



**AGENDA
PLANNING COMMISSION OF THE
CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, NOVEMBER 28, 2022
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

2. APPROVAL OF AGENDA

3. APPROVAL OF THE MINUTES

A. Minutes of the Planning Commission meeting on October 24, 2022

4. CASE ITEMS

- A. **Case No. 93-3-Sa:** A request by **Smarte Carte** to amend a conditional use permit for site plan approval in the DBD zoning district, per code section 1303.225, Subd.4.i, in order to build a warehouse addition and expanded parking lot at the property located at 4455 White Bear Parkway.
- B. **Case No. 22-19-V:** A request by **Ben Herkenhoff** for a variance from the side yard setback, per code section 1303.050, Subd.5.c.2 and a variance from the lakeside average setback for a deck, per section 1302.040, Subd.4.a.3, in order to expand the existing deck at the property located at 2289 South Shore Boulevard.
- C. **Case No. 22-20-V:** A request by **Joshua Winchell** for a variance from the side yard setback, per code section 1302.030, Subd.4.e and a variance from the total accessory structure square footage allowed, per code section 1302.030, Subd.4.2.b, in order to construct a 140 square foot shed at the property located at 2338 South Shore Boulevard. **(Continued at Applicant’s Request)**
- D. **Case No. 22-4-PUD:** A request by **Acqua / Tside 1 LLC** for “General Concept” and “Development Plan” stage approval of a Planned Unit Development, per code section 1301.070 to allow an off-premise monument sign along Highway 61 for the properties located at 4441 Lake Avenue South and 4453 Lake Avenue South.
- E. **Case No. 22-1-Z:** A City-Initiated text amendment to Zoning Code section 1301 concerning a concept plan review and neighborhood meeting process.

5. DISCUSSION ITEMS

- A. City Council Meeting Overview
- B. Bylaws, Annual Meeting and Meeting Times

6. ADJOURNMENT

Next Regular City Council MeetingDecember 13, 2022

Next Regular Planning Commission MeetingJanuary 30, 2023



**MINUTES
PLANNING COMMISSION MEETING
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, OCTOBER 24, 2022
7:00 P.M. IN THE COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

Chair Jim Berry called the meeting to order at 7:00 p.m.

MEMBERS PRESENT: Mike Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt, and Andrea West.

MEMBERS ABSENT: None.

STAFF PRESENT: Jason Lindahl, Community Development Director and Ashton Miller, City Planner.

OTHERS PRESENT: Andrew Lund and Jim Mackey.

2. APPROVAL OF AGENDA

It was moved by Member **Lynch** seconded by Member **Baltzer**, to approve the agenda as presented.

Motion carried, 7:0

3. APPROVAL OF THE MINUTES

A. Minutes of September 26, 2022

Member Enz commented that John Reinhart should be added to others present since he spoke at the meeting.

It was moved by Member **Baltzer** seconded by Member **Enz**, to approve the minutes of the September 26, 2022 meeting as amended.

Motion carried, 7:0.

4. CASE ITEMS

A. **Case No. 22-6-CUP:** A request by **3881 Property Group** for a conditional use permit, per code section 1303.030, Subd.4.e in order to convert an existing two-story building into a 14 unit assisted living facility in the R-3 zoning district at the property located at 3881 Highland Avenue.

City Planner Miller discussed the case. Staff recommended approval of the request as proposed.

Member Enz asked for clarification on the trash enclosure. Miller explained that because it encroaches onto city property, the city has used it in the past.

Member Berry opened the public hearing.

Jim Mackey, applicant, 1723 Lafond Avenue, he explained that the proposal is very similar to the one approved last year, other than each occupant will not have their own bathroom. They were unable to move forward with the nursing home last year because of a statewide moratorium, so they have shifted to an assisted living facility.

Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 22-6-CUP, seconded by Member **West**.

Motion carried, 7:0.

- B. **Case No. 22-7-CUP:** A request by **B & A Logistics** for a conditional use permit, per code section 1303.180, Subd.4.a for open and outdoor storage as a principal use in order to operate a storage facility for empty shipping containers at the property located at 1801 Birch Lake Boulevard South. **(WITHDRAWN AT APPLICANT'S REQUEST)**
- C. **Case No. 22-8-CUP:** A request by **Lund Family Dentistry** for a conditional use permit, per code section 1303.120, subd.4.b, in order to expand the existing dental clinic at the property located at 2300 Highway 96.

Miller discussed the case. Staff recommended approval subject to a number of conditions laid out in the report.

Member Berry opened the public hearing.

Andrew Lund, applicant, 2300 Highway 96, offered to answer any questions the commissioners may have.

Member Berry wondered if Dr. Lund was agreeable to the conditions that staff included in the resolution of approval. Dr. Lund stated that he was and that his architects were already working to incorporate the necessary changes.

Member West asked if the applicant has spoken with the neighbors. Dr. Lund confirmed that he has discussed with the neighbors and they have a very good relationship.

Member Berry closed the public hearing.

It was moved by Member **Enz** to recommend approval of Case No. 22-8-CUP, seconded by Member **West**.

Motion carried, 7:0.

5. DISCUSSION ITEMS

A. Concept Plan Review Process

Community Development Director Lindahl presented potential changes to the City's land use and zoning application review process. He explained that neighborhood meetings would be required for conditional use permit or zoning map amendment applications. In response to a question from Member Lynch, Lindahl confirmed the CUPs on this evening's agenda would need to hold a neighborhood meeting under the new process.

Member Berry thought the neighborhood meetings would give more people the opportunity to learn about projects by giving more of a heads up, which could then increase feedback.

There were several questions from the Commissioners pertaining to cost and timing. Lindahl explained that the neighborhood meeting would need to fit within the 60 day process, that there would not be a change in application fees since it is the applicants meeting, and that they would be responsible for mailing out notices and providing proof to the City. The added cost incurred by the applicant would not be sizable.

Member West asked how feedback would be gathered from the meetings. Lindahl stated that the applicant will need to have a sign-in sheet and comment cards and will be required to take minutes of the discussion.

Member Enz wondered if one day was enough time for applicants to get the meeting material to the City. Lindahl stated it has not been an issue in the past, and that depending on when the meeting is held, there is some wiggle room to that requirement.

Lindahl explained that staff would include a subsection that gives the City Manager the authority to grant deviations from the meeting requirements. Member Lynch wondered if that meant the City could enact a higher level of public engagement. Lindahl confirmed that it could but also stated that the City could lessen some engagement requires based on public safety or the particulars of the given case.

Member Amundsen asked if there were different requirements for Planned Unit Developments. Lindahl commented that the City has used neighborhood meetings for various projects in the past, which have typically only been PUDs. The proposed changes would solidify the practice and put into code what is required.

Lindahl then provided details on the concept plan review process that would be required of comprehensive plan amendments, rezoning, PUD applications or requests for city financial assistance. The process would also be available to other land use requests where the applicant wants preliminary feedback from the community.

Member Lynch recommended that there be a shelf life to the concept review process. Circumstances may change over the years and if the applicant waits to submit, the feedback collected from the concept review phase may no longer be applicable. He wondered how much longer the Planning Commission meetings will be with the addition of concept plan presentations.

After some more discussion, the Commissioners expressed their general support for the concept plan and neighborhood meeting process as presented by staff.

B. City Council Meeting Overview

Lindahl provided a summary of the October 11, 2022 City Council meeting, noting that the Council approved the AALPHA clinic proposal and voted to deny the variance on Birch Lake Boulevard North.

6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Baltzer**, seconded by Member **Lynch** to adjourn the meeting at 8:20 p.m.

Motion carried, 7:0



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: November 28, 2022
SUBJECT: **Smarte Carte Conditional Use Permit Amendment, 4455 White Bear Parkway, Case No. 93-3-Sa**

SUMMARY

The applicant, Smarte Carte, is requesting a conditional use permit amendment for site plan approval in order to build a warehouse addition and expanded parking lot at the property located at 4455 White Bear Parkway.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request.

GENERAL INFORMATION

Applicant/Owner: Smarte Carte / Leonard Pratt

Existing Land Use / Zoning: Office/Warehouse; zoned DBD: Diversified Business District

Surrounding Land North: Office/Warehouse; zoned DBD: Diversified Business District & S: Shoreland Overlay

Use / Zoning: East: Townhomes; zoned R-5 Single Family – Two Family Medium Density Residential
 West: MNDOT Right-of-Way
 South: Office; zoned DBD: Diversified Business District

Comprehensive Plan: Business Park

Lot Size & Width: Code: 1 acre & 150 feet
 Site: 6.97 acres & 780 feet

ANALYSIS

The subject site is located on the west side of White Bear Parkway and is south of Highway 96 E. Interstate 35E abuts the property to the west. There is a wetland on the northeast corner of the property that is heavily wooded. The property was platted in 1986 as part of the White Bear

Gateway Business Park and the building was constructed in 1993 after a conditional use permit was granted to Smarte Carte for a light manufacturing and office facility. The company has been looking to expand for a while to move much of the product from the Vadnais Heights warehouse to the White Bear Lake location and is proposing to add a 35,125 square foot warehouse addition on the north side of the lot. An amendment to the original CUP is needed since the DBD zoning district requires site plan approval prior to the issuance of construction/land alteration permits.

Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding the request. During the public hearing, staff will provide an update if any public comments are received prior to the Planning Commission meeting.

Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit amendment.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property "Business Park", which "allows a mix of light industrial, warehouse, office, and limited retail uses. Uses should primarily be contained within primary structures with outdoor processing and storage generally prohibited." The building will continue to be a mix of office space, light industrial, and warehousing, with no outside storage, therefore, the proposed warehouse expansion is consistent with the 2040 Comprehensive Land Use Plan.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The purpose of the Diversified Business District is "to provide for a limited mixture of land uses... to facilitate moderate intensity development in environmentally sensitive areas and

to encourage economic development which will enhance employment opportunities within the City. This district shall allow opportunities to integrate high quality office structures, hotels, restaurants, and selected office, office/warehouse, office/showroom, quality light manufacturing uses, and limited medium density housing, in areas with convenient access to the metropolitan market area and excellent visibility from major thoroughfares.” The property to the north is an office/warehouse, the property to the south is office space, and the properties to the east are medium density residential, which are reflective of the mix of uses desired in the DBD zoning district.

Staff has been working with the applicant to integrate sidewalks throughout the site to provide access from parking stalls to building entrances, as well as a sidewalk leading to White Bear Parkway to facilitate access to the Birch Lake Regional Trail – a trail that provides connection to multiple neighborhoods throughout the City. One of the guiding principles in the Comprehensive Plan is to “support a seamless transportation network that evokes a sense of place and provides a broad range of options, providing alternative to automobiles and encouraging an increase in non-motorized transportation for people of all ages and abilities, while fostering public safety.” Staff finds that providing access from the site to the paved trail across the street will create more opportunity for employees to use alternative forms of transportation when traveling to work.

3. The proposed use conforms with all performance standards contained herein.

Finding: The DBD zoning district lists office/warehouse as a permitted use as long as the building is at least 10,000 square feet in area and that at least 25% is office related. The addition will bring the total building square footage to 86,863 square feet and the total office space will be unchanged at 27,132 square feet. 31.2% of the building will be office, so the proposal will still meet code. The proposed use further conforms with the applicable performance standards in the zoning code as described below.

Setbacks

The required setbacks in the DBD zoning district are 20 feet for the north and south sides as well as the side abutting Interstate 35E and 50 feet from the east side adjacent to residential. Hard surface setback requirements are 20 from the eastern right-of-way (ROW), 10 feet from the Interstate 35E ROW, and 10 feet from the side yard. The proposed addition and parking lot both meet the required setbacks.

Parking

The original site plan was approved with 93 parking stalls and a proof of parking of 75 stalls, since the parking demands of the Smarte Carte business were determined to be less than the 167 stalls required by code. Currently, there are 114 parking stalls on site and 147 are proposed. Overall, a minimum of 176 stalls are required for the site. The addition itself requires 32 new parking stalls (the code requires a minimum of 1 stall per 1000 square feet of gross warehouse space) which are being provided. However, the new parking stalls are being constructed in the location of the proof of parking area, so staff is asking the applicants to provide a new proof of parking location for the 29 stalls the proposal lacks prior to the City

Council meeting. The property has operated with a deficient number of stalls for years without complaint, so staff acknowledges that parking may be sufficient for the proposed use, but will work with the applicant to ensure future parking does not spill into the surrounding neighborhood.

Landscaping

The applicants are proposing to retain the tree stand on the northern portion of the property to provide screening from the loading dock. The code does require screening of plantings that are a minimum of six feet in height and of sufficient width and density to provide an effective visual screen when residential zoning is across the street. The plans do not identify the size or type of trees in this area, so staff will work with the applicant during building permit review to ensure the screening is sufficient. The proposal otherwise provides the required trees and shrubs around the new parking lot addition. Staff is asking that a native seed mix be used around the bioinfiltration basin.

Stormwater

The amount of land disturbed exceeds 10,000 square feet, so the City's stormwater management regulations are triggered for the project. The Engineering Department is working with the applicant on an approved design that will meet both rate and volume control of stormwater runoff.

Elevations

The proposed exterior material of precast wall panels with exposed aggregate finish will match the existing portion of the warehouse, which meets the code requirement that all additions "be constructed of materials comparable to those used in the original construction and shall be designed in a manner conforming to the original architectural design and general appearance."

Lighting

The lighting plan proposes light levels consistent with what is permitted by code and the lights are arranged to deflect light away from the residential properties across the street. The original conditional use permit limited the height of the light poles to 18 feet. The proposed poles will need to be reduced in height to meet this condition.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The general use of the property is not changing and operations will continue to be during regular business hours, so the impact on the surrounding neighborhood is not anticipated to be greater than what occurs currently. The investment that the business is putting into the property in terms of the building, parking lot, landscaping, and increased stormwater treatment is beneficial to the community, so the proposed use will not depreciate the area.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The property is served by city water and sewer and the utilities have the capacity to serve the proposed addition. One note, the Engineering Department has included a comment in the review memo that the existing water stub be used rather than creating a new connection to the City's water main.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: The traffic generated from the proposed addition is not anticipated to increase greatly. The applicant estimates that currently six trucks visit the site daily and that number will not be increased. The applicant has stated that because a lot of the product that is currently at the Vadnais Heights location will now be at White Bear Lake, there will be a reduction in the amount of shuttle service between the two properties, so delivery trips may actually decrease.

RECOMMENDATION

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. All conditions imposed by the original approval shall continue to apply.
5. Prior to the City Council meeting, the applicant shall provide a proof of parking for the 29 additional parking stalls required.
6. A building permit shall be obtained before any work begins.
Prior to the issuance of a building permit, the applicant shall:
7. Revise all plans to comply with applicable building and zoning code requirements and shall comply with Fire Department Memo, dated November 1, 2022 and Engineering Department Memo, dated November 10, 2022.
8. The plans shall be amended to incorporate a sidewalk along the newly constructed parking lot and provide connection to the northern corner of the White Bear Parkway and Birch Lake Boulevard South intersection.
9. Extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
10. Provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.

11. Obtain permits as necessary from relevant agencies (such as MNDOT, VLAWMO) and provide a copy of each to the City.
12. Enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features.
Prior to the release of the letter of credit:
13. The applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
14. All exterior improvements must be installed.
15. All landscaping must have survived at least one full growing season.
16. The applicant shall provide proof of having recorded the Resolution of Approval and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 11/1/22

Engineering Review Memo, dated 11/10/22

Applicants Narrative (1 page) & Plans (15 pages)

RESOLUTION NO.

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT AMENDMENT
FOR 4455 WHITE BEAR PARKWAY WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, Smarte Carte (Case No. 93-3-Sa) has requested a conditional use permit amendment for site plan approval in the DBD zoning district, per code section 1303.225, Subd.4.i, in order to construct a warehouse addition and parking lot at the following location:

LOCATION: 4455 White Bear Parkway

LEGAL DESCRIPTION: Lots 5, 6, and 7, Block 1 of White Bear Gateway Business Park, Ramsey County, MN. (PID #: 213022130031)

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on November 28, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit amendment and variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to

RESOLUTION NO.

ensure the compliance of the herein-stated conditions.

4. All conditions imposed by the original approval shall continue to apply.
5. Prior to the City Council meeting, the applicant shall provide a proof of parking for the 29 additional parking stalls required.
6. A building permit shall be obtained before any work begins.
Prior to the issuance of a building permit, the applicant shall:
7. Revise all plans to comply with applicable building and zoning code requirements and shall comply with Fire Department Memo, dated November 1, 2022 and Engineering Department Memo, dated November 10, 2022.
8. The plans shall be amended to incorporate a sidewalk along the newly constructed parking lot and provide connection to the northern corner of the White Bear Parkway and Birch Lake Boulevard South intersection.
9. Extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
10. Provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.
11. Obtain permits as necessary from relevant agencies (such as MNDOT, VLAWMO) and provide a copy of each to the City.
12. Enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features.
Prior to the release of the letter of credit:
13. The applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
14. All exterior improvements must be installed.
15. All landscaping must have survived at least one full growing season.
16. The applicant shall provide proof of having recorded the Resolution of Approval and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Dan Louismet, Mayor

ATTEST:

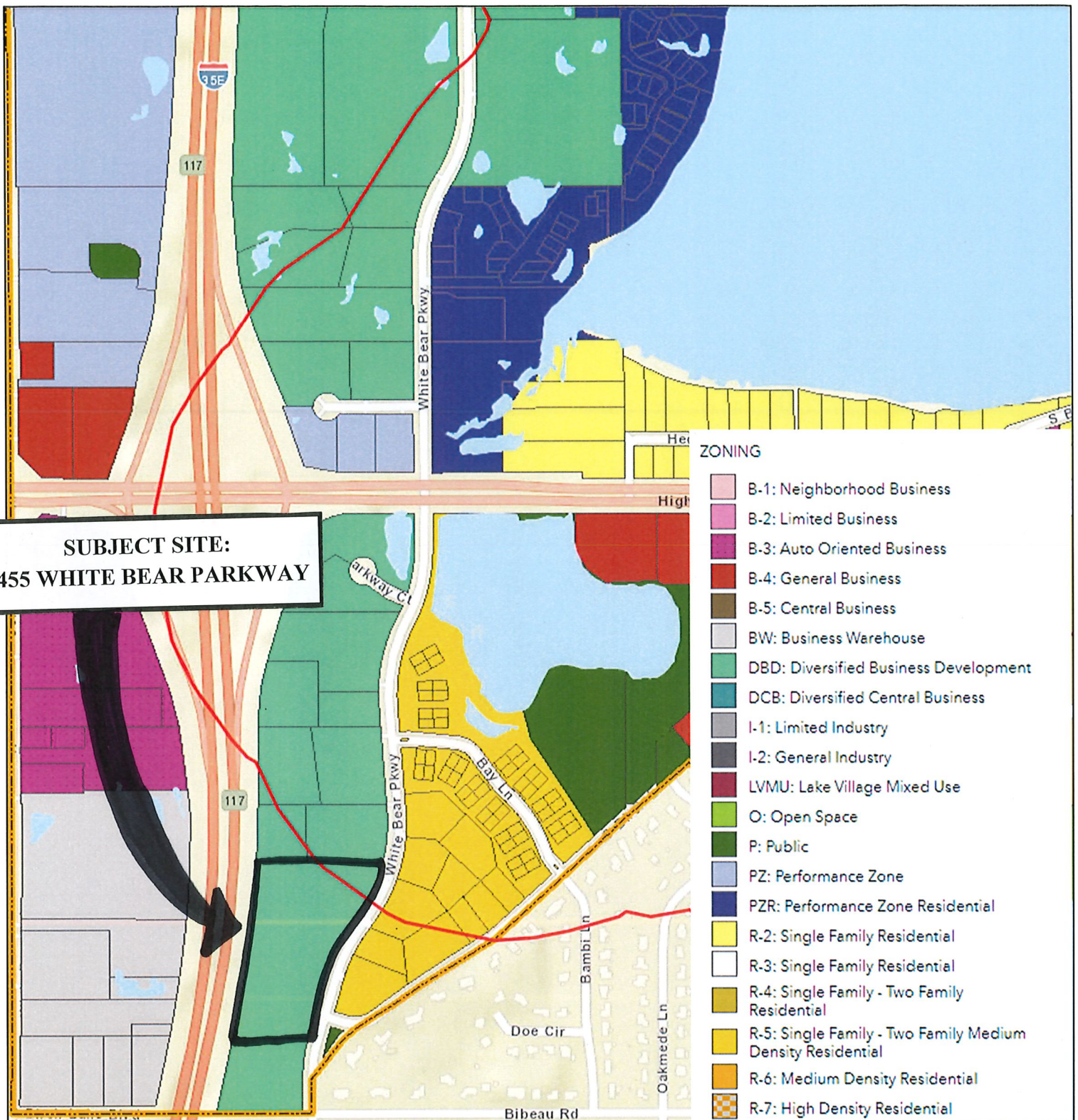
Caley Longendyke, City Clerk

RESOLUTION NO.

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



SUBJECT SITE:
4455 WHITE BEAR PARKWAY



City of
 White Bear Lake
 Planning & Zoning
 651-429-8561

CASE NO. : 93-3-Sa

CASE NAME : Smarte Carte

DATE : November 28, 2022



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



October 31, 2022

Finn Daniels Architects
2145 Ford Parkway STE 301
St Paul, MN 55116

Dear Design Team:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 4455 White Bear Parkway have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison
Assistant Fire Chief / Fire Marshal
651-762-4842

Encl.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



General Comments

1. IDENTIFICATION: Address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.
2. FIRE DEPARTMENT ACCESS: All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide a layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes.
3. KEY BOX: Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. DESIGN OF BUILDING: A determination of storage height and type of commodities will need to be evaluated to determine if MSFC 2020 Chapter 32 will apply for High Piled Combustible Storage. If applicable, all features noted in Chapter 32 will be required. A fire protection engineer's survey may be requested.
5. FIRE SPRINKLER SYSTEM: The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. City permit required **prior** to initiation of work. The existing sprinkler system shall be current on annual inspection and testing. Any deficiencies noted during those reports shall be corrected.
6. FIRE ALARM SYSTEM: The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. This system may be a dedicated fire alarm system. City permit required **prior** to initiation of work.
7. EMERGENCY LIGHTS: Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
8. EXIT SIGNS: Install compliant exit signage as required by the 2020 MSFC.
9. FIRE EXTINGUISHERS: Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
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10. INTERIOR FINISH: Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
11. CONSTRUCTION: The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.
12. SIGNAGE: Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition



City of White Bear Lake
Engineering Department

MEMORANDUM

To: Ashton Miller, City Planner
From: Nathan Christensen, P.E., Assistant City Engineer
Connie Taillon P.E., Environmental Specialist/Water Resources Engineer
Date: November 10, 2022
Subject: **Smarte Carte Engineering Review Comments**

The Engineering Department reviewed the storm water management report, Certificate of Survey, Site Demolition Plan (D100), civil plans (C1, C2, C3), and landscape plans (L3, L4, L5) dated October 17, 2022 and received October 28, 2022 for the above referenced project. The following items are outstanding:

The following outstanding items must be addressed prior to issuance of a Building Permit

GENERAL

- 1) Permits may be required from the MPCA. Provide a copy of any permits for our records, or provide documentation that permits are not required.
- 2) A minimum 15 foot and average 30 foot buffer is required around the existing wetland (see buffer requirements on page 31-32 of the City's Engineering Design Standards for Stormwater Management). Revise the appropriate plan sheets accordingly, and include a buffer calculation in the stormwater management report. The City's standards can be found at the following link:
https://www.whitebearlake.org/sites/default/files/fileattachments/engineering/page/7366/engineering_design_standards-final2.pdf
- 3) Per the City's Engineering Design Standards for Stormwater Management, permanent wetland monuments shall be located at the edge of the wetland buffer. If the area to the north and east of the wetland remain in a natural condition, markers will only be required along the west and south buffer edges. Show the location of the monuments on the plan. Monuments shall be spaced a maximum of 200 feet apart. Additional monuments shall be placed as necessary to accurately delineate the edge of the buffer.
- 4) Include a wetland monument detail on the appropriate plan sheet. See attached for a couple of monument options.

STORM WATER MANAGEMENT REPORT

- 5) Update the southern subcatchment 9S name in the proposed drainage area plan.
- 6) Include the following in the stormwater narrative:
 - a) In the proposed conditions paragraph, include the total area of proposed new and reconstructed impervious surfaces.
 - b) In the proposed conditions paragraph, explain why rate and volume control is required for this project (i.e. cite the City's stormwater management standards for volume control and rate control).
 - c) In the narrative, also include language explaining the buffer requirement for this project – see comment 2.
 - d) In the narrative, include language about the location of the shoreland overlay district boundary and why this site is exempt from these requirements.
- 7) For the volume control sizing calculation, does this include a total phosphorus removal factor? Please show calculations on how you came up with 1.50 acres of new and reconstructed impervious area.
- 8) For the volume control sizing calculation, also include a drawdown time calculation.
- 9) Include a freeboard summary in the Storm Water Management Report.
- 10) Please use the rainfall depths on page 30 of the City's Engineering Design Standard for Stormwater Management (page 30), and revise the rate control summary.

SHEET C1 - GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN

- 11) Please use the existing 8 inch water stub instead of adding a new connection to the watermain. Existing stub appears to be 10' to 15' north of the proposed connection.
- 12) Include low floor and low opening elevations for both the existing and proposed building on the plan.
- 13) Provide cleanouts for the filtration basin underdrains. Show the locations on the plan and provide a detail.
- 14) Provide a 4 foot sump for all catch basin that outlet to the biofiltration basin.
- 15) Reference detail numbers on the plan.
- 16) Add a note that the bottom of the biofiltration basin shall be graded flat at an elevation of 956.
- 17) Add the invert elevation of the draintile to the draintile callouts.

- 18) Please clarify why the silt fence is located within the wetland buffer area. If grading is proposed in the wetland buffer, restore the disturbed buffer area with native vegetation.
- 19) The limits of storm sewer pipe removal is not clear on the plan. Please clearly show the limits of storm sewer removal on the plan. Consider including the removals on the Site Demolition Plan or create a separate Utility Plan that shows existing, removals, and proposed utilities separate from the Grading Plan. See also comment 20.
- 20) Please clarify the following and revise as needed:
- a) Does the casting on the existing catch basin that the trench drain will tie into need to be changed to a manhole cover and adjusted?
 - b) Does the existing manhole to the west of the outlet structure need to be adjusted?
 - c) Why does the flared end on the existing pond inlet need to be relocated? Why is there a note to remove this flared end and storm sewer pipe if this pipe is used to convey runoff from the proposed trench drain? The Site Demolition Plan states that the pipe and flared end are to remain which seems to contradict the utility plan.

SHEET C2 – GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN

- 21) Please add a Rain Guardian Turret structure to the curb cut that is near the south parking lot entrance.

SHEET C3 - DETAILS & SPECIFICATIONS

- 22) For detail 10 and 11, some of the details seem to be shifted. Please revise.
- 23) Outlet control structure (detail 10):
- a) Show the location of the grout on both the cross section and profile view of the outlet pipe, and label. The grout must fill the entire 12" pipe around the 6" pipe to function as modeled.
 - b) Is the 12" outlet pipe existing? If so, label as existing. If proposed, then the Utility Plan will need to be revised.
 - c) Label the invert of the outlet pipe.
- 24) Biofiltration basin cross section (detail 11)
- a) Specify a native seed mix that prefers dryer conditions on the side slopes of the biofiltration basin above outlet elevation and show on the plan.
 - b) Specify the type of temporary erosion control will be used in the basin while the plants are establishing.
- 25) Specify the type of seed and erosion control in the re-graded dry basin on the south end of the property.

SHEET L3 - LANDSCAPE PLAN NORTH

26) Portions of the wetland buffer that will be graded as part of this project or are currently planted with lawn grass shall be restored native vegetation. Please include this information on the plan.

SHEET L5 - LANDSCAPE DETAILS

27) Include a note that irrigation is not allowed in the biofiltration basin and wetland buffer.

28) Add a note that the irrigation system must include a rain or moisture sensor.

The following items must be addressed prior to the release of the letter of credit

- i) An as-built record drawing is required for this project. Please see attached for a list of record drawing requirements.

The following items must be addressed prior to issuance of a Certificate of Occupancy

- ii) A Stormwater Operations and Maintenance Agreement (SOMA) is required for this project. The SOMA shall include the existing dry basin at the south end of the property and the wetland buffer. Please see attached for the City's SOMA template.

While the following items are not required for issuance of a permit, we would like to take this opportunity to raise these points:

- a) It is highly recommended that an individual familiar with the stormwater design be on site while the biofiltration basin is being constructed to ensure that the basin is constructed per the approved plan.
- b) To ensure the success of the native seeding in the storm basins and wetland buffer, we highly recommend contracting with a native plant restoration company to maintain the native seed areas for the three-year establishment period. After the three-year establishment period, we encourage the owner to continue to contract with the company for yearly maintenance of the native vegetation to control invasive plants and other weeds.
- c) Consider installing conduit at this time for future electric vehicle charging stations.
- d) Consider using all native trees and plants (less water, higher resiliency, wildlife habitat) and/or pollinator plantings.
- e) Stormwater efforts that go above and beyond permit requirements are eligible for grant funds. For more information, visit: <https://www.vlawmo.org/grants/>

Note

For the next plan review submittal, please provide 1 hard copy and an electronic copy of the following:

- A response to each review comment in this memo
- Revised stormwater calculations
- Revised plans

Contact Information

For questions regarding comments 11, contact Nate Christensen at: 651-762-4812 or nchristensen@whitebearlake.org

For questions regarding all other comments, contact Connie Taillon at: 651- 429-8587 or ctaillon@whitebearlake.org



2145 Ford Parkway, Suite 301
Saint Paul, Minnesota 55116
651.690.5525
www.finn-daniels.com

October 17, 2022

City of White Bear Lake
4701 Highway 61
White Bear Lake, MN 55110

Re: CUP Amendment for Smarte Carte
4455 White Bear Parkway
White Bear Lake, MN 55110

We hereby request a CUP Amendment to allow construction of a building expansion to the existing Smarte Carte building/facility. The project entails construction of an approximately 35,125 square foot addition to the existing building that was previously approved for a Conditional Use Permit in 1993. The use of the new addition shall be primarily warehouse functions. The building addition will match the existing building, using the same type of architectural exposed aggregate concrete wall panels, and clerestory windows. The new loading dock area is positioned away from facing the residential use across White Bear Parkway and screened by the existing dense wooded area at the northeast corner of the site.

The proposed building expansion conforms to the existing zoning code and requires no variances.

PROJECT DIRECTORY

OWNER:	4455 WBP, LLC c/o PRATT ORNDAY PROPERTIES 3555 WILLOW LAKE BLVD., STE. 200 VADNAIS HEIGHTS, MN 55110 651-631-8059 (VOICE) CONTACT: Len Pratt EMAIL: lepratt@prattthomes.com	ARCHITECT:	FINN DANIELS, INC. 2145 FORD PARKWAY, SUITE 301 ST. PAUL, MINNESOTA 55116 651.690.5525 (VOICE) CONTACT: Scott Wiestling EMAIL: swiestling@finn-daniels.com	GOVERNING AUTHORITY:	CITY OF WHITE BEAR LAKE 4701 HIGHWAY 61 WHITE BEAR LAKE, MN 55110 651.429.8561
TENANT:	SMARTE CARTE 4455 WHITE BEAR PARKWAY WHITE BEAR LAKE, MN 55110	CIVIL ENGINEER:	REHDER & ASSOCIATES, INC. 3440 FEDERAL DRIVE, SUITE 110 EAGAN, MINNESOTA 55122 651.452.5051 (VOICE) CONTACT: Nick Adam EMAIL: nadam@rehder.com	LANDSCAPE ARCHITECT:	CALYX DESIGN GROUP 475 CLEVELAND AVE. NORTH #101A ST. PAUL, MN 55104 651.788.9018 (VOICE) CONTACT: Ben Hartberg EMAIL: ben@calyxdesigngroup.com

GENERAL NOTES

GENERAL NOTES:	14. Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practices and the Contractor is responsible for installing them according to these conditions. The drawings show only special conditions to assist the Contractor, they do not illustrate every such condition and detail.
1. Items listed below are applicable to all contractors, subcontractors, vendors, suppliers and material handlers.	15. With reference to reflected ceilings, Contractor shall coordinate with all trades involved and prepare composite shop drawings to insure locations and clearances for fixtures, ducts, ceilings, sprinkler heads, grilles, etc., necessary to maintain the specified finish ceiling height above the finished floor as noted on the drawings. Clarify conflicts and locations with the Architect before proceeding.
2. The contract documents include the working drawings, addenda, modifications, and the conditions of the construction contract.	16. Use of moisture resistant treated wood blocking in construction shall use the following guidelines: Carbon steel, aluminum and electroplated galvanized steel fasteners and connectors should not be used in contact with treated wood. Hot-dipped galvanized fasteners complying with ASTM A153 and connectors complying with ASTM A653, Class G185, generally are acceptable. Type 304 or Type 316 stainless-steel fasteners and connectors are recommended for maximum corrosion resistance. Fasteners with proprietary anti-rust coatings may be acceptable for use with treated wood.
3. The contract documents are the instruments of service and shall remain the property of the architect whether the project for which they are prepared is executed or not. The contract documents are not to be used by the landlord or tenant for other projects or extensions to the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.	Aluminum fasteners, flashings and accessory products should not be used in direct contact with any treated wood. ACQ-treated wood is not compatible with aluminum. Uncoated metal and painted metal flashing and accessories, except for 300-series stainless steel, should not be used in direct contact with treated wood. Metal products, except stainless steel, may be used if separated from treated wood by a spacer or barrier such as single-ply membrane or self-adhered polymer-modified bitumen membrane material. The use of non-treated, construction-grade wood is suitable for use as blocking or nailers, provided reasonable measures are taken to ensure the non-treated wood remains reasonably dry when in service. It shall be the responsibility of the General Contractor to coordinate blocking requirements with each Subcontractor and it shall be up to the Subcontractor to select suitable methods for installing blocking meeting the standards established above.
4. General conditions of the Contract AIA Document A-201 shall be made part of these conditions by reference.	17. No work defective in construction or quality, or deficient in any requirements of drawings and specifications will be acceptable in consequence of Owner's or Architect's failure to discover or to point out defects or deficiencies during construction, nor will presence of inspectors on work site relieve Contractor from responsibility for securing quality and progress or work as required by contract. Defective work revealed within time required by guarantees shall be, whether partial or final, construed as an acceptance of defective work or improper materials.
5. All work shall comply with the applicable codes, amendments, rules, regulations, ordinances, laws, orders, approvals, etc., that are required by public authorities. In the event of conflict, the most stringent requirements shall comply. Requirements include, but are not limited to the current applicable editions or publications.	18. Contractors, Subcontractors or Suppliers shall not proceed with any work for which he expects additional compensation beyond the written contract unless he receives written authorization from Contractor or Owner. Failure to obtain such authorization may invalidate any claim for additional compensation.
6. All glazing used in this project shall conform to the requirements of all applicable codes and all Federal and State requirements.	19. The Contractor is to coordinate and schedule punch list to take place a minimum of 5 (five) working days before scheduled occupancy date. This will allow for furniture and phone installation. Provide notification to Architect and Owner when punch list items have been completed or which items remain and why. Coordinate required work with Owner and protect and/or move any Owner items and furniture if needed. Punch list items must be completed within 30 (thirty) days of punch list date.
7. Finn Daniels, Inc. relies upon the professionalism and accuracy of work designed by other subcontractors, and relies that the systems designed by others will perform as required and per industry standards.	20. A "Certificate of Occupancy" shall be obtained prior to move in date and presented to owner at time of punch list walk through.
CONTRACT DOCUMENT NOTES:	SHOP DRAWINGS, SAMPLES AND LITERATURE NOTES:
1. This set of documents is not all inclusive and is meant to show the intent of the scope of work. The contractor shall bid all work involved with a normally anticipated scope of work.	1. Required shop drawing submittals shall include, but not limited to the following (additional shop drawings may be required upon Architect's request)
2. All the sheets listed in the drawing index comprise the construction documents for this project. The G.C. is responsible for all the work defined in these construction documents including distributing drawings to subcontractors for bidding purposes. It is not recommended that individual sheets be given to subcontractors for bidding or construction. The entire set of drawings, not any individual sheets, define the work required under the general contract.	1.1. Shell building requirements: - Precast concrete (wall panels, floor plank, structural beams and columns, etc.) - Glazing - Hollow Metal Frames, Doors, Windows - Wood Doors, Frames - Door/Window Hardware - Roofing (membrane, built-up, metal, etc.) - Steel (structural steel, miscellaneous steel, joist, deck, etc.) - Metal Panels (ACM panels, soffit panels, standing seam, etc.) - Retaining Walls - Light gauge metal framing - Interior or finish requirements: - Aluminum Door/Window Frames, Doors - Glazing - Hollow Metal Frames, Doors, Windows - Wood Doors, Frames - Door/Window Hardware - Millwork - Toilet Partitions and Accessories
3. In the event of conflict between data shown on drawings and data shown in the specifications, the specifications shall govern. Dimensions noted on drawings shall take precedence over scaled dimensions. Detail drawings take precedence over drawings of small scale. Should the contractor at any time discover an error in a drawing or specification, or a discrepancy or variation between dimensions on drawings and measurements at site, or lack of dimensions or other information, it shall be brought to the Architect's attention and shall not proceed with work affected until clarification or resolution has been made.	1.2. 2. Contractor shall provide manufacturer's specifications, installation instructions, shop drawings and samples for review and approval of all materials and methods to be used prior to ordering or proceeding with the work. Contact Architect prior to installation if item does not match approved shop drawings or samples.
4. "similar" means comparable characteristics for conditions noted. Contractor to verify dimensions and orientation.	3. General Contractor shall review, add required field dimensions, stamp and forward shop drawings and samples to Architect for approval. Provide sufficient copies so that Architect/Engineer may retain record copy.
5. "Typical" means identical for conditions noted.	4. There shall be no substitution during bidding of materials where a manufacturer is specified. Where the term "or equal" is used, Architect and Owner shall determine equality based upon information and costs submitted by Contractor.
6. Do not scale drawings, written dimensions govern. Verify dimensions with field conditions prior to construction. If discrepancies are discovered between field conditions and drawings or between individual drawings, contact Architect for resolution before proceeding.	5. Changes in shop drawings from design or specifications indicated must be noted to Architect for approval. Any item clearly different than design indicated may be rejected in field at supplier's cost even with approved shop drawings.
7. Horizontal dimensions indicated are to/from finished face of construction, except as noted.	6. Contractor to schedule shop drawing reviews to allow 3-5 working days, excluding delivery time to and from the contractor, for architectural and engineering review.
8. Vertical dimensions indicated are from top of floor slab/topping, except where noted to be from above finished floor, (A.F.F.)	TENANT IMPROVEMENT NOTES:
9. Dimensions are not adjustable without approval of Architect unless noted +/-.	1. The Building Owner shall provide to the Contractor building standards, regulations and any other additional information for building standard compliance. Contractor shall comply with all base building requirements and design criteria.
10. All symbols and abbreviations used on the drawings are considered to be construction standards. If the contractor has questions regarding symbols & abbreviations used, or their exact meaning, the Architect shall be notified for clarification.	2. Do not core drill, sleeve or cut steel members or alter any existing building framing member without Owner approval. X-rays and/or structural analysis and design may be required at Contractor's cost. Coordinate with owner prior to beginning work.
CONSTRUCTION NOTES:	3. Damage caused by the Contractor to the building or its system(s) are to be repaired immediately after receiving notice. Failure to do so could result in a charge to the Contractor, with the work to be completed by others.
1. Contractors, mechanical, electrical and subcontractors shall visit the job site and become familiar with existing conditions before submitting pricing and proceeding with any work.	4. When necessary, provide and install protective covering(s) for surfaces that are subject to damage of any type.
2. All contractors and subcontractors are responsible for paying for and obtaining all their own permits as may be required by governing authorities.	5. Coordinate with Owner and Building Manager before beginning any work that could affect the building's fire alarm, smoke evacuation or fire sprinkler system(s).
3. All Contractors and Subcontractors are responsible for maintaining required licenses and insurances.	6. Patch and repair all fireproofing damaged or removed during performance of the work. Fireproof new penetrations required by the work and existing penetrations in exposed plenum areas.
4. General Contractor shall be responsible for checking contract documents, field conditions and dimensions for accuracy and confirming that work is as shown before proceeding with construction. Clarifications regarding any conflicts shall be achieved prior to related work being started.	7. No space other than the construction site shall be provided for storage, staging, finishing or for an office unless coordinated with the owner.
5. General Contractor to coordinate construction needs for phone, power, data, lighting, etc... with Owner prior to negotiating project cost.	8. No dumping is allowed in restroom sinks, water closets or urinals. Use slop sinks located in the building's janitor closets where available. Coordinate this with Owner.
6. General Contractor shall continuously check Architectural and Structural clearances to verify that no conflicts exist in locations of any and all mechanical, electrical, telephone, data, plumbing and sprinkler equipment and that all required clearances for installation and maintenance of all above equipment is provided. What elements are exposed or concealed shall be determined and reviewed with Architect prior to construction proceeding. The Contractor shall ensure that all pricing including duct work and conduit for systems are included. No allowance of any kind will be made of the Contractor's negligence to note unforeseen means of installing equipment into position inside structure.	
7. Contractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable, Contractor shall notify Architect immediately to allow Architect a reasonable amount of time to select an appropriate substitute.	
8. Materials and workmanship specified by reference to number, symbol or title of a specification such as commercial standards, federal specifications, trade association standard or other similar standard, shall comply with requirements in latest edition or revisions thereof and with any amendment or supplement thereto in effect on date of origin on this project's contract documents. Such standard, except as modified herein shall have full force and effect as though printed on contract documents.	
9. Only new items of recent manufacturer, of standard quality, free from defects, will be permitted on the work. Rejected items shall be removed immediately from the work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the Contractor from their responsibility for quality and character of items used nor from any other obligation imposed on him by the contract.	
10. Make all necessary provisions for items to be furnished or installed by owner. Provide protection for these provisions until completion of the project. General Contractor to coordinate N.C. items with appropriate trades.	
11. Coordinate and provide appropriate structural blocking/backing and reinforcing in partitions behind all wall mounted items, including wall hung owner provided items or furniture N.C. Coordinate with owner and plans.	
12. When any item or finish is scheduled to match existing, Supplier, Vendor or Subcontractor should also visit site in order to provide a perfect match. Notify Architect if documents call out for an item that does not match installed existing conditions.	
13. All finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains, or discoloration. Joints shall be tight fitting, neat and well scribed. The finish work shall not have exposed unglazed anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling and warping due to temperature and humidity conditions.	

PLAN REVIEW FOR CODE COMPLIANCE

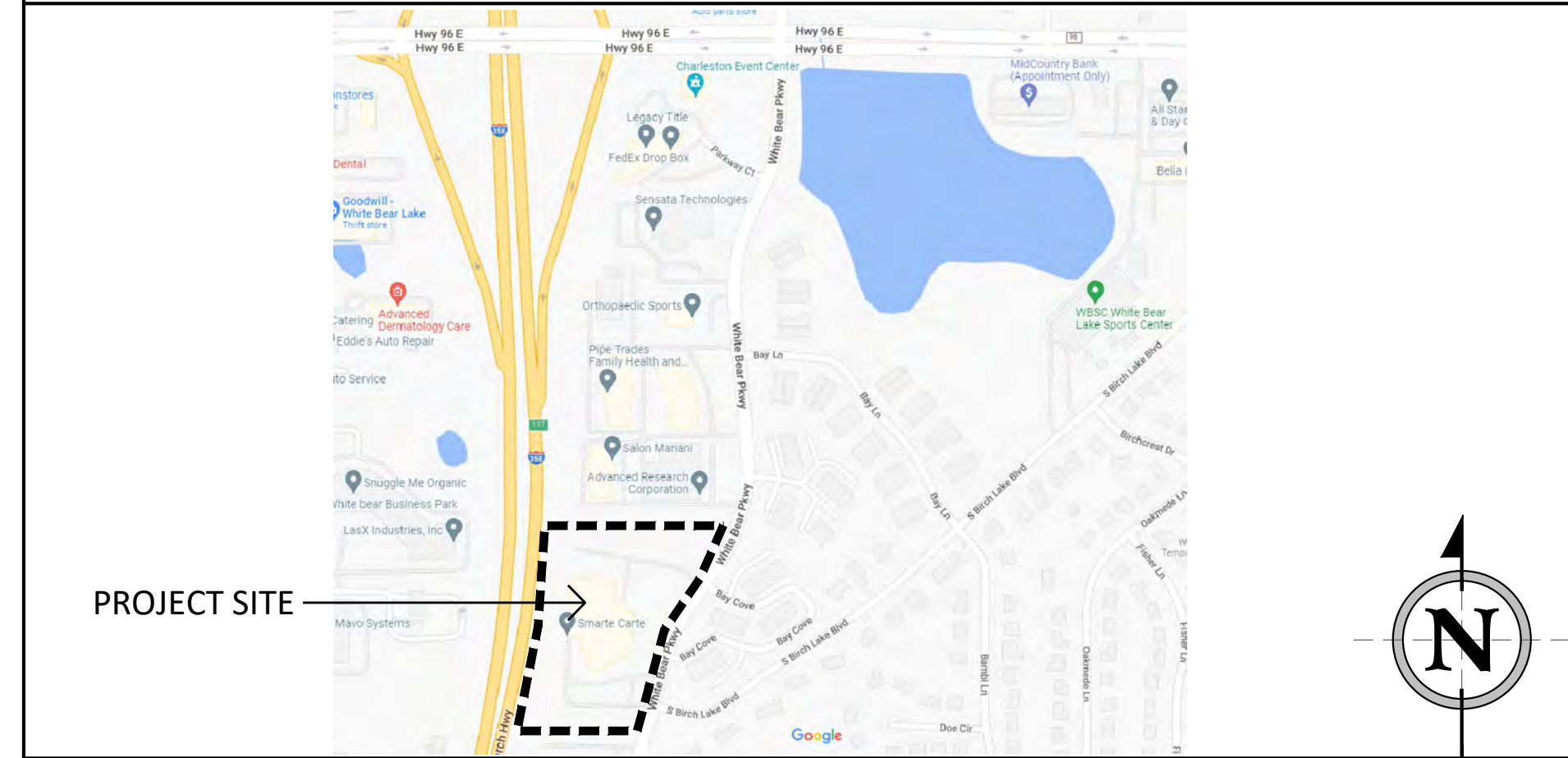
GENERAL INFORMATION:	EXITING:
A. PROJECT DESCRIPTION: BUILDING EXPANSION FOR SMARTE CARTE	A. DESIGN OCCUPANT LOAD-NEW ADDITION (MSBC 1004.1) = 71 Occupants
B. ZONING & LAND USE: DBD (DIVERSIFIED BUSINESS DEVELOPMENT)	1. WAREHOUSE: 35,125 s.f. at 1 per 500 s.f. = 71 Occupants
C. LOT SIZE: 6.96 ACRES / 303,494 S.F.	B. EXITS
D. TYPE OF CONSTRUCTION: Existing Building II-B	1. Number Required (MSBC 1006) = 2
E. FULLY SPRINKLERED IN COMPLIANCE WITH MSBC CHAPTER 9 & MSFC	2. Number Accessible Required (MSBC 1009) = 2
	3. Arrangement (MSBC 1007) Not Less Than 1/3 Diagonal
	4. Travel Distance Maximums
	-Exit Access (MSBC 1017.2) = 250'-0" (S1)
	-Common Path of Egress (MSBC 1006.2.1) = 100'-0" (S1)
	5. Width (The Greater of Two Conflicting Widths Shall Be Used)
	- Design Exit Width (MSBC 1005.3)
	Other Components = 10.65"
	- Corridors (MSBC 1020) = 44"
	- Exit Passageways (MSBC 1024) = 44"
	- Exit Doors (MSBC 1010) = 32" Min. Clear / 48" Max. Nom.
	6. Doors
	- Swing (MSBC 1010.1.2.1): Side hinged swinging in direction of egress
	Travel at occupant load greater than 49
	- Landings (MSBC 1010.1.6): Width no less than width of door or width of stair, whichever is greater, length in direction of travel not less than 44"
	- Thresholds (MSBC 1010.1.7): Max. Ht. = 1/2" (1:2 beveled edge if 1/4" or higher floor change)
	- Consecutive Doors (MSBC 1010.1.8): 48" + Door Width Apart
	- All swinging door hardware shall be lever type and be readily operable from the egress side without the use of a key or any special knowledge or effort (MSBC 1010.1.9)
	- Manually operated flush bolts and surface bolts are not permitted (MSBC 1010.1.9.5)
	- Fire Exit Hardware (MSBC 1010.1.10): Not req'd. at exit/exit access door
APPLICABLE CODES:	PLUMBING FIXTURES:
A. INTERNATIONAL BUILDING CODE (IBC) 2018	A. NUMBER OF FIXTURES REQUIRED (MSBC 2902.1)
B. MINNESOTA STATE BUILDING CODE (MSBC) 2020	S1: 71 Occupants (36 Men / 36 Women)
C. WHITE BEAR LAKE CITY CODE CURRENT	
D. INTERNATIONAL FIRE CODE (IFC) 2018	
E. MINNESOTA STATE FIRE CODE (MSFC) 2020	
F. NATIONAL ELECTRICAL CODE (NEC) 2023	
G. INTERNATIONAL MECHANICAL CODE (IMC) 2018	
H. MINNESOTA MECHANICAL & FUEL GAS CODE (MSMFGC) 2020	
I. ICC/ANSI A117.1 (ACCESSIBLE BUILDINGS & FACILITIES) 2009	
J. MINNESOTA ACCESSIBILITY CODE 2020	
K. MINNESOTA ENERGY CODE W/ ASHRAE 2020	
BUILDING CLASSIFICATION:	
A. BUILDING OCCUPANCY & CLASSIFICATION (MSBC Ch. 3 & Ch. 6)	
1. WAREHOUSE EXPANSION - Group S1 / II-B	
*32,125 s.f. / 1 Story	
2. EXISTING BUILDING -Group S1 / II-B	
*24,606 s.f. / 1 Story	
-Group B / II-B	
*27,132 s.f. / 1 Story	
3. SEPARATED OCCUPANCIES (MSBC 508.4)	
→ Group B & S1 (No separation required per MSBC Table 508.4)	
B. ALLOWABLE HEIGHT / ALLOWABLE AREA (MSBC Ch. 5)	
1. ALLOWABLE HEIGHT (MSBC Table 504.3 & 504.4)	
- Existing Building with Warehouse Expansion	
*Group B / Type II-B = 75'-0" / 4 Stories	
*Group S1 / Type II-B = 75'-0" / 2 Stories	
2. ALLOWABLE AREA (MSBC Table 506.2)	
- Existing Building with Warehouse Expansion	
- Frontage Increase: [1.654 - 0.25] x 28.15 = .70	
[1.654] 30	
*Group S1 / Type II-B	
*70,000 s.f. Base + (17,500 x Frontage Increase)	
*S1 Allowable Area: 70,000 + (17,500 x .70) = 82,250 s.f.	
*S1 Allowable (82,250) / S1 Actual (59,731) = .72	
*Group B / Type II-B	
*92,000 s.f. Base + (23,000 x Frontage Increase)	
*B Allowable Area: 92,000 + (23,000 x .70) = 108,100 s.f.	
*B Allowable (108,100) / B Actual (27,132) = .25	
-Group S1 (.72) + Group B (.25) = .97 < 1	
FIRE - RESISTANCE - RATED CONSTRUCTION:	
A. BUILDING ELEMENTS (MSBC 601 & 602)	
Element II-B	
Structural Frame 0 Hours	
Exterior Bearing Walls 0 Hours	
Interior Bearing Walls 0 Hours	
Exterior Non-Bearing Wall 0 Hours (10 < 30 Feet Fire Separation Distance)	
Interior Non-Bearing Walls 0 Hours	
Floor Construction 0 Hours	
Roof Construction 0 Hours	
B. EXTERIOR WALL OPENINGS (MSBC 705.8)	
- Separation Distance > 30 Feet	
Classification Area of Opening	
Unprotected No Limit	
Protected No Limit	
C. FIRE WALLS (MSBC 706)	
- Not Applicable	
D. FIRE BARRIERS (MSBC 707)	
- Not Applicable	
E. FIRE PARTITIONS (MSBC 708)	
- Not Applicable	
F. ROOF AND INTERIOR FINISH REQUIREMENTS	
- Minimum Roof Classification (MSBC Table 1505.1): II-B = Class C	
- Minimum Wall and Ceiling Finish Requirement (MSBC Table 803.13)	
Building Component Finish Class	
Exit Enclosures/ Exit Passageways Group S1 = Class C	
Corridors Group B = Class C	
Rooms And Enclosed Spaces Group S1 = Class C	
Group B = Class C	

NOTE: MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED BY EACH APPLICABLE SUB-CONTRACTOR. EACH SUB-CONTRACTOR SHALL COORDINATE WITH G.C. AND OWNER, THE PROJECT SCOPE, REQUIREMENTS, AND SYSTEMS TO BE DESIGNED INTO THIS PROJECT TO ACHIEVE THE DESIGN INTENT INDICATED THESE DRAWINGS FOR THE BUILDING. EACH APPLICABLE SUB-CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE NECESSARY DOCUMENTS/APPLICATIONS TO THE GOVERNING JURISDICTION AND TO PAY FOR ALL APPLICABLE FEES ASSOCIATED IN ORDER TO COMPLETE THEIR WORK ON THIS PROJECT SO AS TO MEET APPLICABLE GOVERNING CODES AND ORDINANCES.

DRAWING SCHEDULE

10.17.2022 CUP AMENDMENT	<input type="checkbox"/>	ISSUED FOR PRELIMINARY REVIEW / CUP AMENDMENT
	<input checked="" type="checkbox"/>	ISSUED FOR PERMIT/CONSTRUCTION
	<input type="checkbox"/>	ISSUED FOR REFERENCE ONLY
	<input type="checkbox"/>	ISSUED FOR CONSTRUCTION WITH REVISED INFORMATION
		GENERAL PROJECT INFORMATION
		G000 TITLE SHEET, PROJECT NOTES, & CODE REVIEW
		CERTIFICATE OF SURVEY
		CERTIFICATE OF SURVEY (8/11/22)
		ARCHITECTURAL
		D100 DEMOLITION SITE PLAN
		A100 SITE PLAN & DETAILS
		A101 SITE LIGHTING PLAN
		A200 FLOOR PLAN
		A300 EXTERIOR ELEVATIONS
		CIVIL
		C1 GRADING, DRAINAGE, EROSION CONTROL AND UTILITY PLAN
		C2 GRADING, DRAINAGE, EROSION CONTROL AND UTILITY PLAN
		C3 CIVIL DETAILS & SPECIFICATIONS
		LANDSCAPE
		L1 TREE PRESERVATION PLAN - NORTH
		L2 TREE PRESERVATION PLAN - SOUTH
		L3 LANDSCAPE PLAN - NORTH
		L4 LANDSCAPE PLAN - SOUTH
		L5 LANDSCAPE DETAILS

SITE LOCATION MAP



CONSULTANT:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name _____
Date _____
License Number _____ Date _____

PROJECT:

SMARTE CARTE
BUILDING EXPANSION
4455 WHITE BEAR PKWY.
WHITE BEAR LAKE, MN
55110

PROJECT NO.: 20010

DRAWN BY: SAW

CHECKED BY: SAW

ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

SHEET TITLE:

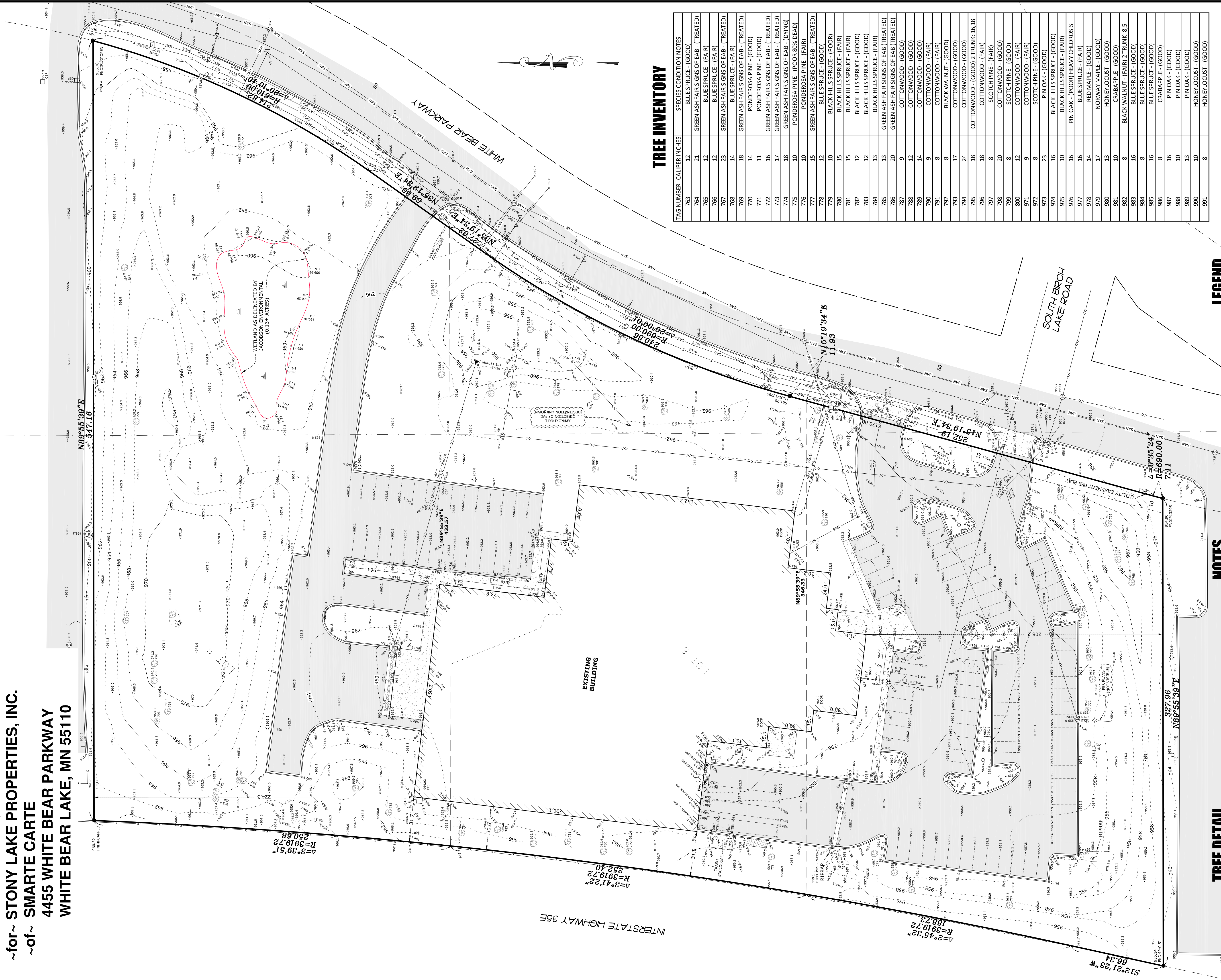
**TITLE SHEET,
PROJECT NOTES,
& CODE REVIEW**

G000

CERTIFICATE OF SURVEY

for STONY LAKE PROPERTIES, INC.
of SMARTER CARTE

4455 WHITE BEAR PARKWAY
WHITE BEAR LAKE, MN 55110



TREE INVENTORY

TAG NUMBER	CALIPER INCHES	SPECIES	CONDITION NOTES
763	12	BLUE SPRUCE - (GOOD)	
764	21	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
765	12	BLUE SPRUCE - (FAIR)	
766	12	BLUE SPRUCE - (FAIR)	
767	23	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
768	14	BLUE SPRUCE - (FAIR)	
769	18	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
770	14	PONDEROSA PINE - (GOOD)	
771	11	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
772	16	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
773	17	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
774	18	GREEN ASH FAIR SIGNS OF EAB - (DYING)	
775	10	PONDEROSA PINE - (POOR 80% DEAD)	
776	10	PONDEROSA PINE - (FAIR)	
777	15	GREEN ASH FAIR SIGNS OF EAB - (TREATED)	
778	12	BLUE SPRUCE - (GOOD)	
779	10	BLACK HILLS SPRUCE - (POOR)	
780	15	BLACK HILLS SPRUCE - (FAIR)	
781	15	BLACK HILLS SPRUCE - (FAIR)	
782	12	BLACK HILLS SPRUCE - (GOOD)	
783	12	BLACK HILLS SPRUCE - (FAIR)	
784	13	BLACK HILLS SPRUCE - (FAIR)	
785	13	GREEN ASH FAIR SIGNS OF EAB (TREATED)	
786	20	GREEN ASH FAIR SIGNS OF EAB (TREATED)	
787	9	COTTONWOOD - (GOOD)	
788	12	COTTONWOOD - (GOOD)	
789	14	COTTONWOOD - (GOOD)	
790	9	COTTONWOOD - (FAIR)	
791	8	COTTONWOOD - (FAIR)	
792	8	BLACK WALNUT - (GOOD)	
793	17	COTTONWOOD - (GOOD)	
794	24	COTTONWOOD - (GOOD)	
795	18	COTTONWOOD - (GOOD) 2 TRUNKS .16, .18	
796	18	COTTONWOOD - (FAIR)	
797	8	SCOTCH PINE - (FAIR)	
798	20	COTTONWOOD - (GOOD)	
799	8	SCOTCH PINE - (GOOD)	
800	12	COTTONWOOD - (FAIR)	
801	12	COTTONWOOD - (FAIR)	
802	9	COTTONWOOD - (GOOD)	
803	8	SCOTCH PINE - (GOOD)	
804	23	PIN OAK - (GOOD)	
805	16	BLACK HILLS SPRUCE - (GOOD)	
806	10	BLACK HILLS SPRUCE - (FAIR)	
807	16	PIN OAK - (POOR) HEAVY CHLOROSIS	
808	16	BLUE SPRUCE - (FAIR)	
809	17	RED MAPLE - (GOOD)	
810	14	NORWAY MAPLE - (GOOD)	
811	13	HONEYLOCUST - (GOOD)	
812	10	CRABAPPLE - (GOOD)	
813	8	BLACK WALNUT - (FAIR) 2 TRUNKS .8, 5	
814	16	BLUE SPRUCE - (GOOD)	
815	8	BLUE SPRUCE - (GOOD)	
816	16	BLUE SPRUCE - (GOOD)	
817	8	CRABAPPLE - (GOOD)	
818	16	PIN OAK - (GOOD)	
819	10	PIN OAK - (GOOD)	
820	13	HONEYLOCUST - (GOOD)	
821	10	HONEYLOCUST - (GOOD)	
822	8	HONEYLOCUST - (GOOD)	

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES FIBER OPTIC BOX
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES WATER VALVE
- DENOTES FENCE
- DENOTES EXISTING CONTOURS
- DENOTES EDGE OF ROCK
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES EXISTING UNDERGROUND ELECTRIC LINE
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND FIBER OPTIC LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 07/18/22.
- Bearings shown are on Ramsey County datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Wetland shown from flagging set by Jacobson Environmental in April 2020. (Telephone number: 612-802-6619).
- Parcel ID #: 21-30-22-13-0031.
- Tree tagging and inventory completed by Galyx Design Group.
- Total parcel area: 303,494 S.F.

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TAG NUMBER

BENCHMARK

MNDOT BENCHMARK: SUNSTEN MNDT
WAY 98
ELEVATION: 973.426

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors

6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

Lots 5, 6, and 7, Block 1, WHITE BEAR GATEWAY
BUSINESS PARK, Ramsey County, Minnesota.

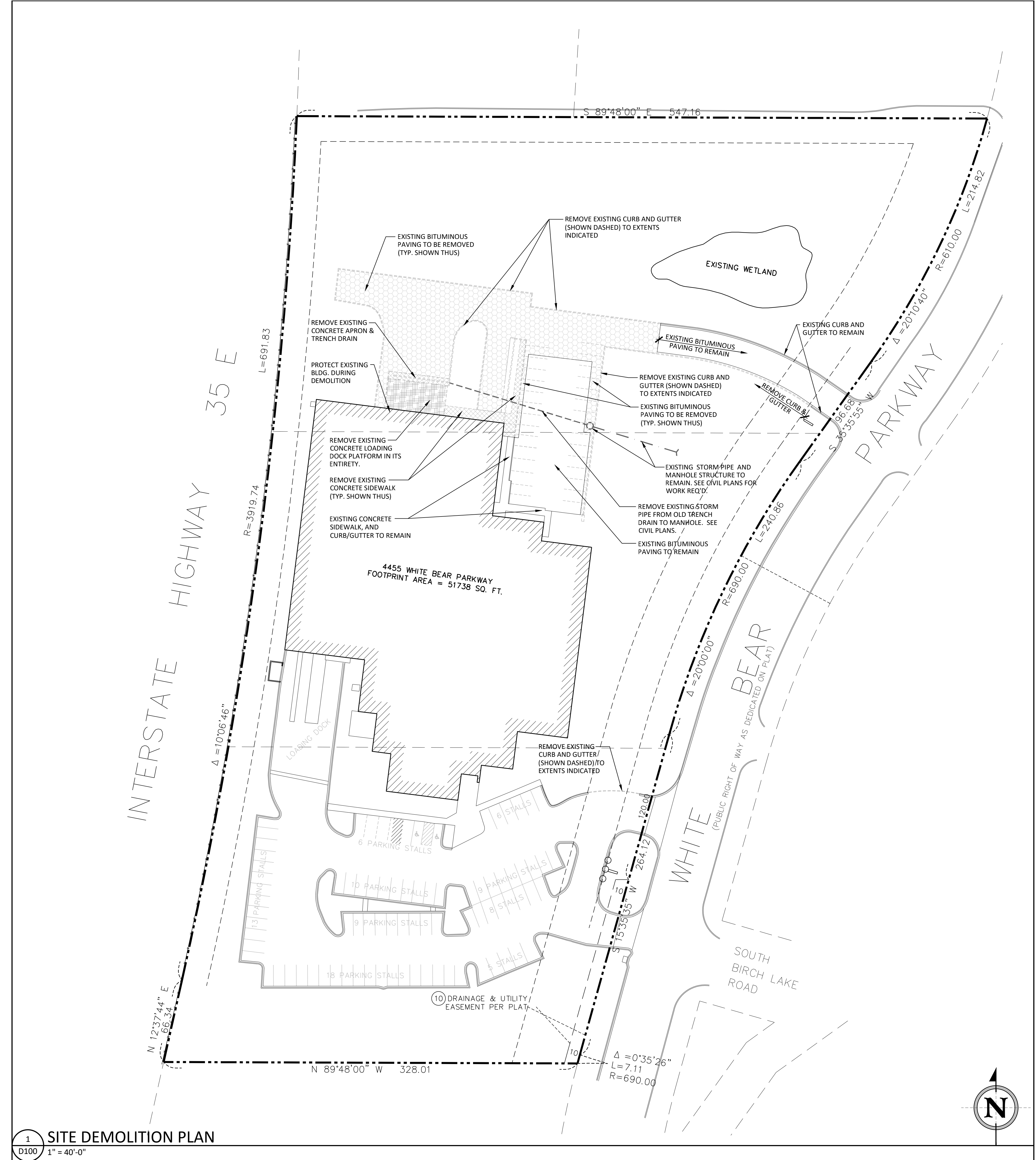
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

MASON E. RUD
Date: 08/11/2022 License No. 41578

DRAWN BY: BCD	JOB NO.: 220809BT	DATE: 07/29/22
CHECK BY: JER	FIELD CREW: CB	
1 08/08/22	CLIENT COMMENTS	BCD
2 08/11/22	ADDED ADDITIONAL UTILITY INFO	BCD
3	NO. DATE DESCRIPTION	BY

GENERAL SITE DEMOLITION NOTES

- INFORMATION FOR THIS PLAN HAS BEEN DERIVED FROM AN CERTIFICATE OF SURVEY DEVELOPED BY EG RUD & SONS, INC. FOR PROFESSIONAL SERVICES FOR STONY LAKE PROPERTIES, DATED 8/11/2022.
- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE MATERIAL PER THE GEOTECHNICAL REPORT AN/OR GEOTECHNICAL ENGINEER.
- CLEARING AN GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR RESPONSIBLE FOR DISCONNECTION OF UTILITY SERVICES AS REQUIRED PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES A MINIMUM 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF THE EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTATION OF EXISTING GRADE ELEVATIONS PRIOR TO CONSTRUCTION AT NEW CONSTRUCTION AREAS. ANY GRADES THAT PREVENT ADEQUATE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND THE FOUNDATION.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICES. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL ONLY TO THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN, DAMAGE TO ANY EXISTING CONDITION SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER, AND STORM SEWER SERVICES PER APPLICABLE AGENCY STANDARDS. COORDINATE ALL WORK WITH THE APPLICABLE AGENCY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- PATCH AND REPAIR ALL EXISTING SIDEWALK AS REQUIRED WHERE DAMAGED BY DEMOLITION AND CONSTRUCTION.
- PROVIDE TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESS DURING CONSTRUCTION AS REQUIRED.
- ENSURE ALL REQUIRED EXITS FROM THE BUILDING ARE KEPT OPEN AND CLEAR AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.
- SEE LANDSCAPE PLANS FOR TREE/LANDSCAPE REMOVALS REQUIRED.



1 SITE DEMOLITION PLAN
D100 1" = 40'-0"

CONSULTANT:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name

License Number

Date

PROJECT:

SMARTE CARTE
BUILDING EXPANSION

4455 WHITE BEAR PKWY.
WHITE BEAR LAKE, MN
55110

PROJECT NO.: 20010

DRAWN BY: SAW

CHECKED BY: SAW

ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

SHEET TITLE:

SITE
DEMOLITION PLAN

D100



1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30' A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Egress calc points @ 0' A.F.F.
6. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts_1	Illuminance	Fc	0.51	7.4	0.0	N.A.

Luminaire Schedule							
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts
	7	SP1		PRV-PA2B-740-U-T4W-HSS	Single	14072	151
	4	WP1		PRV-PA1D-740-U-T4W	Single	10906	93.4

TYPE WP1 FIXTURE

Lumark
Prevail Petite Discrete Wall
Wall Mount Luminaire

Interactive Menu

- Ordering Information
- Mounting Details
- Product Specifications
- Energy and Performance Data
- Control Options

Product Certifications

UL, DLC, FC, ENEC, IES, IP68, VESA, ENEC, BAA

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 11,300 lumens (30W - 90W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

Connected Systems

- WaveLinx

Dimensional Details

COOPER Lighting Solutions

TYPE SP1 FIXTURE (FIXTURE MOUNTED ON POLE AT 27')

Lumark
Prevail Discrete LED
Area / Site Luminaire

Product Features

Interactive Menu

- Ordering Information
- Mounting Details
- Optical Configurations
- Product Specifications
- Energy and Performance Data
- Control Options

Product Certifications

UL, DLC, FC, ENEC, IES, IP68, VESA, ENEC, BAA

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 41,000 nominal lumens (30W - 300W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx

Dimensional Details

COOPER Lighting Solutions

CONSULTANT:

MLAZGAR ASSOCIATES
10340 VIKING DR.
SUITE 150
EDEN PRAIRIE, MN 55344
(p) 952-943-8080
(f) 952-943-8088
www.mlazgar.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typical Name _____
License Number _____ Date _____

PROJECT:

SMARTE CARTE
BUILDING EXPANSION

4455 WHITE BEAR PKWY.
WHITE BEAR LAKE, MN
55110

PROJECT NO.: 20010

DRAWN BY: SAW

CHECKED BY: SAW

ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

SHEET TITLE:
SITE LIGHTING PLAN

A101

CONSULTANT:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name _____
License Number _____ Date _____

PROJECT:

SMARTE CARTE
BUILDING EXPANSION

4455 WHITE BEAR PKWY.
WHITE BEAR LAKE, MN
55110

PROJECT NO.: 20010

DRAWN BY: SAW

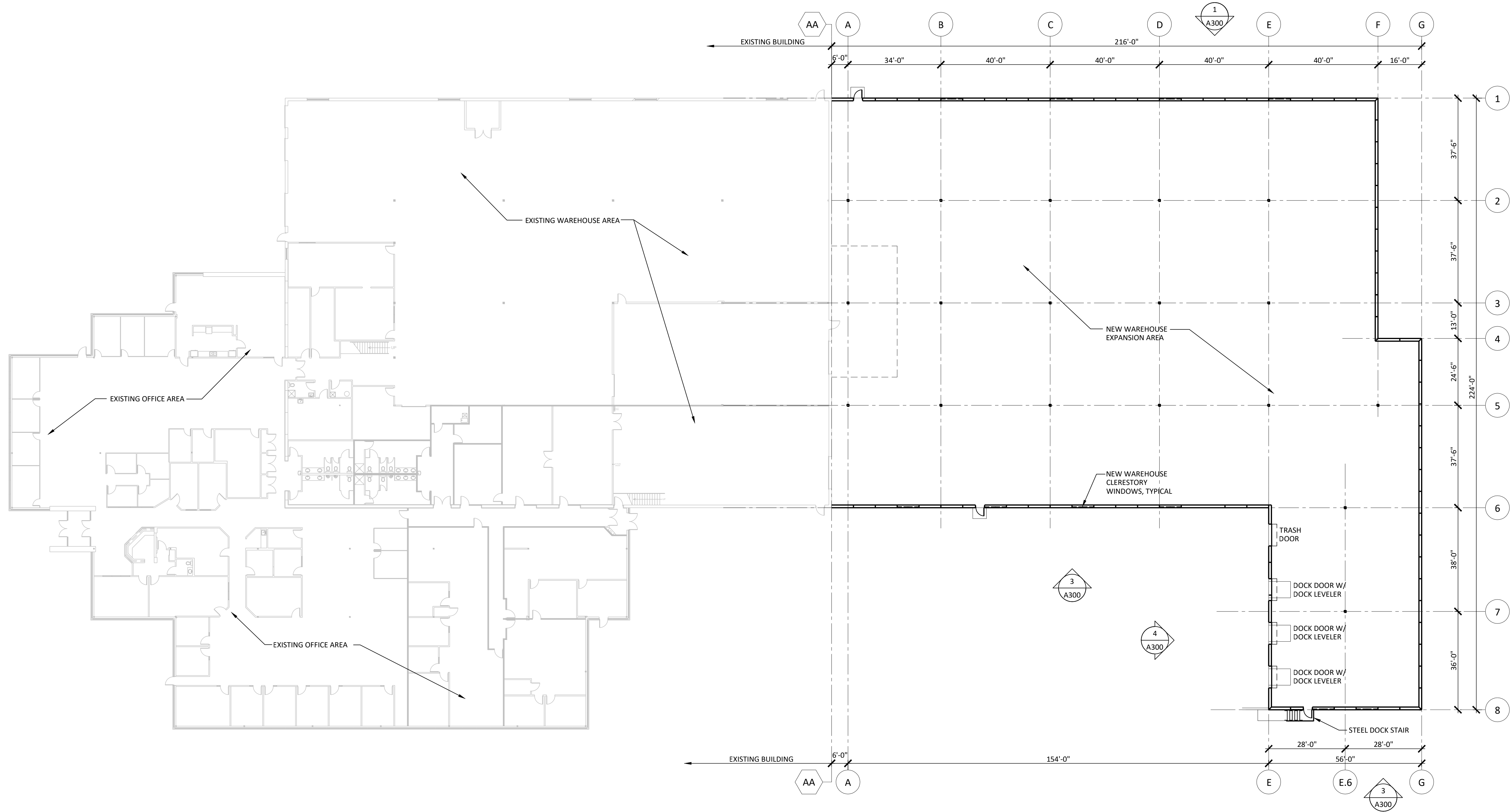
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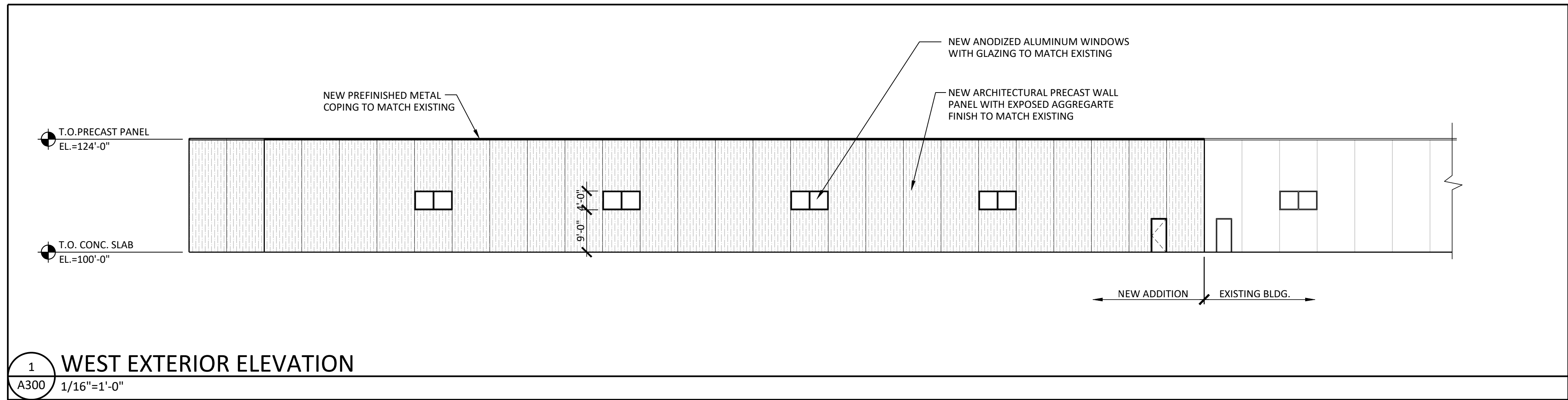
ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

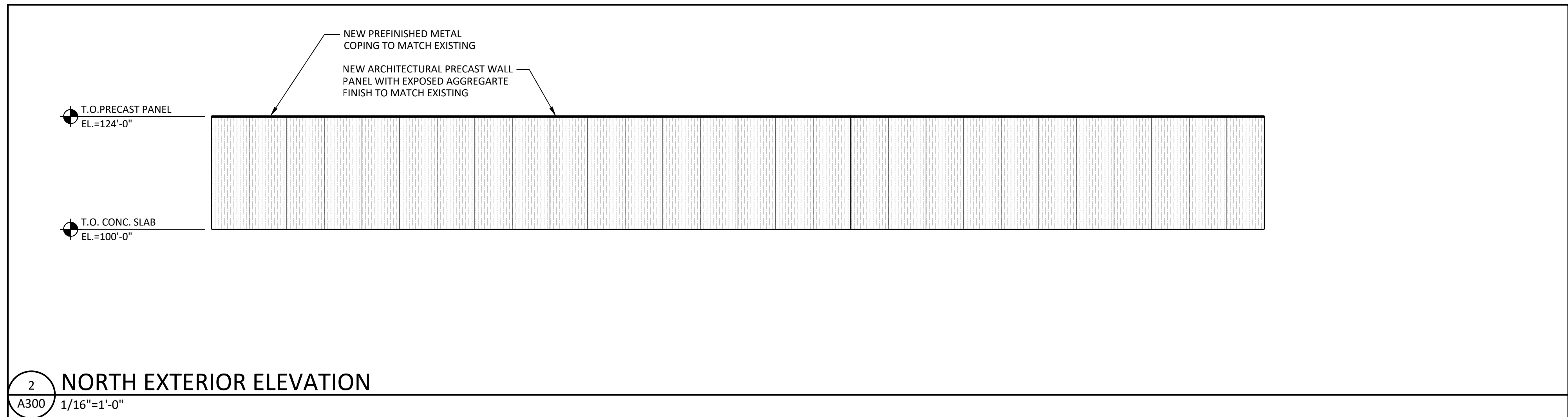
SHEET TITLE:
**OVERALL
FLOOR PLAN**

A200

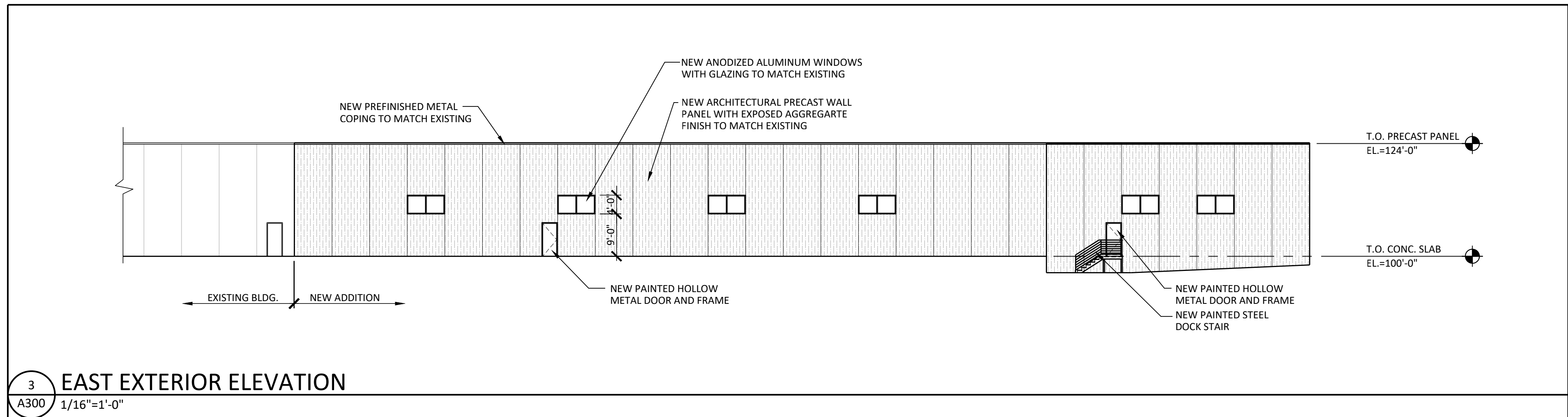




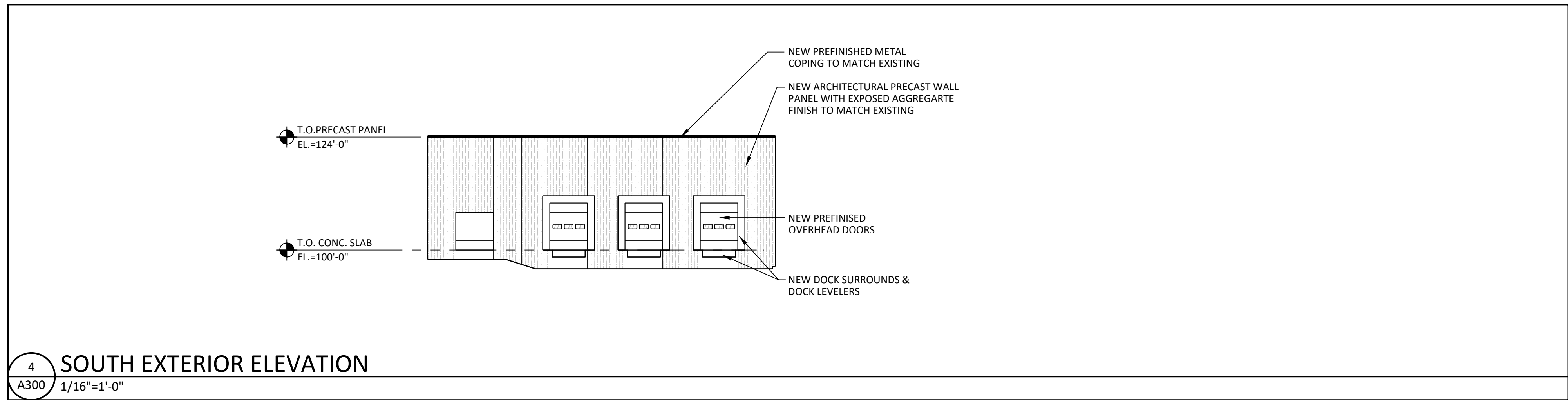
1 WEST EXTERIOR ELEVATION
A300 1/16"=1'-0"



2 NORTH EXTERIOR ELEVATION
A300 1/16"=1'-0"



3 EAST EXTERIOR ELEVATION
A300 1/16"=1'-0"



4 SOUTH EXTERIOR ELEVATION
A300 1/16"=1'-0"

CONSULTANT:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

Typed Name _____
License Number _____ Date _____

PROJECT:

SMARTE CARTE
BUILDING EXPANSION

4455 WHITE BEAR PKWY.
WHITE BEAR LAKE, MN
55110

PROJECT NO.: 20010

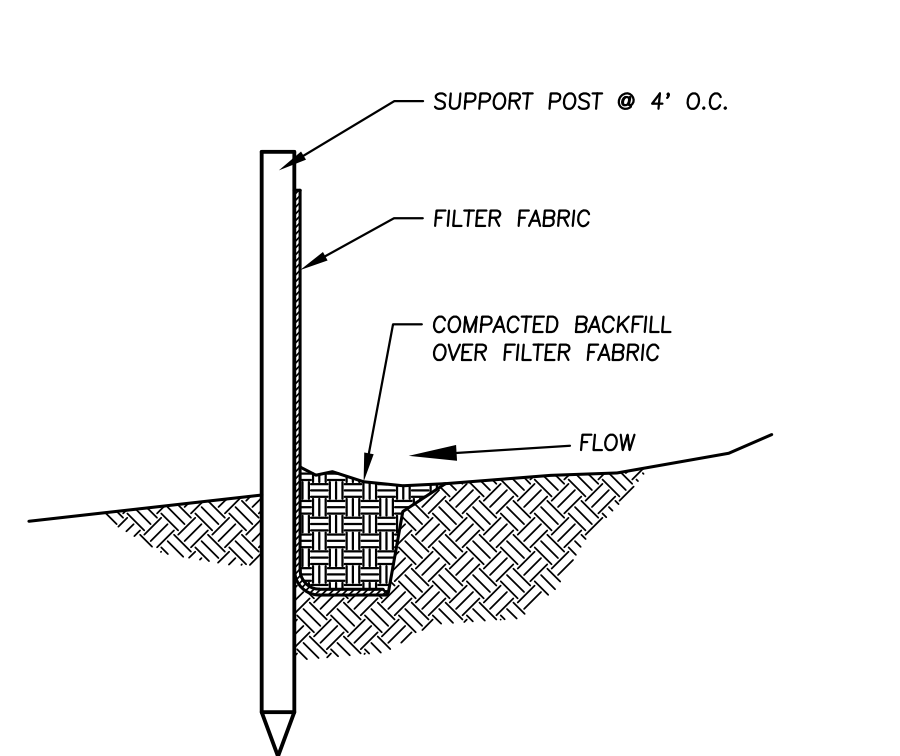
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CHECKED BY: SAW

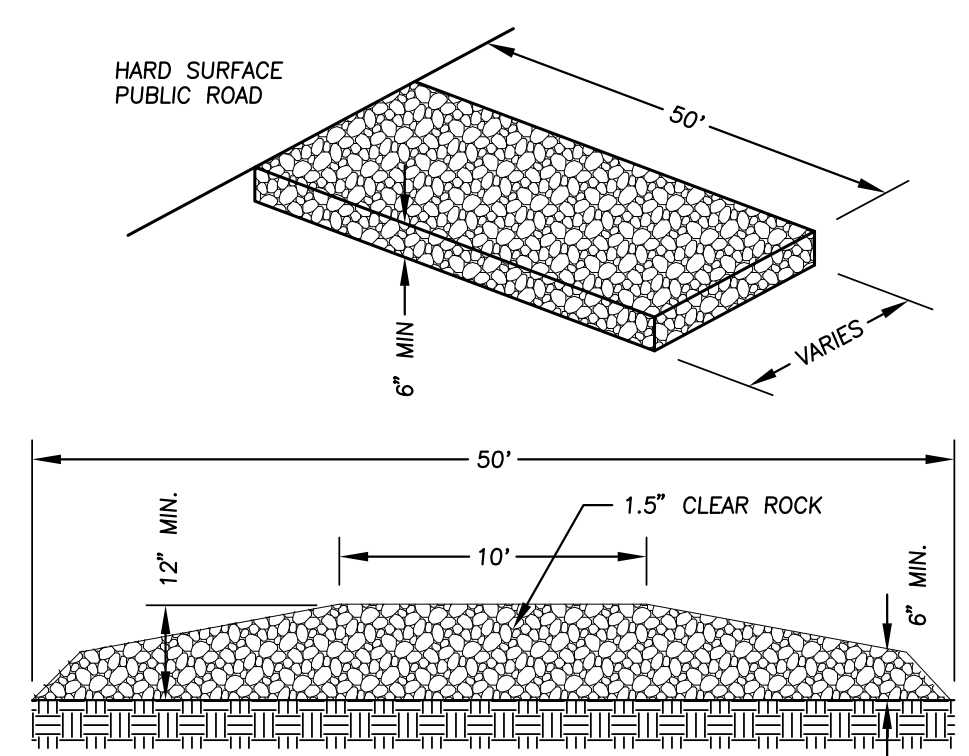
ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

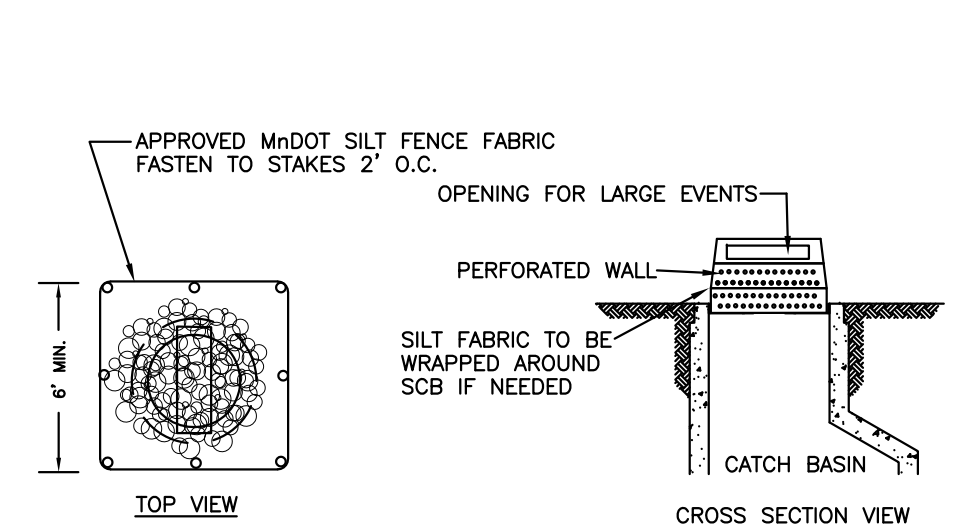
SHEET TITLE:
EXTERIOR ELEVATIONS



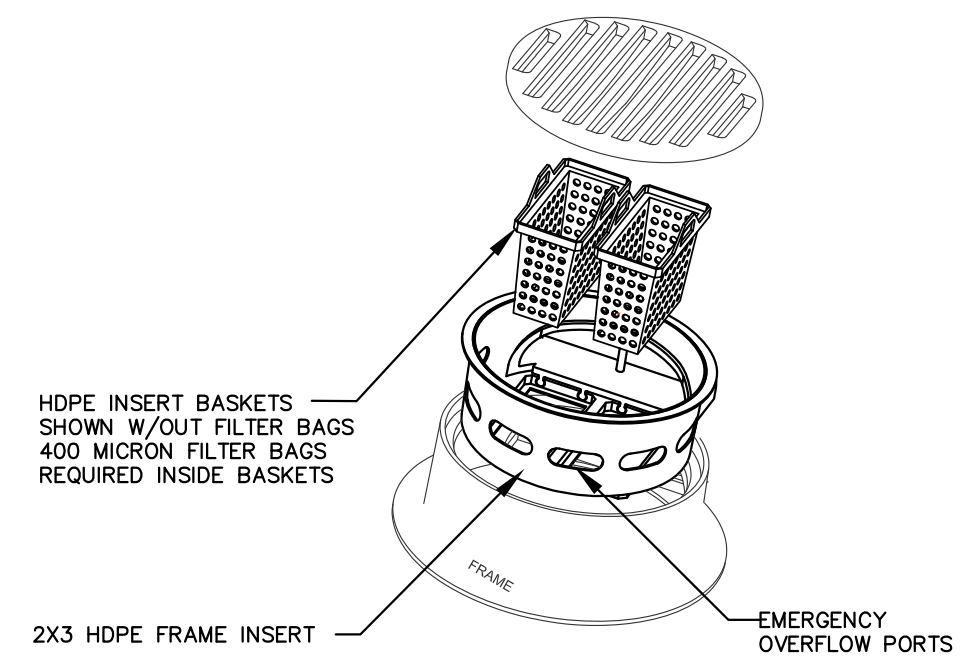
1
C3
SILT FENCE
NO SCALE



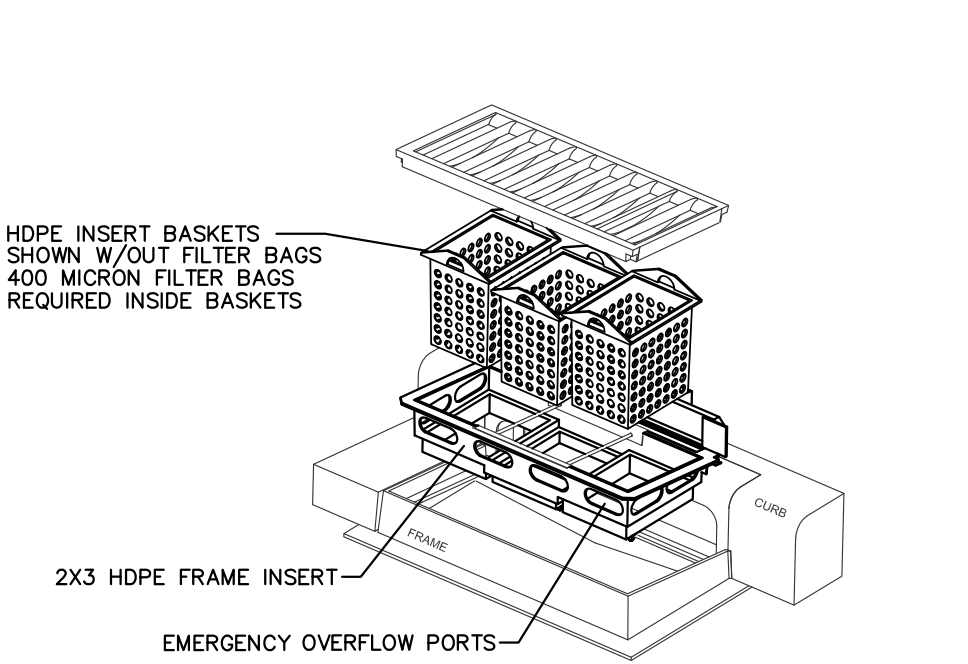
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C3
ROCK CONSTRUCTION ENTRANCE
NO SCALE



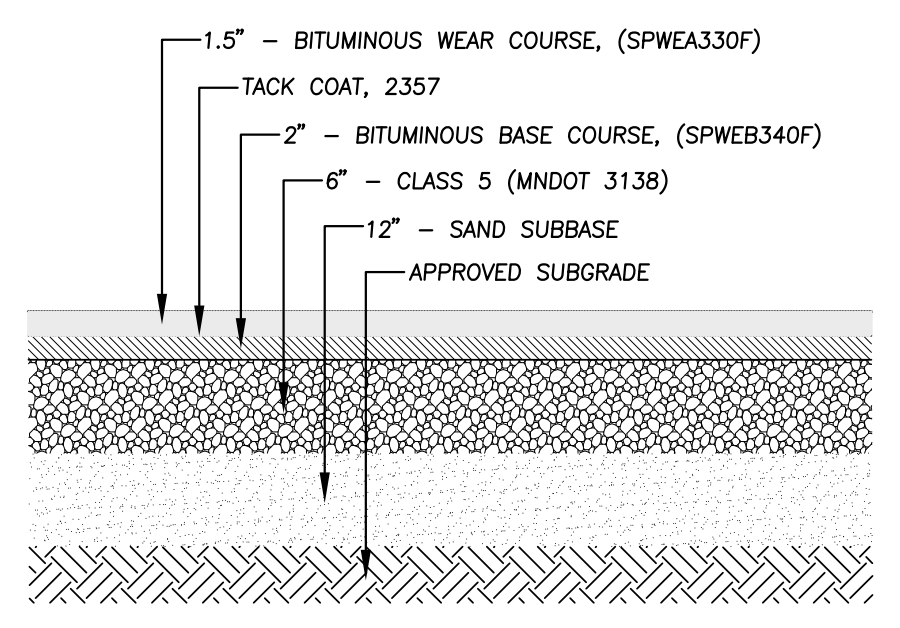
3
C3
INLET PROTECTION (INFRASAFE OR EQUAL)
NO SCALE



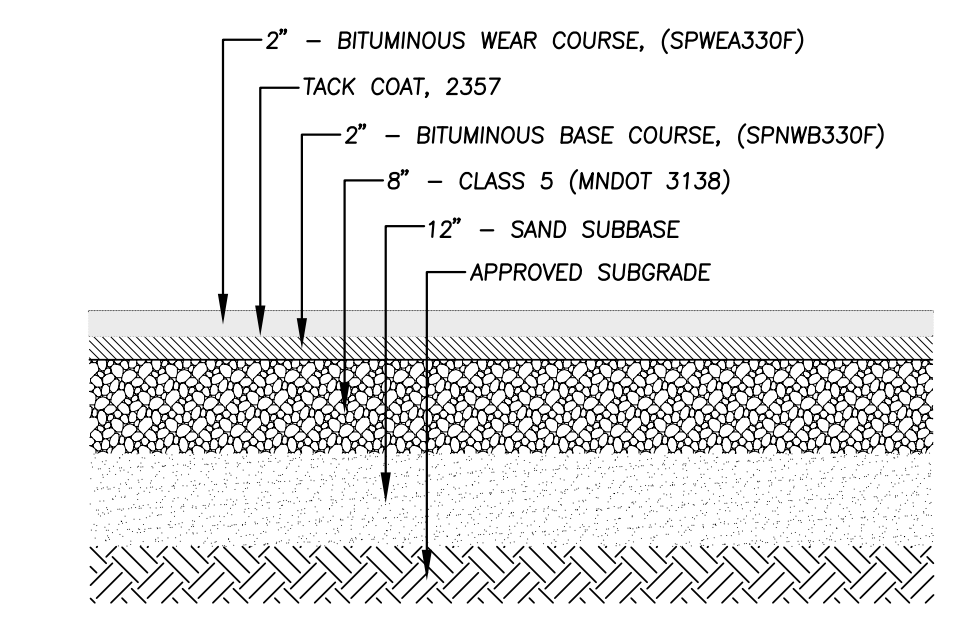
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C3
INLET PROTECTION (INFRASAFE OR EQUAL)
NO SCALE



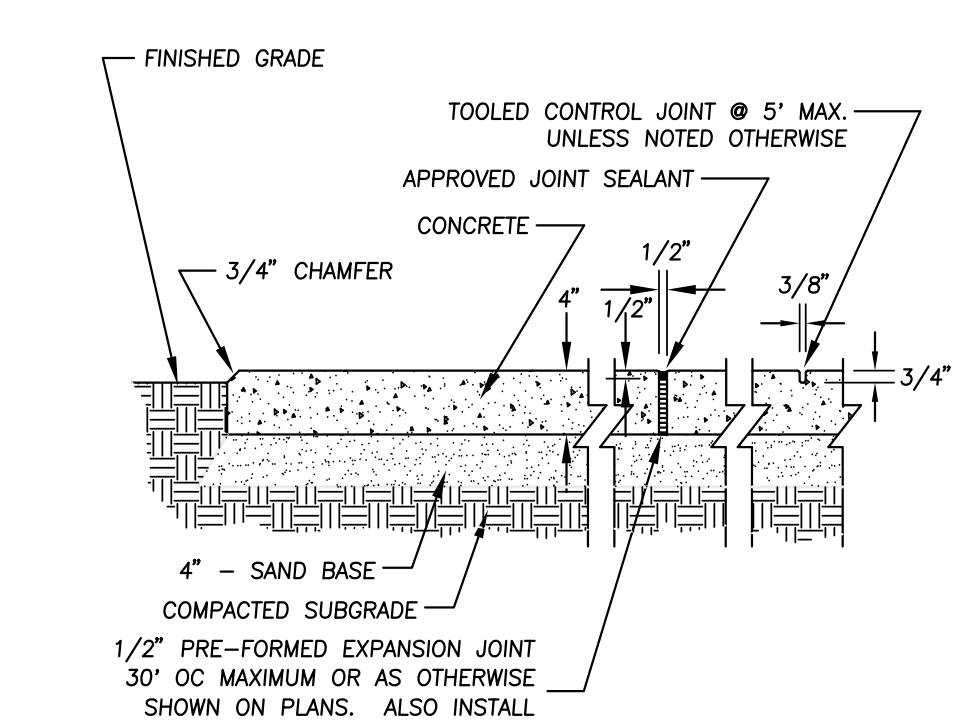
5
C3
B612 CONCRETE CURB & GUTTER
NO SCALE



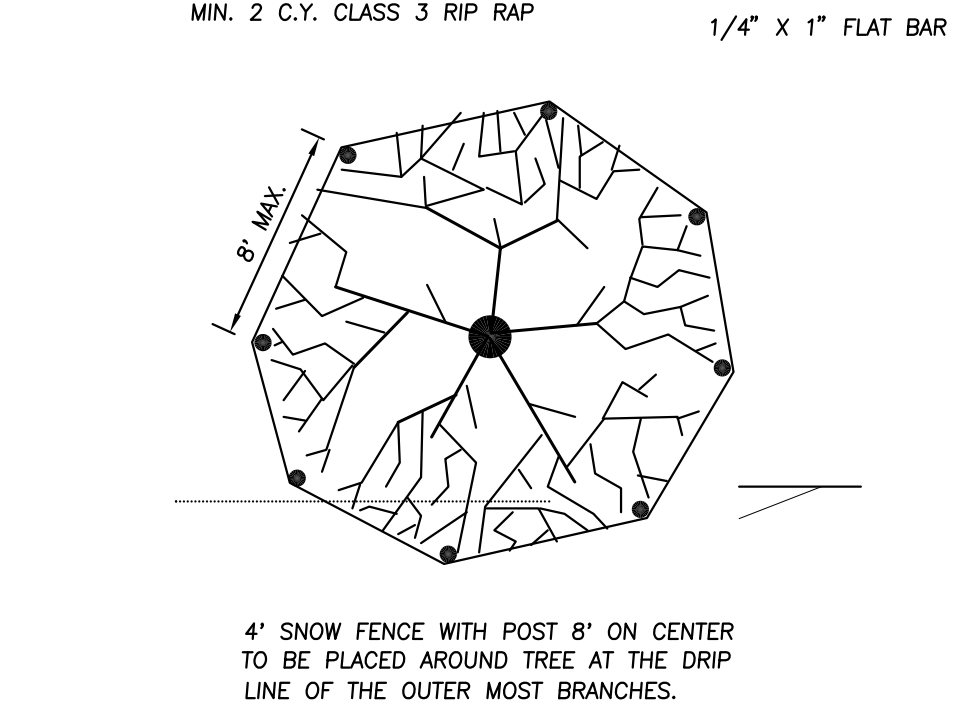
6
C3
LIGHT DUTY PAVEMENT SECTION
NO SCALE



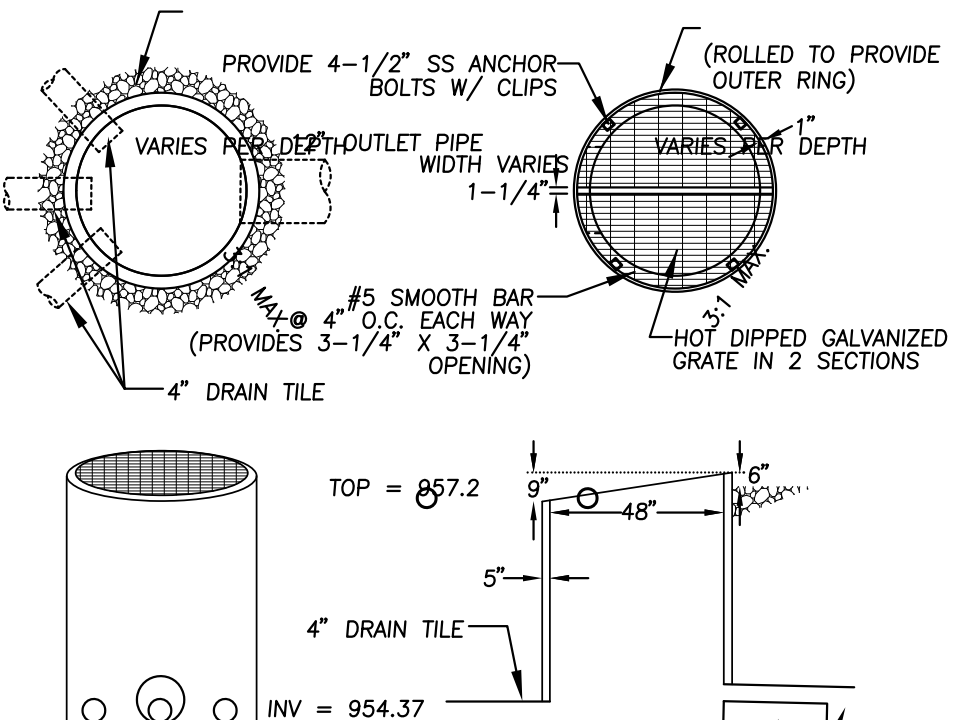
7
C3
HEAVY DUTY PAVEMENT SECTION
NO SCALE



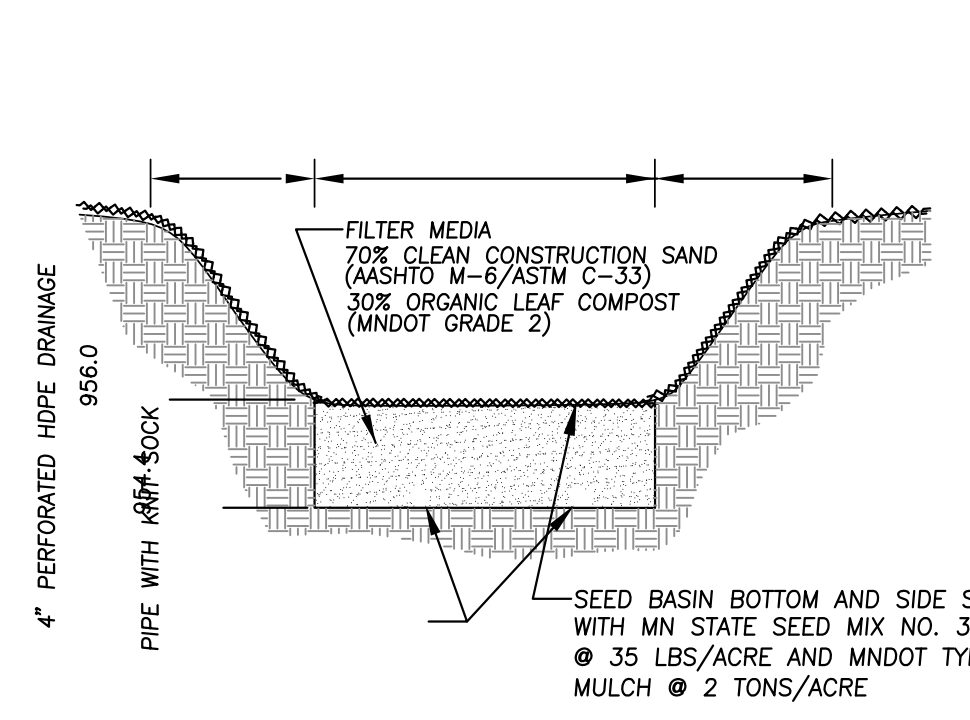
8
C3
CONCRETE SIDEWALK
NO SCALE



9
C3
TREE PROTECTION
NO SCALE



10
C3
CONTROL STRUCTURE
NO SCALE



11
C3
BIOFILTRATION BASIN CROSS SECTION
NO SCALE

RAIN GUARDIAN TURRET PRETREATMENT CHAMBER BIORETENTION PONDING DEPTH: 1' TYPICAL DETAIL

PLAN VIEW

ELEVATION VIEW

3D VIEWS

CROSS-SECTION VIEW NOTES

SPECIFICATIONS

INSTALLATION NOTES

MANUFACTURED BY: FORTERRA

ANOKA CONSERVATION DISTRICT

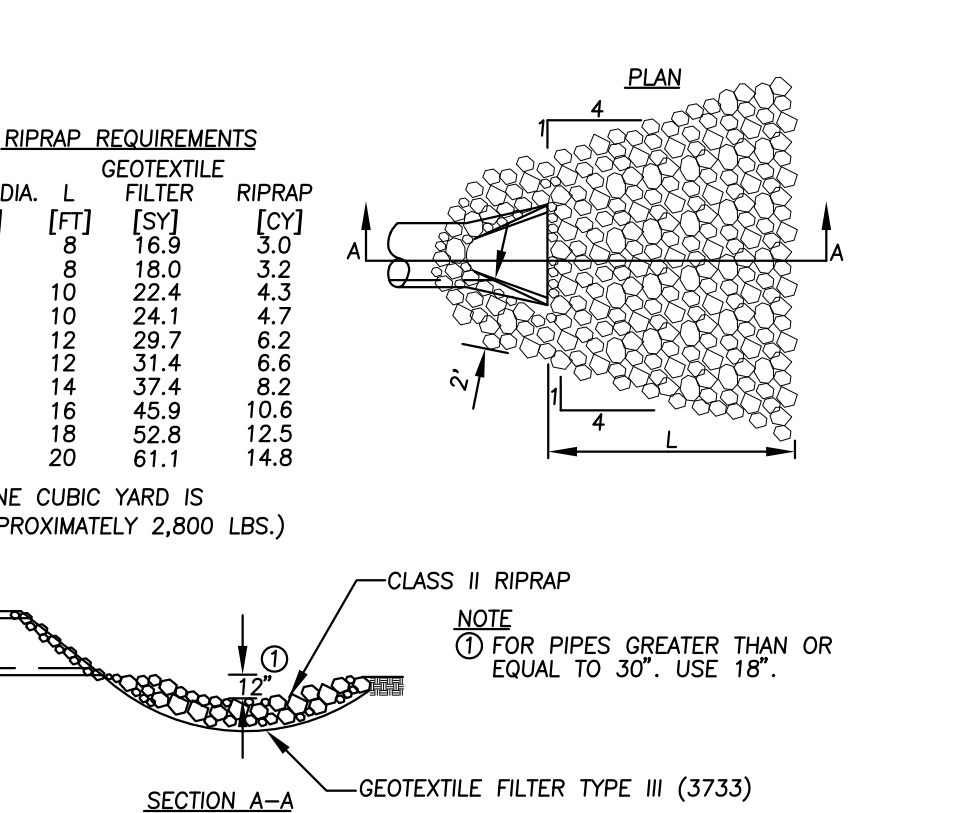
REVISION HISTORY

SCALE: AS SHOWN

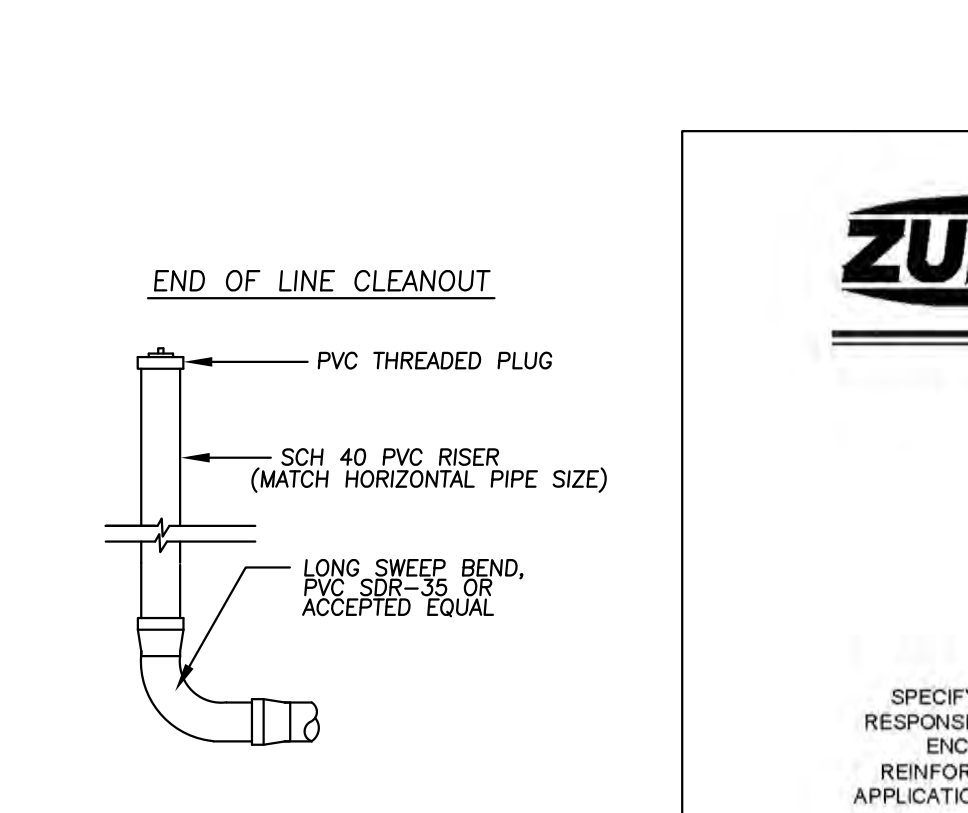
DATE: 05/05/11

C.N. NO. 121232

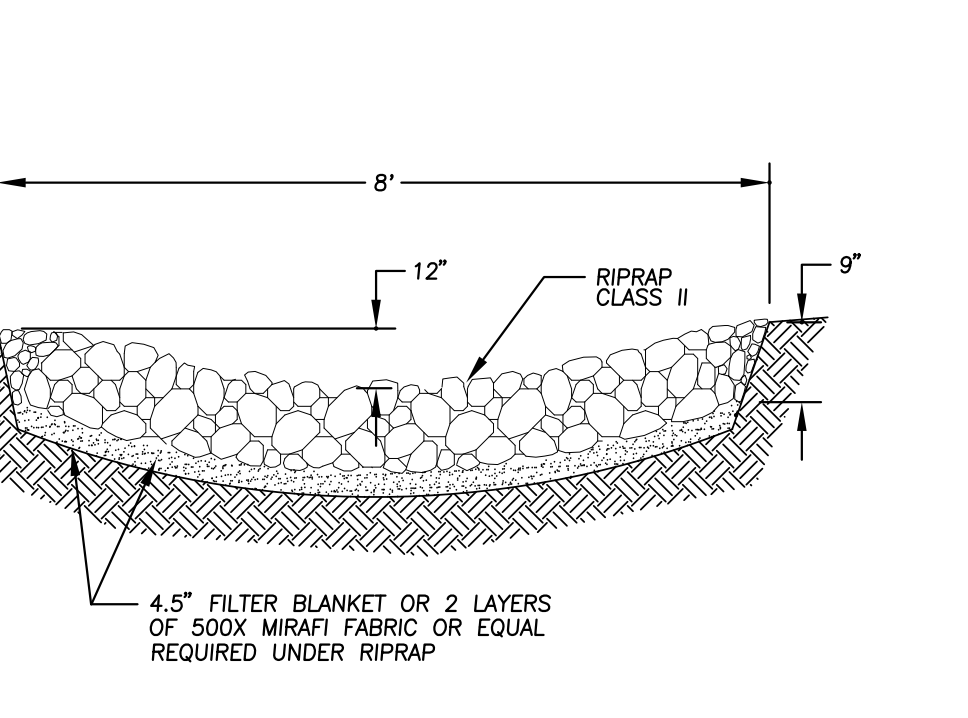
12
C3
RAIN GUARDIAN - TURRET MODEL
NO SCALE



13
C3
RIPRAP DETAIL
NO SCALE



14
C3
STORM SEWER CLEANOUT
NO SCALE



15
C3
POND OVERFLOW
NO SCALE

ZURN 2874-18 18[457] WIDE THROAT TRENCH DRAIN SYSTEM TAG

SPECIFICATION SHEET

ENGINEERING SPECIFICATION Zurn Z874-18

Channel Specifications Table:

Trench	'A'	'B'	Flow (lps)	Flow (cfs)
1801P	10.250 [260]	11.082 [281]	3056	193
1802P	11.914 [303]	11.914 [303]	3909	228
1803P	11.914 [303]	12.748 [324]	4132	261
1804P	12.748 [324]	13.578 [345]	4685	296
1805P	13.578 [345]	14.410 [366]	5247	331
1806P	14.410 [366]	15.242 [387]	5816	367
1807P	15.242 [387]	16.074 [408]	6392	403
1808P	16.074 [408]	16.908 [429]	6973	440
1809P	16.908 [429]	17.738 [451]	7559	477
1810P	17.738 [451]	18.570 [472]	8148	514
1811P	18.570 [472]	19.402 [493]	8743	552
1812P	19.402 [493]	20.234 [514]	9344	589
1813P	20.234 [514]	21.066 [535]	9949	627
1814P	21.066 [535]	21.898 [556]	10547	665
1815P	21.898 [556]	22.730 [577]	11147	703
1816P	22.730 [577]	23.562 [598]	11753	741
1817P	23.562 [598]	24.394 [620]	12362	780
1818P	24.394 [620]	25.226 [641]	12972	818
1819P	25.226 [641]	26.058 [662]	13584	857
1820P	26.058 [662]	26.890 [683]	14198	896
1821P	26.890 [683]	27.722 [704]	14812	934
1822P	27.722 [704]	28.554 [725]	15428	973
1823P	28.554 [725]	29.386 [746]	16045	1012
1824P	29.386 [746]	30.218 [767]	16663	1051
1825P	30.218 [767]	31.050 [788]	17282	1090
1826P	31.050 [788]	31.882 [809]	17901	1129
1827P	31.882 [809]	32.714 [831]	18522	1168
1828P	32.714 [831]	33.546 [852]	19143	1208
1829P	33.546 [852]	34.378 [873]	19765	1247
1830P	34.378 [873]	35.210 [894]	20388	1286

SUFFIX OPTIONS

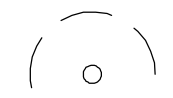
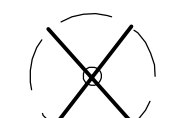
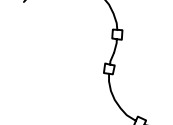
GRATE OPTIONS

MADE IN THE U.S.A. MISCELLANEOUS OPTIONS

REV. F DATE: 05/05/11 C.N. NO. 121232

DWG. NO. 64386 PRODUCT NO. Z874-18

Landscape Symbols Legend:

-  Existing Significant Tree To Remain
-  Existing Significant Tree To Be Removed
-  Tree Protection Fence

PROTECT EXISTING TREES TO REMAIN



General Notes:

1. See Civil Engineer's plans for grading layout and requirements
2. Contractor to coordinate all work in the city right-of-way with City of White Bear Lake Public Works Department.
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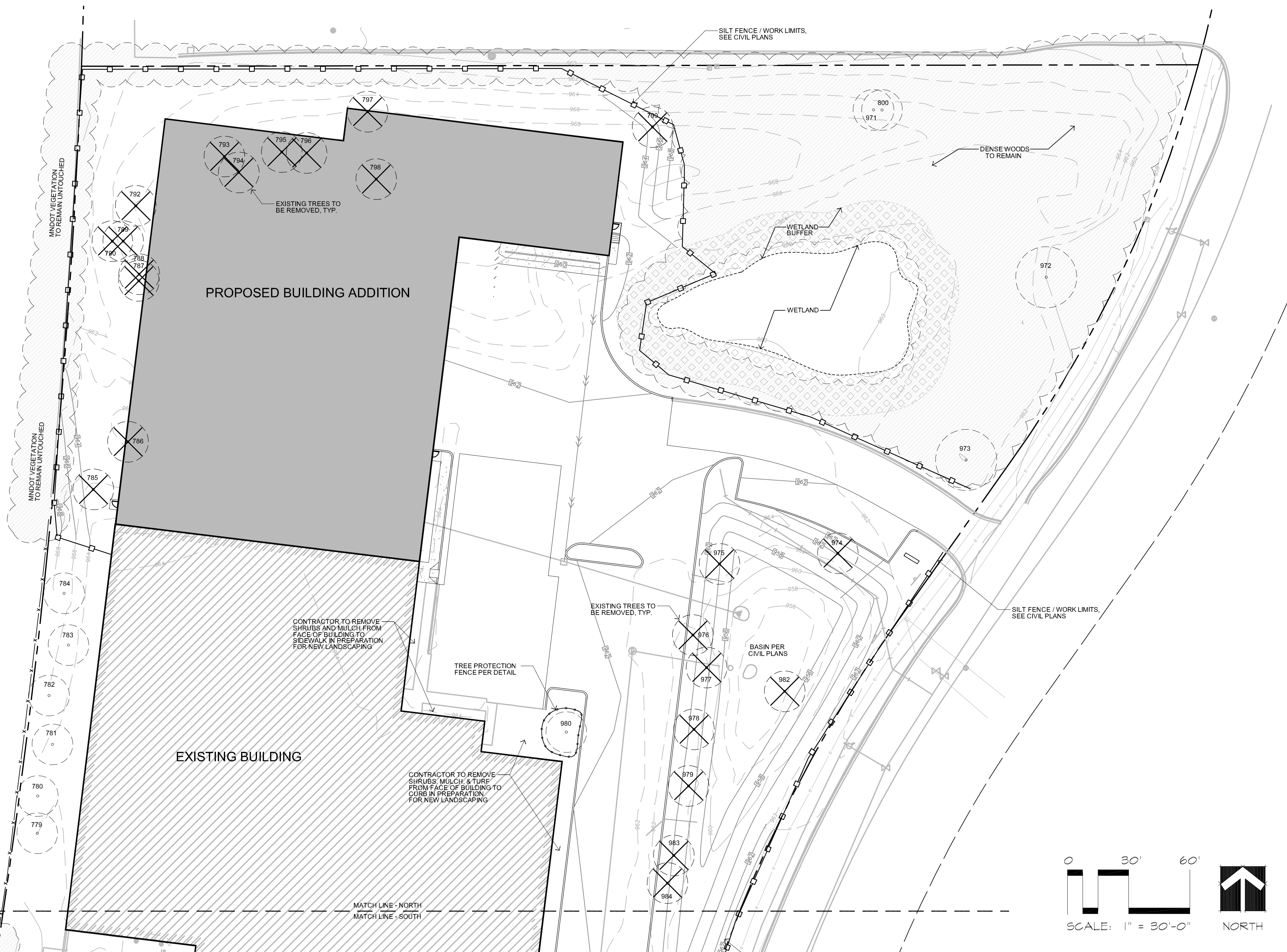
Municipal Tree Mitigation Requirements:

Total Significant Tree Inches On-Site (B):	590
Total Premium Inches Removed (A1):	194
Total Secondary Inches Removed (A2):	149
Total Premium Replacement Inches Required (D)*:	84.84
Total Secondary Replacement Inches Required (D)**:	10.01
Total Replacement Inches Required:	95
Non-Significant Inches to Remain Credit***:	200+
Total Replacement Inches Owed:	0

* $(A1/B) \times C1 \times A1 = D$ (194/590) x 1.33 x 194 = 84.84
 ** $(A2/B) \times C2 \times A2 = D$ (149/590) x .266 x 149 = 10.01

A1 = Total caliper inches of significant premium trees lost as a result of land alteration
 A2 = Total caliper inches of significant secondary trees lost as a result of land alteration
 B = Total caliper inches of significant trees situated on the land
 C1 = Tree replacement constant, premium tree (1.33)
 C2 = Tree replacement constant, secondary tree (.266)
 D = Replacement Trees (number of caliper inches)

***Non-Significant Tree Inches to Remain: An existing densely wooded area is located in the NE corner of the site. Approximately 100+ non-significant trees to remain are located in this area. Averaging the trees at 2" DBH each, an estimated 200+ inches are located in this area to be used as credit. The wooded area is a mix of hardwoods and softwoods.



TREE PRESERVATION PLAN NORTH:

Tree ID	Type	Inches	Significant and Health	Premium or Secondary	Removal	Condition
763	BLUE SPRUCE	12	Y	Premium	N	Good
764	GREEN ASH	21	N	N/A	N	EAB
765	BLUE SPRUCE	12	Y	Premium	N	Fair
766	BLUE SPRUCE	12	Y	Premium	N	Fair
767	GREEN ASH	23	N	N/A	N	EAB
768	BLUE SPRUCE	14	Y	Premium	N	Fair
769	GREEN ASH	18	N	N/A	N	EAB
770	PONDEROSA PINE	14	Y	Premium	N	Good
771	PONDEROSA PINE	11	Y	Premium	N	Good
772	GREEN ASH	16	N	N/A	N	EAB
773	GREEN ASH	17	N	N/A	N	EAB
774	GREEN ASH	18	N	N/A	N	EAB
775	PONDEROSA PINE	10	N	N/A	N	Poor
776	PONDEROSA PINE	10	Y	Premium	Y	Fair
777	GREEN ASH	15	N	N/A	N	EAB
778	BLUE SPRUCE	12	Y	Premium	N	Good
779	BLACK HILLS SPRUCE	10	N	N/A	N	Poor
780	BLACK HILLS SPRUCE	15	Y	Premium	N	Fair
781	BLACK HILLS SPRUCE	15	Y	Premium	N	Fair
782	BLACK HILLS SPRUCE	12	Y	Premium	N	Good
783	BLACK HILLS SPRUCE	12	Y	Premium	N	Good
784	BLACK HILLS SPRUCE	13	Y	Premium	N	Fair
785	GREEN ASH	13	N	N/A	Y	EAB
786	GREEN ASH	20	N	N/A	Y	EAB
787	COTTONWOOD	9	Y	Secondary	Y	Good
788	COTTONWOOD	12	Y	Secondary	Y	Good
789	COTTONWOOD	14	Y	Secondary	Y	Good
790	COTTONWOOD	9	Y	Secondary	Y	Fair
791	COTTONWOOD	8	Y	Secondary	Y	Fair
792	BLACK WALNUT	8	Y	Premium	Y	Good
793	COTTONWOOD	17	Y	Secondary	Y	Good
794	COTTONWOOD	24	Y	Secondary	Y	Good
795	COTTONWOOD	18	Y	Secondary	Y	Good
796	COTTONWOOD	18	Y	Secondary	Y	Fair
797	SCOTCH PINE	8	Y	Premium	Y	Fair
798	COTTONWOOD	20	Y	Secondary	Y	Good
799	SCOTCH PINE	8	N	N/A	Y	Good
800	COTTONWOOD	12	Y	Secondary	N	Fair
971	COTTONWOOD	9	Y	Secondary	N	Fair
972	SCOTCH PINE	8	Y	Premium	N	Good
973	PIN OAK	23	Y	Premium	N	Good
974	BLACK HILLS SPRUCE	16	Y	Premium	Y	Good
975	BLACK HILLS SPRUCE	10	Y	Premium	Y	Fair
976	PIN OAK	16	N	N/A	Y	EAB
977	BLUE SPRUCE	16	Y	Premium	Y	Fair
978	RED MAPLE	14	Y	Premium	Y	Good
979	NORWAY MAPLE	17	Y	Premium	Y	Good
980	HONEYLOCUST	13	Y	Premium	N	Good
981	CRABAPPLE	10	Y	Premium	Y	Good
982	BLACK WALNUT	8	Y	Premium	Y	Fair
983	BLUE SPRUCE	16	Y	Premium	Y	Good
984	BLUE SPRUCE	8	Y	Premium	Y	Good
985	BLUE SPRUCE	16	Y	Premium	Y	Good
986	CRABAPPLE	8	Y	Premium	Y	Good
987	PIN OAK	16	Y	Premium	Y	Good
988	PIN OAK	10	Y	Premium	N	Good
989	PIN OAK	13	Y	Premium	Y	Good
990	HONEYLOCUST	10	Y	Premium	N	Good
991	HONEYLOCUST	8	Y	Premium	N	Good

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly licensed professional in the state of Minnesota.

 Registration Number _____ Date _____

PROJECT: _____

smartecarte
4455 White Bear Parkway
WHITE BEAR LAKE,
MINNESOTA 55110

SMARTE CARTE
FACILITY EXPANSION

PROJECT NO.: 22145

DRAWN BY: HL



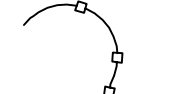
CHECKED BY: BH

ISSUES AND REVISIONS:
 CUP AMENDMENT 10.17.2022

SHEET TITLE:
**Tree Preservation
 Plan - North**

L1

Landscape Symbols Legend:

-  Existing Significant Tree To Remain
-  Existing Significant Tree To Be Removed
-  Tree Protection Fence

PROTECT EXISTING TREES TO REMAIN



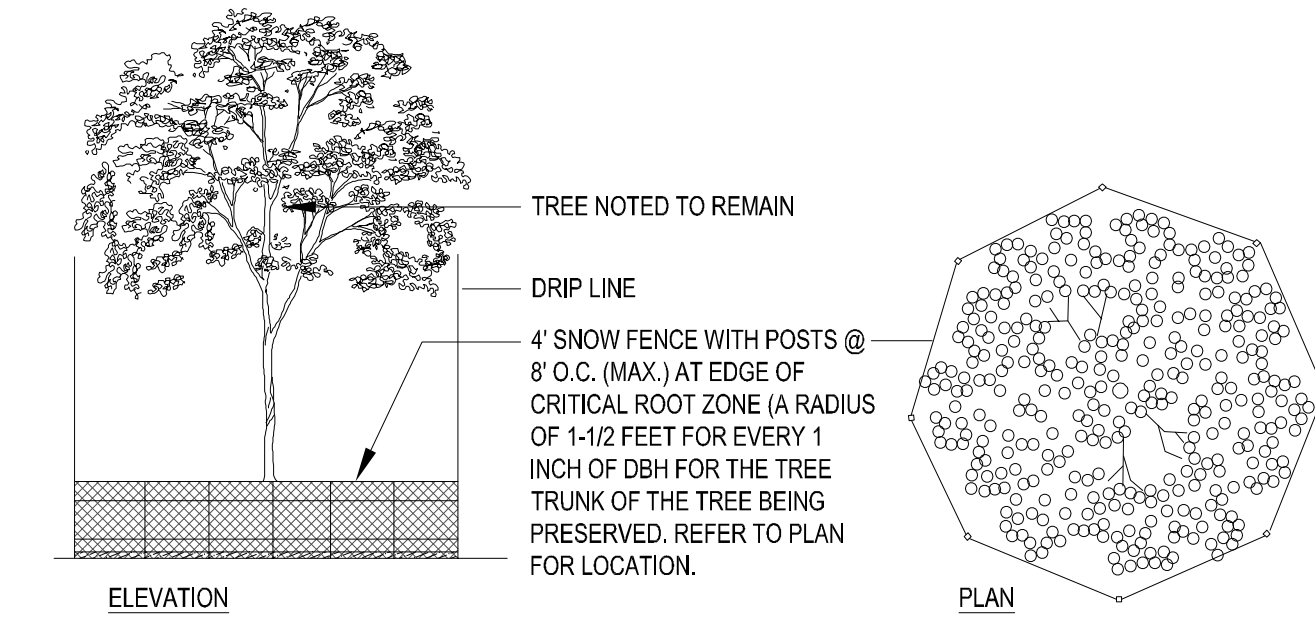
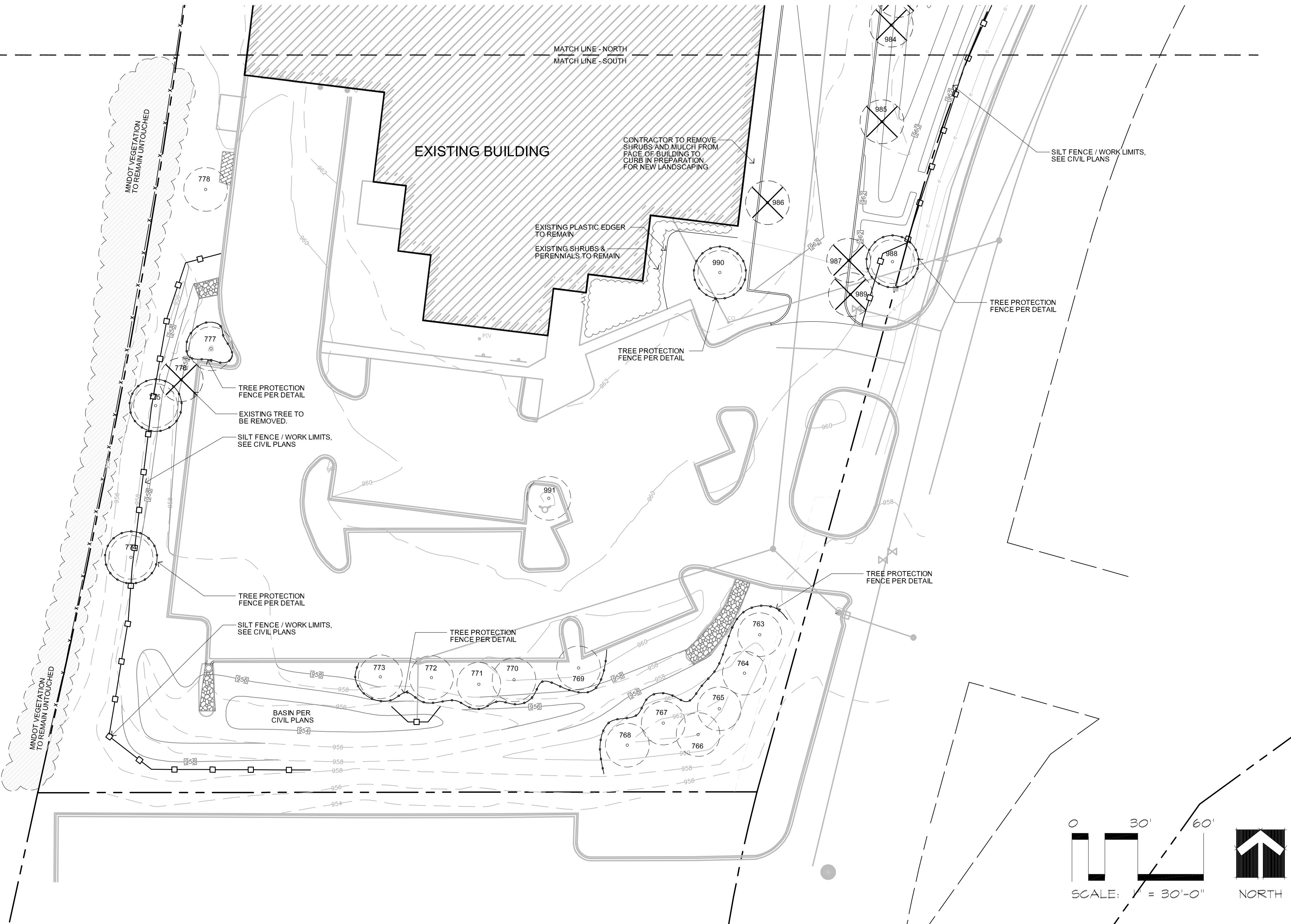
General Notes:

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2. Contractor to coordinate all work in the city right-of-way with City of White Bear Lake Public Works Department.
3. Sod all disturbed areas except plant beds and maintenance strips.
4. Install tree mulch ring on new trees planted in turf areas.
5. Protect existing trees noted to remain.
6. All existing utilities must be verified.
7. Refer to Sheet L5 for Landscape Details & Notes.

Tree Preservation Notes:

Existing boundary, location, topographic, vegetation, and utility information shown on this plan is from a field survey by E.G. Rud & Sons.

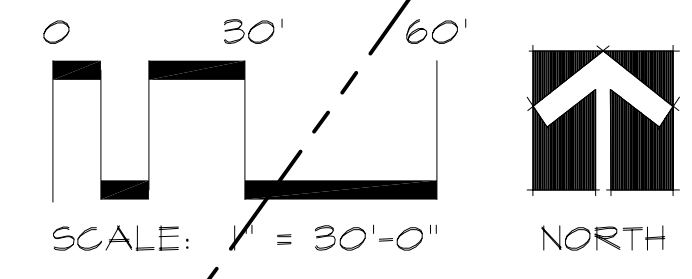
- Do not begin tree clearing work until tree protection measures are in place and to the permit approval of the City Forester has been granted.
- **Critical Root Zone:** Install high density polyethylene safety fence, 4 ft. high, international orange, at the Drip Line or at the Critical Root Zone whichever is greater, of trees to be preserved per detail, prior to commencement of earthwork activity. Field-staking of the fence location(s) subject to City approval.
- Where silt fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the silt fence, double-staked at the break-point.
- Refer to Tree Protection Detail 1, Sheet L2.
- The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
- Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
- Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
- Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in strict accordance with all applicable laws, regulations, and/or statutes.
- Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
- This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the drip line of existing trees to remain. Be aware of overhead branches for clearance of material and equipment.
- This plan is not a guarantee that existing trees will survive during/post construction, but rather a guide to help assure their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve ecologists, foresters and arborists.
- Notify the Owner's Representative when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible
- Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AIDE IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

1
L2 EXISTING TREE PROTECTION DETAIL
NOT TO SCALE



TREE PRESERVATION PLAN SOUTH:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the state of Minnesota.
D. Hartberg, P.E.
Registration Number: _____ Date: _____

PROJECT:

smartecarte
4455 White Bear Parkway
WHITE BEAR LAKE,
MINNESOTA 55110


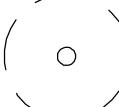

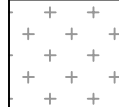
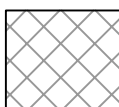
SMARTE CARTE
FACILITY EXPANSION

PROJECT NO.: 22145
DRAWN BY: HL
CHECKED BY: BH
ISSUES AND REVISIONS:
CUP AMENDMENT 10.17.2022

SHEET TITLE:
Tree Preservation
Plan - South

L2

Landscape Symbols Legend:

-  New Kentucky Bluegrass Sod
-  Existing Overstory Tree
-  New Shade Tolerant Fescue Sod Per Landscape Note #33
-  New Rock Mulch
-  Basin Seed & Erosion Control Per Civil Plans

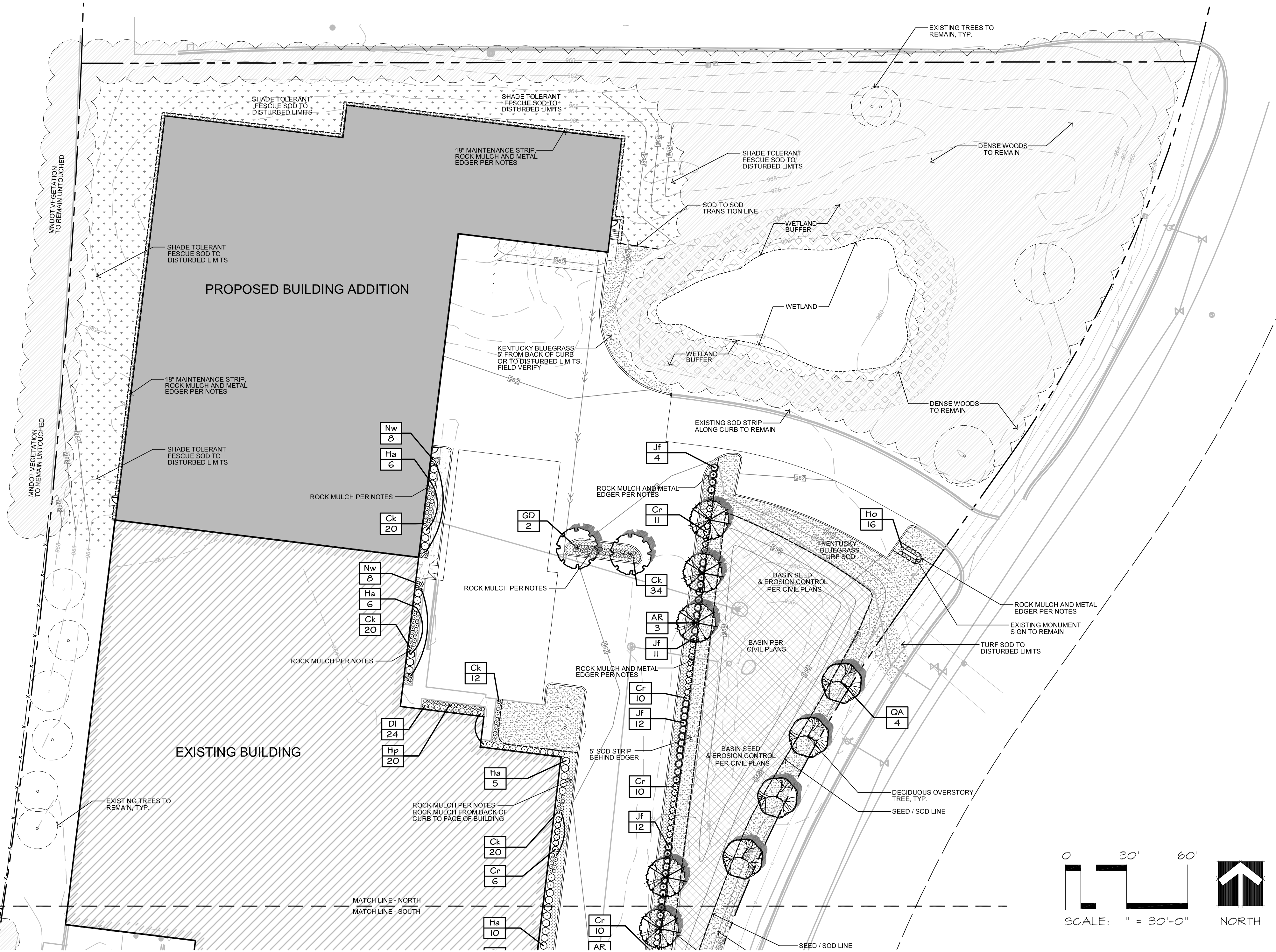
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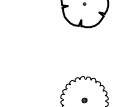
Landscape & Screening Requirements:

Parking Lot Islands:	
(1) deciduous overstory tree per 144 sq ft.	
New Parking Lot Islands:	(1 island) at 261.45 sq ft
Deciduous Overstory Trees Required:	2 deciduous overstory trees
Parking Lot Screening from Public ROW:	
(1) 2.5" caliper tree per 25 linear ft. of frontage	
(1) 18"-60" tall shrub per 3 linear ft. of frontage	
New Parking Lot Frontage along Public ROW:	315 linear ft
2.5" cal. Trees Required:	13 trees
Shrubs Required:	105 shrubs

PROTECT EXISTING TREES TO REMAIN



PLANT SCHEDULE

CONIFERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PD	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	8' Ht.	B&B	3
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AR	<i>Acer rubrum</i>	Red Maple	2.5" Cal.	B&B	6
	GD	<i>Gleditsia triacanthos inermis</i> 'Draves' TM	Street Keeper Honey Locust	2.5" Cal.	B&B	2
	QA	<i>Quercus alba</i>	White Oak	2.5" Cal.	B&B	4
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cr	<i>Cornus alba</i> 'Regnzam'	Red Gnome Dogwood	5 gal.	Pot	67
	DI	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	3 gal.	Pot	24
	Ha	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	32
	Jf	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	Pot	50
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ho	<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	16
	Hp	<i>Heuchera micrantha</i> 'Palace Purple'	Palace Purple Coral Bells	1 gal.	Pot	20
	Nw	<i>Nepeta x faassenii</i> 'Walkers Low'	Walkers Low Catmint	1 gal.	Pot	16
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ck	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	126

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Minnesota.

D. Hartberg, P.E.
Registration Number: _____ Date: _____

PROJECT:

smartecarte

4455 White Bear Parkway
WHITE BEAR LAKE,
MINNESOTA 55110

SMARTE CARTE
FACILITY EXPANSION

PROJECT NO.: 22145

DRAWN BY: HL

CHECKED BY: BH

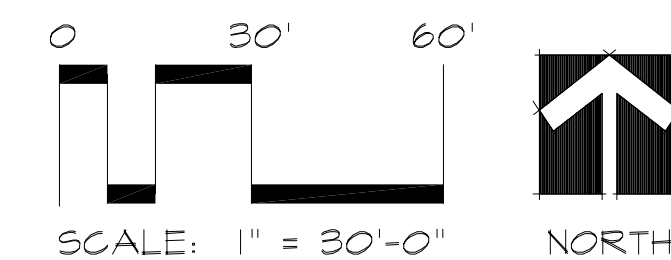
ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

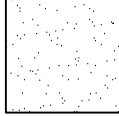
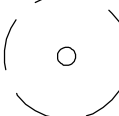

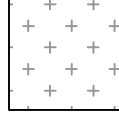
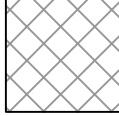
SHEET TITLE:
Landscape Plan
North

L3

LANDSCAPE PLAN NORTH:



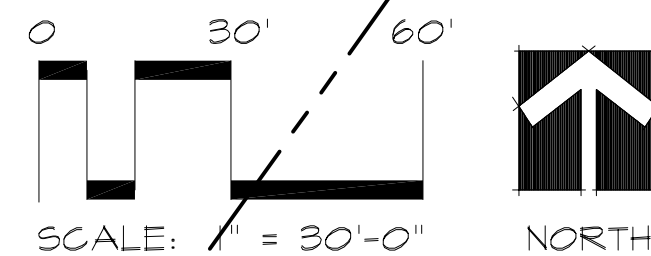
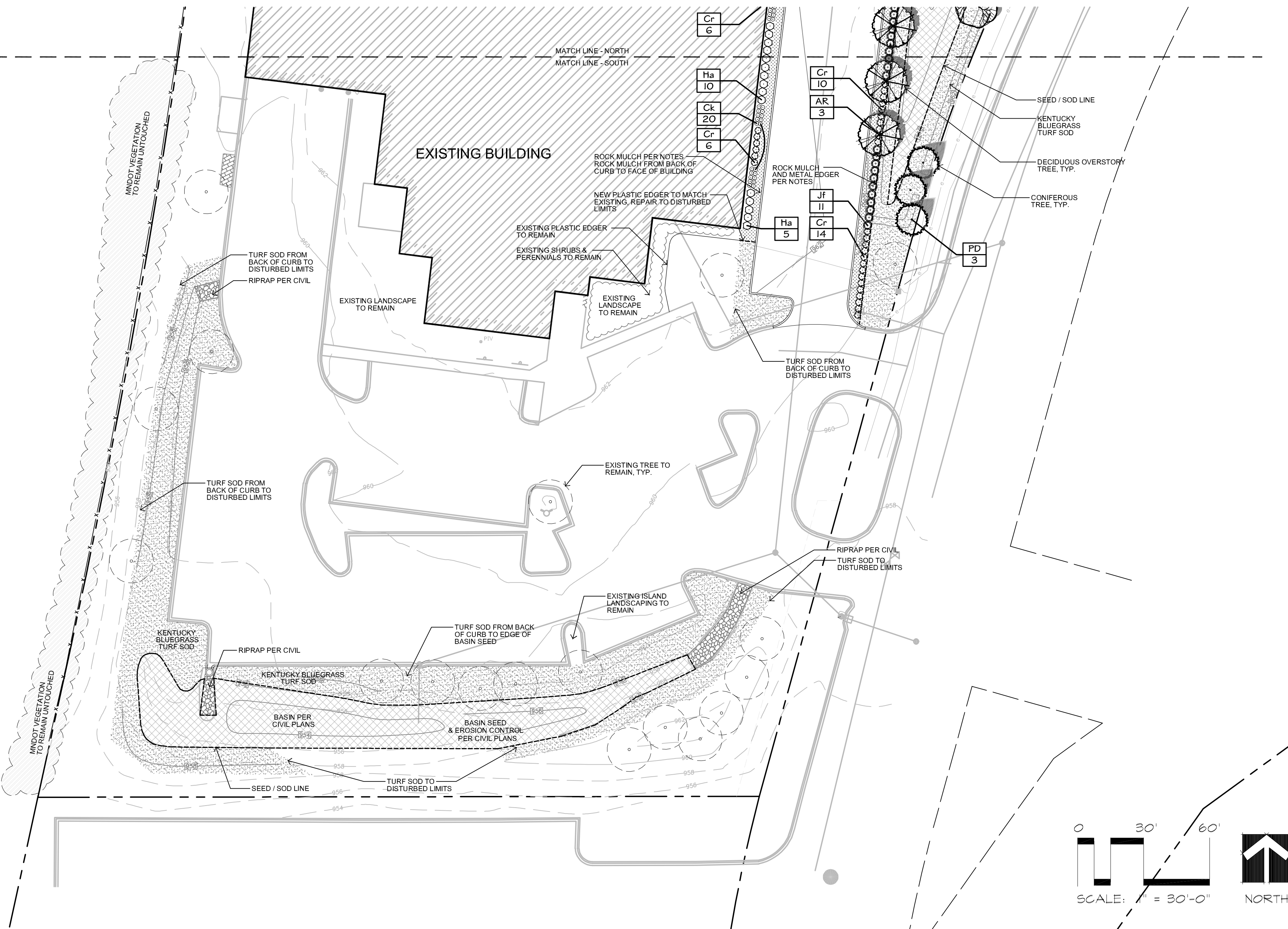
Landscape Symbols Legend:

-  New Kentucky Bluegrass Sod
-  Existing Overstory Tree
-  New Shade Tolerant Fescue Sod Per Landscape Note #33
-  New Rock Mulch
-  Basin Seed & Erosion Control Per Civil Plans

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7. Refer to Sheet L5 for Landscape Details & Notes.

PROTECT EXISTING TREES TO REMAIN



LANDSCAPE PLAN SOUTH:

I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision and under my direct supervision I am a duly Licensed Professional in the state of Minnesota.

D. Hartberg, PLA
Registration Number _____ Date _____

PROJECT:

smartecarte
4455 White Bear Parkway
WHITE BEAR LAKE,
MINNESOTA 55110

SMARTE CARTE
FACILITY EXPANSION

PROJECT NO.: 22145

DRAWN BY: HL

CHECKED BY: BH

ISSUES AND REVISIONS:

CUP AMENDMENT 10.17.2022

SHEET TITLE:
Landscape Plan
South

L4

Landscape Notes & Requirements:

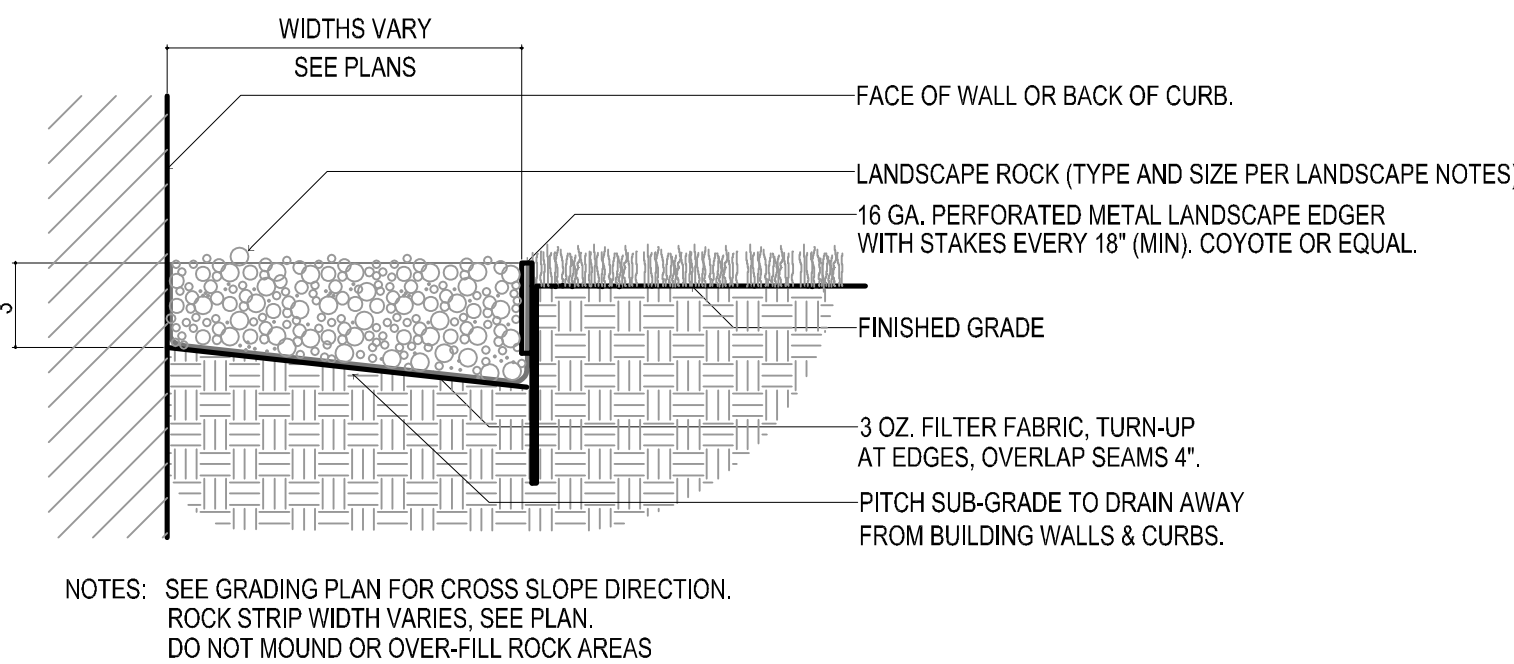
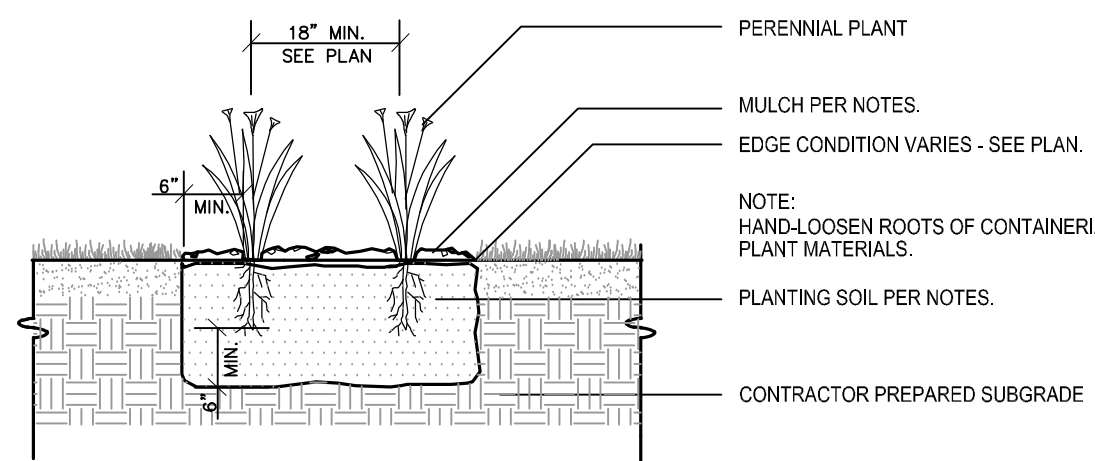
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag clippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date punch list review. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation: An existing irrigation system serves this site, extent unknown. Repair, modify, and extend the irrigation system to include the newly landscaped areas shown. The landscape contractor shall furnish a complete irrigation layout plan for review. Design for head-to-head coverage of all landscaped areas. Include underground sleeve locations, irrigation connection location within the building, and locations of all heads, lateral lines, main lines, valves, & controls. Include a wired rain sensor per state plumbing code.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Mulch: All trees located outside of plant bed limits to receive Western Red Cedar wood mulch to a depth of 4-inches. Wood mulch tree rings per details. Submit mulch sample for Owner approval. Top dress wood mulch areas with Preen pre-emergent granule to prevent emergent weeds. Unless otherwise noted, all plant beds to receive 3/4" to 1" diameter River Rock mulch to a depth of 4 inches to match existing rock mulch on site. Field verify. Rock mulch to be installed over 5oz, needle-punch free-draining landscape mat. Overlap seams 6" and staple every 16" on-center.
- Edger to be 16 GA Plated Finish Perforated Edger, Coyote or Equal. Stake every 18" minimum. Submit sample for approval.
- All planting areas shall be prepared prior to installation activities with clean, imported loam topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Construction materials, stockpiles, equipment, and vehicles shall not be stored or operated on city boulevards without written permission from the city. Restore disturbed areas off-site to original condition.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 29 below.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architect's Plans and Specifications.
- Grind or excavate existing stumps (if present) to 30" below grade & backfill with imported topsoil.
- Landscape Contractor and Excavator shall be responsible for providing 6" depth topsoil under turf areas, 18" depth topsoil in plant beds and 24" in tree pits. See civil engineer's plans for grading, erosion control, and final grade elevations.
- Shade Tolerant Fescue Sod: 'Low Mow Fescue Sod' Available through Central Turf Farms
13655 Lake Drive
Forest Lake, MN 55025
Phone: 651.464.2130
Web: www.centralturf.com

Irrigation Notes & Requirements:

- LAYOUT WORK AS ACCURATELY AS POSSIBLE TO THE CONTRACTOR PROVIDED AND OWNER-APPROVED IRRIGATION LAYOUT PLANS. THE CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO THE LOCATION AND SPACING AS NECESSARY TO ACCOMMODATE ACTUAL CONDITIONS. HEAD LOCATIONS SHALL BE FLAGGED AND REVIEWED BY THE OWNER'S REP. PRIOR TO INSTALLATION.
- COORDINATE SLEEVING AND IRRIGATION PIPE / HEAD / INTERNAL PLUMBING INSTALLATION WITH THE WORK OF OTHERS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED ON DRAWINGS. (HOWEVER, IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS ISSUED BY THE MANUFACTURER. ALL SUCH LITERATURE MUST BE SUBMITTED 2 WEEKS PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.)
- CHECK AND VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- LATERAL PIPING TO BE A MINIMUM OF 12 INCHES DEEP AND MAINLINES A MINIMUM OF 18 INCHES DEEP.
- ALL MAIN LINE PIPING AND LATERAL PIPE OF 1-1/2" AND LARGER SHALL BE PVC (SDR 26 / CLASS 160). ALL OTHER LATERAL PIPE OF 1-1/4" AND SMALLER MAY BE POLYETHYLENE, UNLESS OTHERWISE NOTED ON THE PLANS. BUILDING CONNECTIONS ARE TO BE COPPER. TRACER WIRE IS REQUIRED ON ALL MAIN AND LATERAL LINES. SLEEVE LOCATIONS ARE TO BE MARKED ON THE SIDEWALK OR CURB, SO THEY CAN BE FOUND AFTER FINE GRADING.
- ALL TEES AND ELBOWS ON MAIN LINES SHALL BE PVC (160 PSI).
- IRRIGATION EQUIPMENT SHALL HUNTER, RAINBIRD, OR TORO BRAND HEADS, VALVES, AND ROTORS.
- ADJUST HEADS FOR GRADE, AS NECESSARY, AFTER TURF GRASS HAS BEEN ESTABLISHED AND ALL SETTLEMENT AT HEADS HAS OCCURRED.
- SUBMIT IRRIGATION PRODUCT DATA TO OWNER FOR REVIEW AND APPROVAL.
- USE TEFLON TAPE ON ALL THREADED JOINTS.
- CONDUCT PERFORMANCE TEST IN THE PRESENCE OF OWNER AND ARCHITECT FOLLOWING COMPLETION OF SYSTEM INSTALLATION.
- CONDUCT AND DEMONSTRATE WINTERIZATION AND SPRING START-UP PROCESS TO OWNER IN THE FALL OF COMPLETION.
- IRRIGATION LINE LOCATIONS SUBJECT TO CHANGE IN THE FIELD, AS CONTRACTOR DEEMS NECESSARY.
- OVER-SPRAY OF THE IRRIGATION SYSTEM ON TO ADJACENT WALKS AND ASPHALT PAVING IS NOT ACCEPTABLE. DO NOT INSTALL ANY IRRIGATION EQUIPMENT OUTSIDE OF THIS PROPERTY LIMITS, UNLESS APPROVED BY THE CITY.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COMPLETE IRRIGATION LAYOUT PLAN SET AND SUBMITTING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FIELD INSTALLATION.
- SUBMIT LAYOUT PLAN AND PRODUCT DATA TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION BID SHALL INCLUDE (1) FALL SHUT-DOWN AND (1) SPRING START-UP.
- THIS PROJECT WILL USE HUNTER IRRIGATION PRODUCTS.
- PROVIDE THE OWNER WITH AN AS-BUILT PLAN, INCLUDING THE EXISTING SYSTEM AS WELL AS NEWLY INSTALLED MATERIALS.
- IRRIGATION CONTRACTOR TO VERIFY WATER PRESSURE FOLLOWING CONSTRUCTION OF THE BUILDING UTILITIES. ADJUSTMENT OF PIPE AND VALVE SIZES MAY BE REQUIRED, BASED ON ACTUAL GPM AND PSI AVAILABLE.
- PROVIDE A PRINTED 8.5X11 MAP OF ALL ZONES AFTER NEW CONTROLLER IS WIRED AND TESTED.
- IRRIGATION MECHANICALS TO INCLUDE BOILER DRAIN BEFORE BACKFLOW DEVICE FOR WINTERIZATION.
- IRRIGATION DESIGN TO INCLUDE A QUICK-COUPLE VALVE ON THE MAIN BEFORE THE FIRST VALVE FOR WINTERIZATION.

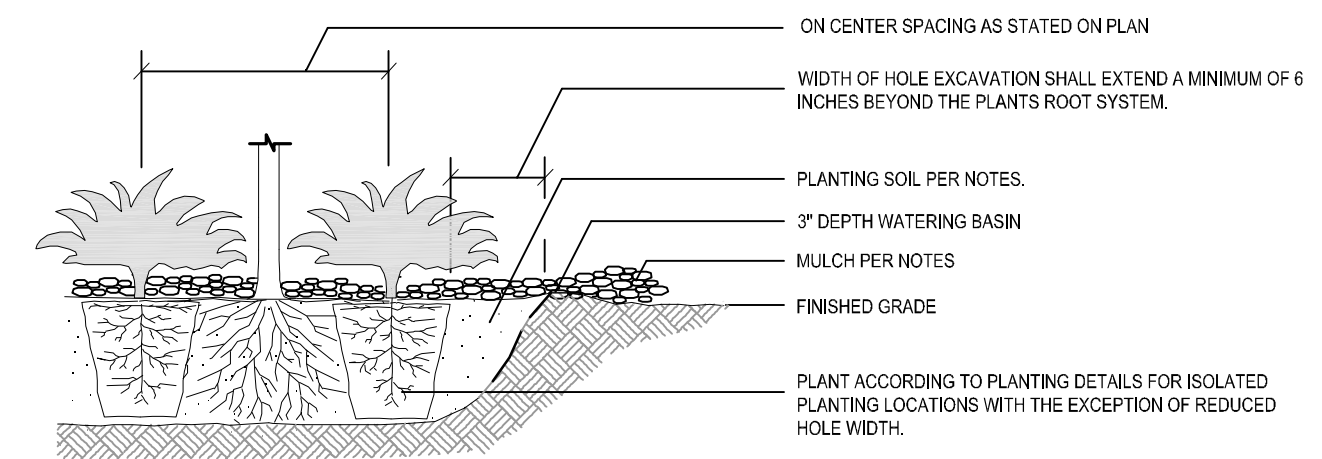
3 TYP. PERENNIAL PLANTING DETAIL

NOT TO SCALE



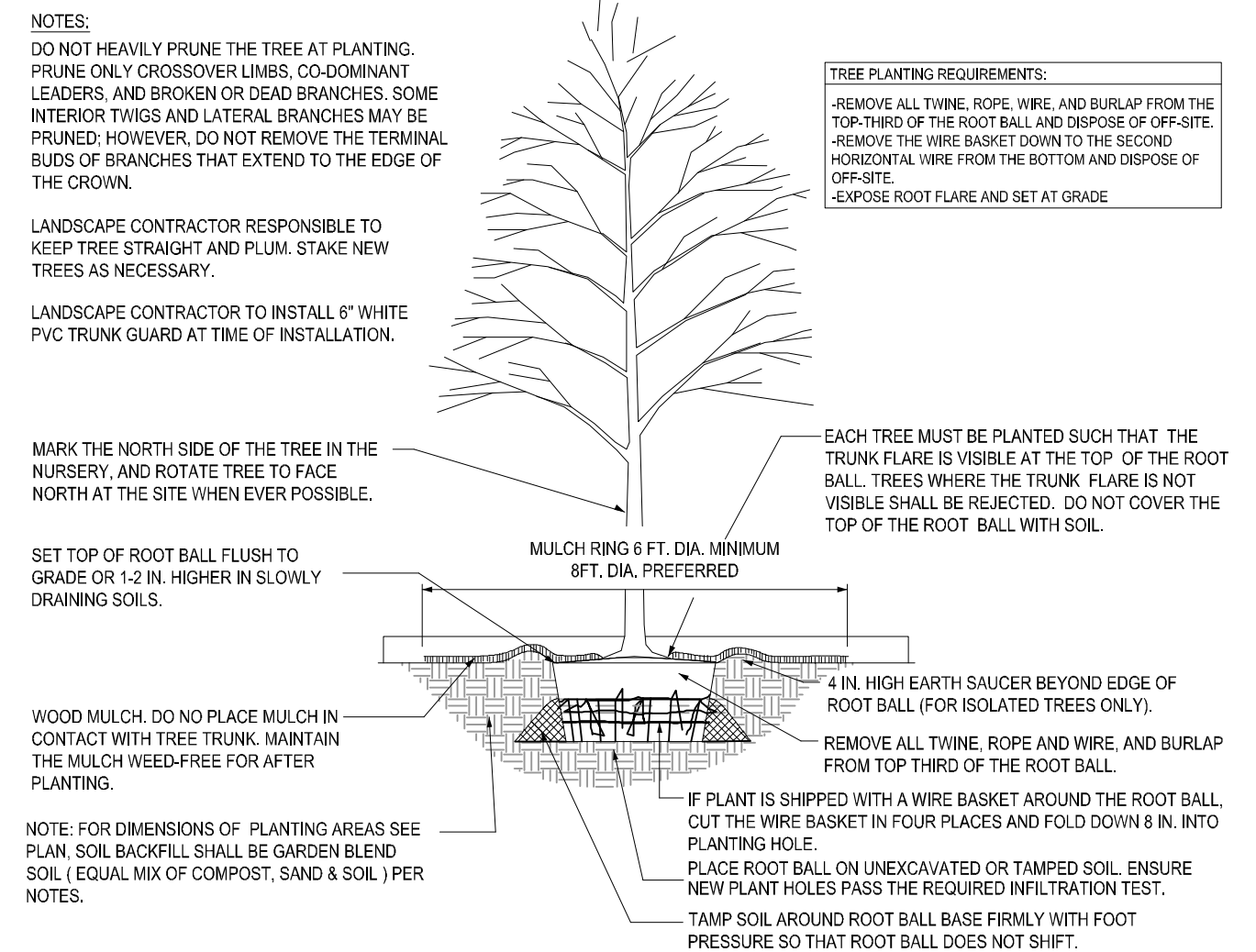
5 ROCK MAINTENANCE STRIP DETAIL

NOT TO SCALE



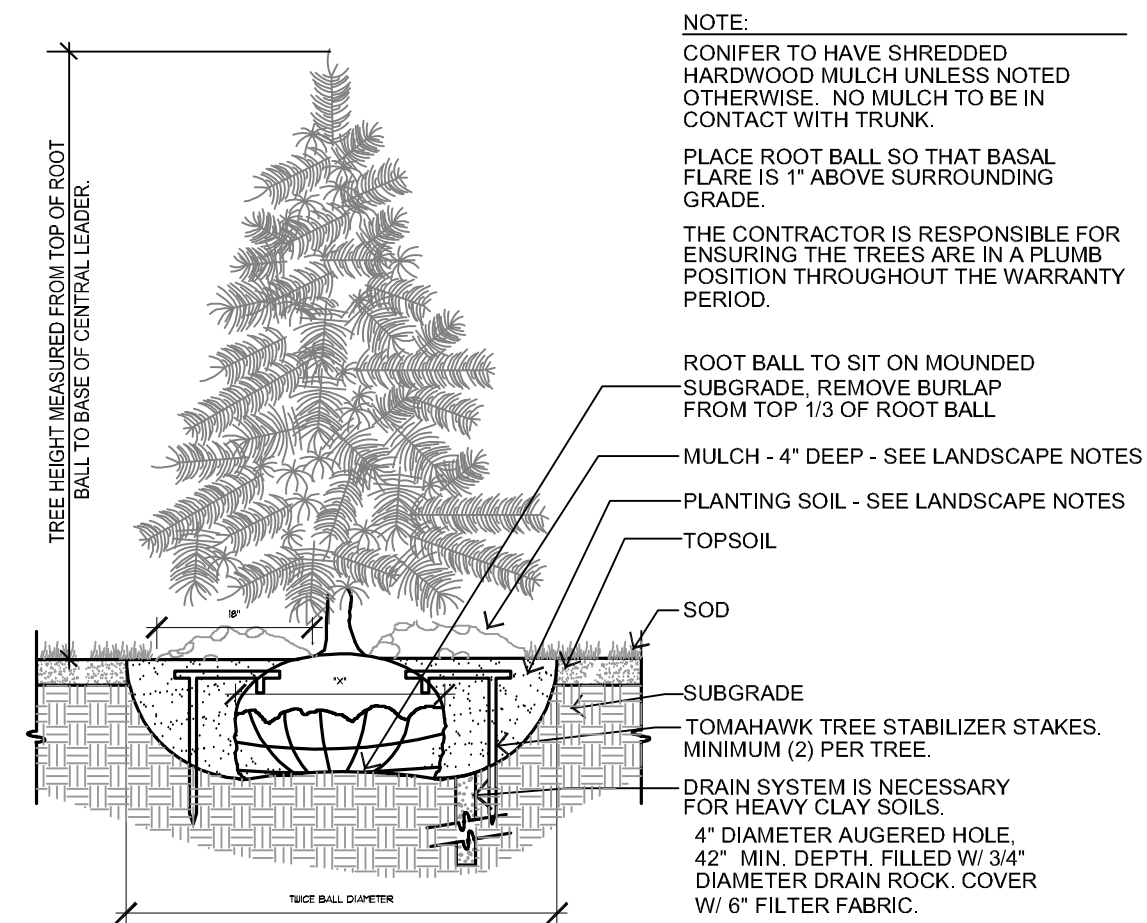
1 TYP. SHRUB PLANTING - SECTION

NOT TO SCALE



2 DECIDUOUS TREE PLANTING - SECTION

NOT TO SCALE



4 CONIFEROUS TREE PLANTING - SECTION

NOT TO SCALE

General Notes:

- See Civil Engineer's plans for grading layout and requirements
- Contractor to coordinate all work in the city right-of-way with City of White Bear Lake Public Works Department.
- Sod all disturbed areas except plant beds and maintenance strips.
- Install tree mulch ring on new trees planted in turf areas.
- Protect existing trees noted to remain.
- All existing utilities must be verified.
- Refer to Sheet L3+L4 for Landscape Layout Plans.



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: November 28, 2022
SUBJECT: Herkenhoff Variance – 2289 Lilac Lane – Case No. 22-19-V

SUMMARY

The applicant, Ben Herkenhoff, is requesting a side yard setback variance and a variance from the average lakeside setback for a deck in order to retain the deck extension constructed last year that sits 1.8 feet from the side and 15.1 feet from the north property line.

Based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of this request.

GENERAL INFORMATION

Applicant/Owner: Ben Herkenhoff

Existing Land Use / Zoning: Single Family; zoned R-3: Single Family Residential & S – Shoreland Overlay District

Surrounding Land Use / Zoning: East, West, and South: Single Family; zoned R-3 Single Family Residential & S – Shoreland Overlay District
 North: White Bear Lake

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,500 sq. ft.; 80 feet
 Site: 14,217 sq. ft.; 80 feet

ANALYSIS

Background

The subject site is located north of Lilac Lane and east of McKnight Road. The property has access to White Bear Lake along the north side of the property, which is divided by South Shore Boulevard. The property contains a single family home with attached garage that accesses Lilac Lane. In 1988, a previous owner of the home was granted two variances to allow a deck in the rear yard to be 3.2 feet from the east side property line and 26.2 feet from the north property line. The approved deck was 18 feet by 16.6 feet, or roughly 300 square feet.

In 2021, the applicant constructed a seven foot extension with a four foot wide staircase on the north end of the deck without obtaining a building permit. A stop work order was written by the Building Department and the homeowner was directed to submit a permit application for review. The permit review process revealed that the extension did not meet code for setbacks, and the homeowner was advised to submit for a variance or remove the deck extension. As stated in the applicant's narrative, the location of existing windows on both the main and lower floor meant the preferred location for the expansion is on the north side rather than to the west.

Community Comment

Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding this request. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with the purposes and intent of the ordinance?

Finding: The purpose of the R-3 zoning district is "to provide for single family detached residential dwelling units... along with directly related and complementary uses". A deck is a common accessory and complementary use to a single family home, so the proposal appears to be in harmony with the purpose of the zoning district.

The intent of the setback requirement is to provide adequate space between residential properties for both privacy and fire protection. The existing home east of the subject site is approximately 15 feet from the shared lot line at the point where the deck begins. Since the neighbor's house angles away from the property line, even with a 1.8 foot setback, the deck does not get closer to the neighboring structure than what already exists. In terms of both the rear and side yard setback, there are numerous trees and shrubs that screen the deck from the neighbor and street side, providing adequate coverage for privacy.

2. Is the variance consistent with the comprehensive plan?

Finding: The proposed variances are not inconsistent with the 2040 Comprehensive Plan. The property is guided for "low density residential", which has a density range of 3 to 9 units per acre. Typical housing includes single family detached. The property is currently right at the low end of the range at 3.1 units per acre. The deck expansion will not impact the density and the property will continue to be residential in character.

3. Does the proposal put the property to use in a reasonable manner?

Finding: The deck expansion puts the subject property to use in a reasonable manner. The deck is not an increase in living space, but does provide an area for the homeowners to recreate outside. For comparison, the code allows detached decks and accessory structures such as gazebos to sit five feet from the rear property line, while patios have no setback at all, so it is reasonable for an attached, unenclosed deck to have a lesser setback than enclosed living space.

4. Are there unique circumstances to the property not created by the landowner?

Finding: The lot has a change in grade, sloping downward from the edge of the home toward South Shore Boulevard, somewhat limiting the usable back yard space. Further, the north side of the property abuts White Bear Lake, so there is open space rather than a neighboring property.

5. Will the variance, if granted, alter the essential character of the locality?

Finding: Granting the requested variance will not alter the essential character of the surrounding neighborhood. The deck has encroached into both the side and rear setback since it was constructed over 30 years ago with no known adverse effects to the surrounding properties. Additionally, given that the R-3 zoning district is the most prolific residential zoning district in the City and the varying ages of the homes, there are setback encroachments of a historic nature throughout.

RECOMMENDATION

Staff recommends approval of the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.

2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained for the deck.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.

Attachments:

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative & Plans (4 pages)

RESOLUTION NO.

**RESOLUTION GRANTING TWO SETBACK VARIANCES
FOR 2289 LILAC LANE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, Ben Herkenhoff has requested a variance from the side yard setback, per code section 1303.050, Subd.5.c.2 and a variance from the lakeside average setback for a deck, per section 1302.040, Subd.4.a.3, in order to expand the existing deck to be 1.8 feet from the east side and 15.1 feet from the lakeside property line at the following location:

LOCATION: 2289 Lilac Lane

LEGAL DESCRIPTION: Lot 6, Block 1, Thomas Lakeridge, Ramsey County, MN. (PID # 243022320021)

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on November 28, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variances will allow the property to be used in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variances alone will not alter the essential character of the neighborhood.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

RESOLUTION NO.

- 3. A building permit shall be obtained for the deck.
- 4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

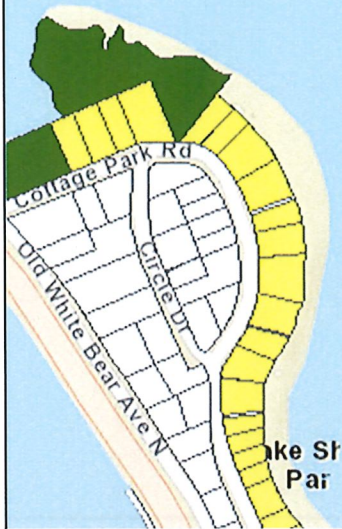
ATTEST:

Caley Longendyke, City Clerk

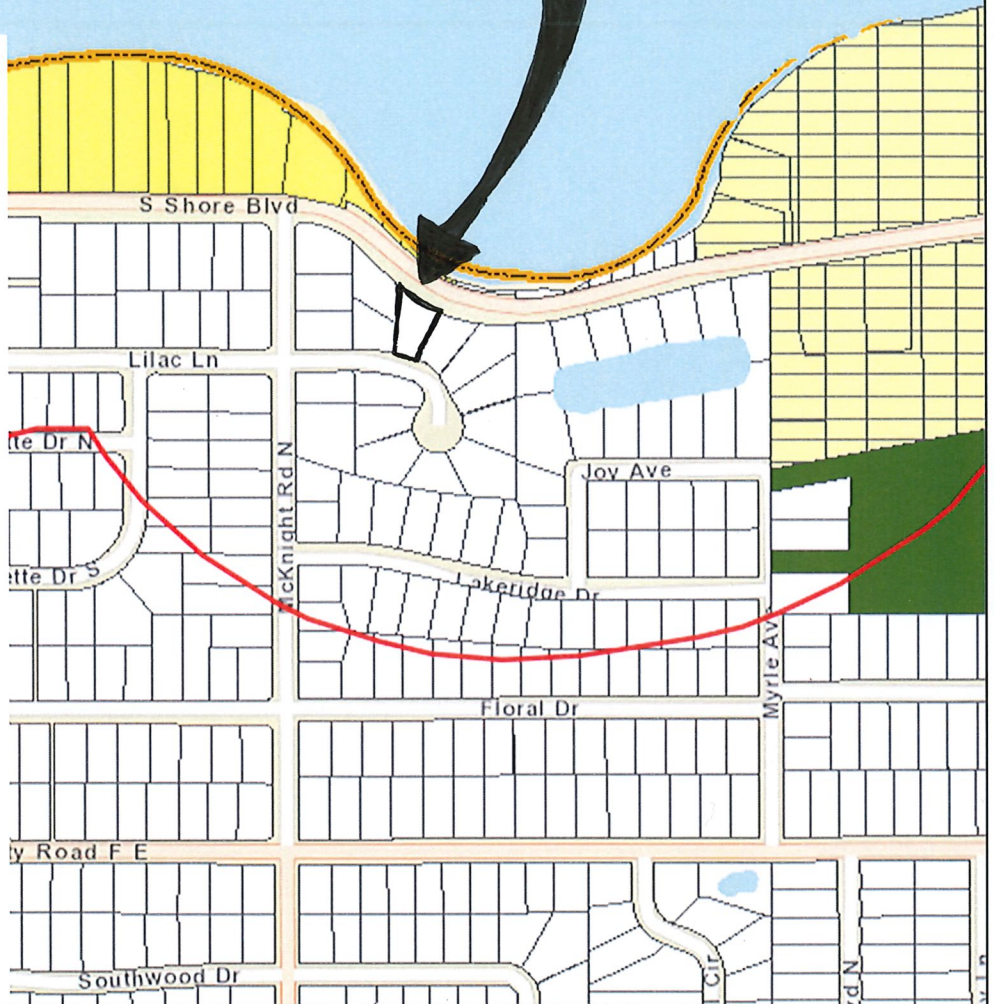
Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



**SUBJECT SITE:
2289 LILAC LANE**



ZONING

- B-1: Neighborhood Business
- B-2: Limited Business
- B-3: Auto Oriented Business
- B-4: General Business
- B-5: Central Business
- BW: Business Warehouse
- DBD: Diversified Business Development
- DCB: Diversified Central Business
- I-1: Limited Industry
- I-2: General Industry
- LVMU: Lake Village Mixed Use
- O: Open Space
- P: Public
- PZ: Performance Zone
- PZR: Performance Zone Residential
- R-2: Single Family Residential
- R-3: Single Family Residential
- R-4: Single Family - Two Family Residential
- R-5: Single Family - Two Family Medium Density Residential
- R-6: Medium Density Residential
- R-7: High Density Residential



City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 22-19-V

CASE NAME : Herkenhoff

DATE : November 28, 2022

To whom it may concern,

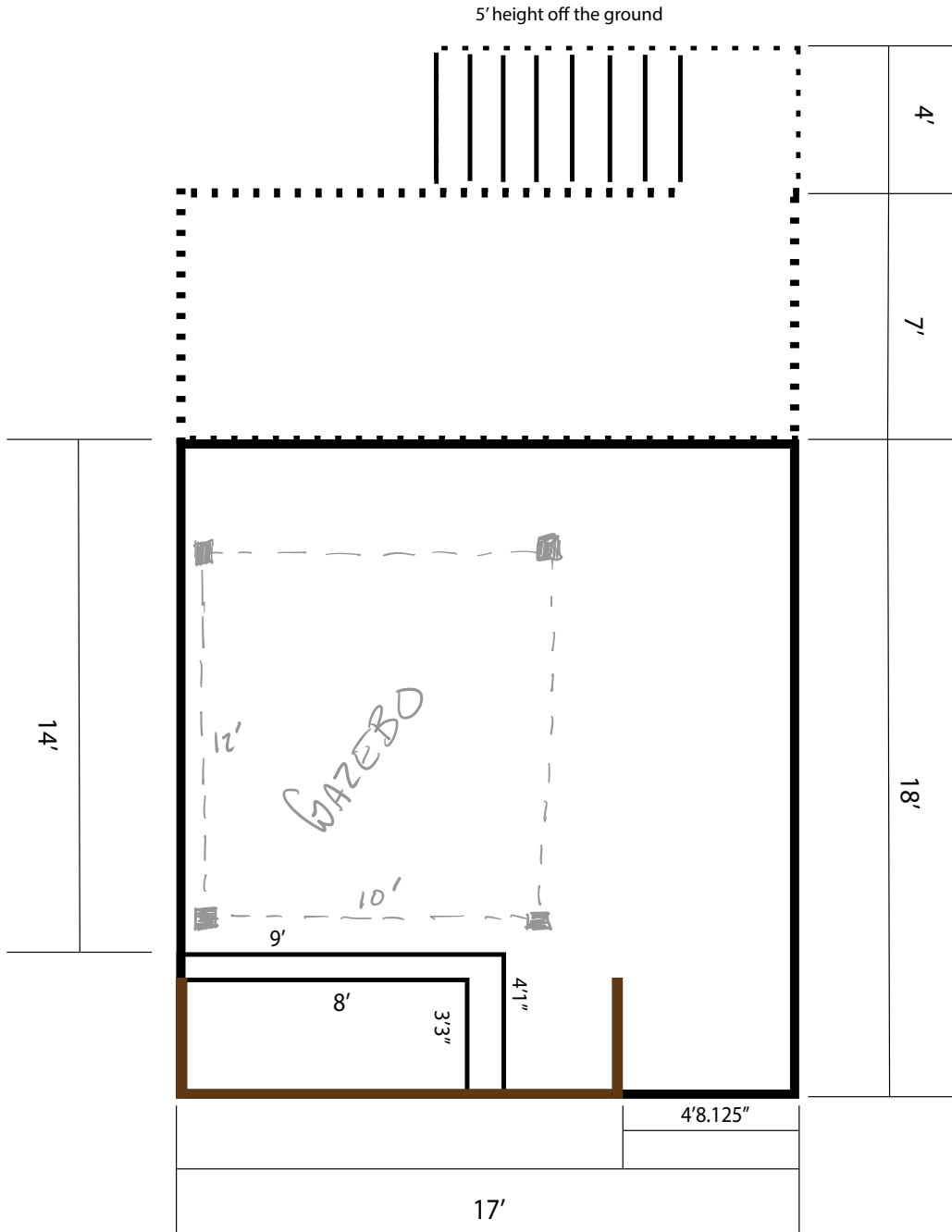
I am requesting a variance on the extension of our original deck attached to the back of our home. The surface of the old deck was rotting and at the end of its' life. We greatly value utilizing an outdoor and wanted to build something that would fit with the house's character, be of high quality and low maintenance, and allow us to enjoy the space for as much of the year as possible.

There are a few reasons why our only viable option was to extend toward the back of the property versus either side:

1. On the east side of the house, the previous deck was already out of variance, so that direction was not an option.
2. Extending the deck to the west would significantly block windows on the upper and lower floors.
3. Additionally, extending to the west would result in a safety issue for the bedroom on the lower floor because it would make an escape in case of fire difficult.

I greatly appreciate your consideration!

Best,
Ben Herkenhoff



5' height off the ground

4'

7'

14'

18'

17'

4'8.125"

4'1"

3'3"

8'

9'

10'

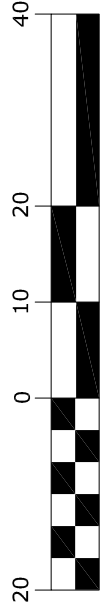
12'

GAZEBO

CERTIFICATE OF SURVEY

~for~ BEN HERKENHOFF
 ~of~ 2289 LILAC LANE,
 WHITE BEAR LAKE, MINNESOTA

GRAPHIC SCALE

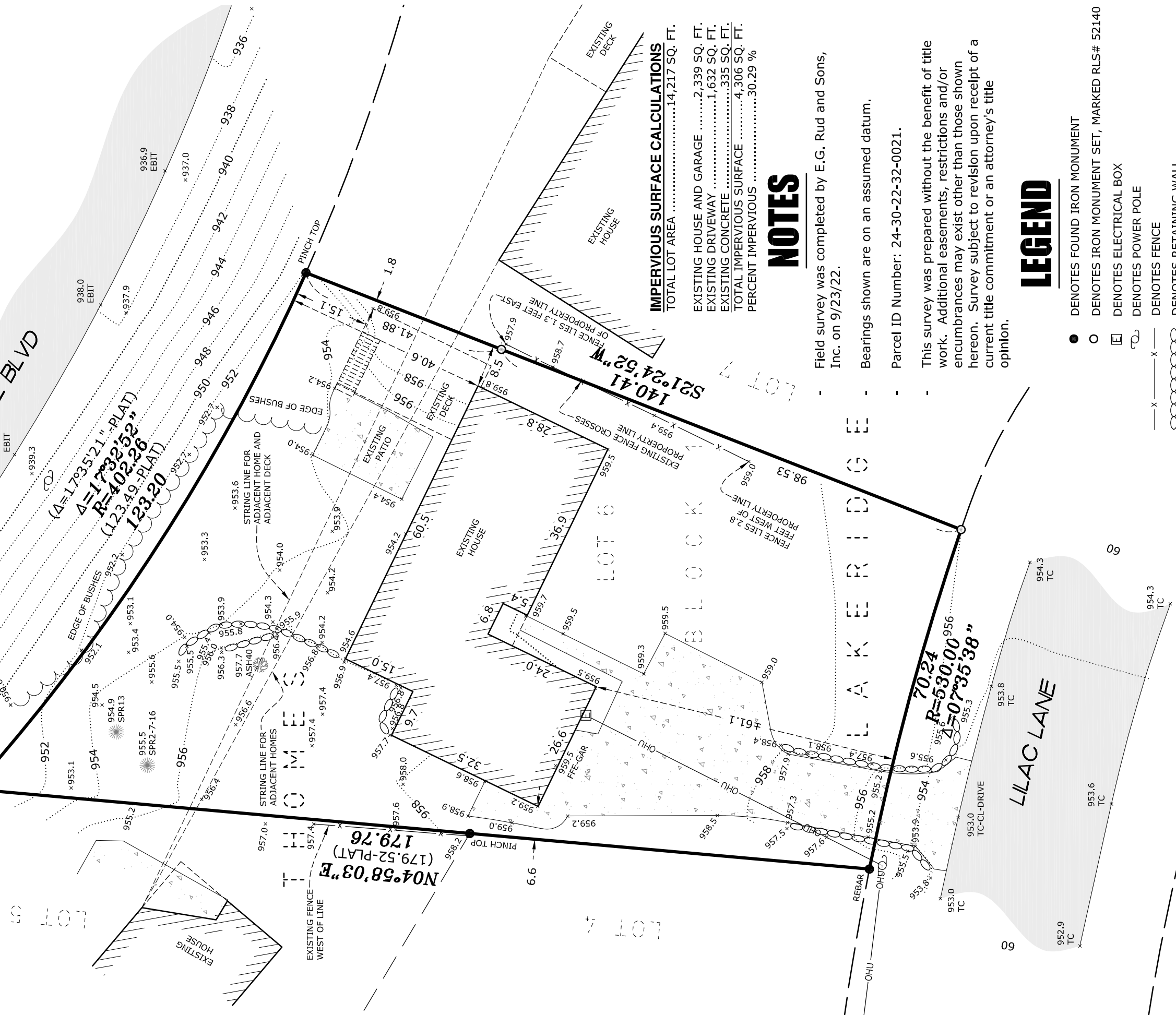


1 INCH = 20 FEET

NORTH

SOUTH SHORE BLVD

1/2"IP-PT23



TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated 17th day of October 2022.
 By: *[Signature]*
 Minnesota License No. 52140

REVISIONS		DATUM: Assumed	JOB NO. 2204371S
1	10/17/22	ADJ HOUSES & IMPERVIOUS DSH	SCALE: 1" = 20'
2			DATE: 5/24/22
3			DRAWN BY: KCM
NO.	DATE	DESCRIPTION	BY
			JH/CB

Lot 6, Block 1, THOMES LAKERIDGE, RAMSEY COUNTY, MINNESOTA.

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com

IMPERVIOUS SURFACE CALCULATIONS
 TOTAL LOT AREA14,217 SQ. FT.
 EXISTING HOUSE AND GARAGE2,339 SQ. FT.
 EXISTING DRIVEWAY1,632 SQ. FT.
 EXISTING CONCRETE335 SQ. FT.
 TOTAL IMPERVIOUS SURFACE4,306 SQ. FT.
 PERCENT IMPERVIOUS30.29 %

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 9/23/22.
- Bearings shown are on an assumed datum.
- Parcel ID Number: 24-30-22-32-0021.

This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

LEGEND

- DENOTES FOUND IRON MONUMENT
- DENOTES IRON MONUMENT SET, MARKED RLS# 52140
- DENOTES ELECTRICAL BOX
- DENOTES POWER POLE
- x— DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- OHU— DENOTES OVERHEAD UTILITY
- ▨ DENOTES BITUMINOUS SURFACE
- ▨ DENOTES CONCRETE SURFACE



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission
From: Jason Lindahl, AICP Community Development Director
Date: November 28, 2022
Subject: Acqua Restaurant Sign Planned Unit Development (PUD)

SUMMARY

The Planning Commission will consider a recommendation to the City Council regarding a Planned Unit Development (PUD) application from Daron Close of the Acqua Restaurant for an off-premise sign.

GENERAL INFORMATION

Applicant/Owner: Daron Close – Acqua Restaurant/Keith Dehnert of Tside1, LLC

Existing Land Use / Zoning: Vacant Land
LVMU – Lake Village Mixed Use

Surrounding Land Use / Zoning: North: Boat Work Commons/LVMU – Lake Village Mixed Use
West: Highway 61 & Old Public Works Site/P - Public
South: Lakeside Shops Shopping Center/LVMU – Lake Village Mixed Use
East: Acqua Restaurant/LVMU – Lake Village Mixed Use

Comprehensive Plan: Lake Village

Lot Size & Width: Code: N/A
Site: 0.4 Acres (1,740 square feet); 440 feet

BACKGROUND INFORMATION

The applicant, Daron Close of Acqua Restaurant, requests Planned Unit Development (PUD) approval to allow construction of an off-premise sign. The proposed sign would be located on the west side of Highway 61 just south of the Boat Works Commons parking ramp. According to the applicant, they are proposing an off-premise sign in this location to increase the visibility of their businesses along Lake Avenue and improve wayfinding for their customers.

The applicant is proposing a multi-tenant sign which would advertise both the Aqua and Tally's Dockside Restaurants. The properties that contain the propose sign and two restaurants are near, but not attached to, one another; however, all three properties are owned by Keith

Dehnert of Tside1, LLC who has signed off on this application. The PUD approval is necessary in this case because Section 1202.030, Subdivision 2 of the sign code specifically limits off-premise signs to billboards. After reviewing the information and plans submitted by the applicant, staff recommends approval of the PUD subject to the conditions outlined in the attached draft City Council resolution

Community Comment. Under the City's zoning regulations, planned unit development applications require a public hearing. Accordingly, the City published notice of this request and the public hearing in the White Bear Press and mailed notice directly to all property owners within 350 feet of the subject property. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing where they could learn about the request, ask questions and provide feedback. As of the writing of this report, the city had received no comments or questions regarding this request. During the public hearing, staff will provide an update on all public comments received.

ANALYSIS

The Planned Unit Development review process is detailed in Section 1301.070. It provides a three (3) phase review process including: (1) General Concept Plan, (2) Development, and (3) Final Plan. The PUD regulations also allow applications that are minor in scope or those that do not have multiple phases the option to combine the Concept and Development stages in one review. Under this combined review process, the applicant is still subject to the Final Development stage review as part of the administrative building permit review process.

The purpose of a planned unit development is to allow flexibility from traditional development standards in return for a higher quality development. Typically, the city looks for a developer to exceed other zoning standards, building code requirements or meet other goals of the Comprehensive Plan. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals.

In this case, the applicant is requesting relief from the off-premise and size standards. In exchange, the applicant is offering to forgo the opportunity to have a ground sign on each of their two individual properties in exchange for one multi-tenant sign on their adjacent vacant property along Highway 61.

Future Land Use. The PUD request for an off-premise multi-tenant sign is consistent with the subject property's future land use designation. The 2040 Comprehensive Plan Future Land Use map guides the subject property as Lake Village. Lake Village is intended as a mixed-use district with a mix of commercial, office, civic/institutional, and residential uses. Development is to be

guided by the Lake Village Master Plan. The mix may occur vertically within the same structure or horizontally with multiple structures on the same site. When mixed vertically it is intended that commercial or civic/institutional uses would occupy the first floor and residential or office the upper floors. It is anticipated that approximately 50% of uses would be non-residential and 50% would be residential with residential densities of 25 to 60 units per acre. Generally, multi-tenant signs support a mixed-use development pattern because they tend to include multiple uses either vertically within the same structure or parcel or horizontally within multiple structures on the same or adjacent parcels.

Zoning. The subject property is zoned LVMU - Lake Village Mixed-Use which allows for both vertical and horizontal mixed-use development. The standards for signs are provided in Section 1202 – Signs and detail the type, size, height, setback, exterior materials and landscaping standards for individual signs within the various zoning districts throughout White Bear Lake. As detailed above, these regulations limit off-premise signs to billboards which necessitates the applicant's PUD request. Staff's analysis of the proposed sign against the other sign regulations is provided below. Other than the deviation for off-premise signs and sign size, the proposed sign conforms with the other regulations for monument signs in the LVMU – Lake Village Mixed-Use district.

Size. The proposed sign exceeds the city's maximum allowable size for monument signs. The city's sign regulations limit monument signs to 35 square feet. In this case, the applicant is proposing one sign with two parts, each 5' high and 7' wide totaling 70 square feet. While this exceed the 35 square foot maximum size, it is equal to the total size of two individual signs. Given that the applicant intends to use the proposed sign to replace two individual signs, staff finds this design acceptable under the PUD.

Height. The proposed sign confirms to the maximum high standard for monument signs. The sign regulations limit monument signs to 10' and the proposed sign matches this standard.

Setbacks. The proposed sign conforms to the minimum monument sign setback requirement. The sign code requires monument signs to be setback a minimum of 10' from all property lines. The applicant's plans indicated the proposed sign will meet this requirement.

Exterior Materials. It is unclear whether the propose sign meets the exterior materials standard for monument sign because the applicant's do not provide this information. The sign regulations require monument signs to be architecturally compatible with the principal use, with a brick, masonry or similar base. The applicant shall revise their plans to conform with the exterior material standards for monument signs prior to action on this item by the City Council.

Landscaping. It is unclear if the propose sign meets the landscaping standards for monument signs. The applicant elevations illustrate general landscaping materials around the base of the proposed sign without detail as to the type, number or location of the landscaping. The applicant shall revise their plans to conform with the landscaping requirements for monument signs prior to action on this item by the City Council.

RECOMMENDATION

Staff recommends approval of Planned Unit Development (PUD) application from Daron Close of the Acqua Restaurant for an off-premise sign, subject to the conditions listed below and detailed in the attached draft City Council resolution.

1. Execution of a planned unit development (PUD) agreement in a form acceptable to the City Attorney.
2. Issuance of a sign permit.
3. Conformance with all requirements of the Engineering, Fire and Building Departments.
4. The applicant shall revise their plans to conform with the exterior material standards for monument signs prior to action on this item by the City Council.
5. The applicant shall revise their plans to conform with the landscaping requirements for monument signs prior to action on this item by the City Council.

ATTACHMENTS

Location/Zoning Map
Draft City Council Resolution
Plans and Elevations

RESOLUTION NO.

RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT (PUD) FOR AN OFF-PREMISE SIGN ON THE PROPERTY WITH PID 23-30-22-21-01-04-3600 WHITE BEAR LAKE, MINNESOTA

WHEREAS, the applicant, Daron Close owner of Acqua Restaurant on behalf of the property owner Keith Dehnert of TSide1, LLC, requests approval of a Planned Unit Development (PUD) for the property with PID 23-30-22-21-01-04-3600 within the City of White Bear Lake, Minnesota; and

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: a Planned Unit Development, per Code Section 1301.070, in order to construct to an off-premise sign; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on November 28, 2022; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves a Planned Unit Development for the subject property allowing construction of an off-premise sign, subject to the following conditions:

1. Execution of a planned unit development (PUD) agreement in a form acceptable to the City Attorney.
2. Issuance of a sign permit.
3. Conformance with all requirements of the Engineering, Fire and Building Departments.
4. The applicant shall revise their plans to conform with the exterior material standards for monument signs prior to action on this item by the City Council.

RESOLUTION NO.

- 5. The applicant shall revise their plans to conform with the landscaping requirements for monument signs prior to action on this item by the City Council.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

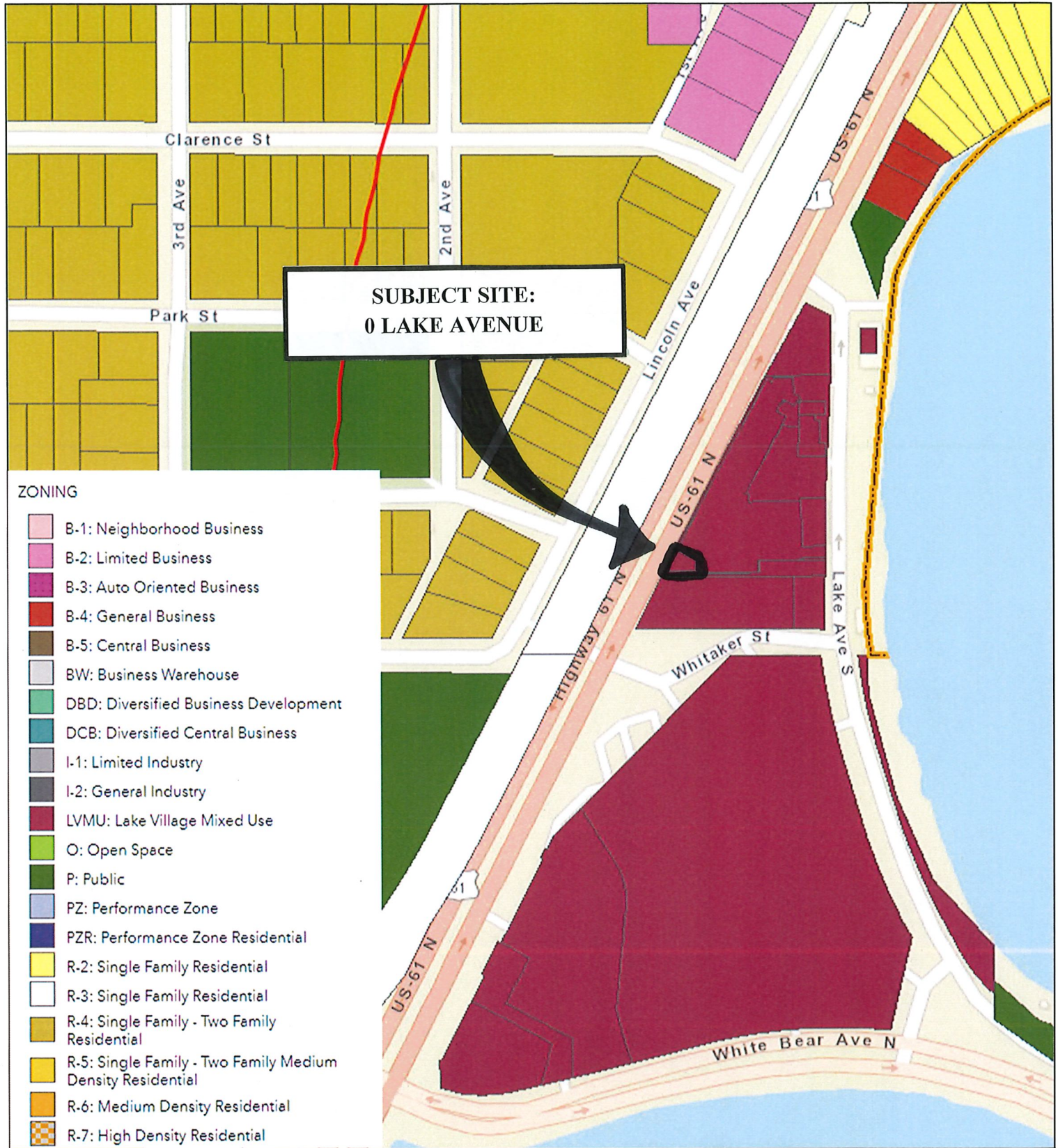
ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date

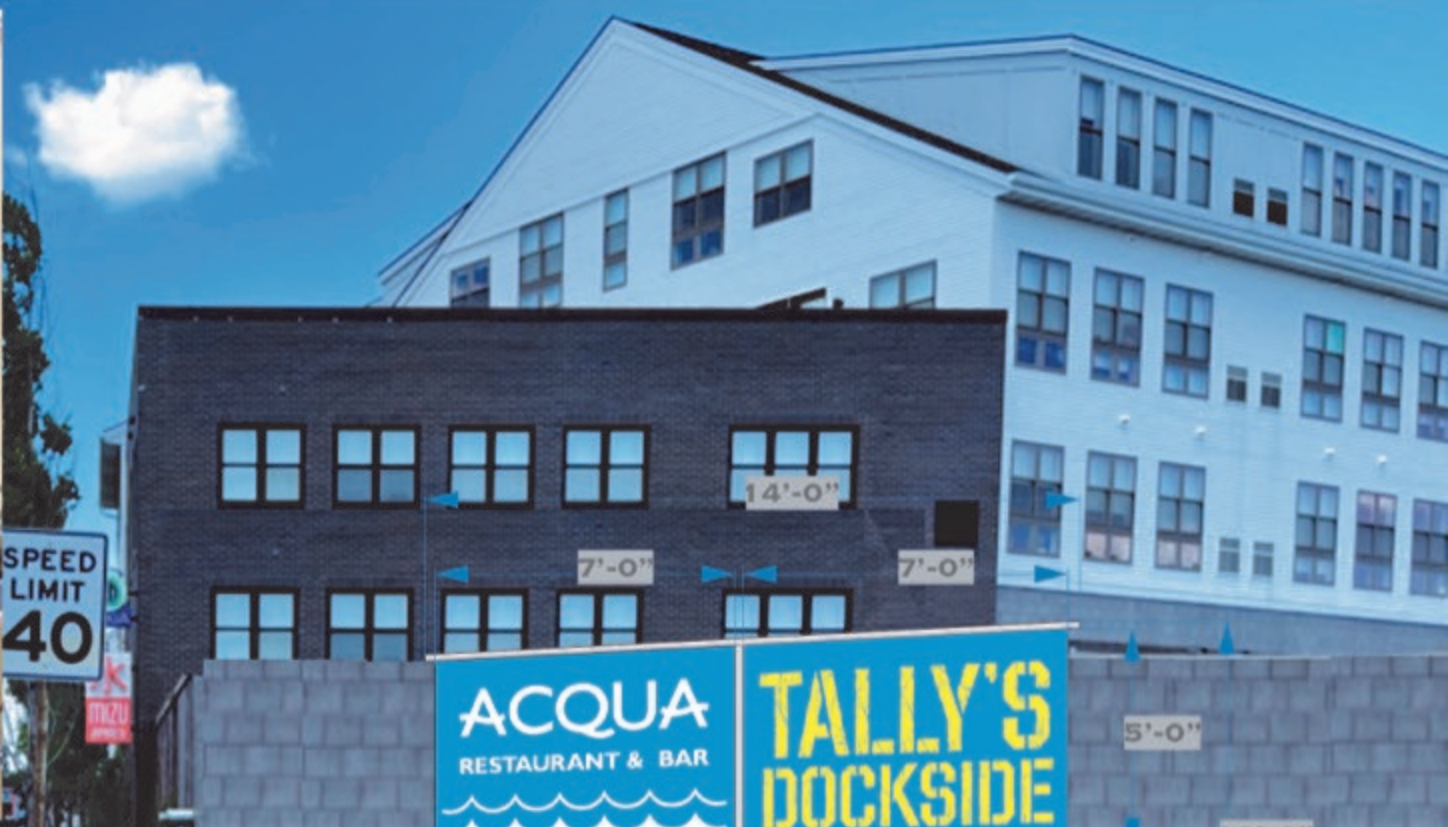


City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 22-4-PUD

CASE NAME : Acqua / Tally's Sign

DATE : November 28, 2022



PROPERTY LINE



McKee Sign



McKee Sign



**DOUBLE-SIDED
COPY - 3/4" PUSH-THRU ACRYLIC
BACKLIT WITH WHITE LEDS
WAVE ELEMENTS - FLAT WHITE ACRYLIC
BACKLIT WITH WHITE LEDS
ADDRESS - VINYL (NON-ILLUMINATED)
ANCHOR GRAPHIC - VINYL (NON ILLUMINATED)
10' SET BACK FROM ALL PROPERTY LINES**



City of White Bear Lake
Community Development Department

MEMORANDUM

To: Planning Commission
From: Jason Lindahl, AICP Community Development Director
Date: November 28, 2022
Subject: **Development Review Process Zoning Ordinance Text Amendment**

SUMMARY

The Planning Commission will consider a recommendation to the City Council regarding a zoning ordinance text amendment related to the City's development review process. Specifically, the proposed zoning ordinance text amendment would add a pre-application concept plan review process and a neighborhood meeting process.

BACKGROUND

The City Council reviewed recommendations from the Housing Taskforce report during the June and July work sessions. As a result of those discussions, the City Council directed staff to prioritize, sequence and assign these recommendations as listed below.



The Council assigned the "Guiding Future Development" recommendation to the Planning Commission. This recommendation addressed the development review process and review and update of the City's development (zoning and subdivision) regulations. The development review process included both a pre-application concept plan review and developer led neighborhood meeting. The zoning and subdivision regulations review process has been added to the 2023 budget and is scheduled begin in the second half of next year.

Staff presented a draft outline of both the concept plan review and neighborhood meeting processes to the Planning Commission on October 24th and the City Council on November 8th. Both bodies expressed support for these processes and directed staff to prepare a formal zoning ordinance text amendment to incorporate them into the City Code. That draft ordinance is attached for your consideration.

Community Comment. Under the City's zoning regulations, zoning amendment applications require a public hearing. Accordingly, the City published notice of this request and the public hearing in the White Bear Press. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing where they could learn about the request, ask questions and provide feedback. As of the writing of this report, the city had received no comments or questions regarding this request. During the public hearing, staff will provide an update on all public comments received.

ANALYSIS

City Code Section 1301.040 outlines the process for amendments to the zoning code. It requires the Planning Commission to hold a public hearing to review the proposed amendment and then make a recommendation to the City Council. The City Council must then review the recommendation from the Planning Commission and hold two readings of the proposed ordinance before it can be published and put into effect. Approval of a proposed amendment requires passage by a four-fifths (4/5) vote of the entire City Council.

Section 130.040, Subdivision 1 outlines six (6) criteria for the Planning Commission and City Council to weigh when considering a zoning amendment. These criteria and staff's finding for each are outlined below. Based on these findings, staff recommends approval of the attached draft ordinance.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

Finding: The proposed text amendment is consistent with the goals and policies of the 2040 Comprehensive Plan. The Housing chapter of the comprehensive plan includes a general policy to assess the city's zoning regulations and a more specific policy to create a pre-application review process. These policies were included as part of the review and recommendations for the Housing Task Force which in turn led to development of the attached draft ordinance.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The draft ordinance is not use specific, so staff cannot directly evaluate its influence on land use compatibility. However, the spirit and intent of these regulations is to expand and enhance the dissemination of information to the residents and to encourage greater involvement by the community in the planning process. Therefore, overall these regulations should help the community make more informed land use decisions which should improve land use compatibility.

3. The proposed use conforms with all performance standards contained herein.

Finding: Since the proposed draft ordinance creates new regulations and not a new use, this standard is not applicable.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: Since the proposed draft ordinance creates new regulations and not a new use, this standard is not applicable.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: Since the proposed draft ordinance creates new regulations and not a new use, this standard is not applicable.

6. Traffic generation by the proposed use within capabilities of streets serving the property.

Finding: Since the proposed draft ordinance creates new regulations and not a new use, this standard is not applicable.

RECOMMENDATION

Staff recommends approval of a zoning ordinance text amendment related to the City's development review process. Specifically, the proposed text amendment would add a pre-application concept plan review process and a neighborhood meeting process.

ATTACHMENTS

Draft Ordinance

**CITY OF WHITE BEAR LAKE
ORDINANCE NO. _____**

**AN ORDINANCE AMENDING THE MUNICIPAL CODE
OF THE CITY OF WHITE BEAR LAKE TO RELATED TO THE DEVELOPMENT REVIEW PROCESS**

The Council of the City of White Bear Lake does ordain as follows:

ARTICLE I. Section 1301 of the Municipal Code of the City of White Bear Lake – Administration is hereby amended by adding a new subdivision 1301.100 regarding Concept Plan Review:

1301.100 Concept Plan Review

Sub. 1 Purpose & Intent. The purpose of the pre-application concept plan review is to help inform and involve the public in the planning process and allow developers to gain feedback directly from the public, Planning Commission and City Council prior to preparing a full formal application. Feedback and opinions expressed by the city as part of a concept plan review are for guidance only and are not to be considered binding. Comments provided during the concept plan review may help inform/influence future plans if the developer chooses to proceed with a future formal development application.

Sub. 2 Applicability. Any applicant for approval of a land use or zoning application may request a preliminary (pre-application) concept plan review to explore the concept ideas and all other pertinent general information related to a possible future formal application. The concept plan review process is a required pre-application steps for those applications that may include a comprehensive plan amendment, rezoning, planned unit development (PUD) or city financial assistance.

Sub. 3 Schedule. The concept plan review process shall follow the following schedule.

- a.) Neighborhood Meeting. The developer hosts a neighborhood meeting to review a concept plan and solicit resident feedback. These meetings shall follow the Neighborhood Meeting requirements contained in Section 1301.110. City officials and/or staff may attend the neighborhood meeting, but only to observe the dialog between the developer and neighborhood and answer “procedure” questions.
- b.) Planning Commission. The Planning Commission review is intended as a follow-up to the neighborhood meeting. The objective of this meeting is to identify major issues and challenges in order to inform subsequent review and discussion. The meeting includes a presentation by the developer of conceptual sketches and ideas, but not detailed engineering or architectural drawings. No staff recommendations are provided, the public is invited to offer comments, and planning commissioners are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

c.) City Council. The City Council review is intended as a follow-up to the neighborhood meeting and Planning Commission review and would follow the same format as the Planning Commission review. No staff recommendations are provided, the public is invited to offer comments, and council members are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

Sub. 4. Next Steps. The developer may choose to use feedback gathered through the concept plan review process to help prepare a future formal application.

ARTICLE II. Section 1301 of the Municipal Code of the City of White Bear Lake – Administration is hereby amended by adding a new subdivision 1301.110 regarding Neighborhood Meetings:

1301.110 Neighborhood Meetings.

Sub. 1. Purpose & Intent. It is the city's intent to expand and enhance the dissemination of information to the residents and to encourage greater involvement by the community in the planning process.

Sub. 2. Applicability. Applicants for concept plan review or conditional use permits or zoning map amendments located adjacent to or within any portion of a residential zone must host and facilitate a neighborhood meeting in accordance with the procedures listed below. The city may also require a neighborhood meeting for other land use applicants, as determined necessary and appropriate. Required neighborhood meetings are separate and distinct from any public hearing required pursuant to state law.

Sub. 3. Scheduling.

a.) Applicants must schedule required neighborhood meetings to take place only after the city has accepted either pre-application concept plan review or a formal land use or zoning application and at least one week before the planning commission concept plan review or the statutorily required public hearing on the subject application.

b.) Meetings must be scheduled Monday through Thursday evenings after 6:30 p.m., although meetings may not take place on any of the following dates:

- 1) On a holiday, as that term is defined in Minnesota Statutes, Section 645.44;
- 2) On October 31;
- 3) On the evening of a major political party caucus; or
- 4) On the date of an election being held within the city's boundaries.

- c.) The applicant must host the meeting and present the proposed project for questions and comments from those in attendance.

Sub. 4. Notice And Invitation. Notice of required neighborhood meetings must be mailed at least 10 days before the meeting to those names and addresses listed on the public hearing notice list provided by the Community Development department. The area of notification may be modified by city staff based on the specific project. A copy of the meeting invitation must also be emailed to the members of the Planning Commission, City Council, and Community Development Director. A list of these individuals and their email addresses must be provided to the applicant by the Community Development department. The notice and invitation must include at least the following:

- a.) Date, time, and location of the meeting;
- b.) Project location map;
- c.) General project description; and
- d.) Contact information for the applicant, including an email address, project website and a telephone number.

Sub. 5. Meeting Materials. The applicant must make available to the public a complete description of the proposed project necessitating the application, including copies of printed materials and maps, where appropriate. This information must also be available through a project website that allows the public to ask question and provide comments directly to the developer.

- a.) The applicant must provide a sign-in sheet at the meeting to be signed at the option of those in attendance. The applicant must also take minutes at the meeting. A copy of this information must be provided to city staff no more than one day following the neighborhood meeting.
- b.) The schedule of meeting dates for Planning Commission, Parks Advisory Commission and City Council to consider the application, as applicable, must be provided to those in attendance at the meeting, if those dates are known.

Sub. 6. Modification Of Requirements. The city recognizes that not all land use applications or circumstances are similar in nature and certain situations may warrant deviating from the express requirements of this section for reasons that cannot necessarily be predicted or contemplated within a rigid set of policy provisions. To that end, the City Manager is authorized to permit deviations from any of the neighborhood meeting requirements of this section upon determining that such deviation is reasonable under the circumstances. This subsection is not to be interpreted to act as a mechanism through which

an applicant may request or apply for deviations, but rather is intended solely to provide city staff with the flexibility to initiate a deviation when circumstances warrant.

ARTICLE III. Incorporation. The City Clerk shall renumber the remaining subdivisions in the amended section, and make such other non-substantive edits, as may be needed to incorporate the new subdivision into the section.

ARTICLE IV. Effective Date. This ordinance shall become effective on the first day of publication after adoption.

Adopted by the City Council of the City of White Bear Lake, Minnesota on the ___ day of _____ 2022.

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

(~~Strikeout~~ indicates matter to be deleted, double underline indicates new matter.)

First Reading: _____

Initial Publication: _____

Second Reading: _____

Final Publication: _____

Codified: _____

Posted on web: _____