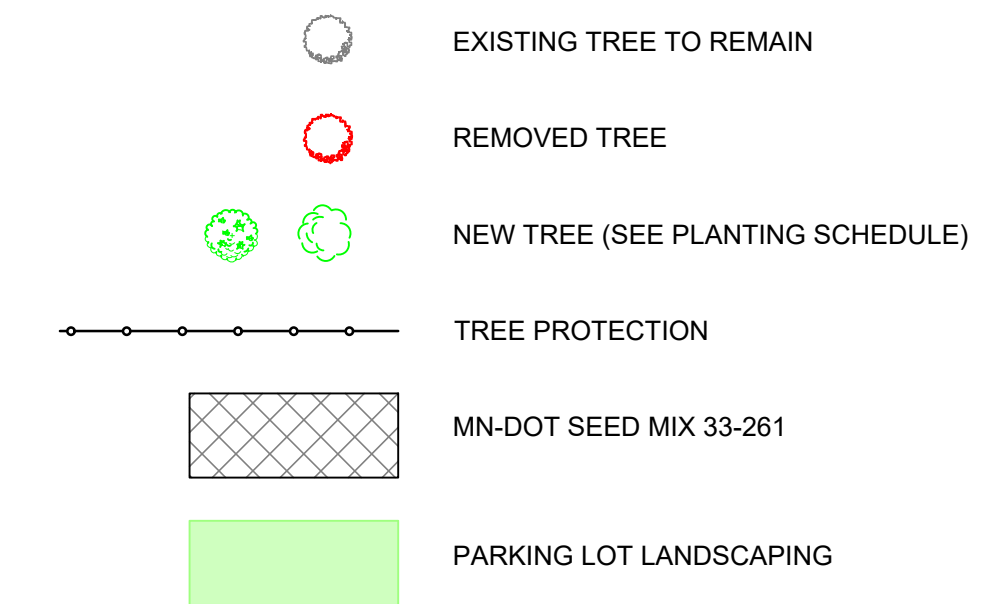
### LANDSCAPING NOTES

- Landscape Contractor is responsible for coordination with other contractors to protect the new improvements during landscape work activities. Report any damage to the Construction Manager immediately.
- Plant size and species substitutions must be approved in writing prior to acceptance in the field.
- Landscape Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- Landscape Contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- Landscape Contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- Planting areas shall be edged with 6" black vinyl edging and have 4" colored hardwood wood mulch over a weed barrier fabric.
- All trees not planted in landscaped areas shall have shredded hardwood mulch placed around the tree at 4' diameter and 6" deep.
- Restore all disturbed turf areas with 6" of good quality topsoil and seed.
- Filtration basin plantings to be 2" plugs. Filtration basin plantings are to be placed in the side slopes.

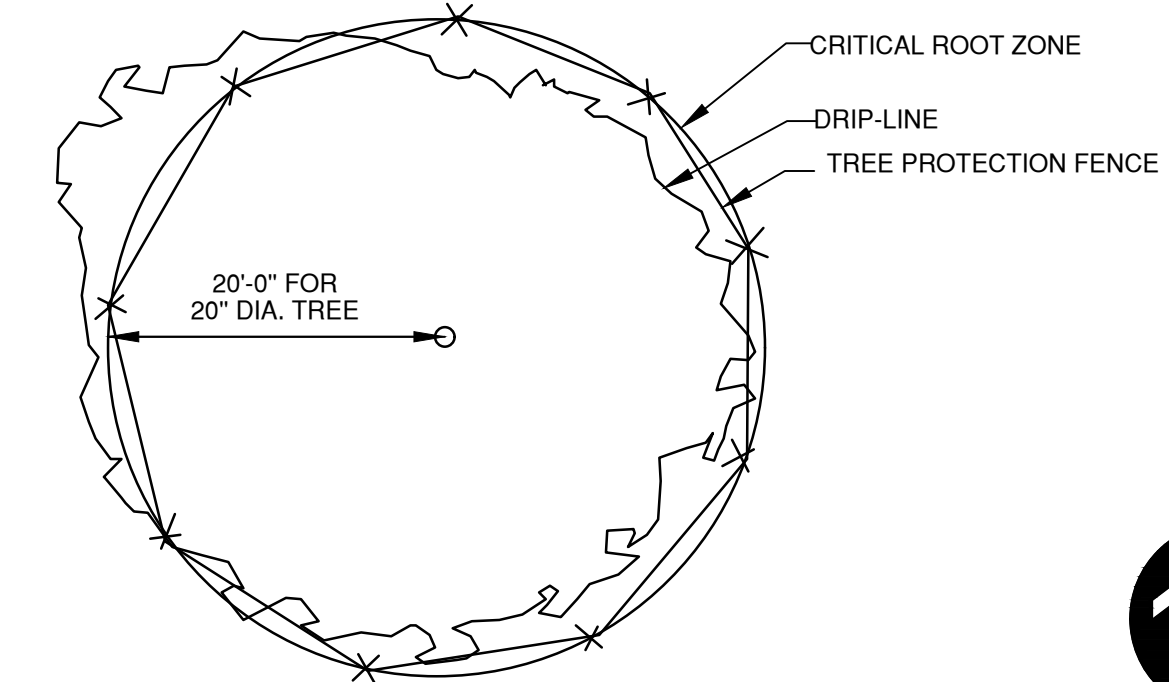
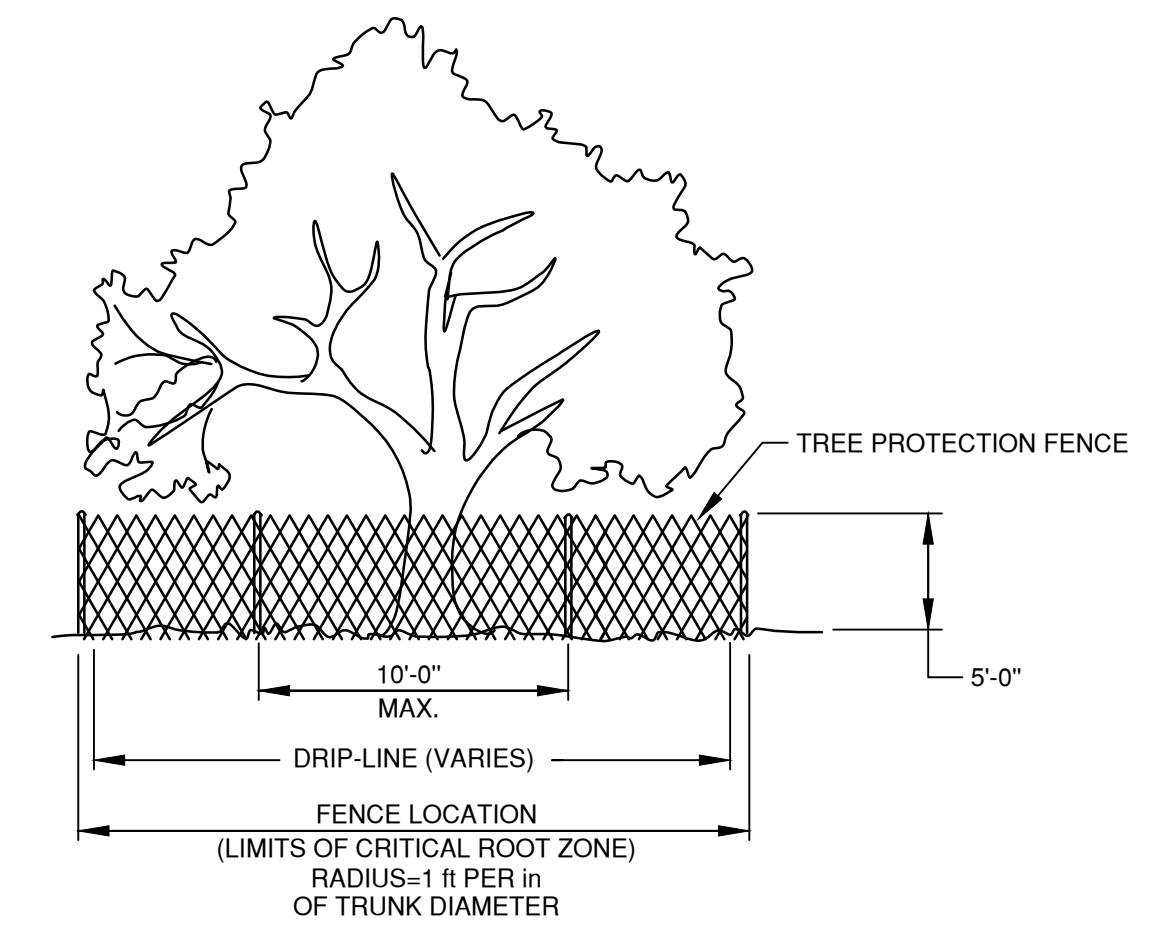
### PARKING LOT LANDSCAPING

**TOTAL PARKING = 50 STALLS**  
 INTERIOR LANDSCAPING REQUIRED:  
 50 STALLS @ 144 SF / 10 STALLS = 720 SQUARE FEET  
 INTERIOR SHADE TREES REQUIRED:  
 720 SF / 144 = 5 SHADE TREES  
 INTERIOR LANDSCAPING PROVIDED:  
 = 726 SQUARE FEET  
 INTERIOR SHADE TREES PROVIDED:  
 4 EXISTING TREES + 6 NEW TREE = 10 SHADE TREES

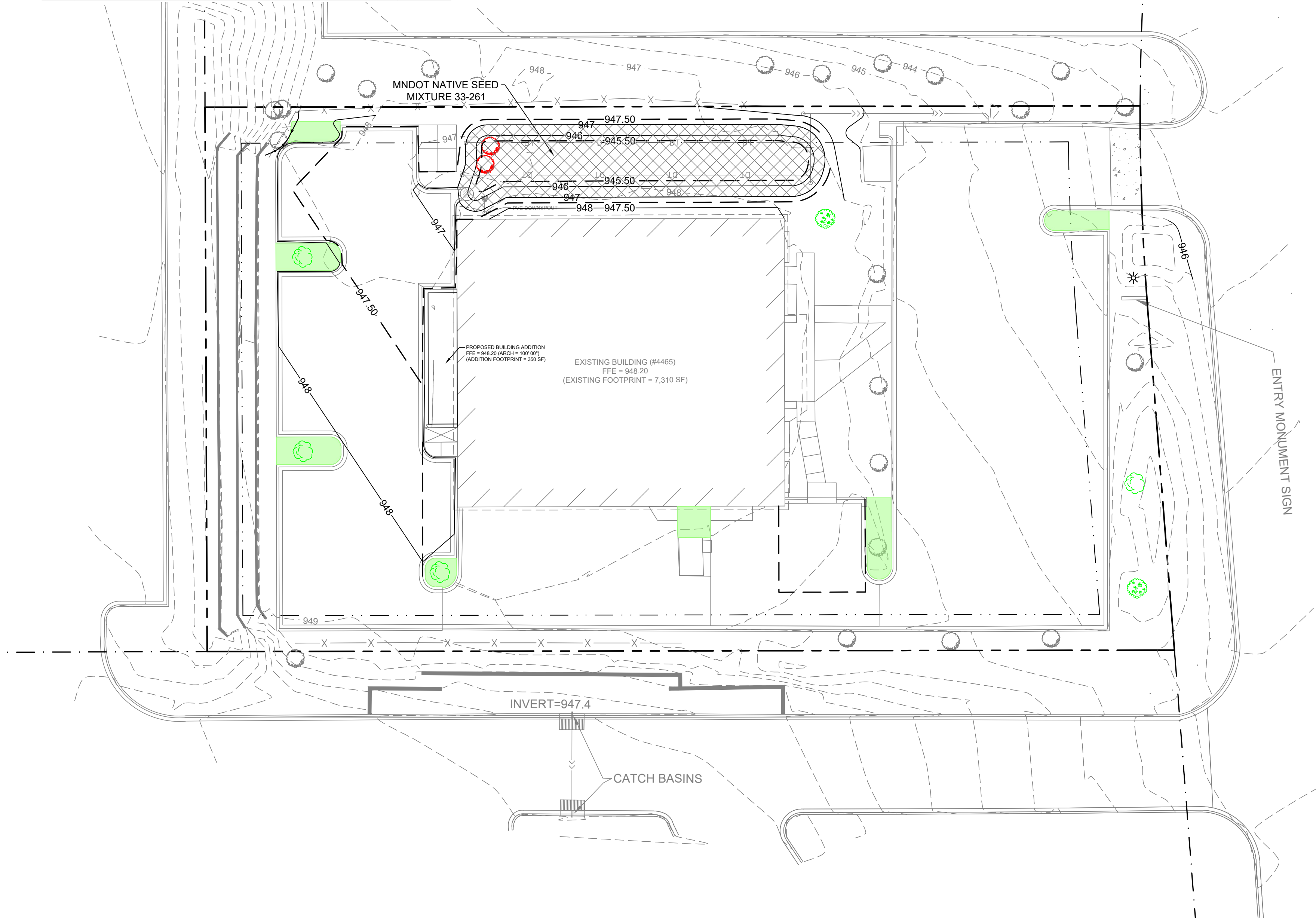
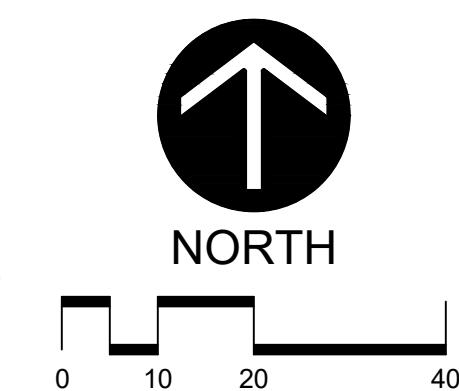
### SYMBOL LEGEND



1 C600 TREE PLANTING DETAIL NOT TO SCALE



2 C600 TREE PROTECTION NOT TO SCALE



PRELIMINARY NOT FOR CONSTRUCTION

Client:  
**ALPHA FAMILY CLINIC**  
 4465 WHITE BEAR PARKWAY  
 WHITE BEAR LAKE, MN 55110

Project Title:  
**2022 BUILDING AND PARKING LOT ADDITION**  
 ALPHA FAMILY CLINIC  
 WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

First M. Last, P.E.  
 Date: 08.15.2022 Lic. No.: 23793

Rev.	Date	Description

Project #: 12216110  
 Drawn By: MTH  
 Checked By: GAB  
 Issue Date:  
 Sheet Title:

**TREE PRESERVATION AND PLANTING PLAN**

Sheet:  
**C600**

**Larson Engineering, Inc.**  
 3524 Labore Road  
 White Bear Lake, MN 55110  
 651.481.9120 (f) 651.481.9201  
 www.larsonengr.com  
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**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** September 26, 2022  
**SUBJECT:** Huston/Jacobs Variance – 1525 Birch Lake Blvd N – Case No. 22-18-V

---

## SUMMARY

The applicants, Rick Huston and Tracy Jacobs, are requesting a variance from the front yard average setback, in order to construct an addition to the front of the home.

Based on the findings made in this report, staff finds that the applicant has not demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and therefore recommends denial of this request.

## GENERAL INFORMATION

Applicant/Owner: Rick Huston & Tracy Jacobs

Existing Land Use / Zoning: Single Family; zoned R-2: Single Family Residential & S – Shoreland Overlay District

Surrounding Land Use / Zoning: North, East, & West: Single Family; zoned R-2: Single Family Residential & S – Shoreland Overlay District; South: Birch Lake

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 15,000 square feet; 100 feet  
 Site: 23,000+/- square feet; 100 feet

## ANALYSIS

The subject site is located on the north side of Birch Lake Boulevard North, west of Otter Lake Road. The lot contains a single family home, attached garage and a shed at the back of the property. The home is set back 85 feet from the property line. The front yard setback is based on an average of the two neighbors, which are 83 feet and 78 feet from the front property line, making the required setback 80.5 feet. The applicants are proposing a fifteen foot addition, and are therefore requesting a 10.5 foot variance from the front yard average setback in order to construct the addition 70 feet from the front property line.

## Community Comment

Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding this request. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

#### Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has not demonstrated a practical difficulty and is therefore recommending denial of the variance request. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with the purposes and intent of the ordinance?

**Finding:** The proposed variance is not in harmony with the purpose and intent of the zoning regulations. The subject property is zoned R-2: Single Family Residential and is within the S – Shoreland Overlay District of Birch Lake. Averaging the front yard setback ensures uniformity within a neighborhood and maintains open spaces. The zoning code permits properties to deviate up to 10 feet from the average through an administrative variance, however, it specifically excludes properties that abut lakes from this process, acknowledging the ecological importance of shorelands and indicating the intent of the code is to prevent properties from encroaching closer to the body of water.

2. Is the variance consistent with the comprehensive plan?

**Finding:** The proposed variance is not consistent with the 2040 Comprehensive Plan. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Low Density Residential, which is defined as 3 to 9 units per acre. While the proposed addition would be

consistent with the overall density range, it would allow a development pattern inconsistent with the surrounding properties that conform to both the density and zoning regulations.

3. Does the proposal put the property to use in a reasonable manner?

**Finding:** The proposed variance does not put the property to use in a reasonable manner. There are other options on the property that would allow an addition while meeting all required setbacks. The zoning standards, lot conditions or layout of the home do not preclude an addition to be constructed in the rear of the home.

4. Are there unique circumstances to the property not created by the landowner?

**Finding:** There are not unique circumstances to the property not created by the landowner. The property exceeds the lot size requirements for the R-2 zoning district and the home is situated in roughly the middle of the property, so there is a large rear yard that would provide enough space to build an addition and still meet the required setback, which in this zoning district is 40 feet from the rear property line.

5. Will the variance, if granted, alter the essential character of the locality?

**Finding:** Granting the requested variance will alter the essential character of the surrounding neighborhood. The homes along Birch Lake Boulevard North are generally all the same distance from the street right-of-way and provide large front yards. Allowing the property to encroach into that setback would lessen the neighboring properties front yard average setback, opening the possibility for development to creep closer to the front property line and the lake.

## **RECOMMENDATION**

Staff recommends denial of the request based on the following findings of fact:

1. The variance is not in harmony with purposes and intent of the ordinance.
2. The variance as requested is not necessary for the reasonable use of the land or building; other design options exist.
3. There are not unique circumstances to the property not created by the landowner.
4. Deviation from the code without reasonable justification will slowly alter the City's essential character.

## **Attachments:**

Draft Resolution of Denial

Zoning/Location Map

Applicant's Narrative (2 pages) & Plans (4 pages)

**DRAFT RESOLUTION NO.**

**RESOLUTION DENYING A SETBACK VARIANCE FOR 1525 BIRCH LAKE BOULEVARD NORTH  
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Rick Huston and Tracy Jacobs (22-18-V) have requested a 15 foot variance from the 70.5 foot required average front yard setback, per Code Section 1303.040, Subd.5.c.1, in order to construct an addition at the following location:

LOCATION: 1525 Birch Lake Boulevard

LEGAL DESCRIPTION: The West one hundred feet of the East two hundred thirty-three feet except the North one thousand six hundred thirty-one and eleven hundredths feet of Government Lot two, Section fifteen, Township thirty, Range twenty-two, except that portion thereof dedicated as Birch Lake Road, Ramsey County, MN (PID: 153022310006)

**WHEREAS**, the Planning Commission held a public hearing, as required by the city Zoning Code, on September 26, 2022; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that the City Council hereby denies the request, based upon the findings and determinations as follows:

1. The variance as requested is not necessary for the reasonable use of the land or buildings; other design options exist
2. There are no unique physical characteristics to the lot which create a practical difficulty for the applicant.
3. The granting of the variance is contrary to the intent of the zoning code.
4. Deviation from the code without reasonable justification will slowly alter the City's essential character.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
Nays:  
Passed:

**DRAFT RESOLUTION NO.**

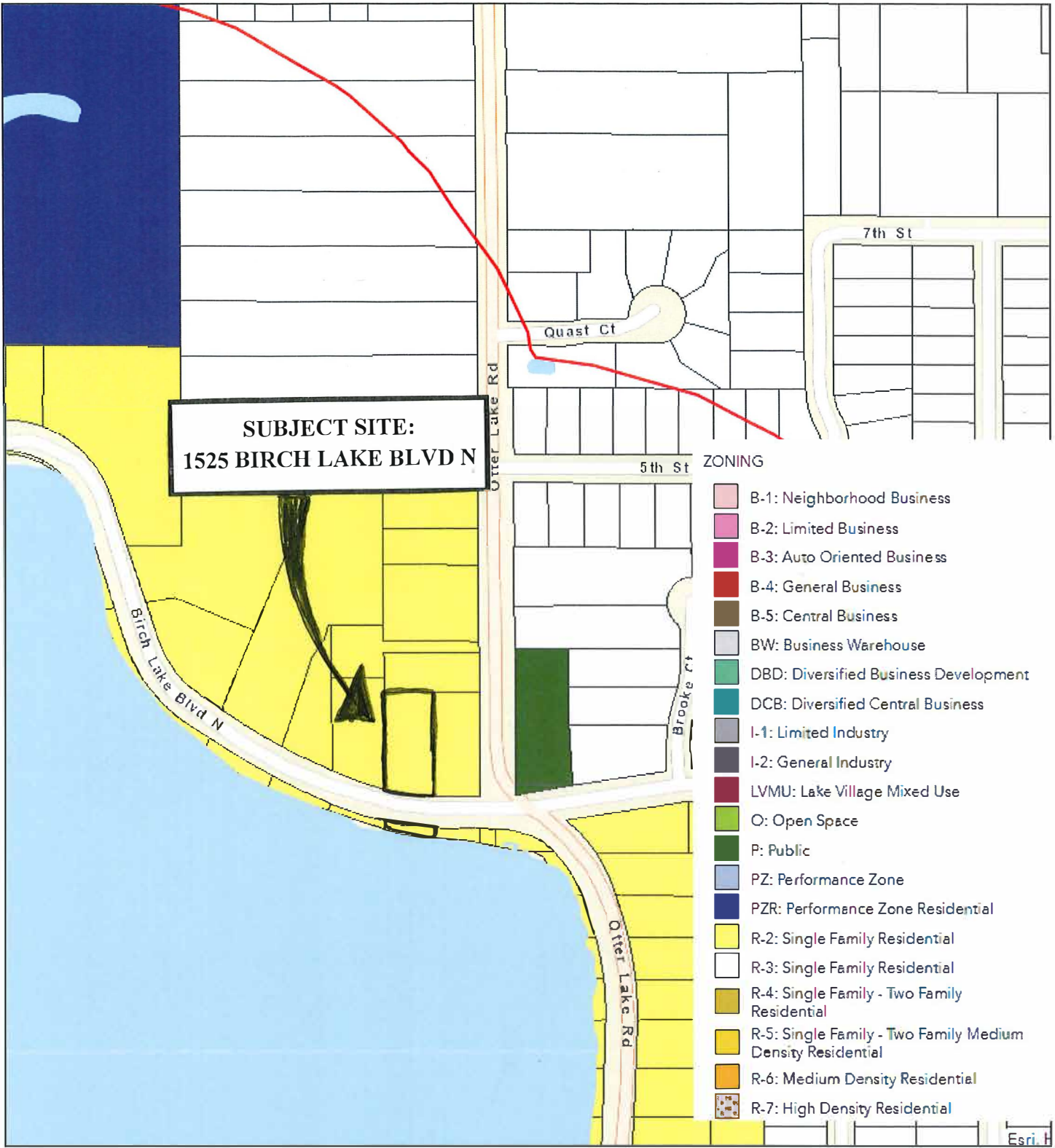
---

Dan Louismet, Mayor

**ATTEST:**

---

Caley Longendyke, City Clerk



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 22-18-V

CASE NAME : Huston/Jacobs

DATE : September 26, 2022



#### Attachment #4

The current situation is that all of the rooms in the house are small and unable to accommodate our desire to have a large enough master bedroom that allows for a master bathroom and a master walk in closet for the two of us.

Our ask is to allow us to expand into the current setback of 70.5', which represents the average setback of our property compared to the neighbors on either side. This encroachment would be 15' which represents what is needed to allow of the room expansion and addition of the bathroom and the closet for the master bedroom. We understand that an administrative variance is possible but only gets up to 10'. We really need 15' to accommodate the room and on-suite amenities.

We have further explored the possibility of the addition off the back of the house and found that it really isn't possible because of the current bathroom. Expanding off of the north side would mean that the existing bathroom wouldn't be able to serve the other two bedrooms of the house.

1. Is the variance in harmony with purposes and intent of the ordinance?

Yes. This variance request is in harmony with the intent of the ordinance as the ordinance allows for two opportunities. An administrative variance and a City Variance. The administrative variance won't provide the space required to make the improvements to the property, that is the reason for the City Variance Request. All information has been provided to show the need and the reasoning for the need.

2. Is the variance consistent with the comprehensive plan?

I am not sure what the comprehensive plan is, but if it has to do with the overall owner comprehensive plan to add amenities to the existing property to add square feet for a more suitable living condition, then yes. If this has to do with a city comprehensive plan, I am not sure what that would be.

3. Does the proposal put the property to use in a reasonable manner?

Yes. If approved, this would render the property to reasonable use. The property is set back from the road and heavily secluded by mature trees. None of this will change and the properties use and appearance will only be improved greatly.

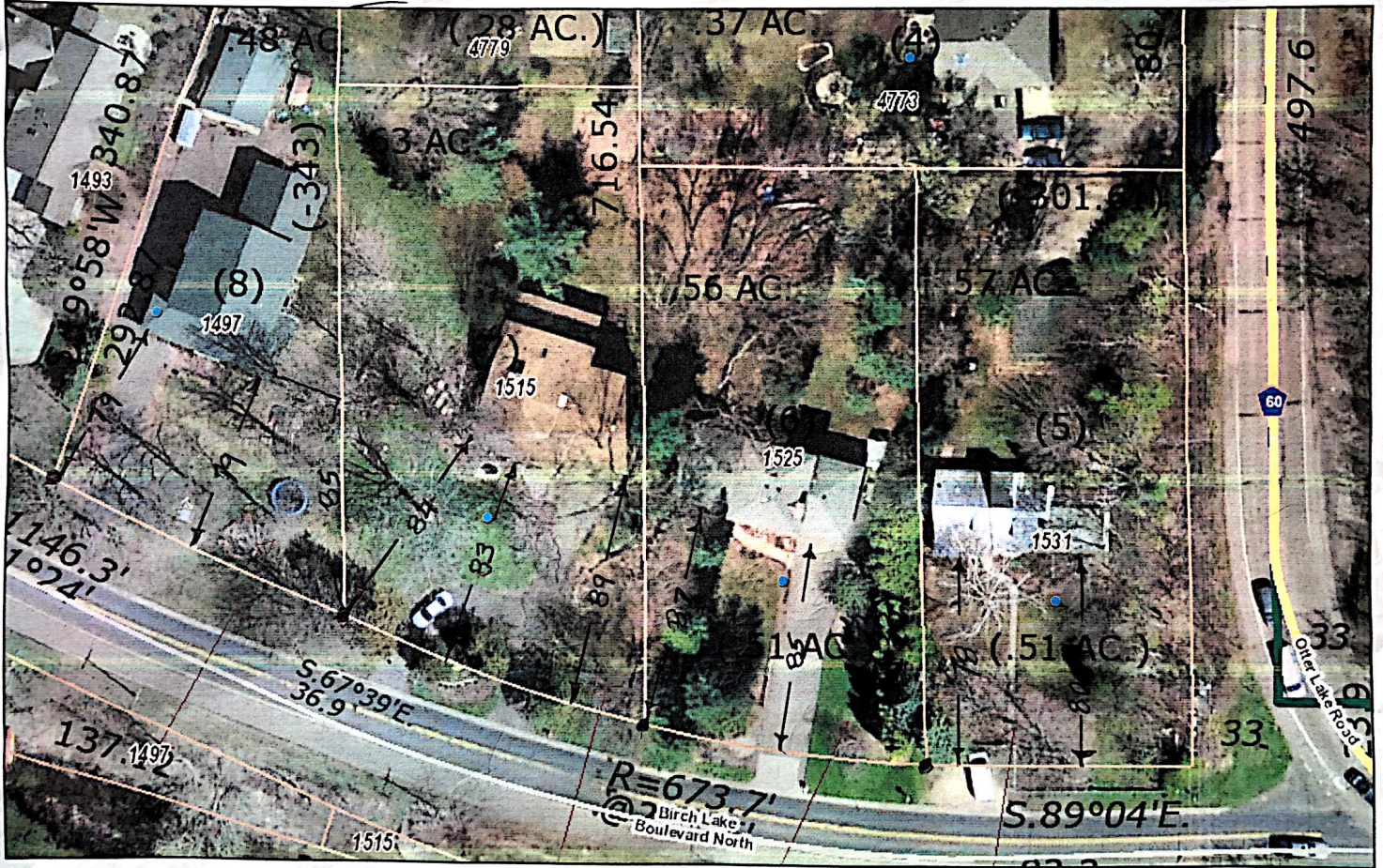
4. Are there unique circumstances to the property not created by the landowner?

Yes, there are unique circumstances not created by the owner. This property was build in the 60's when design was very simple. Private bathrooms and walk-in closets were not the standard. Today, it is the standard. To improve this property to a more modern design and afford all three bedrooms with reasonable and private amenities, this addition is necessary. Adding to the rear of the house would not allow for the addition as desired whereas an additional bathroom will be added.

5. Will the variance, if granted, alter the essential character of the locality?

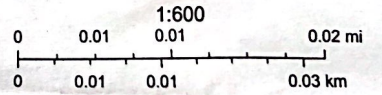
No, this property is located well off of the road and again, very secluded by very mature trees, that will not change. This house, by appearance, looks to be the least improved of the properties in this area. This addition will improve appearance and functionality of the property. It will improve the character of the property and the neighborhood. we have discussed this with neighbors along Birch Lake and have had not negative feedback about our desire.

70.5. 80.5. 70.5. Map Ramsey Found corner



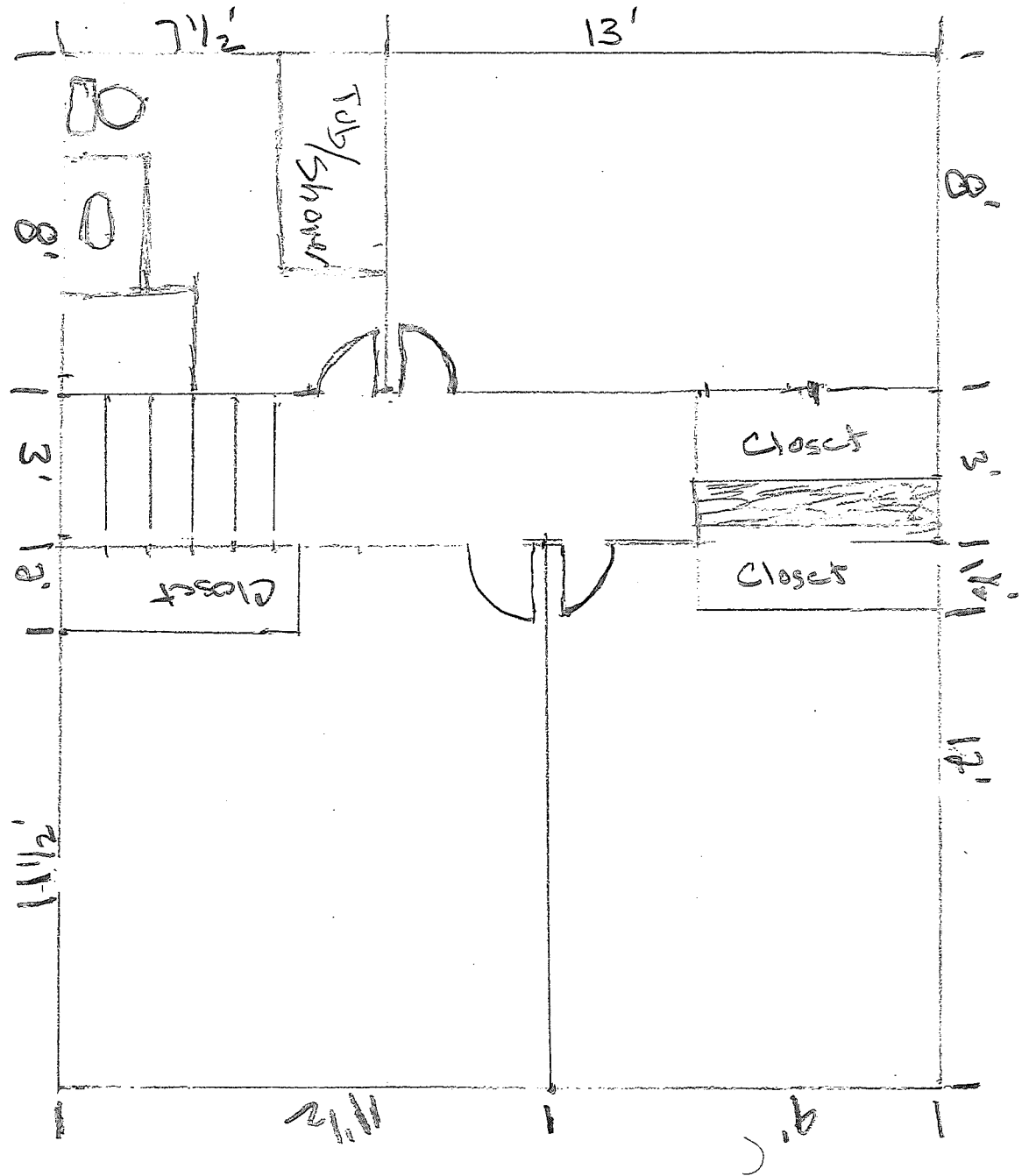
8/5/2022, 8:45:37 AM

- Addresses (Occupants)
- US or State Highway
- Local Road
- Personal Property
- Connector (Ramp)
- Privately Maintained Public Access Road
- Tax Parcels
- Interstate
- County Road
- Alleyway
- Cities



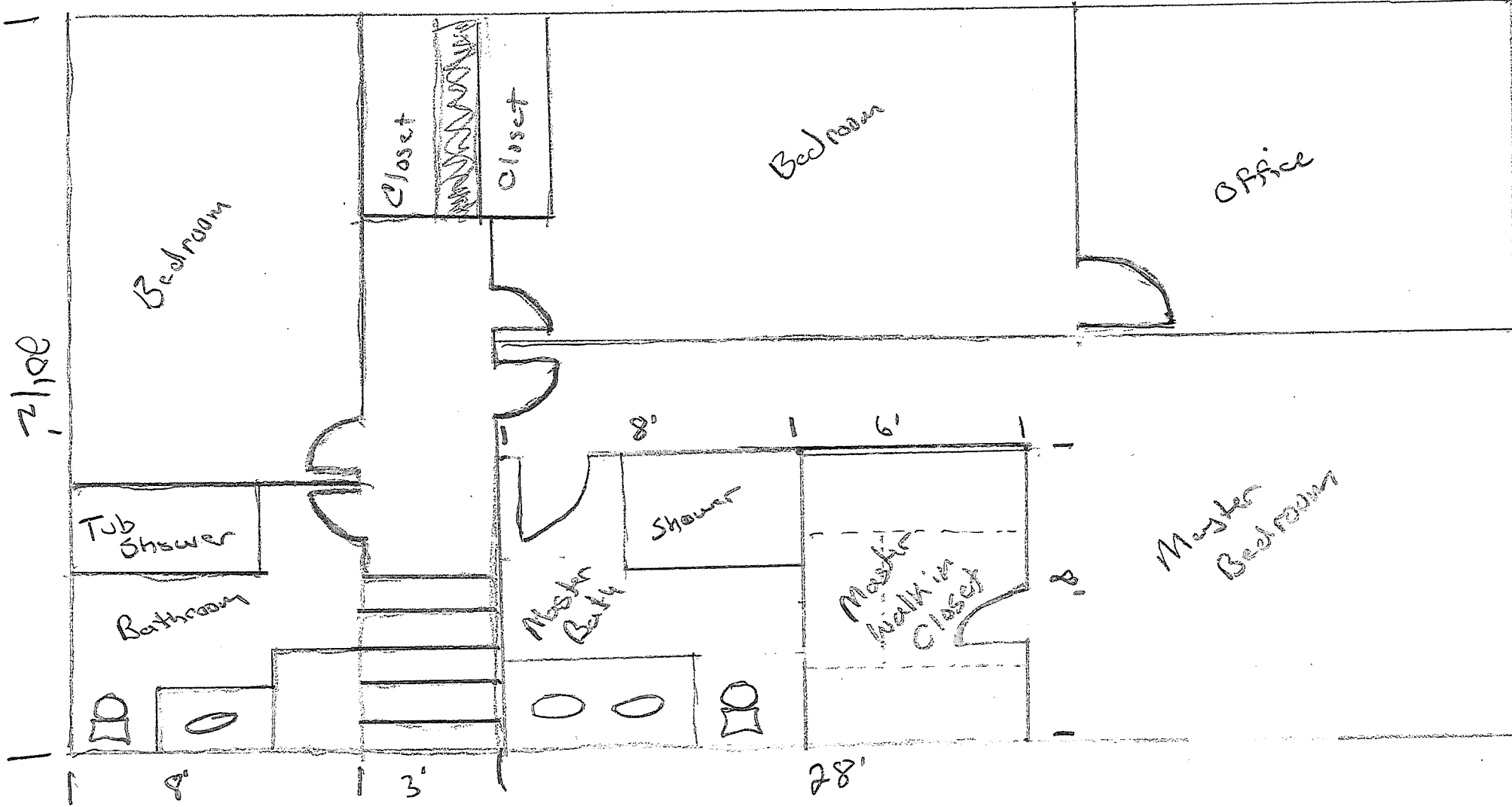
(DICK S.)

Attachment # 1



1/4" = 1'

Existing floor plan



N ←

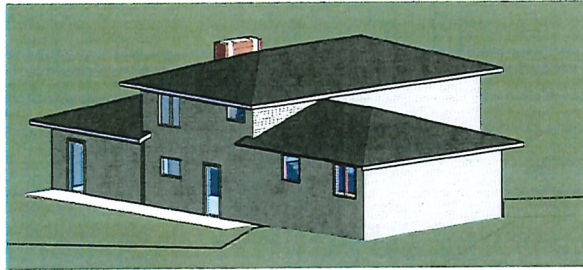
1/4" = 1'

Desired floor plan

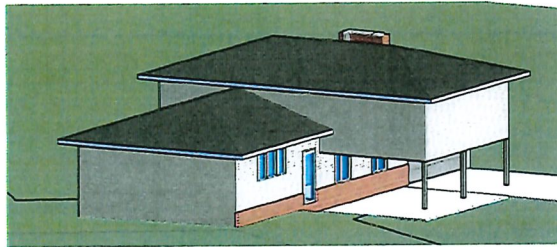
Attachment #2

→ Lake View

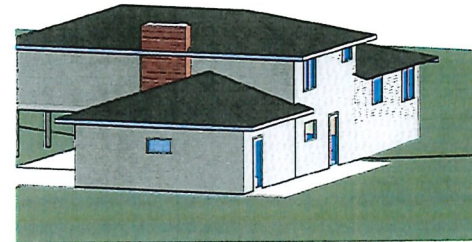
# Attachment #3



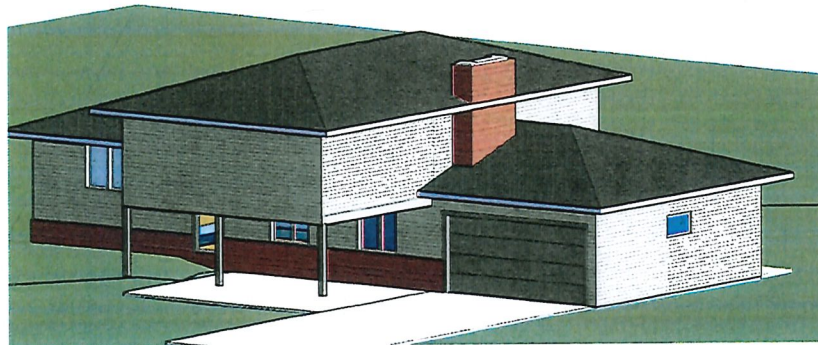
2  
D-1 3-D PERSPECTIVE NORTH WEST VIEW



4  
D-1 3-D PERSPECTIVE SOUTH WEST VIEW



3  
D-1 3-D PERSPECTIVE NORTH EAST VIEW



1  
D-1 3-D PERSPECTIVE SOUTH EAST VIEW

PROJECT: REMODEL  
16'-0" ADDITION FROM BLOCK  
14'-0" ADDITION FROM CANT

OWNER:  
RICK HUSTON  
ADDRESS:  
1525 BIRCH LAKE BLVD N.  
WHITE BEAR LAKE, MN.

CONTRACTOR:  
ROC HOMES PRO  
CONTACT: RICH BERRY  
PHONE: 612-368-1189  
E-MAIL:  
handyman@rochomespro.com

REVISIONS			
NO.	DATE	DESCRIPTION	BY

PRELIMINARY PLAN

AUGUST 09, 2022

NOT FOR CONSTRUCTION

PLANS PROVIDED BY:

**SCHWIETERS HOME DESIGN**  
1628 COUNTY HIGHWAY 10 N.E.  
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105  
SchHornDsgn@aol.com

DATE: 02/28/16

DATE: 08/09/2022 DRAWN: DICK S.  
JOB NO: 02264 CHECKED: R.J.S.

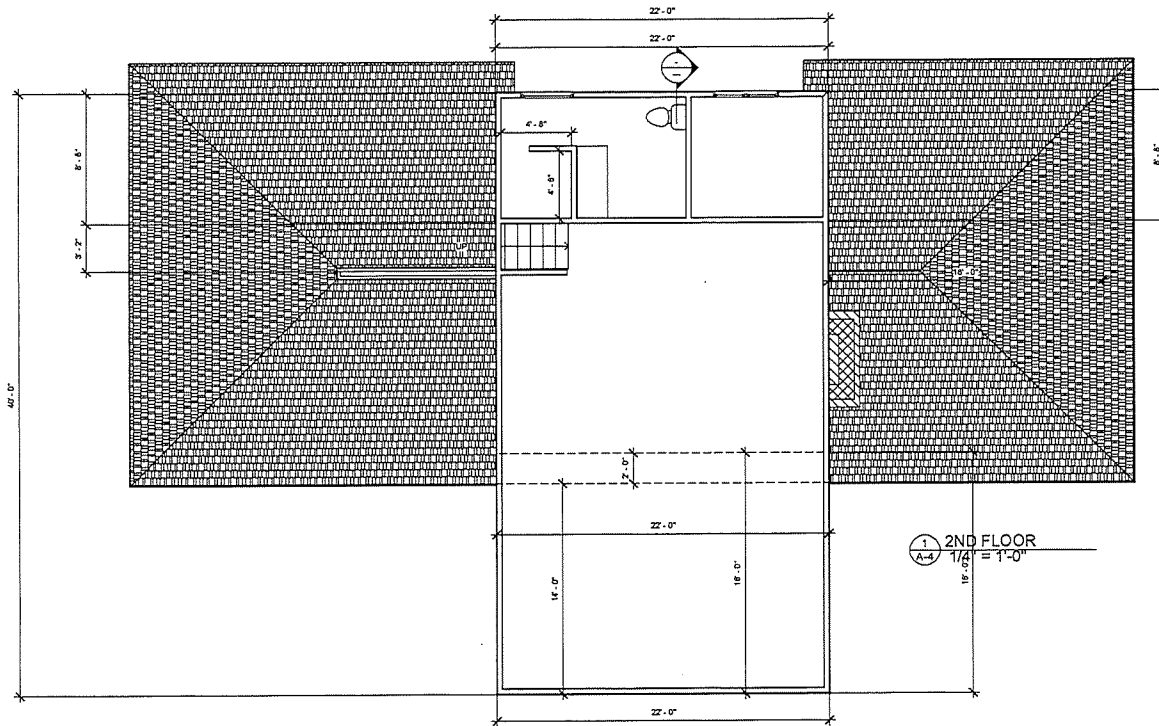
3-D PERSPECTIVES

SCALE:

PAGE NO:

**D-1**

Attachment # 3.1



PROJECT: REMODEL  
 16'-0" ADDITION FROM BLOCK  
 14'-0" ADDITION FROM CANT

OWNER:  
 RICK HUSTON  
 ADDRESS:  
 1525 BIRCH LAKE BLVD N.  
 WHITE BEAR LAKE, MN.

CONTRACTOR:  
 ROC HOMES PRO  
 CONTACT: RICH BERRY  
 PHONE: 612-368-1189  
 E-MAIL:  
 handyman@rochomespro.com

REVISIONS			
NO.	DATE	DESCRIPTION	BY

PRELIMINARY PLAN  
 AUGUST 09, 2022  
 NOT FOR CONSTRUCTION

PLANS PROVIDED BY:  
 SCHWIETERS HOME DESIGN  
 1628 COUNTY HIGHWAY 10 N.E.  
 SPRING LAKE PARK, MN 55432  
 TEL: (763) 785-2105  
 SchHomDsgn@aol.com

DATE: 06/07/2022

DATE: 08/09/2022      DRAWN: DICK S.  
 JOB NO: 02254          CHECKED: R.J.S.

**2ND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PAGE NO:  
**A-4**