



**AGENDA
PLANNING COMMISSION OF THE
CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, OCTOBER 24, 2022
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

2. APPROVAL OF AGENDA

3. APPROVAL OF THE MINUTES

A. Minutes of the Planning Commission meeting on September 26, 2022

4. CASE ITEMS

A. **Case No. 22-6-CUP:** A request by **3881 Property Group** for a conditional use permit, per code section 1303.030, Subd.4.e in order to convert an existing two-story building into a 14 unit assisted living facility in the R-3 zoning district at the property located at 3881 Highland Avenue.

B. **Case No. 22-7-CUP:** A request by **B & A Logistics** for a conditional use permit, per code section 1303.180, Subd.4.a for open and outdoor storage as a principal use in order to operate a storage facility for empty shipping containers at the property located at 1801 Birch Lake Boulevard South.
(WITHDRAWN AT APPLICANT’S REQUEST)

C. **Case No. 22-8-CUP:** A request by **Lund Family Dentistry** for a conditional use permit, per code section 1303.120, subd.4.b, in order to expand the existing dental clinic at the property located at 2300 Highway 96.

5. DISCUSSION ITEMS

- A. Concept Plan Review Process
- B. City Council Meeting Overview

6. ADJOURNMENT

Next Regular City Council Meeting November 9, 2022

Next Regular Planning Commission Meeting November 28, 2022



**MINUTES
PLANNING COMMISSION MEETING
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, SEPTEMBER 26, 2022
7:00 P.M. IN THE COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

Chair Jim Berry called the meeting to order at 7:00 p.m.

MEMBERS PRESENT: Mike Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt, and Andrea West.

MEMBERS ABSENT: None.

STAFF PRESENT: Ashton Miller, City Planner and Lindy Crawford, City Manager.

OTHERS PRESENT: Rick Huston, Tracy Jacobs, Mitch Honsa and Jill Hamer.

2. APPROVAL OF AGENDA

It was moved by Member **Amundsen** seconded by Member **Lynch**, to approve the agenda as presented.

Motion carried, 7:0

3. APPROVAL OF THE MINUTES

A. Minutes of August 29, 2022

It was moved by Member **Baltzer** seconded by Member **Enz**, to approve the minutes of the August 29, 2022 meeting as presented.

Motion carried, 7:0.

4. CASE ITEMS

A. Case No. 04-18-Sa & 22-14-V: A request by **AALFA Family Clinic** to amend a conditional use permit for site plan approval in both the DBD zoning district, per code section 1303.225, Subd.4.i and the Shoreland Overlay district, per 1303.230, Subd.6, and two variances: a 5 foot variance from the 10 foot setback for hard-surface from the north and south side lot line, per 1303.225, Subd.6.e, and a variance from the 30% impervious area limitation to allow 69% impervious surface, per 1303.230, Subd.5.a.5, in order to construct a 350 square foot building addition and expand the parking lot by 13 stalls, at the property located at 4465 White Bear Parkway.

City Planner Miller discussed the case. Staff recommended approval of the request as proposed.

Member Lynch sought more information on the use of pervious pavers in the previous approval and the current proposal that is using all impervious surface. He also wondered if the one raingarden shown on the plans would treat the whole site. Miller explained that because the applicants are not using pervious pavers, they will be required to treat all the runoff as opposed to a credited amount. She explained that the plans show one garden and may need to be revised in response to the comments received from the Engineering Department if the raingarden cannot be sized to treat the runoff from the whole site. In response to a question from Member Lynch, Miller confirmed that it is not the number raingardens that staff is requiring, but the amount of treatment.

Member Enz wondered if the two raingardens that were a part of the original approval in 2004 would still be required for this proposal. Miller replied that it is likely the Engineering Department will require the second raingarden in the front to treat the runoff from the existing parking lot.

Member Berry commented that the expansion of the parking lot that was completed without a permit would be brought into compliance with this request and that impervious surface would be treated.

Member Berry opened the public hearing.

Jill Hamer, represents 4469 White Bear Parkway, she asked if the landscaping on the west side of the property, which is between the clinic and her building, would be impacted by the proposal. She wanted to confirm a buffer would be maintained since there is a large retaining wall along that side of the property. Miller stated that there was no removal of landscaping on the plans and that there are requirements for increased landscaping around the parking lot. She suggested the applicant could speak to the matter.

Mitch Honsa, Larson Engineering, representing the applicant, he confirmed that none of the landscaping along the retaining wall would be removed. There will be a slight impact to the site when they install drain tile along the north side of the property, but none of the trees will be affected and any landscaping would be removed and replaced. Mr. Honsa explained they are looking to provide the same level of water quality volume and match existing rates with the one infiltration basin. In working with the City on the stormwater permit, they will install another basin as needed that would most likely be an underground system as opposed to a closed surface basin. There is currently somewhat of an infiltration system at the front of the property, but it holds a lot of water and is not extracting the water as intended. The underground system would help.

Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 04-18-Sa & 22-14-V, seconded by Member **Amundsen**.

Motion carried, 7:0.

- B. **Case No. 22-18-V:** A request by **Rick Huston & Tracy Jacobs** for a 10.5 foot variance from the 80.5 foot average front yard setback, per code section 1303.040, Subd.5.c.1, in order to construct a home addition 70 feet from the front property line at the property located at 1525 Birch Lake Blvd N.

Miller discussed the case. Staff recommended denial of the request as proposed.

Member Berry opened the public hearing.

Tracy Jacobs and Rick Huston, 1525 Birch Lake Blvd N, applicants, provided the Planning Commissioners with written responses to the staff memo and walked through each comment. She explained that, based on conversations with their designer, the rear of the home is not a good option for the addition. They would like to put solar panels on their home someday and due to the tree cover, the north side of the roof is not an option. Building the addition on the south side would provide the area needed to install solar.

Ms. Jacobs continued that an addition on the south side would cover an existing sidewalk and area of rock, so would not take up valuable useable yard space The back 50% of the yard is covered by a concrete foundation of an old chicken house, so there is only a small portion of the rear yard that is useable and they would lose most of it with the addition. Further, they would need to cut down several large oak trees in order to build in the rear.

They have not decided on a design for below the addition yet, but would probably screen the area in for a porch. She stated that the bedrooms in the home are very small by today's standards and do not hold two people's clothing or belongings. The addition would create a master bedroom and office space that they need.

Ms. Jacobs stated that most of the homes in the neighborhood have been recently updated, so making improvements to the property is a reasonable use. There is also a wide variety of homes in the neighborhood in terms of style, design, and size. They purchased the home knowing it would need to be updated and the intent was always to build an addition to make the home usable. They originally looked at building over the garage, but the location of the chimney was extremely prohibitive. The addition will significantly improve the appearance of the home, so will be in harmony with the surrounding neighborhood.

In response to a question from Member Lynch, Ms. Jacobs stated that they closed on the house at the end of June and did not move in until the end of July due to the amount of work that needed to be done. She continued that their house would not be closer to the

lake than many of the houses around Birch Lake. Further, since the road runs along the lake, there will never be structures encroaching towards the shore.

Member Berry asked if the applicants have checked on how the addition will impact the sight lines of the neighbors. Ms. Jacobs stated that they have spoken to the neighbors to the west, who offered to write a letter of support for the project. The addition is in the center of the property, so will not affect the neighbors.

Mr. Huston stated that the addition will be obscured by large mature trees on the sides and the orientation of the existing home limits the impact on neighbors.

Member Baltzer asked for more information regarding the solar panels. Ms. Jacobs replied that the solar company stated they will not put solar on the north side of the home. The existing roof line would still require a number of trees to be removed on the south side.

Member West asked if the applicants have seen the style of home they are proposing where the front bumps out as opposed to the back. Ms. Jacobs stated that no two homes look alike, they are all unique, so they have not seen this style in the neighborhood. Mr. Huston added that consideration was given to all sides of the home. A bathroom on the north side makes it difficult to design. There is an increase in cost, from \$100,000 to \$200,000 if the addition is put on the north side; an investment they won't see a return on.

Member Lynch asked what the width of the addition will be. Ms. Jacobs stated it is about 20.5 feet wide.

Mr. Huston stated that before they bought the house, they researched what was possible and after reaching out to several Councilmembers, they were assured that there was a process in place to obtain a variance. They have followed the process in good faith. He is disturbed that it was not made clear to him that there were zoning issues to consider. He was concerned that one of the questions asked how the proposal fit with the City's Comprehensive Plan since he does not know how a regular citizen would know that answer. He stated that the variance process did not disclose all the information that would need to be analyzed as part of the request. If he had known, he would not be here tonight. Ms. Jacobs added that the state statute used to analyze variances is vague.

Member Reinhart stated that he appreciates the feedback and believes it will be very helpful to staff going forward regarding laying out clear expectations.

John Reinhardt, 1531 Birch Lake Boulevard North, explained that his main concern was that the addition would be closer to his house because there is not a lot of space there. He does not know how it will impact him, so he is not really for it and not really against it.

Member Berry closed the public hearing.

Member Enz stated that it is the job of the Planning Commission to determine whether alternatives exist. She believes there are six or seven different options that the applicants could look at to achieve the space they desire. She agrees with the staff report recommending denial of the request.

Member Baltzer explained that he visited the property and saw the large trees and that the house is set back a great distance from the street, so a fifteen foot addition will not have a large impact on the neighborhood and will not be close to the lake. He disagrees with the denial.

Member Amundsen asked about the size of the rear yard and if a variance would also be needed to build an addition there. Miller stated that the required rear yard setback is 40 feet and an addition in the back would be able to meet all setbacks.

Member Amundsen continued that he also visited the proposal and tends to agree with Member Baltzer. He believes that what he heard from the applicants this evening has generated a stronger case for a practical difficulty. He noted that it may be helpful to reiterate to applicants the importance of demonstrating a practical difficulty in the application material.

Member Berry commented that the applicants knew the conditions of the property when they purchased it. They knew about the foundation in the back yard when they bought the home.

Lindy Crawford, City Manager, reiterated that a concrete foundation, trees, and economic considerations do not constitute a practical difficulty on a parcel.

Member Lynch explained that he agreed with Member Enz that there are a number of other options available to the applicants. He sympathizes with the applicants because he has small bedrooms too, but the lot is not conducive to making them bigger. He does not see a practical difficulty.

Member Reinhardt asked if the applicants would be able to come back with another plan if the request is denied. Miller stated that the code reads an application cannot be considered within a year of denial, but they would be able to come in with a new request if desired. However, staff may not support any variance from the front setback due to a lack of practical difficulty.

It was moved by Member **Lynch** to recommend denial of Case No. 22-18-V, seconded by Member **Berry**.

Motion carried, 4:3. Members Reinhardt, Baltzer, and Amundsen opposed.

5. DISCUSSION ITEMS

Member Lynch requested a placeholder be put on the agenda to allow the Planning Commissioners the opportunity to discuss the City Council meeting outcomes.

Member West made a note that Schafer Richardson agreed to add more brick to the apartment building prior to being approved at the City Council meeting.

6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Baltzer**, seconded by Member **Amundsen** to adjourn the meeting at 8:12 p.m.

Motion carried, 7:0

DRAFT



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: October 24, 2022
SUBJECT: **3881 Property Group Conditional Use Permit, 3881 Highland Avenue
 Case No. 22-6-CUP**

SUMMARY

The applicant, Jim Mackey, on behalf of the 3881 Property Group, is applying for a conditional use permit to use the existing building at 3881 Highland Avenue for a 14 unit assisted living facility. The applicants applied for, and received, a conditional use permit for a nursing home last year, but approvals expired before the use was enacted. This application is the same as the previous, but each occupant will have their own room rather than the 24 beds previously approved.

The applicant is also requesting to re-enter into a lease agreement with the City in order to use the adjacent parking lot at Stellmacher Park. The lease agreement was also approved last year, but was never enacted. The decision to enter into a lease agreement is separate from the CUP review process and is solely up to the City Council.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request.

GENERAL INFORMATION

Applicant/Owner: Jim Mackey / 3881 Property Group

Existing Land Use / Zoning: Vacant Office Building; zoned R-3: Single Family Residential

Surrounding Land Use / Zoning: North: Stellmacher Park; zoned P: Public
 West & South: Single Family; zoned R-3: Single Family Residential
 East: Single Family & Church; zoned R-3: Single Family Residential

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,500 sq. ft.; 80 feet
 Site: 21,242 sq. ft.; 100 feet

ANALYSIS

The subject site contains an 8,572 square foot, two-story building and 4 parking spaces. The driveway access for the subject site encroaches slightly onto the Stellmacher Park property, as does the trash enclosure, which has given the City the opportunity to utilize these encroachments in the past.

Background

The property was originally a convent for the neighboring church and then later used as offices by the Knights of Columbus, the Board of Social Ministry, and Neighbor to Neighbor. The previous parking lot lease was established in June of 2007 and was terminated in 2018. Over the past few years, staff has met with many prospective buyers about various uses, including active senior housing, child day care, a group living facility, a single room occupancy, and flexible office space. Last year, the applicant was granted a conditional use permit for a 24 bed nursing home.

Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding this request. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property low density residential, which is characterized by a density range of 3 to 9 units per acre. The site is nearly one half (0.49) acre. The proposed assisted living facility provides each occupant a room

with a bathroom, but the units are not separate dwelling units, so the density of the building is not entirely comparable. The use will be residential rather than office as it has in the past, so will be more consistent with the 2040 Future Land Use Map.

One of the guiding principles in the housing section of the 2040 Comprehensive Plan is to “encourage housing development design that reflects the character of the community while still increasing the quantity and variety of housing options.” The property provides a good opportunity to offer senior assisted living while using an existing building in the neighborhood.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The proposed use is compatible with the present and future land uses of the area. The building has been on the property since 1962 and since there are no expansions proposed, the use is not anticipated to significantly impact the surrounding single family homes that abut on the south and west sides of the property. The applicants are proposing a six foot privacy fence along those sides of the property, providing a buffer between the uses.

The city park to the north is not an intensely used park, other than by those in the immediate neighborhood, and there are no plans to expand the facilities at this time, so the continued leasing of the parking lot appears to be compatible. However, the applicant shall show a proof of parking area on their site to demonstrate the site could accommodate the required parking should it be necessary in the future.

3. The proposed use conforms with all performance standards contained herein.

Finding: The zoning code first permits “elderly (senior citizen) housing and nursing homes” in the R1-I zoning district as a conditional use, which cascades to the R-3 district, provided that the use is compatible with the surrounding neighborhood, is compliant with the lot width and setback requirements, building code requirements, and that the permanent residents shall be limited to persons who are 55 years of age or over.

There are no proposed changes to the exterior of the building, so staff finds it to be compatible with the surrounding neighborhood. The property exceeds the lot size and width requirements in the zoning district. The south side of the building encroaches a few inches into the required 10 foot side yard setback, but it otherwise meets the setback and height requirements. The building permit review phase will ensure compliance with the building code and the applicant is aware of the age restrictions on the site.

There are also density requirements for senior multi-family rental and owner occupied condo buildings, however this proposal is not classified as senior multi-family housing, rather it fits within the definition of nursing home, which is, “a building having accommodations where care is provided for two (2) or more invalids, infirmed, aged convalescent or physically disabled persons that are not of the immediate family; but not including hospitals, clinics, sanitariums, or similar institutions.” Therefore, density restrictions do not apply.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The applicants will make improvements to the property, including extensive interior renovations that will add value to the property. The building has been vacant for years, and being able repurpose the structure for assisted senior housing is a benefit to the community.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The property is served by city water and sewer and the services can accommodate the proposed use. The applicant will need to submit to the Metropolitan Council for SAC (Sewer Availability Charge) determination.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: The traffic generated will be mainly from staff, with occasional upticks on weekends and holidays from visitors, so is not anticipated to greatly impact the daily traffic in the neighborhood. There are a number of roadways nearby, including Highway 61, County Road F, Cedar Avenue, and White Bear Avenue, that are designated as collector streets or greater in the 2040 Comprehensive Plan, meaning they are intended to accommodate higher levels of traffic. The number of major roadways in the area provide multiple routes to the site, dispersing traffic and minimizing the impact on the neighborhood.

Lease Agreement

The draft agreement is the same as the one approved last year and is very similar to the previous lease agreements: it proposes a lease amount of \$1.00 per year with an initial 10-year period. There is an automatic one-year renewal period. Either party may terminate the agreement with 60 days written notice. The public maintains access to both the shared drive and the parking lot. The tenant is responsible for maintenance and repair. As a part of the agreement, the applicants are proposing to sealcoat and stripe the lot and to provide screening along the east side between the lot and the road.

The required parking for the site is four stalls plus one for every three beds at the facility, meaning nine stalls are required. There are four stalls on site, so five stalls are needed from the City lot. Consistent with the proposal that was approved last year, it is anticipated that six staff will be on site, and will use the City lot, reserving the onsite stalls for guests. Last year, approval was based on a representation that residents would not drive, and staff has included a similar condition that residents not have individual vehicles stored/parked at the leased lot. When the lease agreement was approved last year, it was for the entire lot to allow for flexibility when there are a greater number of visitors. Staff finds that this agreement continues to make sense and that the entire lot be leased to the applicant.

RECOMMENDATION

Staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
5. A building permit shall be obtained before any work begins.
6. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
7. Regardless of occupancy classification, the residents of the facility shall not have individual vehicles stored/parked at the leased lot.
8. No exterior changes are proposed or approved other than the construction of a 6-foot tall privacy fence along the west and south property lines in the rear yard area.
9. If reconstructed, the dumpster enclosure shall not be reduced in size; design and location subject to staff approval.
10. The applicant shall obtain a building permit prior to beginning any work on site. The construction plans shall comply with the Fire memo dated October 6, 2022, attached.
11. The construction plans shall include work to be performed on the park property, including seal coat, striping plan, and a landscape plan with evergreens along the east side of the lot, subject to approval by city staff. Improvements to be completed prior to the certificate of occupancy.
12. Prior to the issuance of a building permit, the applicant shall provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.
13. Prior to the issuance of a building permit, the applicant shall provide a site plan demonstrating a proof of parking area on their site to demonstrate the site could accommodate the required parking should it be necessary in the future.
14. Prior to the issuance of a building permit, the applicant shall have fully executed the Parking Lot Lease Agreement with the City.
15. Prior to the issuance of a certificate of occupancy, the applicant shall provide proof of having recorded the Resolution of Approval and the Parking Lot Lease Agreement with the County Recorder's Office.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 10/6/22

Applicant Narrative

Applicant Material

Draft Lease Agreement

RESOLUTION NO.

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT FOR
3881 HIGHLAND AVENUE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, 3881 Property Group (Case No. 22-86-CUP) has requested a conditional use permit for an assisted living facility, per code section 1303.030 Subd.4.e, in order to construct an addition at the following location:

LOCATION: 3881 Highland Avenue

LEGAL DESCRIPTION: Lot 1, Block 1, Ridgeview Park, Ramsey County, MN (PID # 263022230008)

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on October 24, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval

RESOLUTION NO.

with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.

4. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
5. A building permit shall be obtained before any work begins.
6. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
7. Regardless of occupancy classification, the residents of the facility shall not have individual vehicles stored/parked at the leased lot.
8. No exterior changes are proposed or approved other than the construction of a 6-foot tall privacy fence along the west and south property lines in the rear yard area.
9. If reconstructed, the dumpster enclosure shall not be reduced in size; design and location subject to staff approval.
10. The applicant shall obtain a building permit prior to beginning any work on site. The construction plans shall comply with the Fire memo dated October 6, 2022, attached.
11. The construction plans shall include work to be performed on the park property, including seal coat, striping plan, and a landscape plan with evergreens along the east side of the lot, subject to approval by city staff. Improvements to be completed prior to the certificate of occupancy.
12. Prior to the issuance of a building permit, the applicant shall provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.
13. Prior to the issuance of a building permit, the applicant shall provide a site plan demonstrating a proof of parking area on their site to demonstrate the site could accommodate the required parking should it be necessary in the future.
14. Prior to the issuance of a building permit, the applicant shall have fully executed the Parking Lot Lease Agreement with the City.
15. Prior to the issuance of a certificate of occupancy, the applicant shall provide proof of having recorded the Resolution of Approval and the Parking Lot Lease Agreement with the County Recorder's Office.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Dan Louismet, Mayor

RESOLUTION NO.

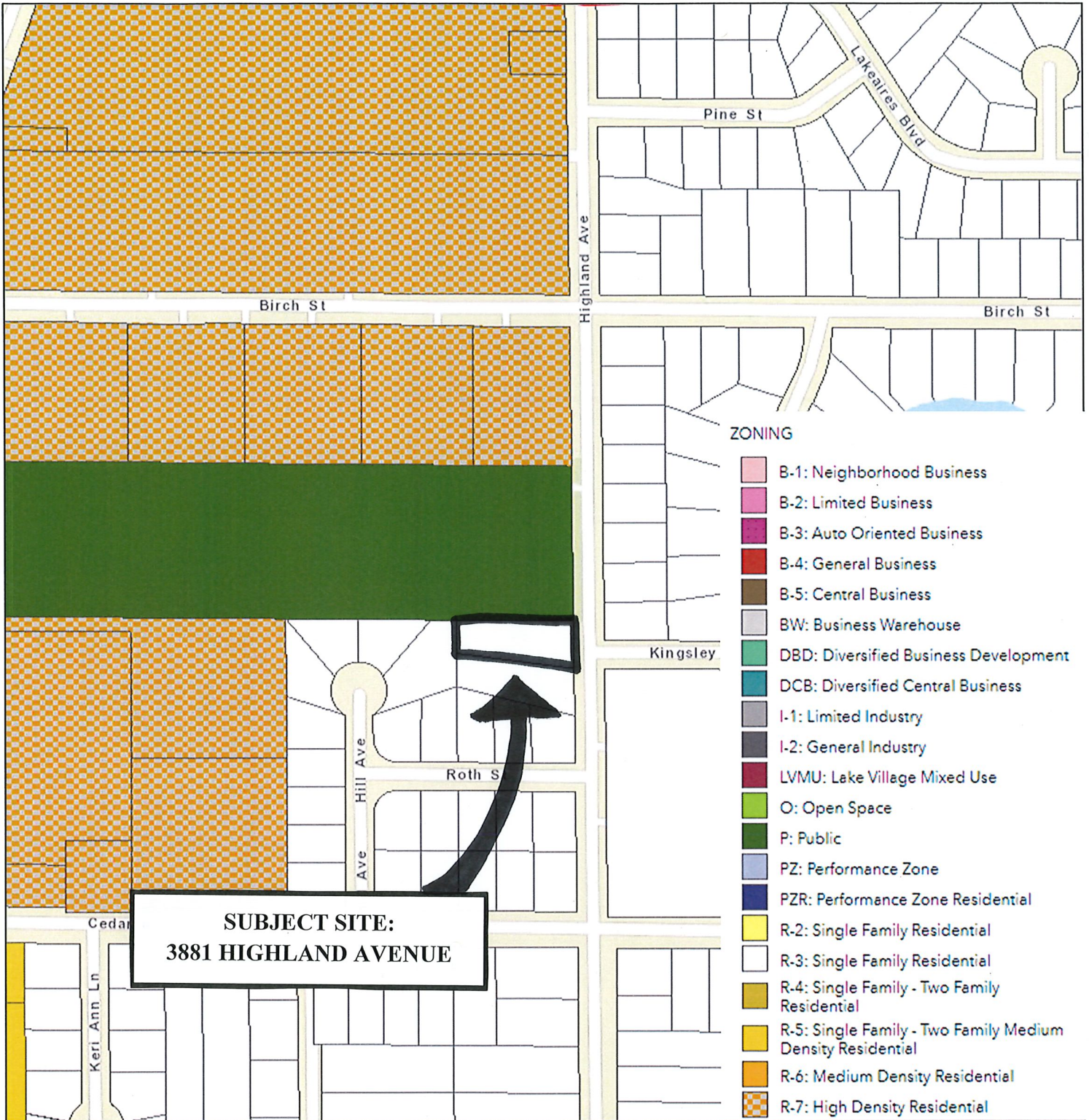
ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



**SUBJECT SITE:
3881 HIGHLAND AVENUE**



City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 22-6-CUP

CASE NAME : 3881 Property Group

DATE : Oct. 24, 2022



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



General Comments

1. All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes.
2. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. City permit required **prior** to initiation of work.
5. The sprinkler system shall be current on annual inspection and testing. Any deficiencies noted during those reports shall be corrected.
6. The landscaping shall be cut back so the Fire Department Connection is visible and accessible.
7. A fire alarm system shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required **prior** to initiation of work.
8. The sprinkler system including the post-indicating valve (PIV) shall be properly monitored by a qualified monitoring company.
9. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
10. Install compliant exit signage as required by the 2020 MSFC.
11. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
12. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.

13. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.
14. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.
15. The elevator Shall be current on DLI inspections.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition

X X
J I M M A C K E Y
h A R C H I T E C T
1723 LAFOND AVENUE
SAINT PAUL MN 55104
PHONE/FAX (651) 644-0869
E-MAIL jim.mack@q.com
X X

Senior Assisted Living Facility

3881 Highland Avenue
White Bear Lake, MN

Scope of Work (narrative)

The following is a proposed interior remodeling of an existing building with bituminous paving located at 3881 Highland Avenue. The building was originally constructed as a convent followed by the use as an office building. The building is 2 stories in height with a full basement. The building is equipped throughout with an automatic sprinkler system.

We are requesting a Conditional Use Permit (CUP) to remodel the interior spaces to create a 14 bed senior assisted living facility. We feel this would be a good fit for the neighborhood as this property has been unoccupied for a period of time. The proposed work would include the addition of an elevator and numerous bathrooms. An existing kitchen in the lower level would be updated to meet current codes and standards.

No work is planned for the exterior of the building except cleaning of the existing brick and siding.

The building shares a drive with a public park to the north. The owners intend to enter into a lease agreement with the city to use an existing paved parking area beyond the shared access drive to the northwest. The owner would be responsible for maintenance and repair of the parking area. This will require seal coating and striping the area at a minimum. Proposing to plant evergreen/coniferous shrubs along the east edge of the parking area to screen vehicles. While a new parking area could be constructed along the west rear of the property we desire to keep this green space for recreation of the residents.

A new 6' height privacy fence along the west and south property edge of the green space will be installed. The parking spaces along the north side of the building would be reserved for visitors. The staff would park in the leased area.

An existing trash enclosure will also be repaired and rebuilt as necessary.

Please contact the architect with any questions.

Thank you for your consideration,

**Jim Mackey (architect)
651-644-0869**

**Assisted Living
Building Remodeling**
3881 Highland Avenue
White Bear Lake, MN



1723 LAFOND AVENUE
SAINT PAUL, MN 55104
PHONE/FAX 651-644-0869
E-MAIL jim.mack@q.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

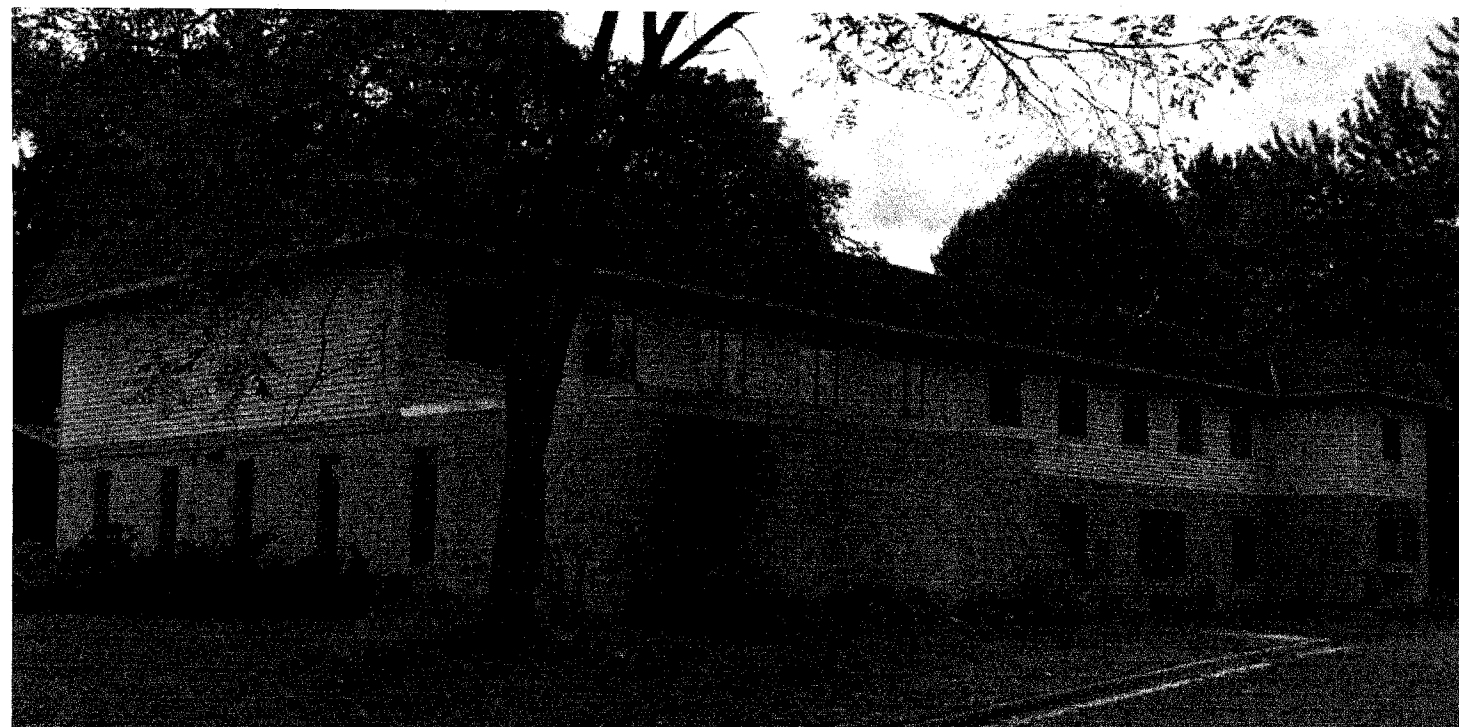
James A. Mackey
JAMES A. MACKKEY
DATE 8/11/22 LIC. NO. 23018

CODE SUMMARY

SCOPE OF WORK:	BUILDING REMODELING OF EXISTING 2 STORY BUILDING WITH FULL BASEMENT. CHANGE OF OCCUPANCY FROM "B" TO "I-1"
APPLICABLE CODES:	2020 MINNESOTA BUILDING CODE 2020 MINNESOTA ACCESSIBILITY CODE 2020 MINNESOTA STATE MECHANICAL AND FUEL GAS CODE 2020 MINNESOTA STATE FIRE CODE 2020 MINNESOTA STATE PLUMBING CODE 2017 NATIONAL ELECTRIC CODE 2020 MINNESOTA STATE COMMERCIAL ENERGY CODE
OCCUPANCY TYPE:	R-4 - CONDITION 2 - ASSISTED LIVING (MAIN & UPPER LEVEL) MBC SECTION 310.5 STAFF / FOOD PREP / MECHANICAL (LOWER LEVEL)
CONSTRUCTION TYPE:	V-B S1
REQUIRED FIRE SEPARATIONS(MBC 508.4)	1 HOUR FLR/CLG SEPARATION BETWEEN LEVELS 1/2 HOUR WALL SEPARATION BETWEEN SLEEPING UNITS MBC SECTION 708.3, EXCEPTION 2. CORRIDORS: 1/2 HOUR SEPARATION PER MBC SECTION 708.3, EXCEPTION 1. ELEVATOR WALLS - 1 HOUR CONTINUOUS (LOWER to UPPER FLR) MBC SECTION 713.4
OCCUPANT LOAD:	14 OCCUPANTS (1 OCCUPANT PER GUEST ROOM) + STAFF PER LICENSE
NUMBER OF EXITS:	2 PER FLOOR (MBC SECTION 106.3.2)
STAIRWELL EGRESS WIDTH REQUIRED:	44" (PER MBC 1011.2 STAIRWELL MAY BE 36" WIDE W/ OCCUPANT LOAD LESS THAN 50)
SIGNAGE:	PROVIDE TACTILE SIGNAGE AT ALL RESTROOMS, BATHROOMS, ELEVATOR, STAIRWELLS AND UTILITY ROOMS PER THE MINNESOTA STATE BUILDING CODE. EXTERIOR BUILDING ADDRESS NUMBERS PER MBC SECTION 502.
EXIT LIGHTING:	LED TYPE EXIT/EMERGENCY LIGHTS AT EACH EXTERIOR DOOR (INTERIOR & EXTERIOR ILLUMINATION) PER MBC SECTION 1008.
AUTOMATIC SPRINKLER:	EXISTING SYSTEM INSTALLED THROUGHOUT PER NFPA 13
TRAVEL DISTANCE:	MAXIMUM ALLOWED: 250' PROPOSED: 125'
PLUMBING FIXTURES:	FIXTURES PROVIDED: 14 WC + 14 LAV + 14 SHOWERS + 2 SERVICE SINK + 1 HI-LO FOUNTAIN + 3 UNISEX RESTROOMS - 1 PER LEVEL. MAIN & UPPER LEVEL UNISEX RESTROOMS ACCESSIBLE.
GROSS FLOOR AREA:	LOWER: 1890 SQ.FT. MAIN: 3830 SQ.FT. UPPER: 3364 SQ.FT. TOTAL: 9084 SQ.FT.
BUILDING HEIGHT:	EXISTING 2 STORY W/ SUB-GRADE BASEMENT

GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS.
2. SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS AND DETAILS, AND ANNOTATED ON ONE OR MORE PLAN, SECTION OR DETAIL SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTIONS AND DETAILS.
3. IN THE CASE OF AMBIGUITIES, DISCREPANCIES OR IRREGULARITIES IN THE DRAWINGS, SPECIFICATIONS, MANUFACTURING INSTRUCTIONS, SITE CONDITIONS OR APPLICABLE CODES AND STANDARDS, REQUEST CLARIFICATION FROM THE ARCHITECT OR ENGINEER BEFORE PROCEEDING. THE COST OF CORRECTING WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
4. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, FLOOR PLANS, ELEVATIONS, SECTIONS AND DETAILS AND NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO START OF CONSTRUCTION.
5. ELECTRICAL, PLUMBING, SPRINKLER AND HVAC MODIFICATIONS & LAYOUT TO BE SUPPLIED BY THE CONTRACTORS PERFORMING THE WORK.
6. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES & ORDINANCES.
7. SEE CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.



**Assisted Living
Building Remodeling**
3881 Highland Avenue
White Bear Lake, MN

Survey Made For:
 Ms. Khuét Dang
 3881 Highland Avenue
 White Bear Lake, MN 55110

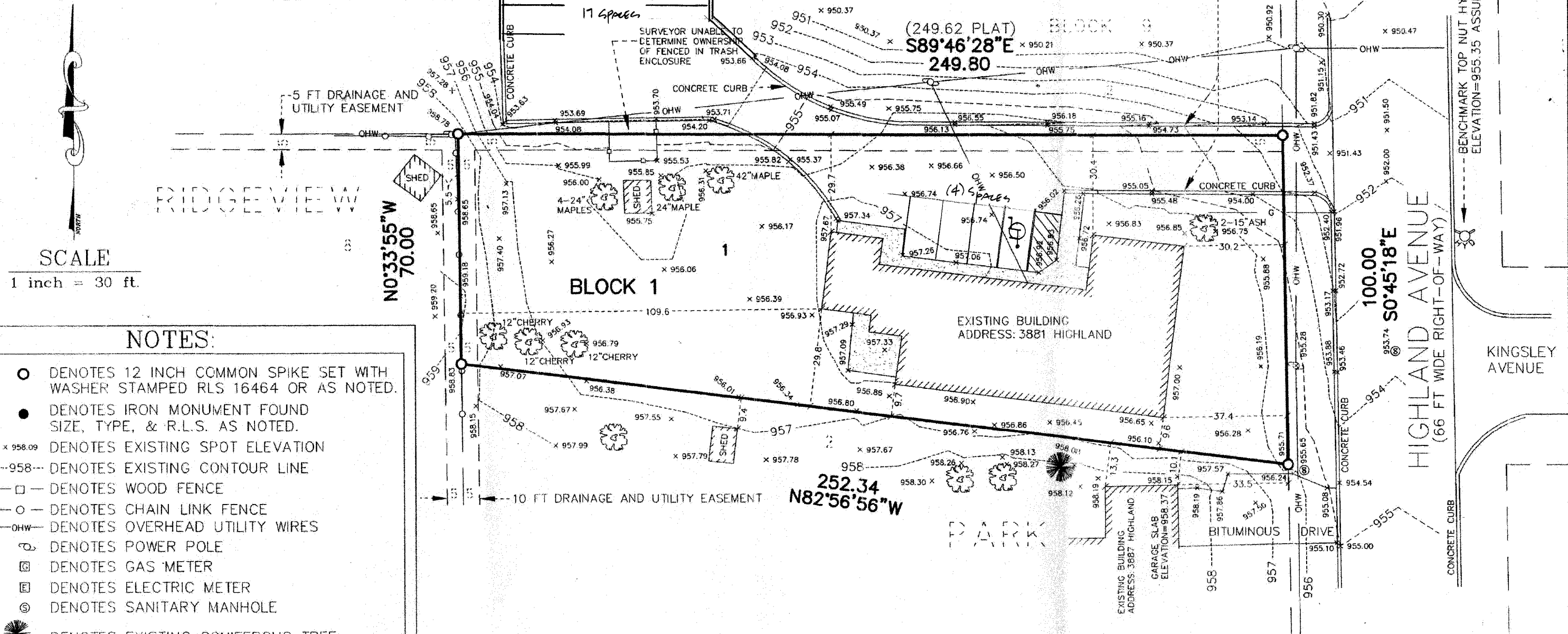
CERTIFICATE OF SURVEY

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

CLIENT TO CONSULT LAWYER AS TO
 POSSIBLE SHARED INGRESS AND
 EGRESS EASEMENT OVER PROPERTY.
 NO RECORDS WERE PROVIDED BY
 CLIENT OR OBTAINED BY SURVEYOR
 REGARDING EASEMENT.

REARRANGEMENT OF WHITE BEAR PARK



SCALE
 1 inch = 30 ft.

NOTES:

- DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16464 OR AS NOTED.
- DENOTES IRON MONUMENT FOUND SIZE, TYPE, & R.L.S. AS NOTED.
- x 958.09 DENOTES EXISTING SPOT ELEVATION
- 958--- DENOTES EXISTING CONTOUR LINE
- DENOTES WOOD FENCE
- DENOTES CHAIN LINK FENCE
- DENOTES OVERHEAD UTILITY WIRES
- ⊕ DENOTES POWER POLE
- ⊕ DENOTES GAS METER
- ⊕ DENOTES ELECTRIC METER
- ⊕ DENOTES SANITARY MANHOLE
- DENOTES EXISTING CONIFEROUS TREE
- DENOTES DECIDUOUS TREE
- DENOTES CONCRETE SURFACE

AREA: 21,242 SQ. FT. OR 0.49 ACRES
 BASIS OF BEARINGS: RAMSEY COUNTY COORDINATES
 LAKE & LAND SURVEYING. JOB NO. 2020.047 RP

Legal Description: (Tax Description)
 Lot 1, Block 1, RIDGEVIEW PARK, Ramsey County, Minnesota.

SITE ADDRESS: 3881 HIGHLAND AVENUE, WHITE BEAR LAKE, MN 55120

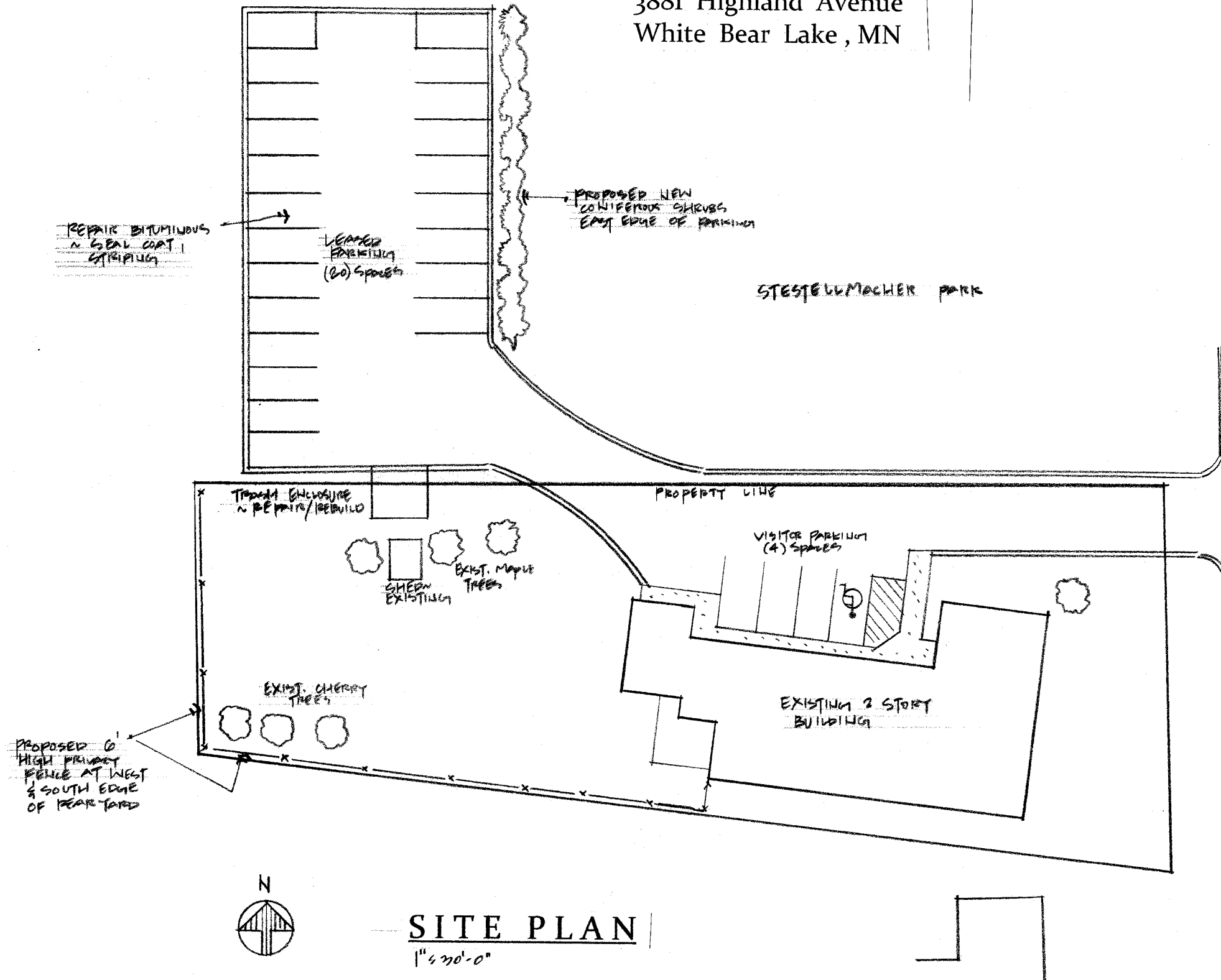
I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Farac
 Jonathan L. Farac
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464
 May 7, 2020

**Assisted Living
Building Remodeling**
3881 Highland Avenue
White Bear Lake, MN

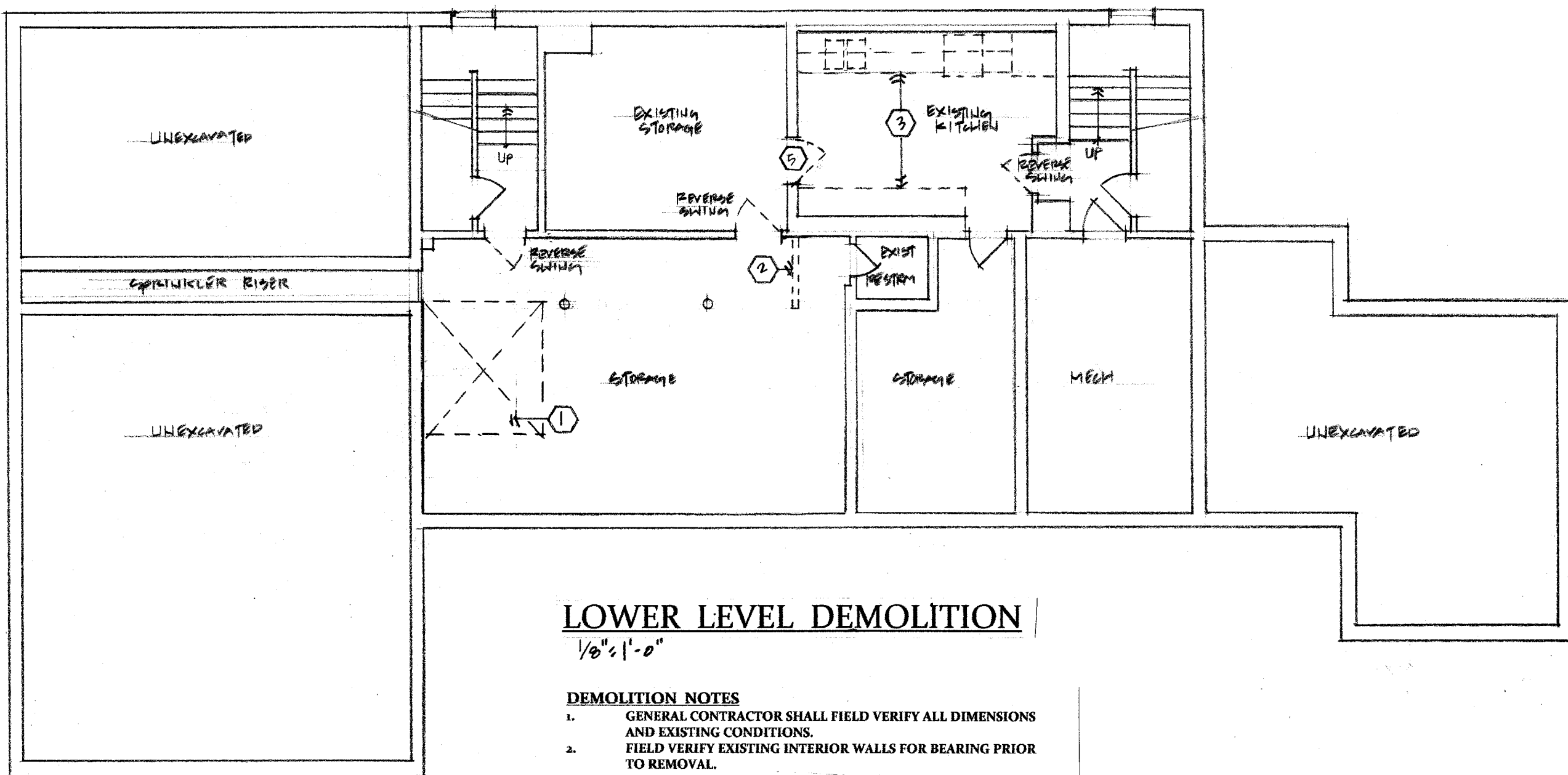
**JIM MACKAY
ARCHITECT**

1723 LAFOND AVENUE
SAINT PAUL, MN 55104
PHONE/FAX 651-644-0869
E-MAIL jim.mack@q.com



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jim Mackay
 JAMES A. MACKAY
 DATE 3/11/22 LIC. NO. 23018



LOWER LEVEL DEMOLITION

1/8" = 1'-0"

DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. FIELD VERIFY EXISTING INTERIOR WALLS FOR BEARING PRIOR TO REMOVAL.
3. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

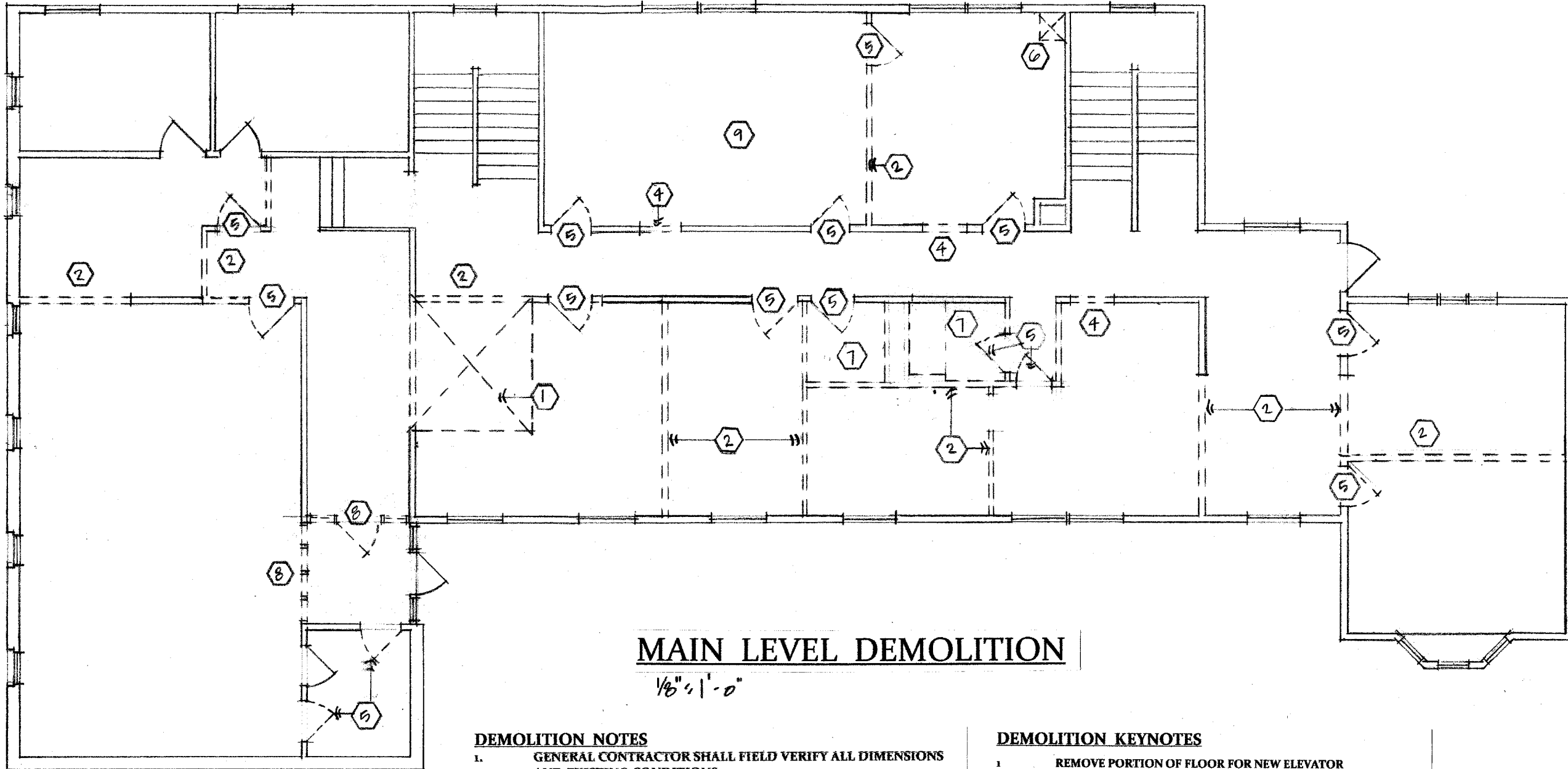
DEMOLITION KEYNOTES

1. REMOVE PORTION OF FLOOR FOR NEW ELEVATOR OPENING. TEMPORARY SHORING & SUPPORT OF EXISTING STRUCTURE AS REQUIRED.
2. REMOVE EXISTING WALL
3. REMOVE EXISTING CABINETS AND APPLIANCES

Assisted Living
Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James A. Mackay
 JAMES A. MACKAY
 DATE 8/11/22 LIC. NO. 33018



MAIN LEVEL DEMOLITION
 1/8" = 1'-0"

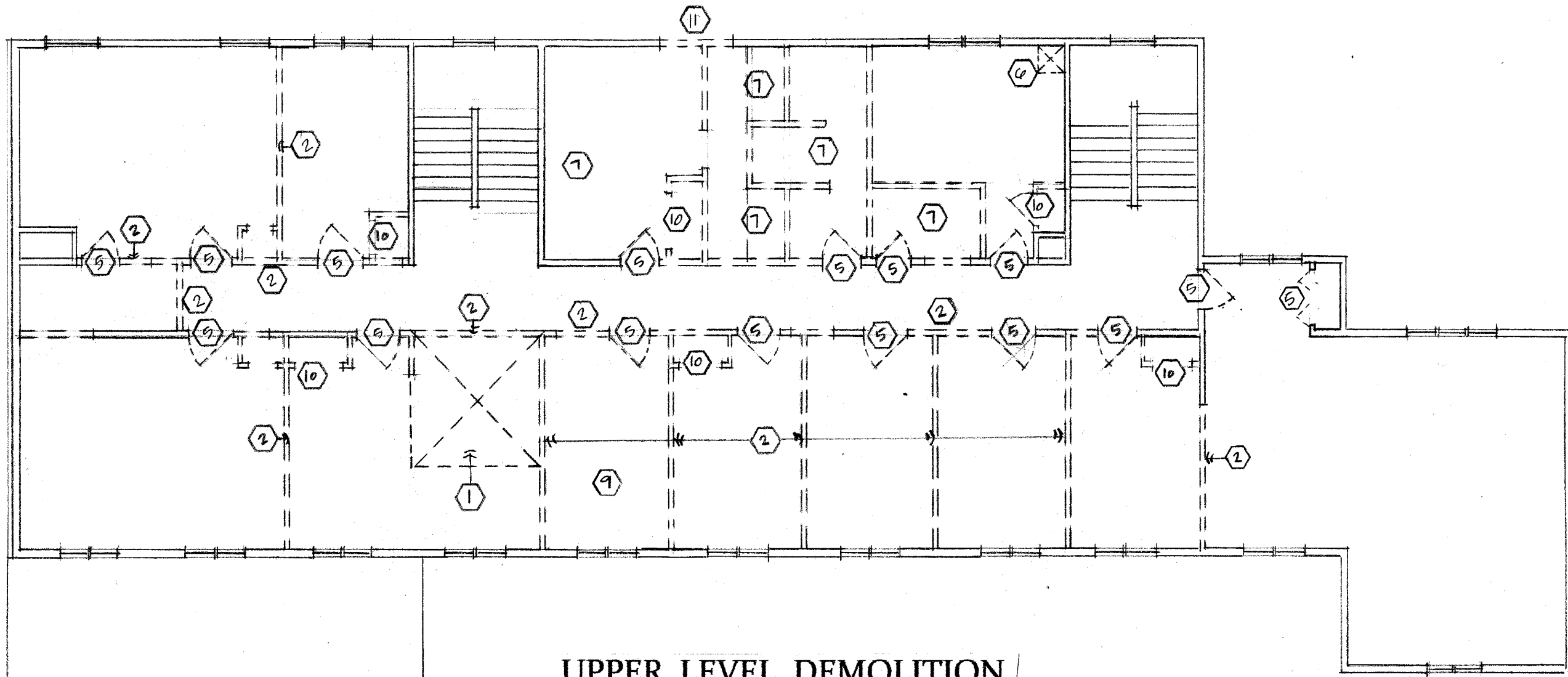
- DEMOLITION NOTES**
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
 2. FIELD VERIFY EXISTING INTERIOR WALLS FOR BEARING PRIOR TO REMOVAL.
 3. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

- DEMOLITION KEYNOTES**
1. REMOVE PORTION OF FLOOR FOR NEW ELEVATOR OPENING. TEMPORARY SHORING & SUPPORT OF EXISTING STRUCTURE AS REQUIRED.
 2. REMOVE EXISTING WALL
 3. REMOVE EXISTING CABINETS AND APPLIANCES
 4. REMOVE EXISTING WALL FOR NEW DOOR OPENING
 5. REMOVE EXISTING DOOR & FRAME
 6. REMOVE PORTION OF EXISTING FLOOR FOR NEW EXHAUST SHAFT
 7. REMOVE EXISTING PLUMBING FIXTURES. CAP / REMOVE EXISTING SUPPLY AND VENT PIPING
 8. REMOVE EXISTING INTERIOR DOOR/GLASS
 9. REMOVE EXISTING FLOORING. SEE ROOM FINISH SCHEDULE
 10. REMOVE EXISTING CLOSET WALLS & DOORS
 11. REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW WINDOW UNIT

Assisted Living
 Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James A. Mackay
 JAMES A. MACKAY
 DATE 8/11/22 LIC. NO. 23018



UPPER LEVEL DEMOLITION

1/8" = 1'-0"

DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. FIELD VERIFY EXISTING INTERIOR WALLS FOR BEARING PRIOR TO REMOVAL.
3. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

DEMOLITION KEYNOTES ○

- 1 REMOVE PORTION OF FLOOR FOR NEW ELEVATOR OPENING. TEMPORARY SHORING & SUPPORT OF EXISTING STRUCTURE AS REQUIRED.
- 2 REMOVE EXISTING WALL
- 3 REMOVE EXISTING CABINETS AND APPLIANCES
- 4 REMOVE EXISTING WALL FOR NEW DOOR OPENING
- 5 REMOVE EXISTING DOOR & FRAME
- 6 REMOVE PORTION OF EXISTING FLOOR FOR NEW EXHAUST SHAFT
- 7 REMOVE EXISTING PLUMBING FIXTURES. CAP / REMOVE EXISTING SUPPLY AND VENT PIPING
- 8 REMOVE EXISTING INTERIOR DOOR/GLASS
- 9 REMOVE EXISTING FLOORING. SEE ROOM FINISH SCHEDULE
- 10 REMOVE EXISTING CLOSET WALLS & DOORS
- 11 REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW WINDOW UNIT

Senior Care Center
 Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

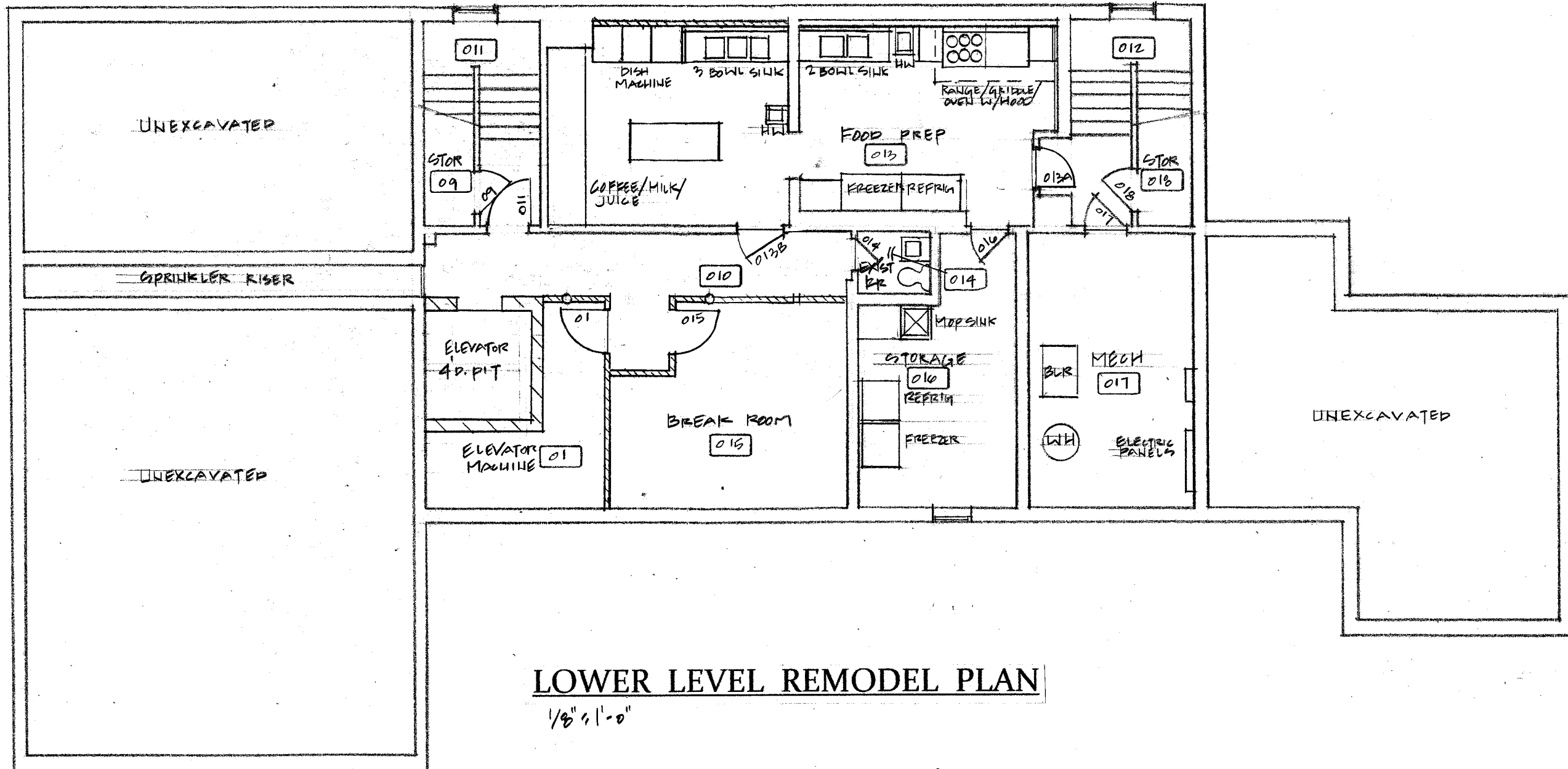
Assisted Living
Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN



1723 LAFOND AVENUE
 SAINT PAUL, MN 55104
 PHONE/FAX 651-644-0869
 E-MAIL jim.mackay@q.com

I HEREBY CERTIFY THAT THIS
 PLAN, SPECIFICATION OR REPORT
 WAS PREPARED BY ME OR UNDER
 MY DIRECT SUPERVISION AND
 THAT I AM A DULY LICENSED
 ARCHITECT UNDER THE LAWS OF
 THE STATE OF MINNESOTA.

James A. Mackay
 JAMES A. MACKAY
 DATE 8/11/22 LIC. NO. 23018



LOWER LEVEL REMODEL PLAN

1/8" = 1'-0"

REMODELING NOTES

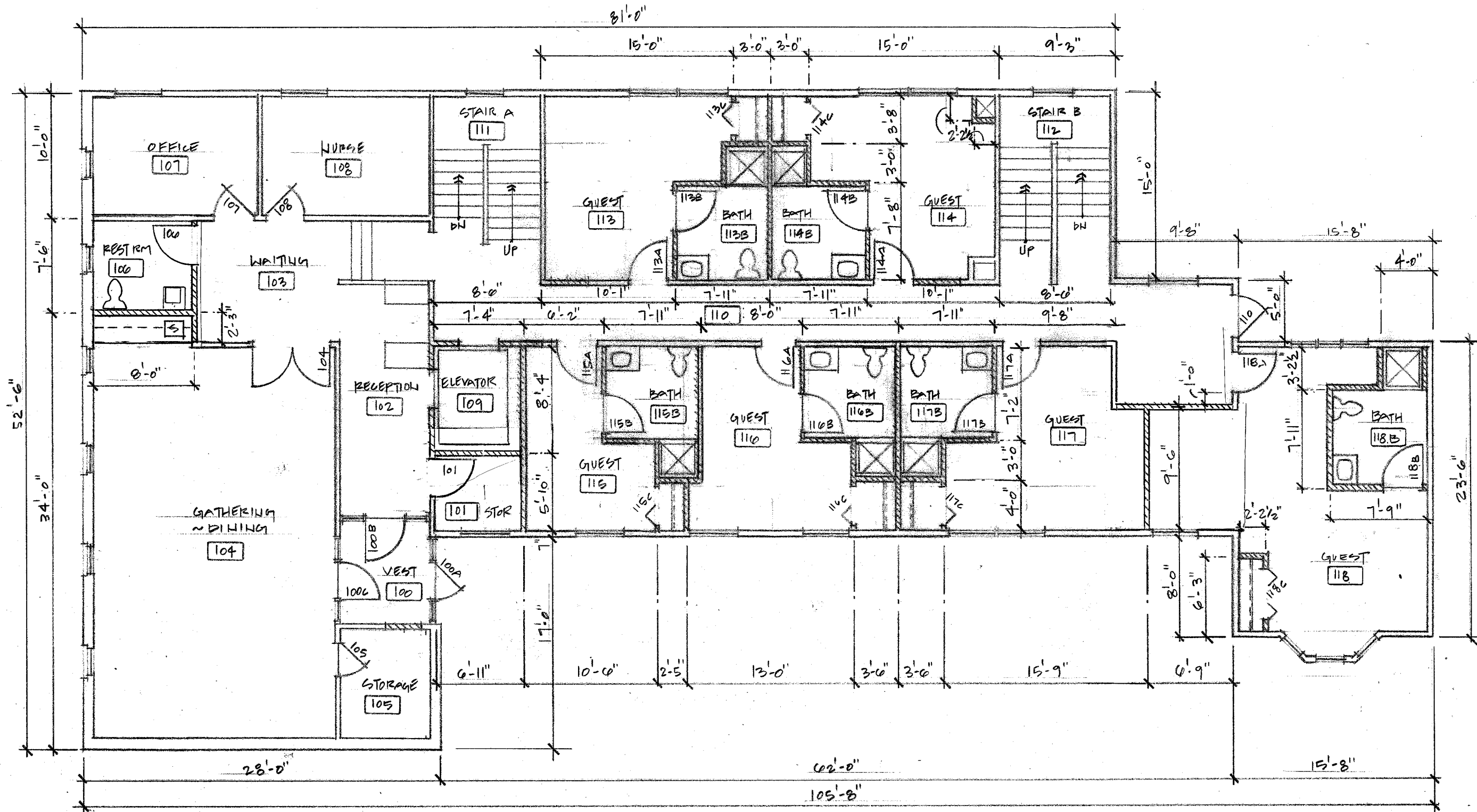
1. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS TO FACE OF GYPSUM BOARD FOR EXTERIOR AND INTERIOR WALLS.
2. ALL HVAC, ELECTRICAL, PLUMBING AND SPRINKLER DOCUMENTS SHALL BE PROVIDED BY THE CONTRACTORS PERFORMING THE WORK.
3. VERIFY WITH THE OWNERS FOR ALL FINISHES. SEE ROOM FINISH SCHEDULE.
4. SEE REMODELING PLANS FOR ADDITIONAL INFORMATION.

Assisted Living
Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James Mackay

JAMES A. MACKAY
 DATE 8/11/22 LIC. NO. 23018



MAIN LEVEL REMODEL PLAN

1/8" = 1'-0"

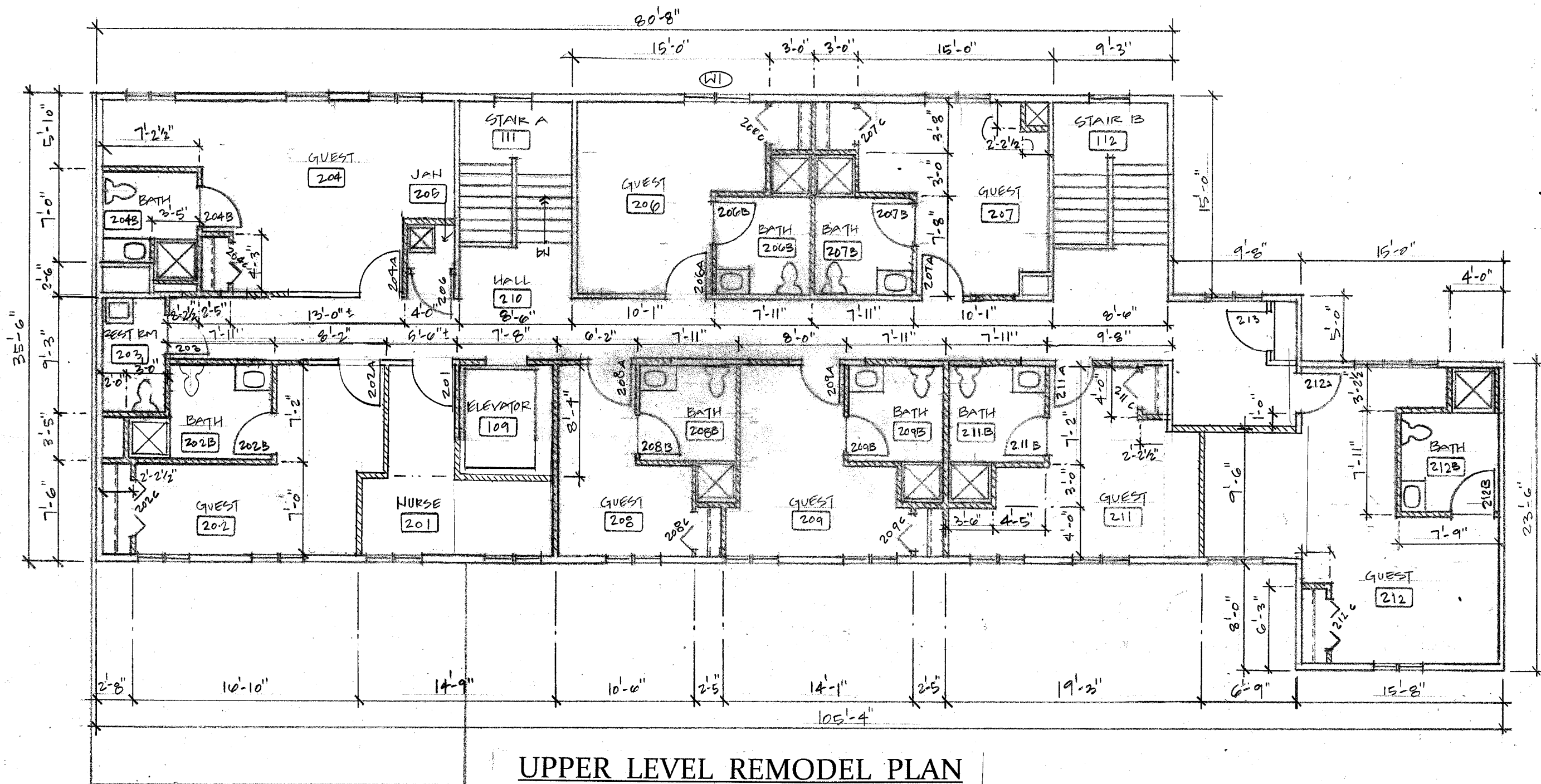
REMODELING NOTES

1. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS TO FACE OF GYPSUM BOARD FOR EXTERIOR AND INTERIOR WALLS.
2. ALL HVAC, ELECTRICAL, PLUMBING AND SPRINKLER DOCUMENTS SHALL BE PROVIDED BY THE CONTRACTORS PERFORMING THE WORK.
3. VERIFY WITH THE OWNERS FOR ALL FINISHES. SEE ROOM FINISH SCHEDULE.
4. SEE REMODELING PLANS FOR ADDITIONAL INFORMATION.

Assisted Living
Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James Mackey
 JAMES A. MACKEY
 DATE: 8/11/22 LIC. NO. 23018



UPPER LEVEL REMODEL PLAN

1/8" = 1'-0"

REMODELING NOTES

1. FIELD VERIFY ALL DIMENSIONS. DIMENSIONS TO FACE OF GYPSUM BOARD @ EXTERIOR AND FACE OF STUDS @ INTERIOR WALLS.
2. ALL HVAC, ELECTRICAL, PLUMBING AND SPRINKLER DOCUMENTS SHALL BE PROVIDED BY THE CONTRACTORS PERFORMING THE WORK.
3. VERIFY WITH THE OWNERS FOR ALL FINISHES. SEE ROOM FINISH SCHEDULE.
4. SEE REMODELING PLANS FOR ADDITIONAL INFORMATION.

Assisted Living
Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

ROOM FINISH SCHEDULE

RM#	ROOM NAME	FLOOR	WALLS	CEILING	CLG. HT.	REMARKS
01	ELEVATOR MACHINE	CONCRETE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
09	STORAGE	CONCRETE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
010	HALL	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
011	STAIRS	EXISTING	EXIST./PAINT	EXIST./PAINT	---	
012	STAIRS	EXISTING	EXIST./PAINT	EXIST./PAINT	---	
013	FOOD PREP	QUARRY TILE	FRP	VINYL A.C.T.	8'-0"	
014	RESTROOM	CER. TILE	EXIST./PAINT	EXIST./PAINT	8'-0"	
015	BREAK ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
016	STORAGE	CONCRETE	EXIST./PAINT	VINYL CLG. TILE	8'-0"	
017	MECHANICAL	CONCRETE	EXISTING	EXISTING	8'-0"	
018	STORAGE	CONCRETE	GYP.BD.-PAINT	GYP./PAINTED	---	
100	VESTIBULE	QUARRY TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
101	STORAGE	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
102	RECEPTION	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
103	WAITING	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
104	DINING/GATHERING	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
105	STORAGE	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
106	RESTROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	54" CER.TILE WAINSCOT
107	OFFICE	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
108	OFFICE	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
109	ELEVATOR	VINYL	MFR. PANELS	MFR. PANEL	8'-0"	FINISH PER MANUFACTURER
110	CORRIDOR	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
111	STAIR A	EXISTING	EXIST./PAINT	EXIST./PAINT	---	
112	STAIR B	EXISTING	EXIST./PAINT	EXIST./PAINT	---	
113	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
113B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
114	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
114B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
115	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
115B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
116	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
116B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
117	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
117B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
118	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
118B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
119	MED CLOSET	VCT	GYP.BD.-PAINT	GYP./PAINTED	9'-0"	
201	NURSE	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
202	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
202B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
203	RESTROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	54" CER.TILE WAINSCOT
204	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
204B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
205	JANITOR	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
206	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
206B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
207	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
207B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
208	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
208B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
209	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
209B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
210	CORRIDOR	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
211	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
211B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
212	GUEST ROOM	VCT	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	
212B	BATHROOM	CER. TILE	GYP.BD.-PAINT	GYP./PAINTED	8'-0"	

NOTES

1. VERIFY ALL FINISHES WITH THE OWNER.

DOOR SCHEDULE

DOOR#	SIZE	DOOR TYPE	MATERIAL	FRAME MATL	REMARKS
01	3-0X6-8	FLUSH	HOLLOW MTL.	HOLLOW MTL.	KEYED LOCK
09	EXIST	EXISTING	EXISTING	EXISTING	KEYED LOCK
011	3-0X6-8	FLUSH	HOLLOW MTL.	HOLLOW MTL.	PUSH PLATE
013A	3-0X6-8	FLUSH	HOLLOW MTL.	HOLLOW MTL.	PUSH PLATE
013B	3-0X6-8	FLUSH	HOLLOW MTL.	HOLLOW MTL.	PUSH PLATE / GLASS LITE
014	EXIST	EXISTING	EXISTING	EXISTING	PRIVACY LATCH
015	3-0X6-8	GLASS LITE	HOLLOW MTL.	HOLLOW MTL.	
016	3-0X6-8	EXISTING	EXISTING	EXISTING	
017	3-0X6-8	EXISTING	EXISTING	EXISTING	KEYED LOCK
018	EXIST	EXISTING	EXISTING	EXISTING	KEYED LOCK
100A	3-0X6-8	FULL GLASS	INSUL. METAL	INSUL. METAL	PANIC HARDWARE/CLOSER
100B	3-0X6-8	FULL GLASS	HOLLOW MTL.	HOLLOW MTL.	PANIC HARDWARE/CLOSER
100C	3-0X6-8	FULL GLASS	HOLLOW MTL.	HOLLOW MTL.	PANIC HARDWARE/CLOSER
101	3-0X6-8	FLUSH	HOLLOW MTL.	HOLLOW MTL.	KEYED LOCK
104	PR3-0X6-8	FULL GLASS	WOOD	WOOD	
105	EXISTING	EXISTING	EXISTING	EXISTING	
106	3-0X6-8	FLUSH	WOOD	WOOD	PRIVACY LATCH
107	3-0X6-8	EXISTING	WOOD	EXISTING	KEYED LOCK
108	3-0X6-8	EXISTING	WOOD	EXISTING	KEYED LOCK
111	3-0X4-0	GATE	WOOD	WOOD	
112	3-0X4-0	GATE	WOOD	WOOD	
113A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
113B	3-0X6-8	FLUSH	WOOD	WOOD	
113C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
114A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
114B	3-0X6-8	FLUSH	WOOD	WOOD	
114C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
115A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
115B	3-0X6-8	FLUSH	WOOD	WOOD	
115C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
116A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
116B	3-0X6-8	FLUSH	WOOD	WOOD	
116C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
117A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
117B	3-0X6-8	FLUSH	WOOD	WOOD	
117C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
118A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
118B	3-0X6-8	FLUSH	WOOD	WOOD	
118C	4-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
119A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
119B	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
120A	3-0X6-8	FLUSH	WOOD	WOOD	PRIVACY LATCH
120B	3-0X6-8	FLUSH	WOOD	WOOD	PRIVACY LATCH
121	3-0X6-8	EXISTING	EXISTING	EXISTING	PANIC HARDWARE/CLOSER
201	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
202A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
202B	3-0X6-8	FLUSH	WOOD	WOOD	
202C	4-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
203	3-0X6-8	FLUSH	WOOD	WOOD	PRIVACY LATCH
204A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
204B	3-0X6-8	FLUSH	WOOD	WOOD	
204C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
205	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
206A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
206B	3-0X6-8	FLUSH	WOOD	WOOD	
206C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
207A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
207B	3-0X6-8	FLUSH	WOOD	WOOD	
207C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
208A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
208B	3-0X6-8	FLUSH	WOOD	WOOD	
208C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
209A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
209B	3-0X6-8	FLUSH	WOOD	WOOD	
209C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
211A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
211B	3-0X6-8	FLUSH	WOOD	WOOD	
211C	3-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
212A	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK
212B	3-0X6-8	FLUSH	WOOD	WOOD	
212C	4-0X6-8	FLUSH	WOOD	WOOD	BI-FOLD
213	3-0X6-8	FLUSH	WOOD	WOOD	KEYED LOCK

NOTES

1. ALL DOORS TO HAVE LEVER HANDLES PER CODE.
2. VERIFY ALL DOOR STYLES WITH THE OWNERS.



1723 LAFOND AVENUE
 SAINT PAUL, MN 55104
 PHONE/FAX 651-644-0869
 E-MAIL jim.mack@q.com

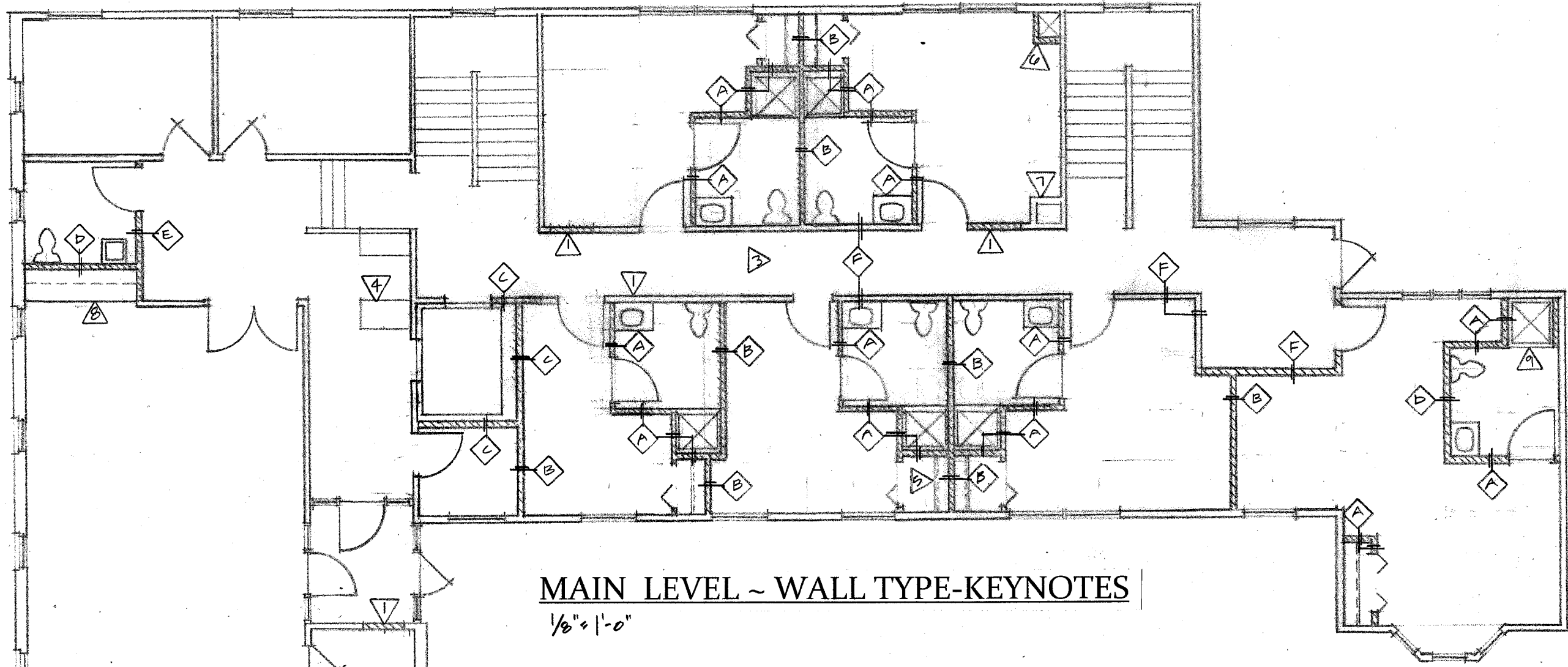
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jim Mackay
 JAMES A. MACKAY
 DATE: 8/1/22 LIC. NO. 23018

Assisted Living
 Building Remodeling
 3881 Highland Avenue
 White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James A. Mackey
JAMES A. MACKEY
DATE: 8/11/22 LIC. NO. 23018



MAIN LEVEL ~ WALL TYPE-KEYNOTES

1/8" = 1'-0"

REMODELING KEYNOTES ▲

- 1 INFILL OPENING - MATCH ADJACENT WALL ASSEMBLY
- 2 NEW PR 3-6w X 5-oh DBL. HUNG WINDOW UNIT / NEW (2)2X10 HEADER / FALL PROTECTION
- 3 NEW FLOORING - SEE ROOM FINISH SCHEDULE
- 4 NEW RECEPTION DESK / 36" HT.
- 5 NEW ROD & SHELF
- 6 EXHAUST HOOD SHAFT
- 7 EXISTING SHAFT
- 8 NEW COFFEE 34" HT. BASE W/ SINK & 30" UPPER CABINET / 7-6 LENGHT
- 9 NEW 36" X 36" TRANSFER TYPE SHOWER @ EACH GUEST ROOM
- 10 NEW PR 2-6w X 4-oh CASEMENT WINDOW UNIT / NEW (2)2X10 HEADER / FALL PROTECTION
- 11 NEW 2' X 2' MOP SINK / FRP 4' HT. @ WALLS
- 12 NEW SHELVES (MED'S)

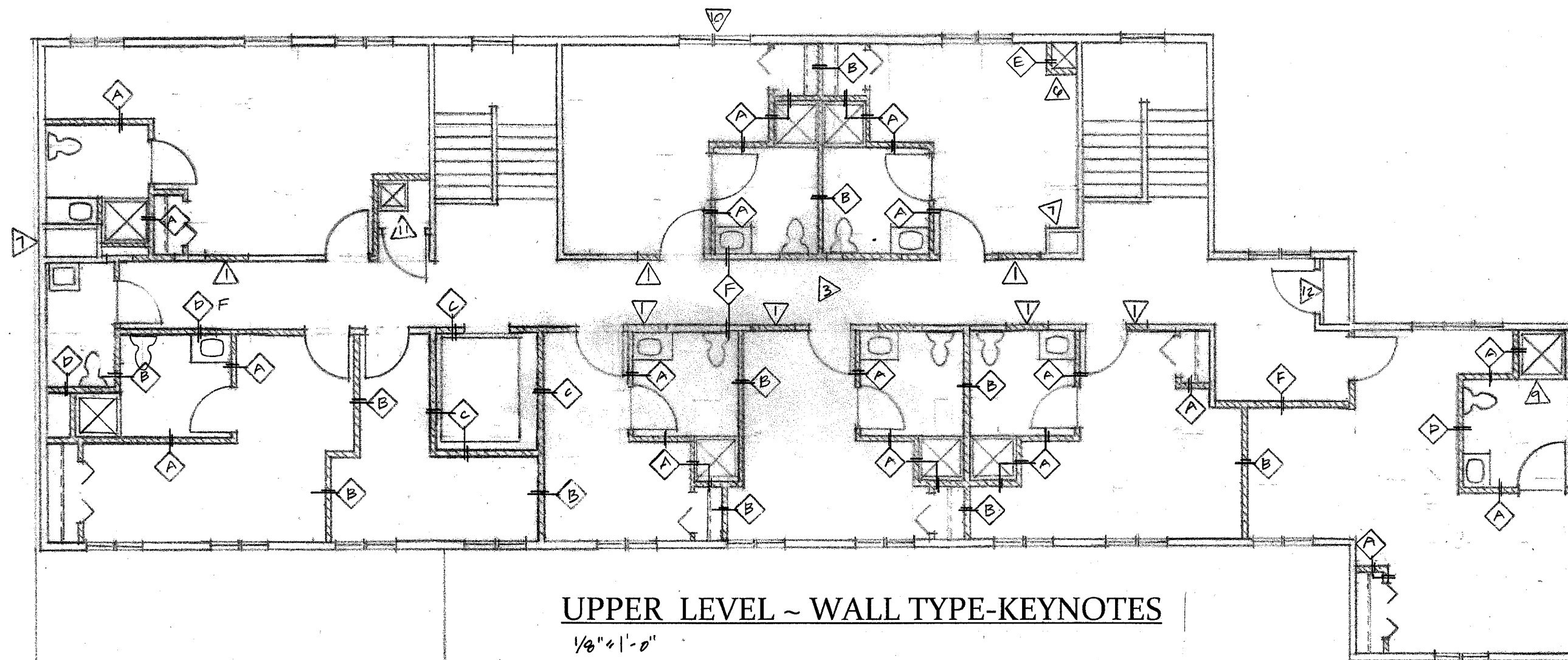
WALL TYPES

- ▲ 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BD. EACH SIDE / SOUND BATTES @ BATH WALLS
- ◆ DEMISING: 2X4 WOOD STUDS @ 16" O.C. / RESILIENT CHANNELS ONE SIDE / 5/8" TYPE 'X' GYPSUM BD. EACH SIDE / SOUND BATTES (1 HOUR FIRE RATING - GA FILE NO. WP 3242)
- ◆ LOWER ELEVATOR: 12" CMU / 4" DEEP PIT
- ◆ MAIN-UPPER ELEVATOR: 2X8 WOOD STUDS @ 16" O.C. / 5/8" TYPE 'X' GYP. BD. EACH SIDE. BALLOON FRAME WALL TO RUN CONTINUOUS FROM TOP OF LOWER CMU TO ROOF STRUCTURE. ADD 2X4 BEARING WALL AROUND OUTSIDE OF ELEVATOR SHAFT.
- ◆ PLUMBING: 2X6 WOOD STUDS @ 16" O.C. / 1/2" CEMENT BD. TO FIXTURE SIDE / 5/8" TYPE 'X' GYP. BD. OPPOSITE SIDE / SOUND BATTES
- ◆ EXHAUST SHAFT:
- ◆ CORRIDOR: EXISTING 2X4 WOOD STUDS / ADD RESILIENT CHANNELS ONE SIDE / 5/8" TYPE 'X' GYP. BD. EACH SIDE / SOUND BATTES (1 HOUR FIRE RATING - GA FILE NO. WP 3242)

Assisted Living
Building Remodeling
3881 Highland Avenue
White Bear Lake, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James Mackey
JAMES A. MACKEY
DATE: 8/11/22 LIC. NO. 23018



UPPER LEVEL ~ WALL TYPE-KEYNOTES

1/8" = 1'-0"

REMODELING KEYNOTES ▲

- 1 INFILL OPENING - MATCH ADJACENT WALL ASSEMBLY
- 2 NEW PR 3-6w X 5-oh DBL. HUNG WINDOW UNIT / NEW (2)2X10 HEADER / FALL PROTECTION
- 3 NEW FLOORING - SEE ROOM FINISH SCHEDULE
- 4 NEW RECEPTION DESK / 36" HT.
- 5 NEW ROD & SHELF
- 6 EXHAUST HOOD SHAFT
- 7 EXISTING SHAFT
- 8 NEW COFFEE 34" HT. BASE W/ SINK & 30" UPPER CABINET / 7-6 LENGHT
- 9 NEW 36" X 36" TRANSFER TYPE SHOWER @ EACH GUEST ROOM
- 10 NEW PR 2-6w X 4-oh CASEMENT WINDOW UNIT / NEW (2)2X10 HEADER / FALL PROTECTION
- 11 NEW 2' X 2' MOP SINK / FRP 4' HT. @ WALLS
- 12 NEW SHELVES (MED'S)

WALL TYPES

- ▲ 2X4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BD. EACH SIDE / SOUND BATTS @ BATH WALLS
- ◆ DEMISING: 2X4 WOOD STUDS @ 16" O.C. / RESILIENT CHANNELS ONE SIDE / 5/8" TYPE 'X' GYPSUM BD. EACH SIDE / SOUND BATTS (1 HOUR FIRE RATING - GA FILE NO. WP 3242)
- ◆ LOWER ELEVATOR: 12" CMU / 4' DEEP PIT
- ◆ MAIN-UPPER ELEVATOR: 2X8 WOOD STUDS @ 16" O.C. / 5/8" TYPE 'X' GYP. BD. EACH SIDE. BALLOON FRAME WALL TO RUN CONTINUOUS FROM TOP OF LOWER CMU TO ROOF STRUCTURE. ADD 2X4 BEARING WALL AROUND OUTSIDE OF ELEVATOR SHAFT.
- ◆ PLUMBING: 2X6 WOOD STUDS @ 16" O.C. / 1/2" CEMENT BD. TO FIXTURE SIDE / 5/8" TYPE 'X' GYP. BD. OPPOSITE SIDE / SOUND BATTS
- ◆ EXHAUST SHAFT:
- ◆ CORRIDOR: EXISTING 2X4 WOOD STUDS / ADD RESILIENT CHANNELS ONE SIDE / 5/8" TYPE 'X' GYP. BD. EACH SIDE / SOUND BATTS (1 HOUR FIRE RATING - GA FILE NO. WP 3242)

Assisted Living
Building Remodeling
3881 Highland Avenue
White Bear Lake, MN

LEASE AGREEMENT

THIS LEASE AGREEMENT, made and entered into this _____ day of September, 2022, by and between the City of White Bear Lake, a municipal corporation (the "Landlord"), and Fahima Mahamud, (the "Tenant"). Landlord hereby leases to Tenant and Tenant leases from Landlord the real property depicted and described on the attached Exhibit A, all located within the City of White Bear lake, County of Ramsey, State of Minnesota (the Leased Premises") for a lease term of ten (10) years commencing on September _____, 2022 and ending September _____, 2032, subject to the following terms and conditions:

1. **RENT.** Tenant agrees to pay, without set off, deduction or demand, to Landlord as total rent for all of the Leased Premises the sum of One Dollar (\$1.00) per year in advance, and other valuable consideration, payable to the Landlord.
2. **QUIET ENJOYMENT AND RESERVATION OF PUBLIC'S RIGHT OF USE.** Landlord covenants that, on paying the rent and performing the covenants herein contained, Tenant shall peacefully and quietly have, hold, and enjoy the Leased Premises for the agreed term, provided however, the Tenant shall have the Leased Premises subject to any and all prior encumbrances against the property including without limitation and easements within the Leased Premises and the right of the public to use the Leased Premises for any reasonable use, which right is hereby reserved by Landlord.
3. **USE OF PREMISES.** The Leased Premises shall be used and occupied by the Tenant for parking. Tenant shall make the Leased Premises available to the public at all times for any reasonable use. The Leased Premises shall not be used at any time during the term of this Lease by the Tenant for any unlawful purposes.
4. **MAINTENANCE AND REPAIR.** Landlord leases to the Tenat all of the Leased Premises in an "as is" condition. Tenant will, at Tenant's sole expense, make all required repairs to the Leased Premises and eliminate any violation of applicable health and safety laws which exist on any of the Lease Premises. Tenant will at all times keep all of the Leased Premises in clean and orderly condition, and will do no damage, nor permit waste of any of the Leased Premises or any of contents thereof. Tenant shall be responsible for all maintenance and repair and replacement of the Leased Premises including, but not limited to, reasonable care of lawn, if any, seal coating and striping of parking area, and removal of snow from driveway and parking area.
5. **REAL PROPERTY TAXES.** Tenant shall pay to the Landlord the annual real property taxes for the real properties comprising the Leased Premises, if any.
6. **RIGHT OF ENTRY.** Landlord shall have the right to enter the Leased Premises at all reasonable hours during the term of this Lease and any renewal thereof for the purposes of inspecting the Leased Premises.
7. **ASSIGNMENT AND SUBLETTING.** Tenant may assign or sublease the Leased Premises only with the prior written consent of the Landlord, which consent shall not be unreasonably withheld.
8. **AUTOMATIC RENEWAL PERIOD.** Unless either Landlord or Tenant, by sixty days prior written

notice to the other,
terminates this Lease as of the last day of the initial or any renewal term, this Lease shall be renewed automatically for an additional one-year term, subject to all of the terms and conditions of this Lease.

9. **TERMINATION.** Notwithstanding any other term to the contrary contained herein, the Landlord may terminate this Lease upon sixty days written notice to the Tenant.

10. **SURRENDER OF PREMISES.** At the expiration or termination of the Lease term, Tenant shall quit and surrender the Leased Premises in at least as good state and condition as they were at the time of completion of Landlord's initial construction, ordinary wear and tare excepted.

11. **ABANDONMENT.** If, at any time during the term of this Lease, Tenant abandons the Leased Premises or any part thereof, or any other default by Tenant occurs, Landlord shall have the right to recover possession of the Lease Premises and the right to relet the Leased Premises, and the right to receive rent and all other payments due hereunder from the Tenant for the unexpired Lease term until such time as the Leased Premises can be re-rented.

12. **WAIVER.** Tenant and Landlord agree to waive and make no claim against each other for or on account of any personal liabilities sustained or loss or damage to any property caused by fire, leakage, seepage, bursting, overflow of water or sewage, or any other cause or event occurring on the Leased Premises. Tenant and Landlord shall be responsible for the security of their respective possessions located on the Leased Premises.

13. **INDEMNIFICATION.** The Tenant and Landlord shall hold each other harmless and indemnify each other from any claim, action or loss arising out of or related to their respective possession or use of the Leased Premises.

14. **PUBLIC PURPOSE.** The parties hereto acknowledge and agree that this Lease serves a public purpose by providing additional off street parking in a congested area.

15. **TRASH ENCLOSURE.** The Trash Enclosure, thereof partly on Tenants property, and thereof partly on Landlords property shall be maintained, including any repairs, by the Tenant.

16. **GRANT OF EASEMENTS AND CONSTRUCTION AND MAINTENANCE AGREEMENT.** Contemporaneously herewith, Landlord and Tenant are entering into a Grant of Easements and Construction and Maintenance Agreement of even date herewith (the "Easement Agreement"), whereby Tenant is conveying to Landlord certain easements over a portion of certain property owned by the Tenant which is adjacent to the Leased Premises. Notwithstanding anything in the Easement Agreement to the contrary, during the term of this Lease and any renewal period, Tenant shall be obligated to maintain, at its sole expense, the Access Driveway (as defined in the Easement Agreement) in good repair and condition, including but not limited to prompt removal of all snow and debris therefrom.

IN WITNESS WHEREOF, the parties hereto have executed the Lease this _____ day of September, 2022.

LANDLORD:

CITY OF WHITE BEAR LAKE

Witnesses:

By _____

Its Mayor

And By _____

Its City Manager

TENANT:

Fahima Mahamud,

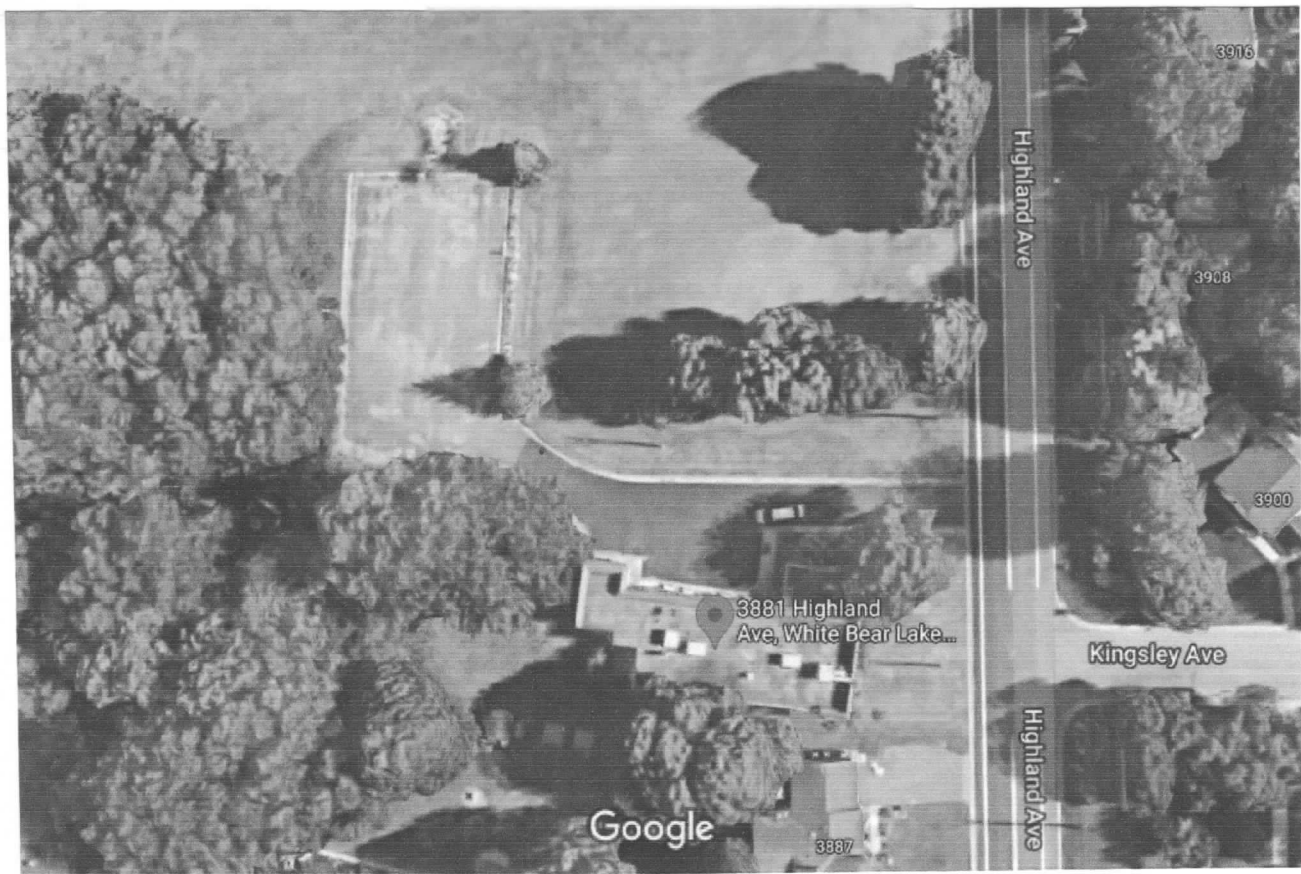
By _____

Its Owner

EXHIBIT A

Leased Premises

The south 120.00 feet of the west 80.00 feet of the east 249.62 feet of lot 2, Block 9.
Rearrangement of White Bear Park together with the south 20.00 feet of the east 60.00
feet of the west 140.00 feet of said Rearrangement of White Bear Park.





City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: October 24, 2022
SUBJECT: **Lund Family Dentistry Conditional Use Permit, 2300 Highway 96, Case No. 22-8-CUP**

SUMMARY

The applicant, Dr. Andrew Lund, is requesting a conditional use permit in order to build an addition to the existing dental office located at 2300 Highway 96.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request.

GENERAL INFORMATION

Applicant/Owner: Lund Family Dentistry / Andrew Lund

Existing Land Use / Zoning: Dental Office; zoned B-1: Neighborhood Business

Surrounding Land Use / Zoning: North: Wetland; zoned R-3: Single Family Residential
 East: Two unit condo; zoned R-4 Single Family – Two Family Residential
 West & South: Single family homes; zoned R-4 Single Family – Two Family Residential

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 15,000 sq. ft. & 100 feet
 Site: 40,940 sq. ft. & 120 feet

ANALYSIS

The subject site is located east of Morehead Avenue and south of Highway 96 E. The property is somewhat unique in that it is divided by an existing right-of-way. Much of the eastern half contains wetlands and may not be buildable. The dental clinic was originally constructed in 1974 after the property was rezoned from R-4 to LB: Limited Business. A dental clinic was a permitted use in the LB zoning district at that time. In 1983, the Zoning Code was updated, and the LB district was renamed to B-1: Neighborhood Business and a dental clinic became a

conditional use in the district. As a conditional use, the expansion requires a public hearing and approval from City Council.

Dr. Lund purchased the property in 2021 and is looking to expand to provide more space for staff and patients. The proposed addition is two stories, consistent with the existing building, with a garage on the basement floor and four new patient chairs, office space, and a break room on the main floor. Staff has included a condition that the basement space not be leased for storage space. The proposal will also expand the parking lot to provide five new parking stalls. Not including the proposed enclosed parking, 17 stalls will be provided in the parking lot and 15 are required.

Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff received one comment from the neighbor at 4984 Stewart Avenue, Christopher Hughes, writing in support of the expansion and noting that the clinic has been a good neighbor and would not adversely impact the neighborhood. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property as low density residential, which is inconsistent with the existing use as a professional office. The property has been a dental clinic since it was developed in 1974, however, and when the property was rezoned from R-4 to LB, one of the reasons provided was that the proximity to the highway and small amount of buildable area made the parcel a poor option for residential. As a commercial property, the clinic is helping the City achieve one of its 2040 Comprehensive Plan

Land Use goals to build a complete community, which is “to create and enhance opportunities for residents to conveniently meet daily needs without having to make long trips.”

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The property is zoned B-1: Neighborhood Business, and the surrounding properties are residential homes. The purpose of the B-1 district is, “to provide for the establishment of local centers of convenient, limited office, retail or service outlets which deal directly with the customer for whom the goods or services are furnished. These centers are to provide services and goods only for the surrounding neighborhoods and are not intended to draw customers from the entire community.” The proposed addition will provide more space for clients, but is not anticipated to greatly increase the capacity to see more patients. Dr. Lund will continue to be the only dentist, and one hygienist who currently works part time will be hired full time, bringing the total to two hygienists. There will not be a huge influx of patients seen every day, parking will be contained on site, and the office will maintain normal business hours. The clinic will still serve the local community and is not anticipated to alter the residential character of the neighborhood. Therefore, staff finds the proposal is compatible with existing and future land uses of the area.

3. The proposed use conforms with all performance standards contained herein.

Finding: The addition will meet the front and side yard setback, but the applicant will need to submit the administrative variance application and neighbor agreements for the rear yard setback in order to extend a line of nonconformity. The property will not exceed the 30% impervious surface limitation and will not trigger stormwater requirements. The addition does trigger a number of building code requirements, including the need to have a fire sprinkler system in the addition and for non-compliant areas of the existing building to be upgraded for accessibility to a level commensurate with 20% of the overall value of the project. These aspects will be addressed before a building permit is issued.

One detail to note is that a portion of the addition is proposed to be constructed out of shipping containers. The code lists a number of exterior materials that are prohibited in this zoning district, including metal panels without factory finish, buildings comprised exclusively of metal, pole buildings, galvanized metal and sheet metal, so that portion of the building will need to be faced with an approved finish, and has been included as a condition of approval. Permitted materials include face brick, natural stone, decorative concrete block or concrete panels colored by pigment throughout, stucco, wood, and glass. The material chosen should be consistent with the existing building and should complement the surrounding homes.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The expansion of the building will not depreciate the area in which it is proposed. The architectural design of the expansion will be consistent with the existing building. Although the addition is getting closer to the residential properties to the south, screening will be required to create a buffer between the lots to lessen the impact on the residences. Staff has included a

condition that a landscaping plan be submitted at the time of building permit, to ensure an adequate amount of buffer is provided to increase privacy and screening. A letter of credit will be required to ensure landscaping is provided.

Other exterior improvements include expanding and striping the parking lot. There is an accessory structure on the residential property to the south, but since there is no livable space in the garage, the lot should not greatly impact the residence. Staff finds that the five foot setback proposed on the east side of the lot is not sufficient enough space to provide adequate screening and is asking the applicant to provide a seven foot setback. As part of the conditional use permit, staff will allow 18 foot long stalls and a 22 foot wide drive aisle. These changes to the parking lot should be submitted to the City prior to the City Council meeting.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The property is served by city water and sewer and the utilities have the capacity to serve the proposed addition.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: The applicant anticipates the addition will increase the ability to see roughly ten more patients a day, so the number of new trips generated will be minimal and will be spread throughout the day as appointments are staggered and most patients spend about an hour at the office. The additional number of vehicles will still be within the capabilities of the streets serving the property. Highway 96 E and Highway 61 are easily accessible from the business, limiting the amount of traffic that will use the surrounding local roads.

RECOMMENDATION

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.
5. Prior to the issuance of a building permit, all plans shall be revised to comply with applicable building and zoning code requirements and shall comply with Fire

Department Memo, dated October 6, 2022.

6. A landscaping plan shall be submitted and subject to staff approval.
7. The applicant shall verify the property lines and have the property pins exposed at the time of inspection.
8. The basement storage/workshop/garage area shall not be leased out separately from the dental clinic.
9. The exterior material on the shipping containers shall consist of a permitted wall finish.
10. The applicant shall extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
11. The applicant shall reconfigure the parking lot so that the addition on the east side provides a seven foot setback from the shared lot line.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 10/6/22

Applicants Narrative (3 pages) & Plans (7 pages)

Neighbor Comment - Hughes

RESOLUTION NO.

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT FOR
2300 HIGHWAY 96 WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, Dr. Andrew Lund (Case No. 22-8-CUP) has requested a conditional use permit for an expansion of an existing dental clinic, per code section 1303.120 Subd.4.b, in order to construct an addition at the following location:

LOCATION: 2300 Highway 96

LEGAL DESCRIPTION: See Attached

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on October 24, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the

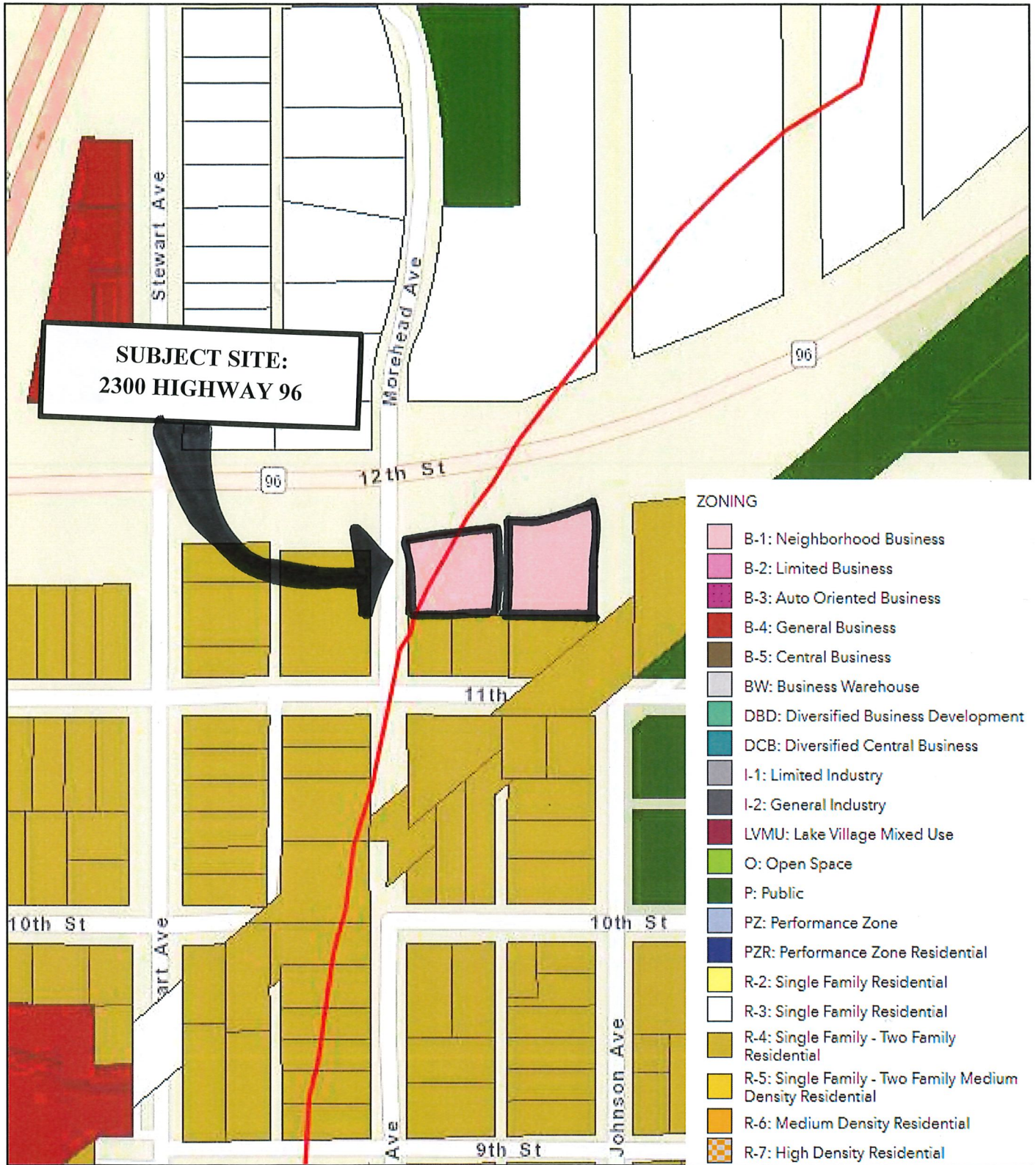
RESOLUTION NO.

Legal Description

Lots 2,3,4,8 and 9, Block 8, AUERBACH'S REARRANGEMENT OF PART OF WHITE BEAR, Ramsey County

AND

That part of Lot 10, lying southerly of a line drawn parallel to and 100 feet southerly from a line described as beginning at a point on the west line of Section 13, Township 30, Range 22, distant 135.1 feet south from the northwest corner thereof; thence east to a point on the extension south of the west line of Block 4, WHITE BEAR, distant 55.1 feet south from the southwest corner of said Block 4; thence continuing east along said last described line a distance of 105.7 feet; thence deflect to the left on a 2 degree 34 minute curve, delta angle 39 degrees 50 minutes, a distance of 150 feet and there terminating; in Block 8, AUERBACH'S REARRANGEMENT OF PART OF WHITE BEAR, Ramsey County, Minnesota.
(PID #13-30-22-22-0015)



City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 22-8-CUP

CASE NAME : Lund Family Dentistry

DATE : Oct. 24, 2022



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



1. All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes.
2. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. A fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler System as indicated by the building department and MSBC 1306. City permit required **prior** to initiation of work.
5. The sprinkler system shall be properly monitored by a qualified monitoring company.
6. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
7. Install compliant exit signage as required by the 2020 MSFC.
8. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
9. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
10. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



11. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition



NORTHERN SHIELD
DEVELOPMENT CORPORATION

Date: September 13, 2022

To : Ashton Miller, City Planner

City of White Bear Lake, 4701 Highway 61 White Bear Lake, MN 55110

Via Email : amiller@whitebearlake.org

Re: 2300 Hwy 96, White Bear Lake MN – Dr. Lund – Proposed Dental Clinic Expansion

The proposal is to construct an addition onto the existing structure housing the Lund Family Dentistry offices to allow the expansion of the clinic as shown on the attached drawings. The existing building is 2,800 square feet and the proposed ground floor addition is 1,570 square feet with a basement level below.

Please accept the attached Land Use and Variance Application form and drawings for the above noted address. We are seeking the following approvals to proceed with Building Permit applications;

- * Conditional Use Permit under the B-1 Neighborhood Business zoning district requirements, including screening requirements from the abutting residential properties.
- * Administrative Variance for the pre-existing dimensionally non-conforming rear setback.
- * Variance for >30% impervious surfaces as outlined in the Shoreland Overlay District.

PROPERTY DESCRIPTION:

Lots 2,3,4,8 & 9 , Block 8, AUERBACH’S REARRANGEMENT OF PART OF WHITE BEAR, RAMSEY COUNTY, MINNESOTA. And Part of Lot 10 as shown on the survey completed by E.G. Rud and Sons, Inc. 5/13/2022. (Attached with application- Site Survey)

PIN : 13-30-22-22-0015

SITE STATISTICS:

PARENT BYLAW: ZONING CODE
CURRENT ZONING DESIGNATION: B-1 (NEIGHBORHOOD BUSINESS)
SITE SPECIFIC BYLAW: ---
PROPOSED ZONING DESIGNATION: N/A

1.0 LOT STANDARDS

		REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH (ft)		100.0	123.32	EXISTING
MINIMUM LOT AREA (sq. ft.)		15,000	18,863	EXISTING
MINIMUM FLOOR AREA (ALL BUILDINGS) (sq. ft.)		> 1,000	1,635	3,341
YARD SETBACKS	FRONT YARD (ft)	30.0	75.60	EXISTING
	INTERIOR SIDE YARD(S) (ft)	20.0	61.40	21.31
	EXTERIOR SIDE YARD (ft)	30.0	21.60 (□ □ †)	EXISTING
	REAR YARD (ft)	30.0	19.51 (□ □ †)	16.20
MAXIMUM BUILDING HEIGHT (ft)		30.0	EXISTING	30.0

NOTES: (†) EXISTING CONDITIONS PERMITTED TO REMAIN, NO NEW ADDITIONS OR IMPROVEMENTS ARE PERMITTED TO BE INSTALLED

ZONING DESIGNATION:

The property is zoned **B-1 Neighborhood Business**.

Professional offices (includes **dentists** as per the definition) are a 'Conditional Use' for the property and as such a Conditional Use Permit will be required triggering this application process. We understand that this will include both Planning Commission and City Council approval along with a public hearing.

The dental clinic currently and will continue to operate with the following business hours: Monday to Thursday from 8:00am to 5:00pm and is closed Friday through Sunday.

ADDITIONAL ZONING ORDINANCES :

Concurrently with the CUP application for the office use we would like to include the requirements.

- 1) **1302.030 Subd. 7 -Required Fencing, Screening and Landscaping** to ensure that the property will be screened from the abutting residential properties.
- 2) **1302.070 -Land Alteration and Mining** review and approval for site grading and stormwater management. As well as the requirements of Shoreland Overlay District limiting the impervious surface to 30%.

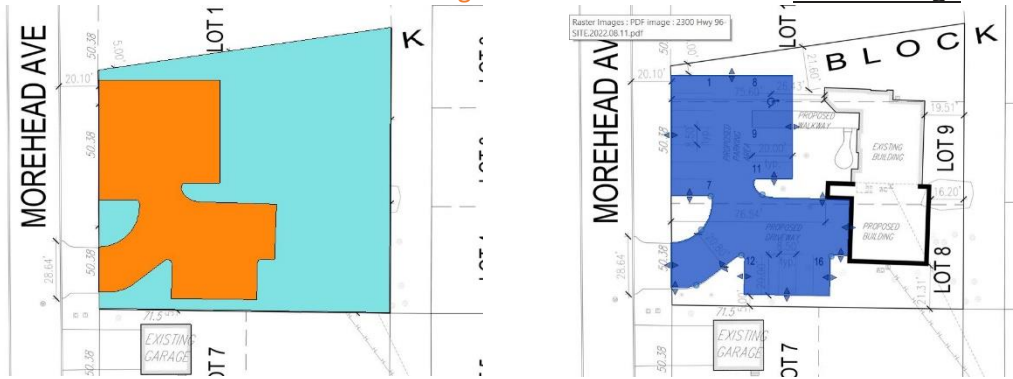
With the current site arrangement for parking and the proposed site alterations the variance consideration would be to allow for a 36% impervious coverage.

Calculations:

Site Area = 18693 m²

Parking Lot Area = 6757 m²

= **36% coverage**



We understand that the following are not requirements of the CUP process but would be satisfied before a building permit could be issued.

- 1) **1302.075 Tree Preservation.** Tree Survey to be provided at a later date.
- 2) **1302.0880 Essential Services.** Details to be provided at a later date.

ADMINISTRATIVE VARIANCE:

Rear setback reduction.

The existing structure has a non-conforming set back of 19.51ft from the rear property line. By law requires the rear setback to be 30ft minimum. We are requesting an administrative variance to allow the new construction to be built with the current non-conforming setback as per zoning code section 1302.040 Subd.4.d . Where an addition is proposed to a pre-existing, dimensionally non-conforming structure or side of a structure, and the proposed addition extends no closer to a property line or other structure than the pre-existing, non-conforming structural encroachment currently on the site, the required building setbacks may be varied by an Administrative Variance”.

ADDITIONAL NOTES:

The property is located within the Rice Creek Watershed District [PH. (763) 398-3070]. From online mapping it appears the property is within the “Resource Area of Concern” we are submitting the plans to Rice Creek for clarification if any permits are required.

CONCLUSION:

Given the proposed design meets the intent of the zoning standards and requirements and the variances are minor in nature we are hopeful that the City of White Bear Lake is amenable to the noted requests and upon approval from the Planning Commission and Council we can proceed to Building Permit stage.

Thank you in advance for you time and we look forward to working with you on this exciting project.

Sincerely,



Kelly Shelswell
VP Projects & Operations
Northern Shield Development Corporation
705-717-1810

Attachments:

Land Use Variance Application form
Site Survey
Proposed Site plan
Drawings both existing and proposed

TOPOGRAPHIC SURVEY

~for~ LUND FAMILY DENTAL
 ~of~ 2300 HIGHWAY 96
 WHITE BEAR LAKE, MN 55110

PROPERTY DESCRIPTION

Lots 2, 3, 4, 8 and 9, Block 8, AUERBACH'S REARRANGEMENT OF PART OF WHITE BEAR, Ramsey County, Minnesota.

AND

That part of Lot 10, lying southerly of a line drawn parallel to and 100 feet southerly from a line described as beginning at a point on the west line of Section 13, Township 30, Range 22, distant 135.1 feet south from the northwest corner thereof; thence east to a point on the extension south of the west line of Block 4, WHITE BEAR, distant 55.1 feet south from the southwest corner of said Block 4; thence continuing east along said last described line a distance of 105.7 feet; thence deflect to the left on a 2 degree 34 minute curve, delta angle 39 degrees 50 minutes, a distance of 150 feet and there terminating; In Block 8, AUERBACH'S REARRANGEMENT OF PART OF WHITE BEAR, Ramsey County, Minnesota.

NOTES

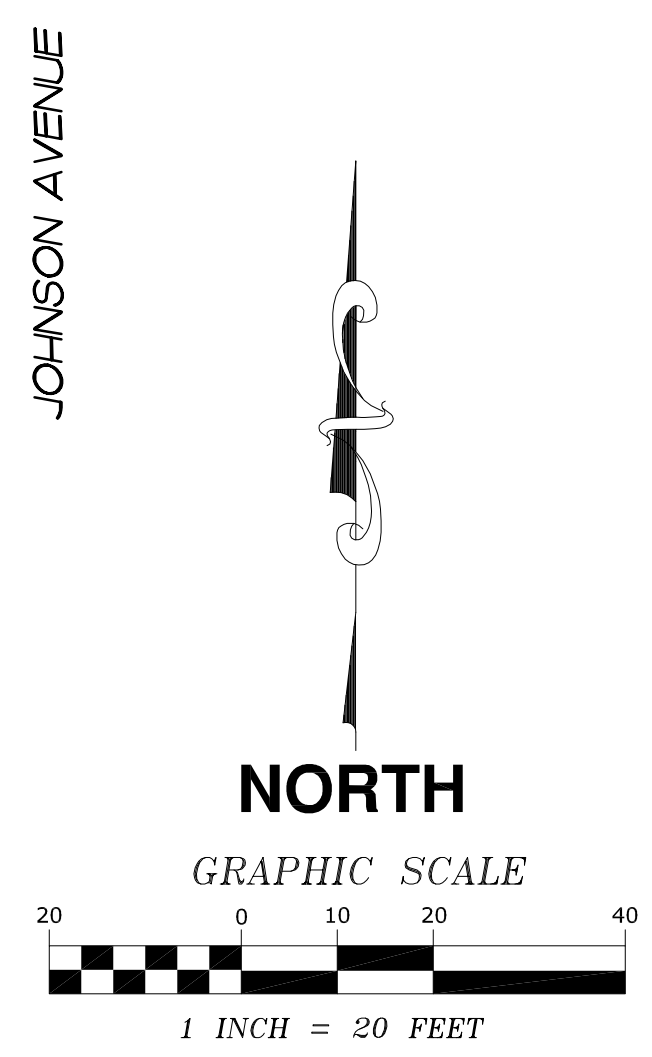
- Field survey was completed by E.G. Rud and Sons, Inc. on 5/13/2022.
- Bearings shown are on Ramsey County datum.
- Parcel ID Number: 13-30-22-22-0015.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊠ DENOTES AIR CONDITIONING UNIT
- ⊞ DENOTES GAS METER
- ⊞ DENOTES ELECTRIC METER
- ⊞ DENOTES TELEPHONE PEDESTAL
- ⊞ DENOTES CABLE PEDESTAL
- ⊞ DENOTES CATCH BASIN
- CS DENOTES CURB STOP
- ⊞ DENOTES SANITARY SEWER MANHOLE
- ⊞ DENOTES MISCELLANEOUS MANHOLE
- OHU DENOTES POWER POLE AND OVERHEAD WIRES
- X 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 5/26/2022 License No. 41578

E. G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com

BENCHMARK

MNDOT GEODETIC STATION NO. 103213
 STATION NAME: 6225 A
 ELEVATION: 926.02 (NAVD 88 DATUM)

DRAWN BY: BAB	JOB NO: 220482BT	DATE: 5/20/2022
CHECK BY: JER	FIELD CREW: DT/CT	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

SITE STATISTICS

PARENT BYLAW: ZONING CODE
 CURRENT ZONING DESIGNATION: B-1 (NEIGHBORHOOD BUSINESS)
 SITE SPECIFIC BYLAW: ---
 PROPOSED ZONING DESIGNATION: N/A

1.0 LOT STANDARDS

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH (ft)	100.0	123.32	EXISTING
MINIMUM LOT AREA (sq. ft.)	15,000	18,863	EXISTING
MINIMUM FLOOR AREA (ALL BUILDINGS) (sq. ft.)	> 1,000	1,635	3,341
YARD SETBACKS	FRONT YARD (ft)	30.0	75.60
	INTERIOR SIDE YARD(S) (ft)	20.0	61.40
	EXTERIOR SIDE YARD (ft)	30.0	21.60 (†)
	REAR YARD (ft)	30.0	19.51 (†)
MAXIMUM BUILDING HEIGHT (ft)	30.0	EXISTING	30.0

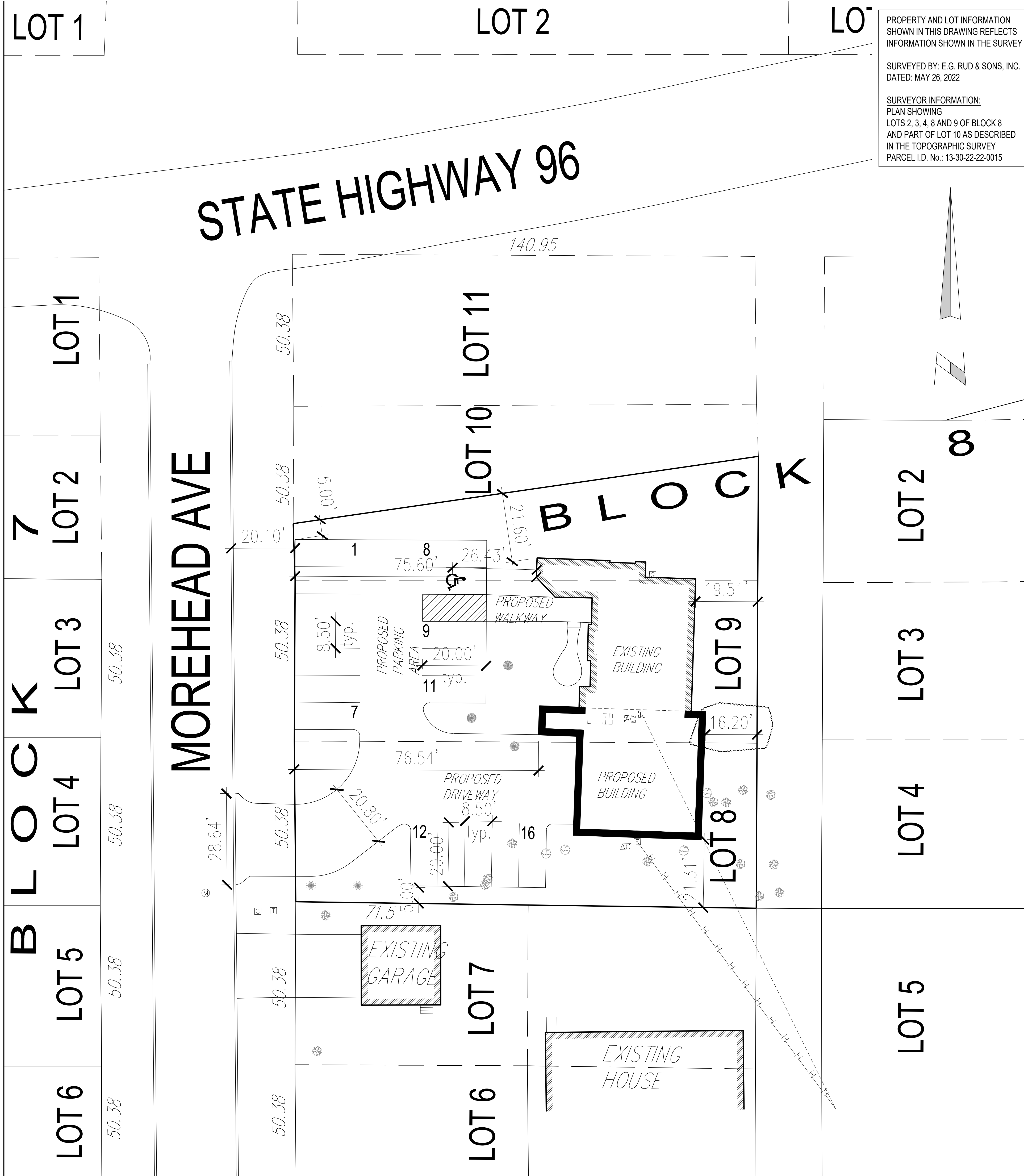
NOTES: (†) EXISTING CONDITIONS PERMITTED TO REMAIN, NO NEW ADDITIONS OR IMPROVEMENTS ARE PERMITTED TO BE INSTALLED

2.0 BUILDING STANDARDS

	PERMITTED	EXISTING	PROPOSED
EXTERIOR WALL FINISHES			
FACE BRICK	YES	TBD	TBD
NATURAL STONE	YES	TBD	TBD
DECORATIVE CONCRETE BLOCK (1)	YES	TBD	TBD
CAST IN PLACE / PRECAST CONCRETE (1)	YES	TBD	TBD
STUCCO	YES	TBD	TBD
EXTERIOR FINISHED WOOD	YES	TBD	TBD
CURTAIN WALL PANELS	YES	TBD	TBD
GLASS	YES	TBD	TBD
DECORATIVE PAINTED CONCRETE BLOCK(2)	YES	TBD	TBD
MATERIALS THAT RAPIDLY DECAY OR UNSIGHTLY (i.e. GALVANIZED METAL)	NO	TBD	NO
UNFINISHED CLAY TILE	NO	TBD	NO
METAL PANELS WITHOUT FACTORY FINISH WITH PERMANENT SURFACE	NO	TBD	NO
BUILDING COMPRISED EXCLUSIVELY OF METAL	NO	TBD	NO
POLE BUILDINGS	NO	TBD	NO
SHEET METAL	NO	TBD	NO
PLASTIC / FIBERGLASS SIDING (3)	NO	TBD	NO
UNADORNED AND/OR PAINTED CONCRETE BLOCK	NO	TBD	NO

	REQUIRED	PROPOSED	COMPLIANCE
ALL ADDITIONS AND EXTERIOR ALTERATIONS IN EXCESS OF 25% OF THE FLOOR AREA OF AN ORIGINAL NON-CONFORMING BUILDINGS MUST BE CONSTRUCTED WITH MATERIALS ABOVE	YES	TBD	YES
ACCESSORY BUILDINGS CONSTRUCTED AFTER THE ORIGINAL BUILDING (OR BUILDINGS) SHALL BE CONSTRUCTED OF MATERIALS COMPARABLE TO THE PRINCIPAL BUILDING AND DESIGNED IN A MANNER CONFORMING TO THE ARCHITECTURAL AND GENERAL APPEARANCE	YES	TBD	TBD

NOTES: (1) MUST BE COLORED WITH PIGMENT IMPREGNATED THROUGHOUT FINISH MATERIAL. APPROVAL OF AN ARCHITECTURAL TREATMENT TO BE RECEIVED BY THE ZONING ADMINISTRATOR
 (2) ONLY PERMITTED ON ANY BUILDING WALL NOT VISIBLE FROM A PUBLIC RIGHT-OF-WAY
 (3) PERMITTED IF SIDING IS A COMPONENT OF A FACTORY FABRICATED AND FINISHED PANEL



PROPERTY AND LOT INFORMATION SHOWN IN THIS DRAWING REFLECTS INFORMATION SHOWN IN THE SURVEY

SURVEYED BY: E.G. RUD & SONS, INC.
 DATED: MAY 26, 2022

SURVEYOR INFORMATION:
 PLAN SHOWING LOTS 2, 3, 4, 8 AND 9 OF BLOCK 8 AND PART OF LOT 10 AS DESCRIBED IN THE TOPOGRAPHIC SURVEY
 PARCEL I.D. No.: 13-30-22-22-0015

NORTHERN SHIELD
 DEVELOPMENT CORPORATION

7869 Yonge St. Inisfil L9S 1L4
 info@nsd-corp.ca
 705-252-4605

1. THESE DRAWINGS MUST BE CHECKED BY THE OWNER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NORTHERN SHIELD DEVELOPMENT CORP PRIOR TO COMMENCEMENT OF CONSTRUCTION. OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECTS DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
3. FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELED 'ISSUED FOR CONSTRUCTION' AND ACCOMPANIED WITH APPROVED BUILDING PERMIT ISSUED BY AUTHORITIES HAVING JURISDICTION.
4. DO NOT SCALE THE DRAWINGS.

A COLLABORATION WITH:

ABC Consultants
 ARCHITECTURE + BUILDING + CODE
 (833) 988 - 8ABC [8222]
 www.abccconsultants.ca

REVISION SCHEDULE

REV	ISSUED FOR	DATE
1	CLIENT REVIEW	2022-08-11

PROJECT:

LUND FAMILY DENTISTRY ADDITION

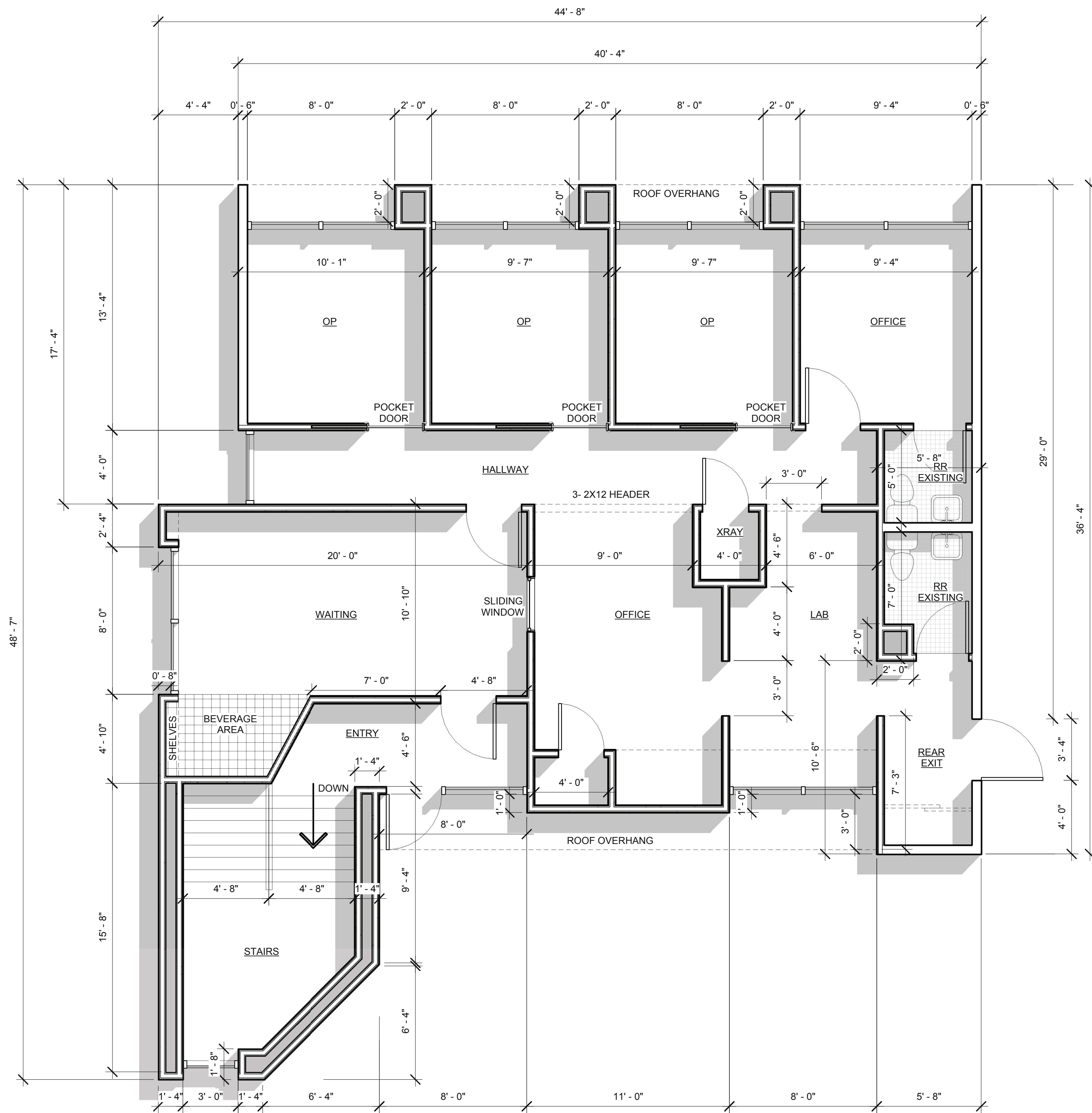
2300 HWY 96, WHITE BEAR LAKE, MN 55110

TITLE:

SITE PLAN

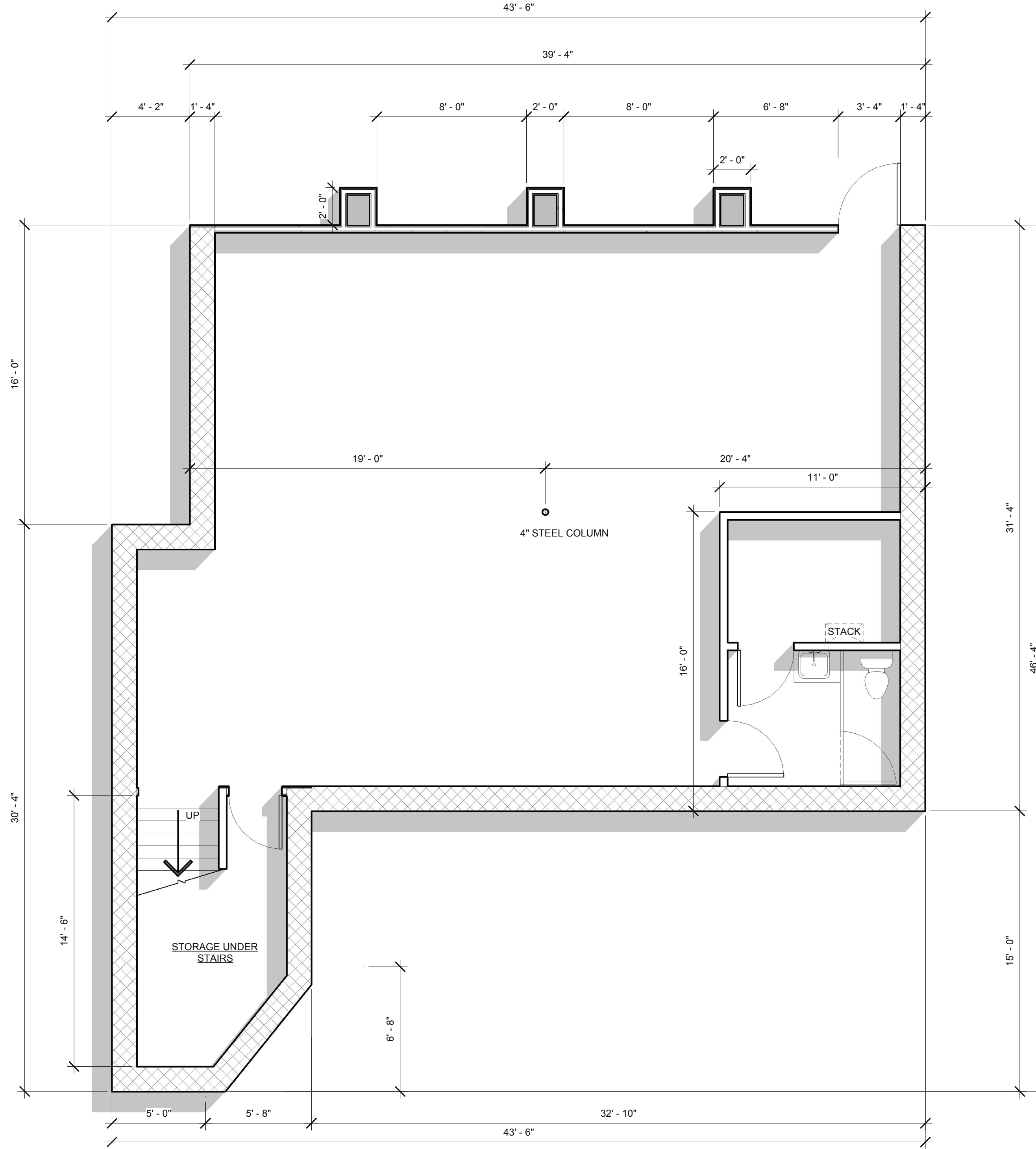
SP1

SCALE: 1/16" = 1'-0"



EXISTING GROUND LEVEL

EXISTING FLOOR PLAN
SCALE: 1/4" = 1' - 0"



EXISTING BASEMENT LEVEL

FLOOR PLAN
SCALE: 1/4" = 1' - 0"

This drawing is an instrument of service and is the property of Rodriguez Design and Development. It is to be used for the project for which it is intended and is not to be used for any other project without the express written approval of Rodriguez Design and Development. Substitution or distribution of this drawing to other parties in connection with the project is not to be construed as publication in violation of any of the rights of R.D.D. Any abridgment or violation of the rights of Rodriguez Design shall be prosecuted to the fullest extent possible.

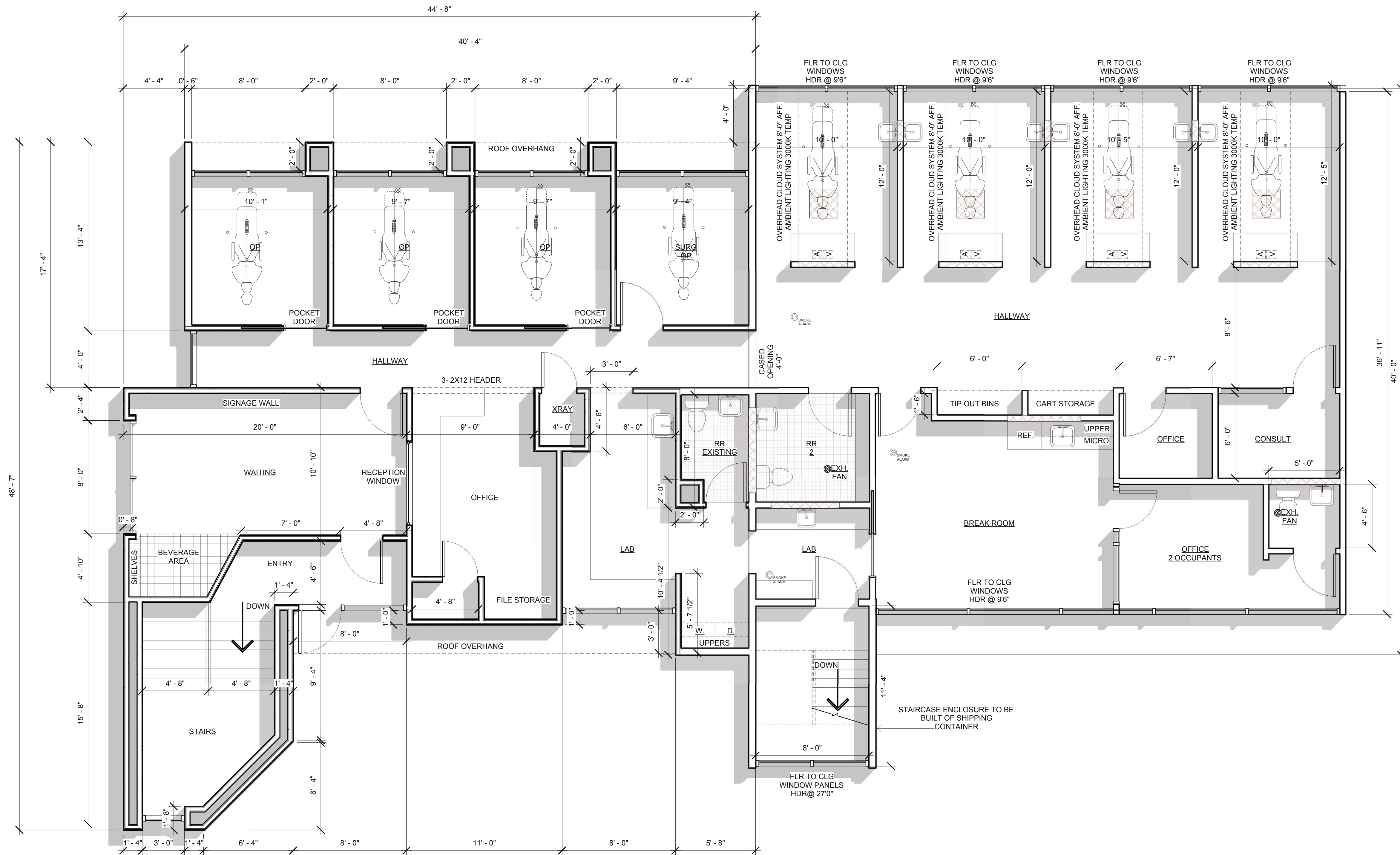
RODRIGUEZ DESIGN & DEVELOPMENT
PHONE: 210-748-1089
EMAIL: JON@RODRIGUEZDD.COM
WEBSITE: RODRIGUEZDD.COM

DR. ANDREW LUND
LUND FAMILY DENTISTRY
2300 WHITE BEAR LAKE
MN. 55110

DATE:	7.13.22
DRAWN BY:	JR
CHECKED BY:	JR
REVIEWER:	



SHEET NO:
A2
EXISTING LAYOUT



PRELIMINARY - FLOOR PLAN- GROUND FLOOR ADDITION
 SCALE: 1/4" = 1' - 0"

FLOOR PLAN
 SCALE: 1/4" = 1'0"

This drawing is an instrument of service and shall not be used for any other purpose without the express written approval of Rodriguez Design and Development. Submission or distribution of this drawing to other parties for any purpose is prohibited. Rodriguez Design and Development shall not be held responsible for any errors or omissions. Any adaptation or violation of the rights of Rodriguez Design and Development shall be prosecuted to the fullest extent possible.

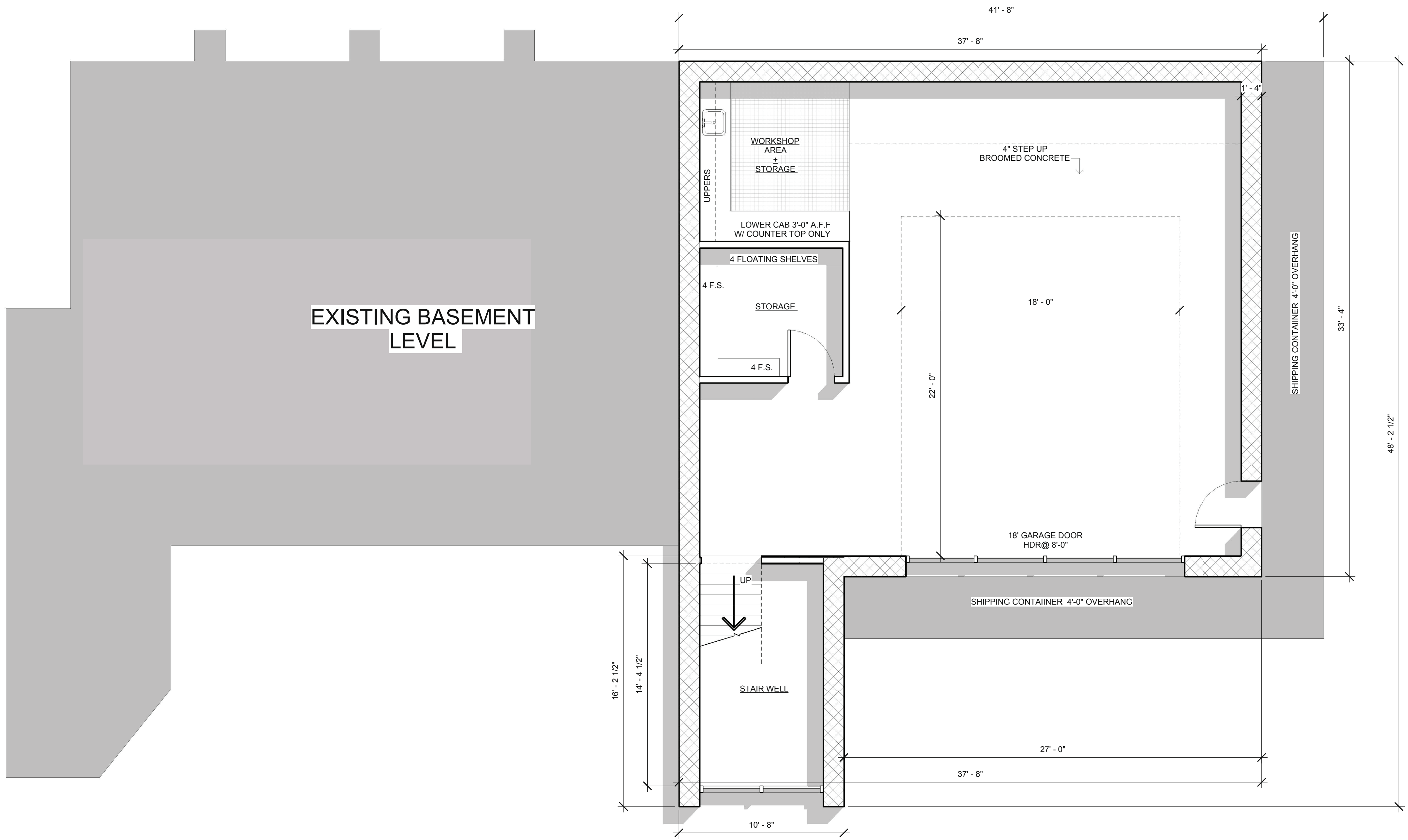
RODRIGUEZ DESIGN & DEVELOPMENT
 PHONE: 210-748-1089
 EMAIL: JON@RODRIGUEZDD.COM
 WEBSITE: RODRIGUEZDD.COM

DR. ANDREW LUND
 LUND FAMILY DENTISTRY
 2300 WHITE BEAR LAKE
 MN. 55110

DATE:	7.13.22
DRAWN BY:	JR
CHECKED BY:	JR
REVIEWED:	



SHEET NO:
A3
 FLOOR PLAN



PRELIMINARY - NEW BASEMENT ADDITION
 SCALE: 1/4" = 1' - 0"

FLOOR PLAN
 SCALE: 1/4" = 1'0"

This drawing is an instrument of service and shall remain the property of Rodriguez Design & Development. It is to be used only for the project and site described herein. It is not to be reproduced, copied, or distributed in any form without the written approval of Rodriguez Design & Development. Any abridgment or violation of the rights of Rodriguez Design & Development shall be prosecuted to the fullest extent possible.

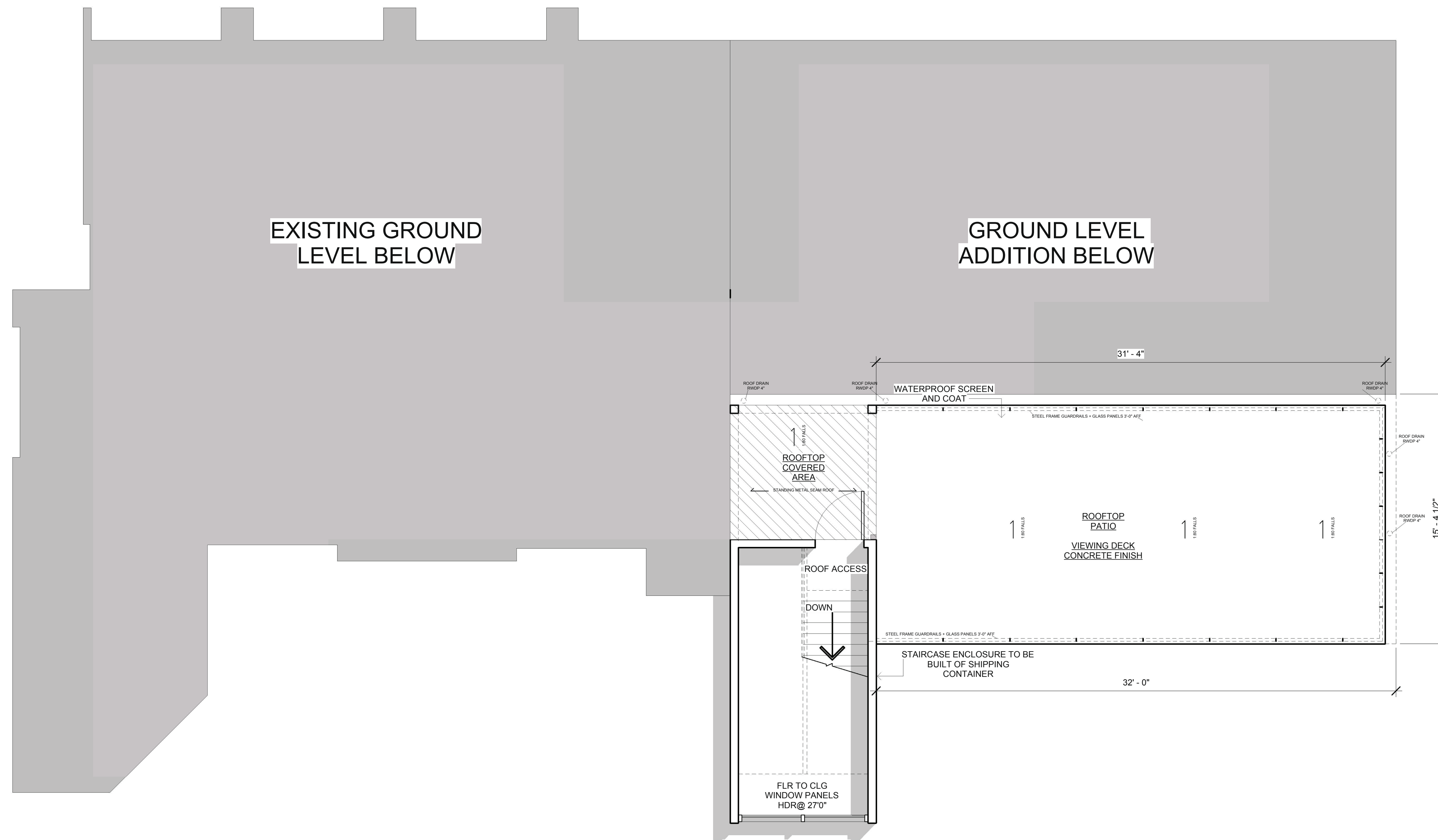
RODRIGUEZ DESIGN & DEVELOPMENT
 PHONE: 210-748-1089
 EMAIL: JON@RODRIGUEZDD.COM
 WEBSITE: RODRIGUEZDD.COM

DR. ANDREW LUND
 LUND FAMILY DENTISTRY
 2300 WHITE BEAR LAKE
 MN. 55110

DATE:	7-13-22
DRAWN BY:	JR
CHECKED BY:	JR
REVIEWED:	



SHEET NO:
A4
 FLOOR PLAN



PRELIMINARY - ROOF TOP VIEWING DECK
SCALE: 1/4" = 1' - 0"

FLOOR PLAN
SCALE: 1/4" = 1' 0"

This drawing is an instrument of service and shall remain the property of Rodriguez Design & Development, Inc. It is intended for the use of the client for the project and shall not be used, copied, or reproduced in any form without the express written consent of Rodriguez Design & Development, Inc. Any abridgment or violation of the rights of Rodriguez Design & Development, Inc. shall be prosecuted to the fullest extent possible.

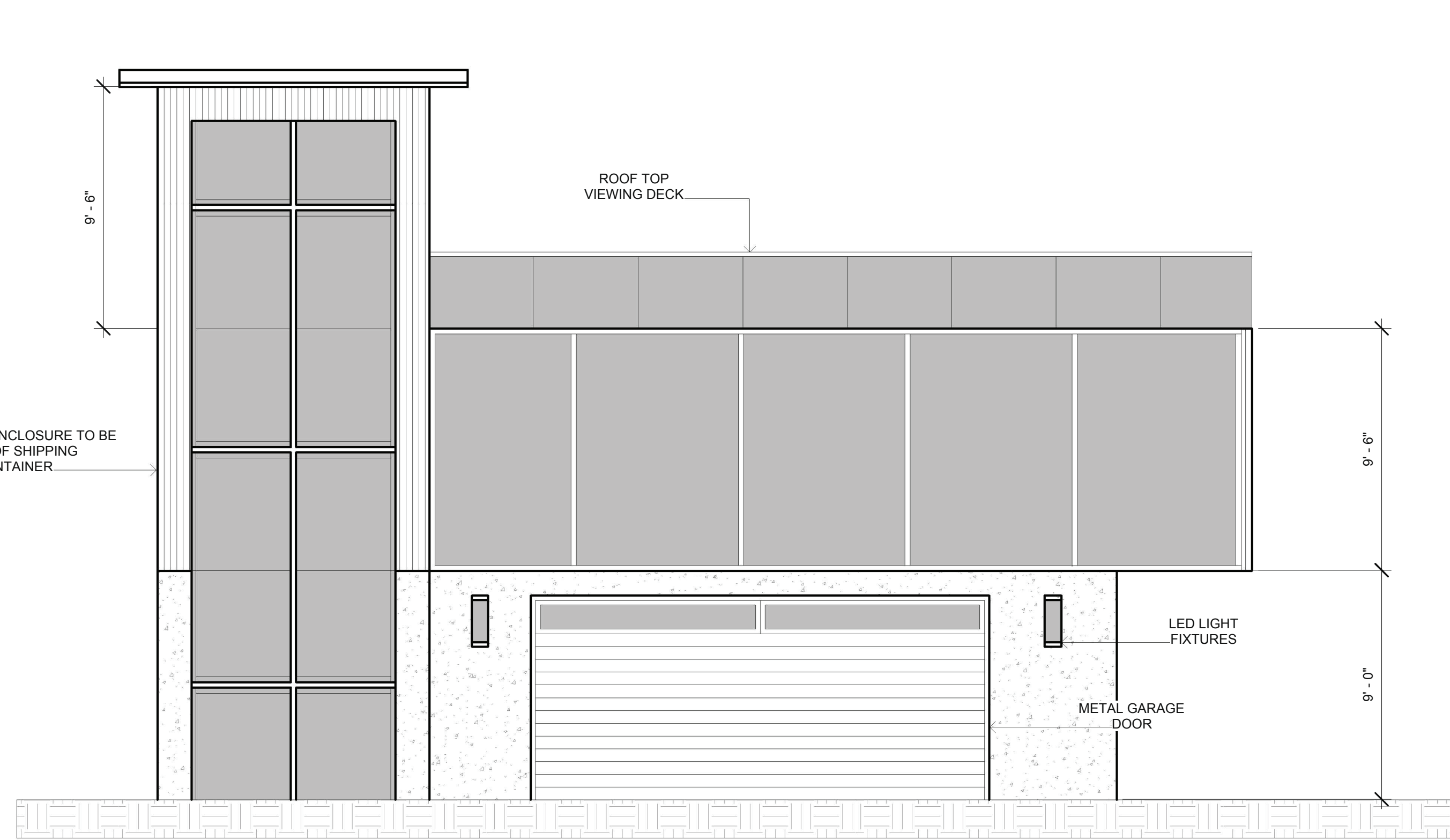
RODRIGUEZ DESIGN & DEVELOPMENT
PHONE: 210-748-1089
EMAIL: JON@RODRIGUEZDD.COM
WEBSITE: RODRIGUEZDD.COM

DR. ANDREW LUND
LUND FAMILY DENTISTRY
2300 WHITE BEAR LAKE
MN. 55110

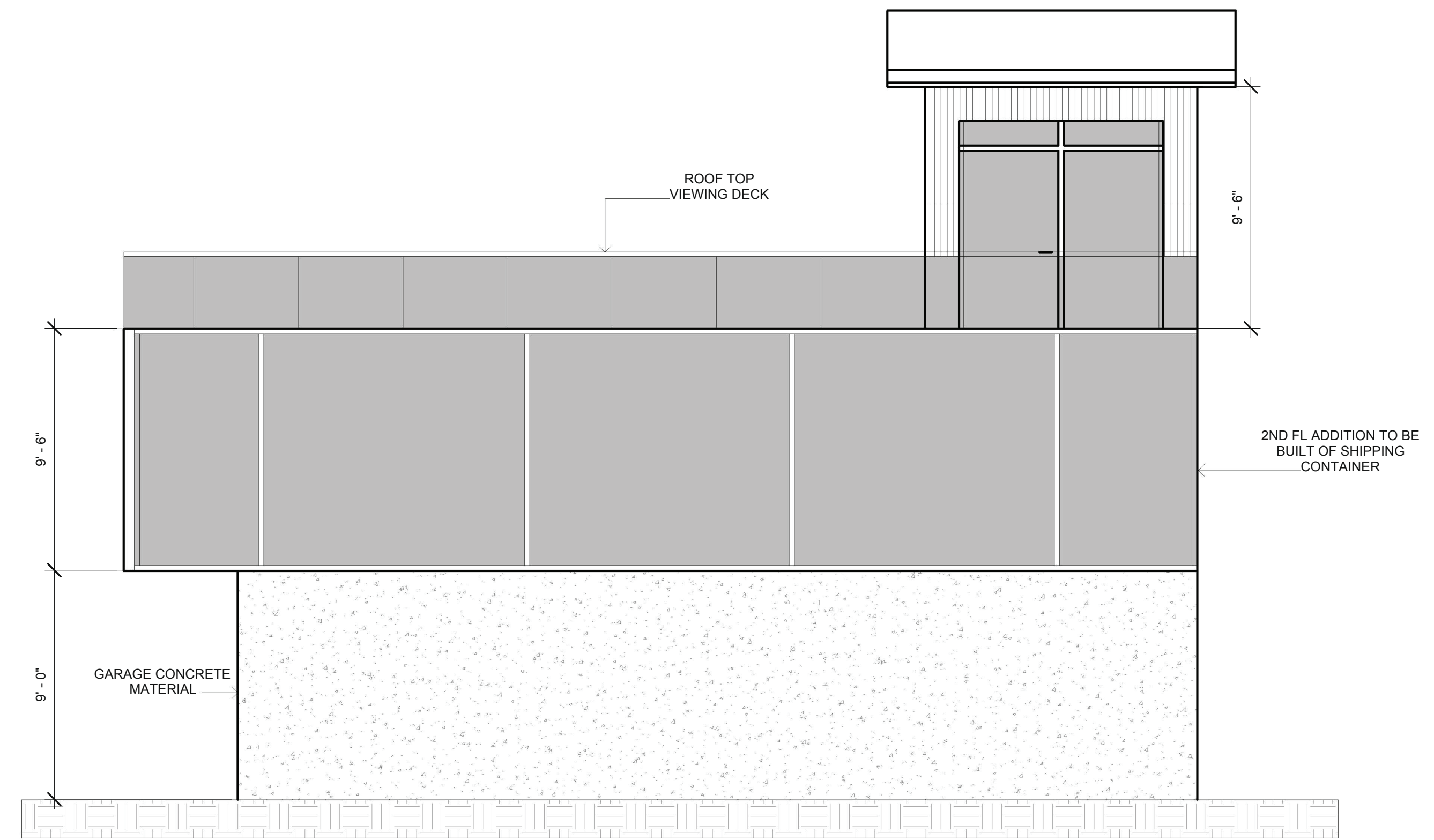
DATE:	7.13.22
DRAWN BY:	JR
CHECKED BY:	JR
REVIEWED:	



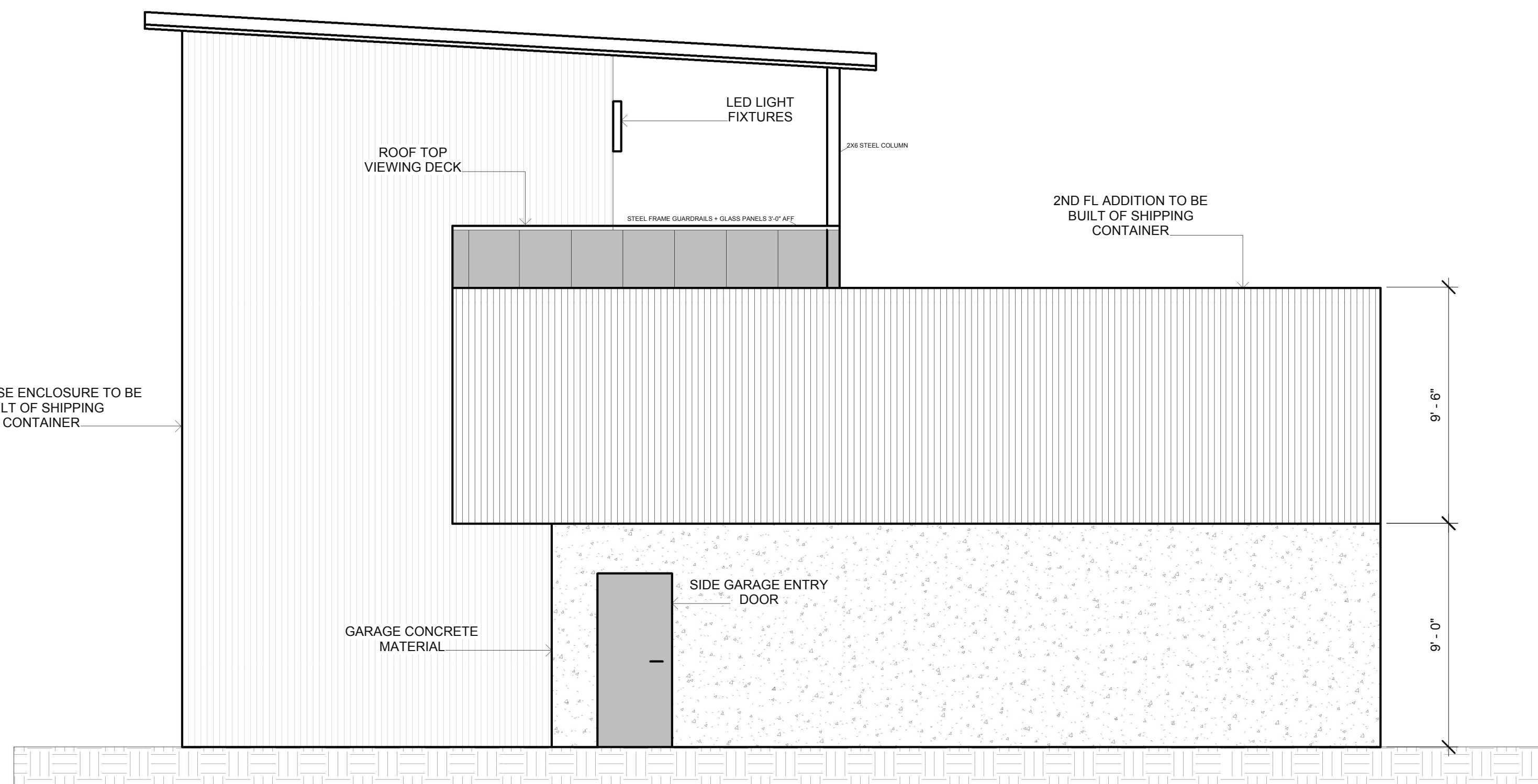
SHEET NO:
A5
FLOOR PLAN



FRONT VIEW



REAR VIEW



SIDE VIEW



RENDERING

EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'0"

This drawing is an instrument of service and shall not be used for any other project without the express written approval of Rodriguez Design and Development. Submittal or distribution of this drawing to any other party for any other purpose in connection with the project is not to be construed as publication in violation of any of the rights of RDC. Any abridgment or addition of the rights of Rodriguez Design shall be prosecuted to the fullest extent possible.

RODRIGUEZ DESIGN & DEVELOPMENT
PHONE: 210-748-1089
EMAIL: JON@RODRIGUEZDD.COM
WEBSITE: RODRIGUEZDD.COM

DR. ANDREW LUND
LUND FAMILY DENTISTRY
2300 WHITE BEAR LAKE
MIN. 55110

DATE:	7.13.22
DRAWN BY:	JR
CHECKED BY:	JR
REVISION:	



SHEET NO:
A6
FLOOR PLAN

Ashton Miller

From: Hughes, Christopher <Christopher.Hughes@bsci.com>
Sent: Monday, October 17, 2022 10:05 AM
To: Ashton Miller
Subject: Comments on 22-8-CUP (2300 Highway 96; Andrew Lund)

I live at 4984 Stewart Avenue and received a letter from the City of White Bear Lake Planning Commission regarding 22-8-CUP. I am submitting the comments below for the meeting on 24-Oct-2022.

The existing dental practice predates the construction of my residence in 2004. The dental office is a very good neighbor, and in some ways is actually a better neighbor than a single family residence. The amount of traffic is minimal and is generated only during business hours. The business is empty and entirely quiet on evenings, weekends, and holidays. Nobody is out running a leaf blower at 7:00 a.m. or having a loud party on Saturday night.

An expansion would obviously generate more traffic, but the increase is completely negligible compared to the number of people that use Morehead Avenue as a shortcut to Stewart Avenue and downtown. I would estimate an increase of maybe 1-2 vehicles per hour during business hours, and an increase of that amount is totally insignificant. The dental practice is not open during peak traffic hours in the a.m..

There are no mature trees or other obvious significant environmental impacts related to the expansion. The site is adjacent to a large wetland. Existing regulations to protect the wetland during construction should be strictly enforced. The current landscaping at the dental practice is simple, but tidy and well-maintained. This would be a good opportunity to update the landscaping with better tree choices (oaks versus honey locust) and native plants.

In summary, I see no negative impacts to the surrounding neighborhood from this proposed expansion as long as appropriate construction practices and post-construction restoration activities are enforced. There is a tendency to reflexively object to any expansion or change in the neighborhood. The adjacent homeowner (Hubbs) recently demolished an older home with plans to reconstruct a larger home on the lot. I am ambivalent about that trend (there are both positive and negative aspects to teardowns), but it is undeniable that teardowns are changing the character of the neighborhood far more than this proposed small expansion of a long-term business. I do not see how the city can embrace demolishing small residences and replacing them with much larger homes and simultaneously deny a request for a business to do what is essentially the same thing.

CSH



Christopher S. Hughes, Ph.D.

Fellow Statistician
Business Optimization
CRM & Dx
christopher.hughes@bsci.com
O. 651.581.0737
M. 651.295.0646
4100 Hamline Ave N
Arden Hills, MN 55112
www.bostonscientific.com



**Boston
Scientific**
Advancing science for life™



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission
From: Jason Lindahl, Community Development Director
Date: October 24, 2022
Subject: Land Use & Zoning Applications Review Process

SUMMARY

The Planning Commission will review and discuss an outline of potential changes to the City's land use and zoning application review process. Staff will present this information, facilitate a discussion with the Planning Commission and take questions and comments. Staff will use the commission's feedback to help draft a zoning ordinance text amendment for formal review by the Planning Commission at a future meeting.

BACKGROUND

Since the completion of the 2040 Comprehensive Plan, the city has undertaken two major initiatives to implement the plan. In 2019 the city commissioned a Comprehensive Housing Market Analysis and in 2021 the City began working with a housing task force, which was formed to develop recommendations on housing related policies, programs and development priorities for the City Council to consider. The Housing Task Force report included the 4 following recommendations.

1. City investment in housing
2. Prioritization of the adoption, implementation and/or study of the Policy and Program Recommendations detailed in the Housing Task Force Report
3. The guiding of future development
4. Determining the development priorities of the city

The City Council reviewed these recommendations during their June and July work sessions. As a result of those discussions, the City Council directed staff to prioritize, sequence and assign these recommendations as listed below.



The Council's direction assigned the recommendations regarding future development to the Planning Commission. These include the development review process and review and update of the City development (zoning and subdivision) regulations. Staff has reviewed these regulations, the Housing Taskforce recommendations and prepared an outline of potential changes to the land use and zoning application review process (see attached). During the meeting, staff will present this information, facilitate a discussion and take questions and comments from the Planning Commission.

RECOMMENDATION

This item is for review and discussion. Staff will use the commission's feedback to help draft a zoning ordinance text amendment for formal review by the Planning Commission at a future meeting.

ATTACHMENTS

Potential Changes to the City's Land Use and Zoning Applications Review Process

Potential Changes to the City's Land Use and Zoning Applications Review Process

Recommended changes to the city's land use and zoning application review process are detailed below and include two parts: establishment of a pre-application concept plan review process and establishment of a formal neighborhood meeting process. While the concept plan review process is new, neighborhood meetings have been used periodically in the past without a formal process.

Concept Plan Review. Any applicant for approval of a land use or zoning application may request a preliminary (pre-application) concept plan review to explore the concept ideas and all other pertinent general information related to a possible future formal application. The concept plan review process is a required pre-application steps for those applications that may include a comprehensive plan amendment, rezoning, planned unit development (PUD) or city financial assistance.

Requests for concept plan review must be accompanied by the required fee and data that will provide adequate information to allow for a preliminary examination of the anticipated application, as determined by the Community Development Department. Feedback and opinions expressed by the city as part of a concept plan review are for guidance only and are not to be considered binding. Comments received during the concept plan review may help inform/influence future plans if the developer chooses to proceed with a formal development application.

Sequence of meetings for concept plan review.

1. **Neighborhood Meeting.** The developer hosts a neighborhood meeting to review a concept plan and solicit resident feedback. These meetings shall follow the Neighborhood Meeting requirements. City officials and/or staff may attend the neighborhood meeting, but only to observe the dialog between the developer and neighborhood and answer "procedure" questions.
2. **Planning Commission.** The planning commission Concept Plan Review is intended as a follow-up to the neighborhood meeting. The objective of this meeting is to identify major issues and challenges in order to inform subsequent review and discussion. The meeting includes a presentation by the developer of conceptual sketches and ideas, but not detailed engineering or architectural drawings. No staff recommendations are provided, the public is invited to offer comments, and planning commissioners are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.
3. **City Council.** The city council Concept Plan Review is intended as a follow-up to the planning commission meeting and would follow the same format as the planning commission Concept Plan Review. No staff recommendations are provided, the public is invited to offer

comments, and council members are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

Neighborhood Meeting. It is the city's intent to expand and enhance the dissemination of information to the residents and to encourage involvement by residents in the planning process. For these reasons, applicants for conditional use permits or zoning map amendments that are located adjacent to or within any portion of a residential zone must facilitate and host a neighborhood meeting in accordance with the procedures of this section. The city may also require a neighborhood meeting for other land use applicants, as determined necessary and appropriate. Required neighborhood meetings are separate and distinct from any public hearing that is required pursuant to state law.

1. Scheduling

- a. Applicants must schedule required neighborhood meetings to take place only after the city has accepted either concept plan review or a formal application for a formal land use or zoning application and at least one week before the planning commission concept plan review or the statutorily required public hearing on the subject application.
- b. Meetings must be scheduled Monday through Thursday evenings after 6:30 p.m., although meetings may not take place on any of the following dates:
 - On a holiday, as that term is defined in Minnesota Statutes, Section 645.44;
 - On October 31;
 - On the evening of a major political party caucus; or
 - On the date of an election being held within the city's boundaries.
- c. The applicant must host the meeting and present the proposed project for questions and comments from those in attendance.

2. Notice And Invitation

- a. Notice of required neighborhood meetings must be mailed at least 10 days before the meeting to those names and addresses listed on the public hearing notice list provided by the planning & economic development department. The area of notification may be modified by city staff based on the specific project.
- b. The applicant must make available to the public a complete description of the proposed project necessitating the application, including copies of printed materials and maps, where appropriate. The notice and invitation must include at least the following:
 - Date, time, and location of the meeting;
 - Project location map; and

- Contact information for the applicant, including an email address and a telephone number.
- c. The applicant must provide a sign-in sheet at the meeting to be signed at the option of those in attendance. The applicant must also take minutes at the meeting. A copy of this information must be provided to city staff no more than one day following the neighborhood meeting.
- d. The schedule of meeting dates for planning & zoning commission, park and recreation commission, and city council to consider the application, as applicable, must be provided to those in attendance at the meeting, if those dates are known.
- e. A copy of the meeting invitation must also be emailed to the members of the planning & zoning commission, the city council, and the city planner. A list of these individuals and their email addresses must be provided to the applicant by the Community Development department.

3. Modification Of Requirements

The city recognizes that not all land use applications or circumstances are similar in nature and certain situations may warrant deviating from the express requirements of this section for reasons that cannot necessarily be predicted or contemplated within a rigid set of policy provisions. To that end, the city manager is authorized to permit deviations from any of the neighborhood meeting requirements of this section upon determining that such deviation is reasonable under the circumstances. This subsection is not to be interpreted to act as a mechanism through which an applicant may request or apply for deviations, but rather is intended solely to provide city staff with the flexibility to initiate a deviation when circumstances warrant.