



**AGENDA**  
**PLANNING COMMISSION OF THE**  
**CITY OF WHITE BEAR LAKE, MINNESOTA**  
**MONDAY, JANUARY 30<sup>TH</sup>, 2023**  
**7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

**2. APPROVAL OF AGENDA**

**3. APPROVAL OF THE MINUTES**

A. Minutes of the Planning Commission meeting on November 28, 2022

**4. CASE ITEMS**

**A. Case No. 23-3-CUP:** A request by **The Minnesotan** for a conditional use permit, per code section 1303.160, subd.5.b, in order to construct a liquor lounge in the rear of an existing building at the property located at 2186 4th Street.

**B. Case No. 22-20-V:** A request by **Joshua Winchell** for a variance from the side yard setback, per code section 1302.030, Subd.4.e, and a variance from the total accessory structure square footage allowed, per code section 1302.030, Subd.4.2.b, in order to construct a 160 square foot shed at the property located at 2338 South Shore Boulevard.

**C. Case No. 23-1-V:** A request by **Heather Gilbert** for a variance from the side yard setback, per code section 1303.040 Subd.5.c.2, in order to construct a two story home in approximately the same footprint of the existing home at the property located at 4556 Highway 61.

**D. Case No. 23-2-CUP:** A request by **Guidepost A LLC** for a conditional use permit, per code section 1302.140, in order to convert an existing office building into a daycare facility at the property located at 3220 Bellaire Avenue.

**E. Case No. 85-11-Sa2:** A request by **Silverstar Carwash** for an amendment to a conditional use permit, per code section 1301.050, in order to modify the existing car wash and add vacuums at the property located at 2180 7th Street.

**F. Case No. 23-5-CUP:** A request by **White Bear Lake Area Schools** for a conditional use permit, per code section 1303.245, for a gym addition at the Central Middle School building located at 4857 Bloom Avenue.

**5. DISCUSSION ITEMS**

- A. Election of Officers
- B. City Council Meeting Overview

**6. ADJOURNMENT**

Next Regular City Council Meeting ..... February 14, 2023

Next Regular Planning Commission Meeting ..... February 27, 2023



**MINUTES  
PLANNING COMMISSION MEETING  
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA  
MONDAY, NOVEMBER 28, 2022  
7:00 P.M. IN THE COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

Chair Jim Berry called the meeting to order at 7:00 p.m.

**MEMBERS PRESENT:** Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt, and Andrea West.

**MEMBERS ABSENT:** Mike Amundsen.

**STAFF PRESENT:** Jason Lindahl, Community Development Director and Ashton Miller, City Planner.

**OTHERS PRESENT:** Ben Herkenhoff, Daron Close, Len Pratt, and Scott Wiestling.

**2. APPROVAL OF AGENDA**

It was moved by Member **Baltzer** seconded by Member **Enz**, to approve the agenda as presented.

Motion carried, 6:0

**3. APPROVAL OF THE MINUTES**

A. Minutes of October 24, 2022

It was moved by Member **Enz** seconded by Member **Baltzer**, to approve the minutes of the October 24, 2022 meeting as amended.

Motion carried, 6:0.

**4. CASE ITEMS**

A. **Case No. 93-3-Sa:** A request by **Smarte Carte** to amend a conditional use permit for site plan approval in the DBD zoning district, per code section 1303.225, Subd.4.i, in order to build a warehouse addition and expanded parking lot at the property located at 4455 White Bear Parkway.

City Planner Miller discussed the case. Staff recommended approval of the request as proposed.

Member Berry opened the public hearing.



Scott Wiestling, applicant, stated that he is the architect for the project. They are in concurrence with everything in the report and will work with staff to incorporate changes during the building permit phase.

Member Berry closed the public hearing.

It was moved by Member **Reinhardt** to recommend approval of Case No. 93-3-Sa, seconded by Member **Lynch**.

Motion carried, 6:0.

- B. **Case No. 22-19-V:** A request by **Ben Herkenhoff** for an 8.2 foot variance from the side yard setback, per code section 1303.050, Subd.5.c.2 and a 13.65 foot variance from the 28.75 foot lakeside average setback for a deck, per section 1302.040, Subd.4.a.3, in order to expand the existing deck at the property located at 2289 Lilac Lane

City Planner Miller discussed the case. Staff recommended approval of the request as proposed.

In response to a question from Member Lynch, Miller confirmed that the deck extension is continuing in a straight line, but the angle of the property line creates a lesser setback.

Member Berry opened the public hearing.

Ben Herkenhoff, applicant, 2289 Lilac Lane, provided a background on the construction of the deck extension. He explained that the old deck was in disrepair and needed to be replaced. He did not realize the property line did not follow the angle of the house and was surprised to find the deck sat that close to the lot line. He stated that they could not expand the deck to the west because it would block windows and create a fire hazard.

Member Berry commented that the slope in the back yard does impact the usable space.

Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 22-19-V, seconded by Member **West**.

Motion carried, 6:0.

- C. **Case No. 22-20-V:** A request by **Joshua Winchell** for a 2 foot variance from the side yard setback, per code section 1302.030, Subd.4.e and a 30 square foot variance from the total accessory structure square footage allowed, per code section 1302.030, Subd.4.2.b, in order to construct a 140 square foot shed 3 feet from the side property

line at the property located at 2338 South Shore Boulevard. **(Continued at Applicant's Request)**

- D. **Case No. 22-4-PUD:** A request by **Acqua / Tside 1 LLC** for "General Concept" and "Development Plan" stage approval of a Planned Unit Development, per code section 1301.070 to allow an off-premise monument sign along Highway 61 for the properties located at 4441 Lake Avenue South and 4453 Lake Avenue South.

Community Development Director Lindahl discussed the case. Staff recommended approval of the request as proposed.

Member Berry asked if the billboard is moving. Lindahl replied that the billboard is on the neighboring property, which is owned by someone else, and there has been no indication to staff that it will be removed.

Member Enz commented that the area is in need of work and she likes the idea of combining the two signs.

Member Lynch asked if both properties would have entitlement to the sign should one ever be sold. Lindahl stated that yes, as a shared sign in this location, both properties would have access to the sign.

In response to a question from Member West, Lindahl confirmed that the maximum permitted size is 35 square feet.

Member Berry opened the public hearing.

Daron Close, applicant, 1821 Orchard Lane, provided a history of the property, noting that it has changed ownership several times in the last few years. He stated that he is working to improve the aesthetics of the property and is excited to work with Tally's to provide visibility for both restaurants.

Member Berry closed the public hearing.

It was moved by Member **Lynch** to recommend approval of Case No. 22-6-CUP, seconded by Member **West**.

Motion carried, 6:0.

- E. **Case No. 22-1-Z:** A City-Initiated text amendment to Zoning Code Section 1301 concerning a concept plan review and neighborhood meeting process.

Community Development Director Lindahl discussed the case. Staff recommended approval.

Member Berry commented that the proposal may add more time to the Planning Commission meetings, but should alleviate some of the issues that are often raised during the public hearing. He thinks the feedback that the Commissioners gave to staff during the last meeting was incorporated into the text amendment and did not see anything contradictory.

Member Lynch asked how the Planning Commission meetings would be structured. Lindahl answered that concept plans would likely go under discussion items to keep them separate from the action items.

Member Baltzer asked if the Commissioners would be required to go to the neighborhood meeting. Lindahl explained they would not, only if they were interested.

Member Enz asked if the meetings would be posted in the newspaper. Lindahl replied they would not. The City is putting the process in place, but this is an opportunity for developers to discuss directly with residents.

Member Lynch asked why the term “developer” was used when a lot of applications are not brought by developers. Lindahl replied the word was chosen to help differentiate the application from a full land use request.

In response to a question from Member Baltzer, Lindahl explained that there will be a fee associated with the concept plan review to cover staff time.

Member Lynch expressed concern that the religious holidays listed in state statute did not encompass all religions. He wants to avoid having neighborhood meeting on holy days, but is unsure which days to include. Member West concurred. Lindahl replied that staff chose to follow the holidays listed in state statute because those are the days most often recognized by employers. He stated that staff can work with applicants to encourage them to avoid specific days when planning their neighborhood meetings.

Member West asked how applicants will know they need to go through the process. Lindahl stated that staff will work to educate potential applicants and that there will be a place on the website that provides information. Member West commented that she thinks the web page should emphasize that the process is to encourage public participation.

Member Enz stated that she believes this is the missing piece in the land use process. She noted that it is hard to see developers walk away and this will give them the opportunity to garner feedback directly from the community.

Member Berry opened the public hearing. As no one spoke to the matter, Member Berry closed the public hearing.

It was moved by Member **Baltzer** to recommend approval of Case No. 22-1-Z, seconded by Member **Lynch**.

Motion carried, 6:0.

## 5. DISCUSSION ITEMS

### A. City Council Meeting Overview

Community Development Director Lindahl provided an overview of the City Council meeting, highlighting that they approved a resolution of support for Schafer Richardson to receive funding from Ramsey County for affordable housing units. Member West expressed her appreciation that the motion passed.

### B. Bylaws, Annual Meeting and Meeting Times

Lindahl explained that meetings will continue to be held on Mondays for the next year, but that staff may explore changing the day in future years. He asked for feedback from the Commissioners regarding moving the meeting times up to 6:30 p.m.

There was a discussion among the members about the pros and cons of an earlier meeting time and the potential impact on community engagement. It was decided that for 2023, the meetings should continue to be held at 7 p.m., and that the Commission will look into whether an earlier meeting time will make it easier for residents to attend for 2024.

## 6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Baltzer**, seconded by Member **Lynch** to adjourn the meeting at 8:17 p.m.

Motion carried, 6:0



**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Jason Lindahl AICP, Community Development Director  
**DATE:** January 30, 2023  
**SUBJECT:** **2186 – 4<sup>th</sup> Street, The Minnesotan Liquor Lounge Conditional Use Permit  
Case No. 23-3-CUP**

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## SUMMARY

The applicants, Corey Roberts owner of the Minnesotan, request a conditional use permit (CUP) to allow conversion of his retail establishment into a Liquor Lounge with accessory retail. The subject property is located at 2186 – 4<sup>th</sup> Street which is on the south side of 4<sup>th</sup> Street midway between Washington Square and Banning Avenue in Downtown White Bear Lake. The subject property is guided Downtown by the 2040 Comprehensive Plan Future Land Use map and zoned B-5, Central Business. Should the City approve the requested CUP, the applicant must also need received separate approval of a liquor license as well as meet all other requirements of the conditional use permit. Based on the findings of fact detailed in this report, staff recommends approval of the request subject to conditions.

## GENERAL INFORMATION

Applicant/Owner: Corey Roberts

Existing Land Use / Zoning: Commercial - Retail; B-5, Central Business

Surrounding Land Use /Zoning: Commercial to the north, east and west, city owned parking lot to the south; B-5, Central Business to the north, east and west, P – Public to the south.

Comprehensive Plan: Downtown for all surrounding properties

Lot Size & Width: None

## BACKGROUND INFORMATION

The subject property was originally constructed in 1954 and consists of an approximately 26' by 77' single story commercial building. It is currently occupied by the Minnesota and until recently also housed a small hair salon in the rear portion of the building abutting the city owned parking lot to the south. According to applicant, the Minnesotan is a family owned and operated retail shop driven by tradition, heritage, culture and nostalgia selling exclusive designs and limit run media and premium apparel brands celebrating the ride as Minnesotans.

According to the applicant, The Minnesotan expansion includes the addition of hospitality to enhance their customer experience by adding a self-serve alcohol pour station and frozen gourmet pizza to the existing retail concept. The customer checks in at front counter, submits ID and is furnished with a wristband that is connected to a form of payment to pour their own beverage through a self-pour tap system. More information about the self-pouring system can be found on the following website – [www.ipouritinc.com](http://www.ipouritinc.com). Under this revised business model, the applicant proposes to be open Monday thru Thursday from 8 AM to 11 PM, Friday and Saturday from 8 AM to 12 PM and Sunday from 10 AM to 6 PM.

From a zoning perspective, the applicant's proposal amounts to a full conversion of the existing retail use to a Liquor Lounge with accessory retail. The B-5, Central Business district allows Liquor Lounges as a conditional use. The Zoning Code defines Liquor Lounge as "Any establishment other than a hotel or restaurant, open to the general public, licensed for the 'on-sale' distribution of intoxicating liquor and employs an adequate staff to provide the usual and suitable services to its guests. Such establishment shall have facilities for seating not less than 30 guests at one time."

Under the Zoning Code, the Liquor Lounge use must be the principal use of the property while retail activity may be allowed as an accessory use. It should be noted that the zoning requirements regulated the use and development of the property. The applicant will also be required to receive separate approval of a liquor license to govern the sale and consumption of alcohol.

#### Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request and the public hearing in the White Bear Press and mailed notice directly to all property owners within at least 350 feet of the subject property. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing before the Planning Commission where they could learn about the request, ask questions and provide feedback. As of the writing of this report, the city had received no comments or questions regarding this application. During the public hearing, staff will provide an update on all public comments received prior to the Planning Commission meeting.

#### **ANALYSIS**

Review Authority. City review authority for conditional use permit applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050. These standards and staff findings for each are detailed below.

Conditional Use Permit Review. According to City Code Section 1301.050, The City shall consider possible adverse effects of a proposed conditional use, in this a liquor lounge. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding:** The applicant’s proposal to convert the existing retail use to a Liquor Lounge with accessory retail is consistent with the specific policies and provisions of the city’s comprehensive plan. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Downtown. According to the Comprehensive Plan, Downtown encompasses a broad range of uses and intensities, including residential, commercial, and institutional. It is intended that development contribute to the pedestrian-scale, walkable environment that is already present in Downtown. The mix in Downtown is anticipated to be approximately 70% commercial, 20% residential, and 10% institutional. Residential densities are anticipated to range 12 to 50 units per acre. The result of the proposed conversion of the existing retail use to a Liquor Lounge with accessory retail is that the subject property remains within the commercial use classification allowed in the Downtown future land use category.

The 2040 Comprehensive Plan also include five (5) main principals for guiding future land use in White Bear Lake. The second of these five principals focus specifically on downtown and calls on the City to “Support and strengthen Downtown as the ‘heart’ of the community. Continue to strengthen the critical mass of retail, restaurants, residential, office, service, and entertainment offerings in and around the downtown.”

2. The proposed use is or will be compatible with present and future land uses of the area.

**Finding:** The proposed liquor lounge with accessory retail will be compatible with surrounding present and future land uses. As noted in the General Information section above, the existing land uses surrounding the subject property are commercial to the north, east and west with the city owned parking lot to the south. The 2040 Comprehensive Plan Future Land Use Map guides the surrounding property on all four sides as Downtown.

3. The proposed use conforms with all performance standards contained herein.

**Finding:** The proposed liquor lounge use conforms with both the applicable zoning regulations of the B-5, Central Business district and the specific conditional use permit requirements for liquor lounges. Those applicable standards and staff’s findings for each are detailed below.

Land Use. The applicant is proising to convert the existing retail use into a Liquor Lounge with accessory retail. Liquor Lounges are a conditional use within the B-5, Central Business district and limited to 1,500 square feet in area with not less than 30 nor more than 35 seats, and not more than 20 outdoor seats.

The subject property is approximately 26’ by 77’ or 2002 square feet; however, zoning limits accessory retail to no more than thirty (30) percent of the space (see below). As a result, the proposed Liquor Lounge space will be approximately 1,402 square feet while the accessory retail will be approximately 600 square feet. It should also be noted that the applicant’s floor plan shows

a seating layout with 51 seats. A conditional of approval requires the applicant to revise their plans to include not less than 30 nor more than 35 seats within the 70 percent of the floor plan eligible for use as a Liquor Lounge.

Retail activity may be allowed as an accessory use, provided it does not exceed thirty (30) percent of the gross floor space of the principal building. The zoning code defines accessory building or use as “a subordinate building or use which is located on the same lot on which the principal building or use is situated and which is reasonably necessary and incidental to the conduct of the primary use of such building or principal use.” The standard that accessory retail be “reasonably necessary and incidental to the conduct of the primary use...” means the products sold must be marked with the specific name, brand, or identifying logo of the business and have no other name, brand, or identifying logo.

Parking. The parking standards for the B-5, Central Business district state that non-residential uses of 5,000 square feet of gross floor area or less are not required to provide on-site parking. The subject property is approximately 26’ by 77’ or 2,002 square feet and therefore not required to provide its own on-site parking.

Exterior Materials. The applicant’s plan includes an elevation of the proposed improvements to the south (rear) side of the building abutting the city’s parking lot. They illustrate that they intend to rehab the rear side of the building to install floor to ceiling framed windows. The B-5 district includes detailed Building Scale and Design standards for such improvements along the street sides of any building but does not apply these standards to the rear side of buildings.

Signage. The applicant rear elevations also proposed new signage. All signage is approved though a separate administrative sign permit and must comply with the sign standards for the B-5 district detailed in Section 1202.040.

Lighting. The applicant’s plan do not appear to show any new exterior lighting. Should the applicant wish to revise or add exterior lighting, it will be required to conform to the standards of the B-5, Central Business district. These standards state “Lighting standards and fixtures shall be consistent with the historic character of the B-5, Central Business District. All lighting poles and luminaries shall be consistent with the ornamental lighting adopted by the City. All on-site lighting shall be equipped with shielding and cut-off devices, such that no light shall shine directly upon adjacent residentially zoned property. In keeping consistent with the pedestrian scale of the B-5, Central Business District, light poles shall be maximum height of fifteen (15) feet as measured from the finished grade. Light intensity shall not exceed 0.4-foot candle as measured at any residential property line and 1 foot candle as measured at all other property lines.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

**Finding:** The propose use should not depreciate the surrounding area. Staff finds that the applicant’s investment in their property will likely increase its value and, by association, the values of surrounding area.



5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

**Finding:** The proposed use can be accommodated by the existing public services and will not overburden the City's services capacity. The subject property is served by City sewer and water and the conversion of the existing retail use into a liquor lounge with accessory retail will not notably impact these services. It should be noted that conversion of the property from retail to a Liquor Lounge with accessory retail will require the applicant to request a sewer and water access determination from the Metropolitan Council prior to issuance of a building permit.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

**Finding:** The subject property is located on 4<sup>th</sup> Street which connects to the city's street system and abuts the city owned parking lot to the south. The conversion of the existing retail use into a liquor lounge with accessory retail should not generate traffic beyond the capabilities of these facilities.

#### **RECOMMENDATION**

Staff recommends approval of the requested conditional use permit (CUP) to allow conversion of the existing retail establishment into a Liquor Lounge with accessory retail based on the findings of fact made in this report, summarized below and detailed in the attached resolution.

#### Conditional Use Permit Findings:

1. The proposed Liquor Lounge with accessory retail use will be consistent with the 2040 City Comprehensive Land Use Plan.
2. The proposed Liquor Lounge with accessory retail use will be compatible with present and future land uses of the area.
3. The proposed Liquor Lounge with accessory retail use conforms with both the applicable zoning standards of the B-5, Central Business Districts and the specific conditional use permit requirement for liquor lounges.
4. The proposed Liquor Lounge with accessory retail use will not tend to or actually depreciate the area in which it is proposed.
5. The proposed Liquor Lounge with accessory retail use can be accommodated with existing public services and will not overburden the City's service capacity.
6. Traffic generation by the proposed Liquor Lounge with accessory retail use is within capabilities of streets serving the property.

The staff recommendation for approval is subject to the conditions listed below.

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.
5. The applicant shall receive all necessary permits from the Engineering, Fire and Police Departments.
6. Prior to issuance of a building permit, the applicant shall revise their plan to include not less than 30 nor more than 35 seats within the 70 percent of the floor plan eligible for use as a Liquor Lounge.
7. Signage is approved through a separate administrative sign permit and must comply with the sign standards for the B-5 district detailed in Section 1202.040.
8. Use of the subject property shall conform to all requirements for properties in the B-5, Central Business District, Liquor Lounges as a conditional (principal) use and accessory retail.
9. Products sold as part of the accessory retail use must be marked with the specific name, brand, or identifying logo of the business and have no other name, brand, or identifying logo.
10. Prior to issuance of a building permit, the applicant shall request a sewer and water access determination from the Metropolitan Council and pay any applicable fees.
11. Prior to issuance of a building permit, the applicant shall receive approval of a separate liquor license. This liquor license must be maintained in good standing.

**Attachments:**

Resolution of Approval

Location/Zoning Map

Applicant's Narrative & Plans

**RESOLUTION NO.**

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT  
FOR 2186 – 4<sup>th</sup> STREET WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Corey Roberts (Case No. 23-3-CUP) has requested a conditional use permit, per code section 1303.160, in order to convert an existing retail business into a Liquor Lounge with accessory retail located at:

**LOCATION:** White Bear E 28 1/10 Ft of W 53 1/10 Ft Of Lot 1 And E 28 1/10 Ft ...Ft Of N 25 Ft Of Lot 2 Blk 53 Ramsey County, Minnesota. (PID # 143022410058)

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

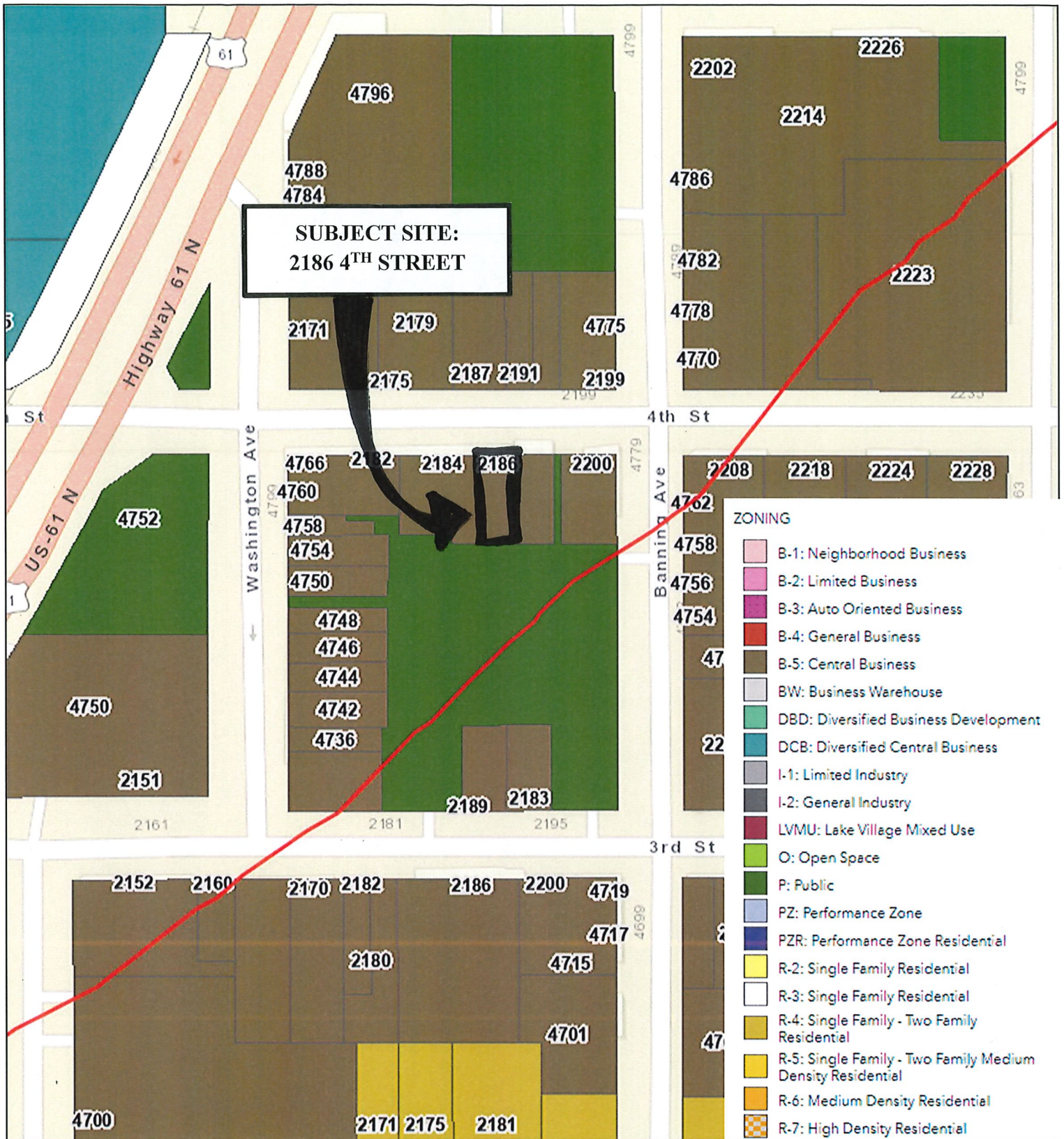
1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.







City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 23-3-CUP

CASE NAME : The Minnesotan

DATE : January 30<sup>th</sup> 2023



## Concept overview

The Minnesotan expansion includes the addition of hospitality to enhance our customer experience by adding a self serve alcohol pour station and frozen gourmet pizza to the existing retail concept.

The customer checks in at front counter, submits ID and is furnished with a wristband that is connected to a form of payment to pour their own beverage through a self-pour tap system. Visit the self pour system web site for a complete overview – [www.ipouritinc.com](http://www.ipouritinc.com)

The request for the conditional use permit has merit for following reasons:

- Enhance the existing downtown offerings with a new concept not currently available.
- Elevates The Minnesotan to remain competitive and relevant in the marketplace
- Property and facade improvement
- Adds an additional hospitality option to downtown White Bear Lake to increase the number of offerings for the consumer and bolsters downtown as a destination

The proposed floor plan allows consumers to walk freely through the space from north to south with ingress and egress on 4th st and the municipal parking lot to the south.

Hours of operation would include the following:

- Monday to Thursday 8am to 11pm
- Friday and Saturday 8am to 12pm
- Sunday 10am to 6pm

The proposal meets the 70% to 30% floor plan ratio, is a conforming and compatible use, adds value to downtown White Bear Lake and does not impact City's capacity to service.

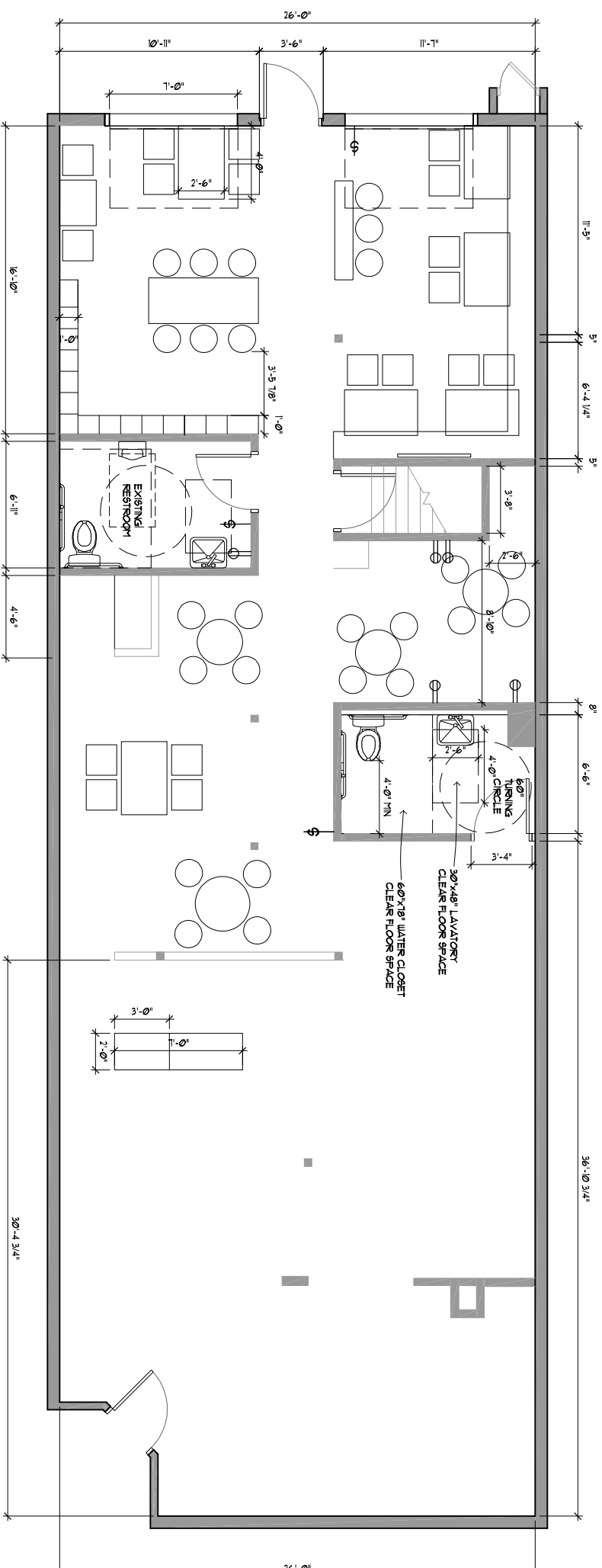
We look forward to adding this concept for the visitors that shop and dine in downtown White Bear Lake.



# Google Maps The Minnesotan



Imagery ©2022 U.S. Geological Survey, Map data ©2022 Google 20 ft



**The Minnesotan Bar**  
 floorplan 1

White Bear Lake, MN 55110



118 E. 26th Street Suite 300 Minneapolis, MN 55404  
 P:612-879-8225 F:612-879-8152  
 www.tanek.com

scale: 1/8" = 1'-0"  
 issued 01.15.2023

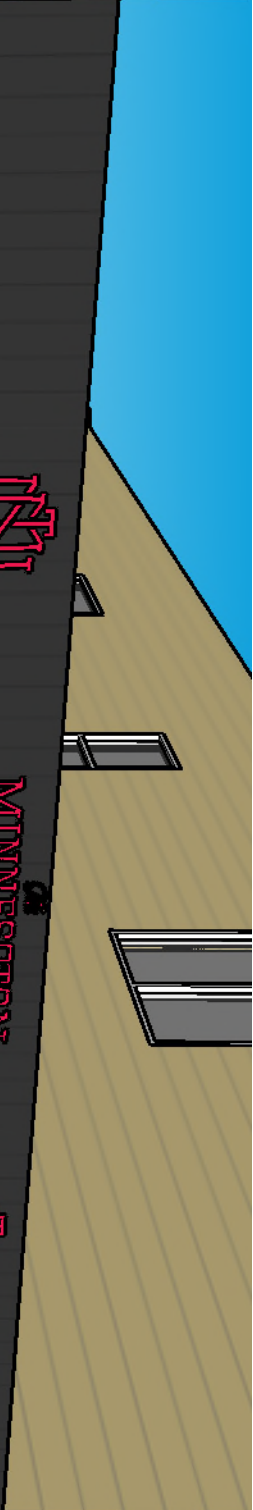




INI

MINNESOTA  
BAR

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**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Shea Lawrence, Planning Technician  
 Ashton Miller, City Planner  
**DATE:** January 30, 2023  
**SUBJECT:** Winchell Variances – 2338 South Shore Boulevard – Case No. 22-20-V

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## SUMMARY

The applicant, Josh Winchell, is requesting a 2 foot side yard setback variance and a 50 square foot variance from the total accessory structure square footage allowed in order to construct a 160 square foot shed.

Based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of the variances.

## GENERAL INFORMATION

Applicant/Owner: Josh Winchell

Existing Land Use / Zoning: Single Family; zoned R-3: Single Family Residential & S – Shoreland Overlay District

Surrounding Land Use / Zoning: East, West, and South: Single Family; zoned R-3 Single Family Residential & S – Shoreland Overlay District  
 North: White Bear Lake

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,500 sq. ft.; 80 feet  
 Site: 32,049 sq. ft.; 92 feet

## ANALYSIS

### Background

The subject site is located south of South Shore Boulevard and east of McKnight Road. It has lakefront property across the road and partially abuts Lily Lake along the south east side of the property. The property has roughly a 25 foot change in elevation, sloping from west to east. There is both City sewer and water that run the length of the property on the west side of the property. The applicant had previously sought to build a second garage on the west side of the

home, but was told by the City that the location of the utilities prevented that from being a viable option, so constructed an addition to the existing garage instead. Attached garages are limited to 1,000 square feet in size and that is what the applicant constructed.

According to the survey, the home is 1,110 square feet in size. There is also a 1000 sq. ft. garage and 64 sq. ft. shed on the property. The applicant is proposing to demolish the existing shed and replace it with the new 160 sq. ft. shed. The code states that the combination of accessory structures cannot exceed the footprint of the home. As stated in the narrative, Mr. Winchell would like some storage space for his water-oriented equipment and the existing 64 square foot shed does not provide quite enough room, so he is proposing to construct a 160 square foot accessory structure; 50 square feet greater than what is otherwise allowed. (Accessory structures =  $1,064 - 64 = 1,000 + 160 = 1,160$  sq. ft.;  $1,160 - 1,110 = 50$  sq ft) Further, the applicant would like to provide as much space as possible between the city sewer line and the shed to avoid having to move it should the City ever need access. Mr. Winchell is proposing a six foot setback from the sewer line, which leaves a three foot setback from the property line.

#### Community Comment

Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to adjacent property owners within 350 ft. of the subject property. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding this request. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

#### Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty for the variances. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with purposes and intent of the ordinance?

**Finding:** The purpose of the ‘general building and performance requirements’ section of the code is to “establish general development performance standards...intended and designed to assure compatibility of uses; to prevent urban blight, deterioration and decay; and to enhance the health, safety, and general welfare of the residents of the community.” The intent is to not only provide adequate space between structures on adjoining properties, but to also prevent accessory structures from becoming larger than principal structures, which would move the property away from its residential character.

Staff finds that the proposed variances are in harmony with this purpose and intent. The shed will be architecturally similar to the home, so it will be compatible with the aesthetic of the neighborhood. It will also provide the necessary space to store equipment currently outside in the yard, an enhancement to the neighborhood that prevents the look of blight or deterioration. Further, the principal structures on the abutting properties to the west are at a minimum 60 feet from the property line, with the closest accessory structure proposed to be roughly 30 feet away, so there is ample green space between structures. Mr. Winchell is aware of the extra building code requirements for structures that encroach into the five foot setback. Additionally, the lot is located in the shoreland district. The proposed new shed will maintain the impervious surface cover well under the 30% maximum limit. City staff have requested additional information about impervious surface relating to existing retaining walls in the rear yard; however, it is not expected to significantly impact impervious coverage for this property. Staff are requiring those measurements as a condition for approval for issuing of the zoning permit.

2. Is the variance consistent with the comprehensive plan?

**Finding:** The proposed variances are not inconsistent with the 2040 Comprehensive Plan. The property is guided for “low density residential”, which has a density range of 3 to 9 units per acre. The property is currently a little under that range at 1.35 units per acre. The proposed shed will not impact the density and the property will continue to be residential in character.

3. Does the proposal put the property to use in a reasonable manner?

**Finding:** The zoning code allows a property of this size to have a combined accessory structure square footage of 1,250 square feet or the first floor area of the home, whichever is more restrictive. The home is two stories, rather than a built out single story home, so the size variance would allow the homeowner the same amount of accessory structure space as would be allowed by right to someone who owned a single-story home of the same size.

Additionally, sewer and water utilities run the entire length of the property on the western side. The applicant has selected a site with a setback of 6 feet from the nearest sewer line which is an improvement from the existing shed’s setback. Therefore, staff finds that the proposal would put the subject property to use in a reasonable manner.

4. Are there unique circumstances to the property not created by the landowner?

**Finding:** There are unique circumstances to the property that were not created by the landowner including the slope of the property. The change in grade limits the available locations to construct a shed on the lot. There are also utility lines running on the west side of the property. The Engineering Department recommends a ten foot setback from a City utility, so removing the existing shed that is directly on top of the water and sewer line and providing a six foot setback to the proposed structure is an improvement. The engineering department is requiring the designation of an easement on the property as a condition of approval to officially recognize the utilities on the property. The applicant will be required to sign off on the easement.

5. Will the variance, if granted, alter the essential character of the locality?

**Finding:** Granting the requested variance will not alter the essential character of the surrounding neighborhood. The applicant has done a good job at placing the shed in a relatively inconspicuous place that has minimal impact on the neighbors. As a property that abuts the lake, it is not uncommon to have water-oriented and recreational equipment that is used during the summer months, which then needs to be stored away the rest of the year. Many residents along the lake have similar sized water-oriented accessory structures, so staff finds the proposed shed is consistent with the character of the community.

#### **RECOMMENDATION**

Staff recommends approval of the variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A zoning permit shall be obtained for the shed.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.
5. Exterior building color, design, and material of the shed shall be compatible with the principal structure.
6. Applicant will provide signature for designation of utility easement running through the west side of the property.
7. The City will not be responsible for any damage to the structure in the event of a utility repair.

#### **Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative & Site Plan (2 pages)

**RESOLUTION NO.**

**RESOLUTION GRANTING TWO SETBACK VARIANCES  
FOR 2338 SOUTH SHORE BLVD WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Joshua Winchell has requested a variance from the side yard setback, per code section 1302.030, Subd.4.e, and a variance from the total accessory structure square footage allowed, per code section 1302.030, Subd.4.2.b, in order to construct a 160 square foot shed at the property located at:

**LOCATION:** 2338 South Shore Blvd (PID # 243022320024)

**LEGAL DESCRIPTION:** SECTION 24 TOWN 30 RANGE 22 W 120 FT OF PART N OF BLVD AND E OF ...IN GOVT LOT 1 SEC 24 TN 30 RN 22

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variances will allow the property to be used in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variances alone will not alter the essential character of the neighborhood.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

**RESOLUTION NO.**

3. A zoning permit shall be obtained for the shed.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.
5. Exterior building color, design, and material of the shed shall be compatible with the principal structure.
6. Applicant will provide signature for designation of utility easement running through the west side of the property.
7. The City will not be responsible for any damage to the structure in the event of a utility repair.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
Nays:  
Passed:

\_\_\_\_\_  
Dan Louismet, Mayor

**ATTEST:**

\_\_\_\_\_  
Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date





City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 22-20-V

CASE NAME : Joshua Winchell

DATE : January 30<sup>th</sup>, 2023



Jan 4, 2022

To the City of White Bear Lake,

I am seeking a variance approval for a new secondary accessory structure (shed) that addresses the following two items:

- 1) The proposed shed size exceeds the size limitations by 113 sq ft.
- 2) The proposed shed will have a reduced setback of 3 ft to accommodate utility easement.

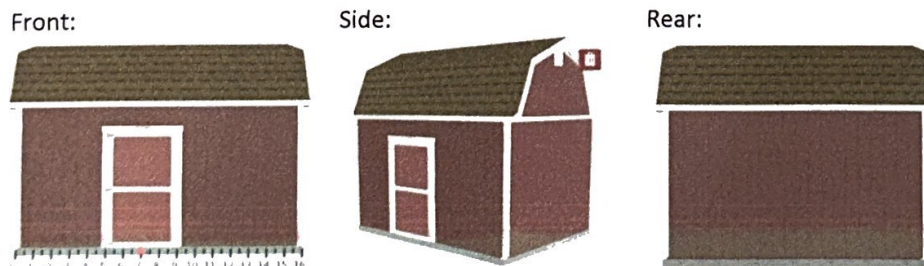
The proposed shed is intended to meet the intent of the code. The placement of the shed is to accommodate the utility easement, while having less impedance on surrounding/neighborhood structures and neighbors views of the lake.

The proposed structure is to upgrade an old 8x8 shed that is beginning to fall apart and help to beautify the property by building a new structure that is larger but will allow the homeowner to reduce outside storage of lake-oriented items that are currently stored outside on the side of the house. The existing home has garage space but is very limited because both garages are flat with no rafter space for additional storage. The new structure will be constructed of material to match the existing home.

Due to the unique layout of the lot and existing structure, the proposed placement of the shed is to reduce/avoid impedance on neighbors existing views. In addition, the property has 120' of lake front shoreline that currently has 13 properties with lake access easement. The lot on the north side of South Shore Blvd does not allow enough room for an accessory structure.

The proposed structure is to help conform to the essential character of the neighborhood, by improving design elements and reducing outside storage.

Proposed shed design (note: colors are not accurate):



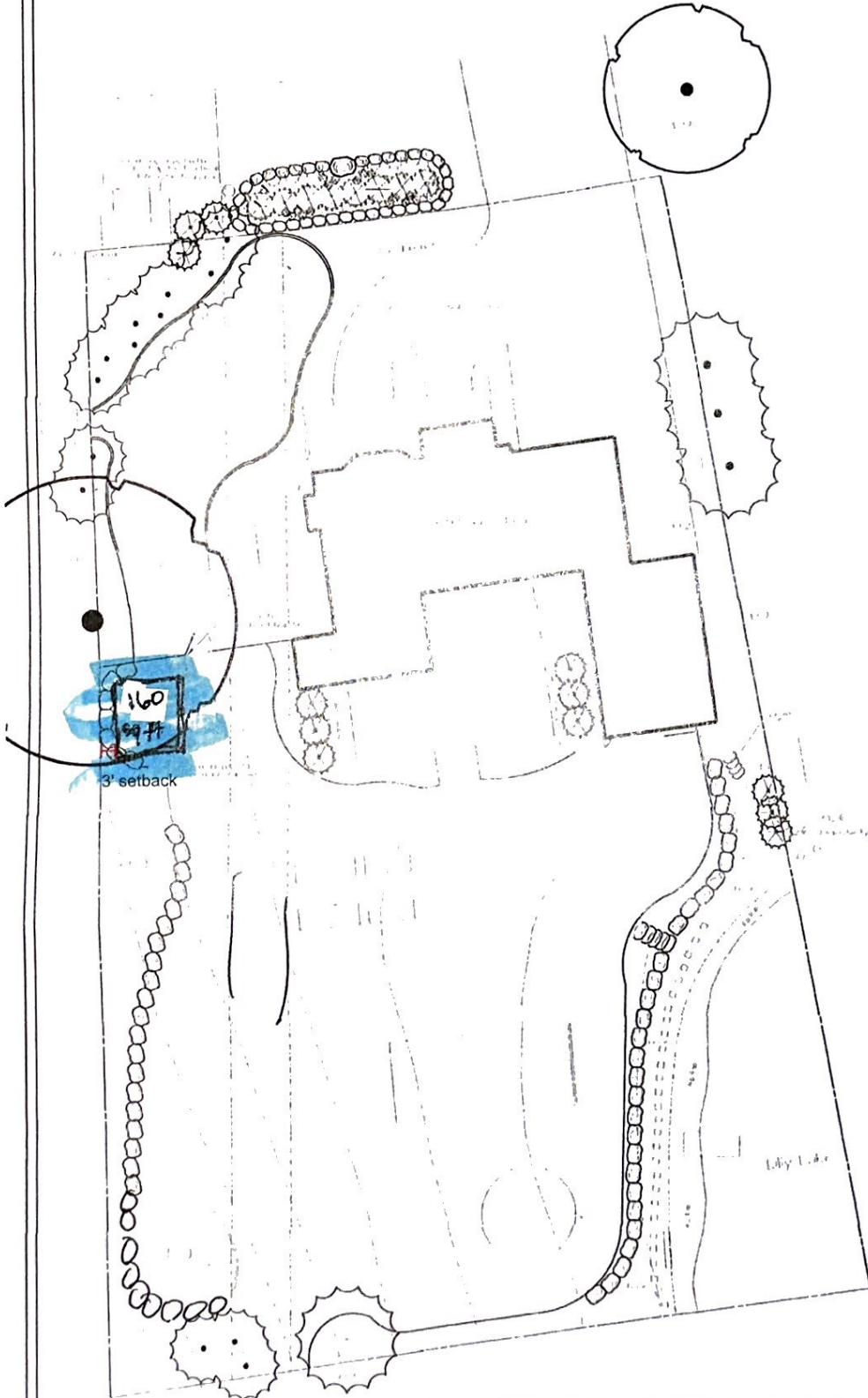
Thank you for consideration of this variance request.

Regards,

Joshua Winchell  
2338 So Shore Blvd.

Case No. 22-20-V

mes



Area	Description
1	...
2	...
3	...
4	...
5	...
6	...
7	...
8	...
9	...
10	...

2023-03-01  
2436 10th Street, NW  
1000, Denver, CO 80202



Scale: 1" = 100'

Area	Description
1	...
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**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** January 30, 2023  
**SUBJECT:** Gilbert Variance – 4556 Highway 61 – Case No. 23-1-V

---

## SUMMARY

The applicant, Heather Gilbert, is requesting an 11.64 foot variance from the required 15 foot side yard setback on the west side and a 9 foot variance from the 15 foot setback on the east side in order to tear down and rebuild a single family home on roughly the same footprint of the existing house. Should the request be approved, the reconstructed home would have setbacks of 3.36 feet and 6 feet from the west and east side yard property lines.

Based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of this request.

## GENERAL INFORMATION

Applicant/Owner: Heather & Dan Gilbert

Existing Land Use / Zoning: Single Family; zoned R-2: Single Family Residential & S – Shoreland Overlay District

Surrounding Land Use / Zoning: East & West: Single Family; zoned R-2 Single Family Residential & S – Shoreland Overlay District  
 North: State Highway 61  
 South: White Bear Lake

Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 15,000 sq. ft.; 100 feet  
 Site: 11,052 sq. ft.; 38 feet street side; 34 feet lake side

## ANALYSIS

### Background

The subject site is located on the east side of Highway 61, just south of the Highway 61 and Highway 96 intersection. The property abuts White Bear Lake on the southwest. The property contains a single family home with attached single stall garage that was constructed in 1920.

The applicants would like to demolish the existing home in order to rebuild on roughly the same footprint as the current home, but with a second story and expansion towards the lake. It was recently discovered that the proposed addition on the rear extends 1.8 feet into the required setback from the Ordinary High Water Level. The applicants are working to make the necessary changes to meet the setback. Staff has included a condition that the home be redesigned before the application may move onto City Council for final action. The proposed height of the home is within the 35 foot maximum allowed, as measured to the mean of the roofline.

The applicant would also add a second garage stall as a part of this proposal. The zoning code requires that new single family homes have at least a two car garage, so the expansion is bringing the property into greater conformance. The garage will meet the side yard and street side setbacks (5 feet and 20 feet, respectively).

#### Community Comment

Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to property owners within 200 feet of the subject site. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has received one phone call from Rose Miller, abutting neighbor at 4552 Highway 61, who expressed concern that the close proximity of the home would cause damage to the foundation of her home and that water runoff may become problematic. She provided an engineering report that evaluated the structural condition of her home and documented potential impacts construction could have on the house. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

#### Variance Review

City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In Summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty.



The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with the purposes and intent of the ordinance?

**Finding:** The property is zoned R-2: Single Family Residential and S: Shoreland Overlay. The purpose of the R-2 zoning district is "to provide for urban density single family detached residential dwelling units". The neighborhood was platted in 1907, well before the city adopted its first zoning code. The variances make the reconstruction of the single family home on a substandard lot possible and therefore the proposal will be in harmony with the purpose of the zoning district.

2. Is the variance consistent with the comprehensive plan?

**Finding:** The proposed variances are not inconsistent with the 2040 Comprehensive Plan. The property is guided for "low density residential", which has a density range of 3 to 9 units per acre. Typical housing includes single family detached. The property is at a density of 4 units per acre, within the allowable density range. Granting the variance to allow the reconstruction of the home is consistent with the goals and policies of the "low density residential" future land use category of the comprehensive plan.

3. Does the proposal put the property to use in a reasonable manner?

**Finding:** The proposal puts the subject property to use in a reasonable manner. Both the Comprehensive Plan and the purpose and intent of the R-2 zoning district allow for single family dwelling units, so the request to reconstruct a single family home on the lot is reasonable.

4. Are there unique circumstances to the property not created by the landowner?

**Finding:** There are unique circumstances not created by the landowner. The property is only 38 feet wide on the street side and 34 feet wide on the lake side at the setback line. The required setbacks are 15 feet from each side, leaving only 4 to 8 feet of buildable space. The code also requires houses to be a minimum of 22 feet wide, so a minimum of an 18 foot variance is required to make the lot buildable. Cumulatively, the applicants are asking for 20.64 feet of variances split between the two sides, and although not the minimum, the proposed variances are consistent with the setbacks of the existing home and at 24.5 feet in width, the house is only slightly larger than the minimum required by code.

5. Will the variance, if granted, alter the essential character of the locality?

**Finding:** Granting the requested variance will not alter the essential character of the surrounding neighborhood. The surrounding properties are similar in width, roughly 40 to 45 feet on the street side, and tapering to 30 feet or less along the lake. Consequently, all of the adjacent homes also encroach into the side yard setbacks at comparable rates. Further, several side yard variances have been granted for neighboring properties. The property to the north at

4558 Highway 61 was granted a 12.75 foot side yard variance to expand the home in 1995 and 4542 Highway 61 was granted a 12 foot side yard setback in 1998 for a deck.

### **RECOMMENDATION**

Staff recommends approval of the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.
5. Gutters shall be installed and runoff directed away from adjacent properties.
6. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.
7. Porous pavers, rain gardens or other mitigating features used to offset impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.
8. If grading extends closer than 50 feet to the OHWL, a grading plan must be submitted to the Rice Creek Watershed District for review and approval.
9. The proposal shall be redesigned to meet the required setback from the Ordinary High Water Level and plans submitted to the City prior to the City Council meeting.

### **Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative (3 Pages) & Plans (7 pages)

4552 Hwy 61 Structural Evaluation, Dated 12/13/22

**RESOLUTION NO.**

**RESOLUTION GRANTING TWO SETBACK VARIANCES  
FOR 4556 HIGHWAY 61 WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Heather Gilbert has requested an 11.64 foot variance from the required 15 foot setback along the west side and a 9 foot variance from the 15 foot setback on the east, per code section 1303.040, Subd.5.c.2 in order to construct a two story home on the property at the following location:

LEGAL DESCRIPTION: Attached as Exhibit A (PID # 23302212008)

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances are in harmony with purposes and intent of the ordinance.
2. The requested variances are consistent with the 2040 Comprehensive Plan.
3. Granting the requested variances will allow the property to be used in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variances alone will not alter the essential character of the neighborhood.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the requested variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A building permit shall be obtained before any work begins.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.



**RESOLUTION NO.**

5. Gutters shall be installed and runoff directed away from adjacent properties.
6. All impervious area above 30% shall be mitigated according to the zoning code; design and infiltration calculations shall be approved by the Stormwater Engineer.
7. Porous pavers, rain gardens or other mitigating features used to offset impervious area shall be maintained by homeowner according to manufacturer's specifications or to preserve design function and capacity.
8. If grading extends closer than 50 feet to the OHWL, a grading plan must be submitted to the Rice Creek Watershed District for review and approval.
9. The proposal shall be redesigned to meet the required setback from the Ordinary High Water Level and plans submitted to the City prior to the City Council meeting.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
Nays:  
Passed:

\_\_\_\_\_  
Dan Louismet, Mayor

**ATTEST:**

\_\_\_\_\_  
Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

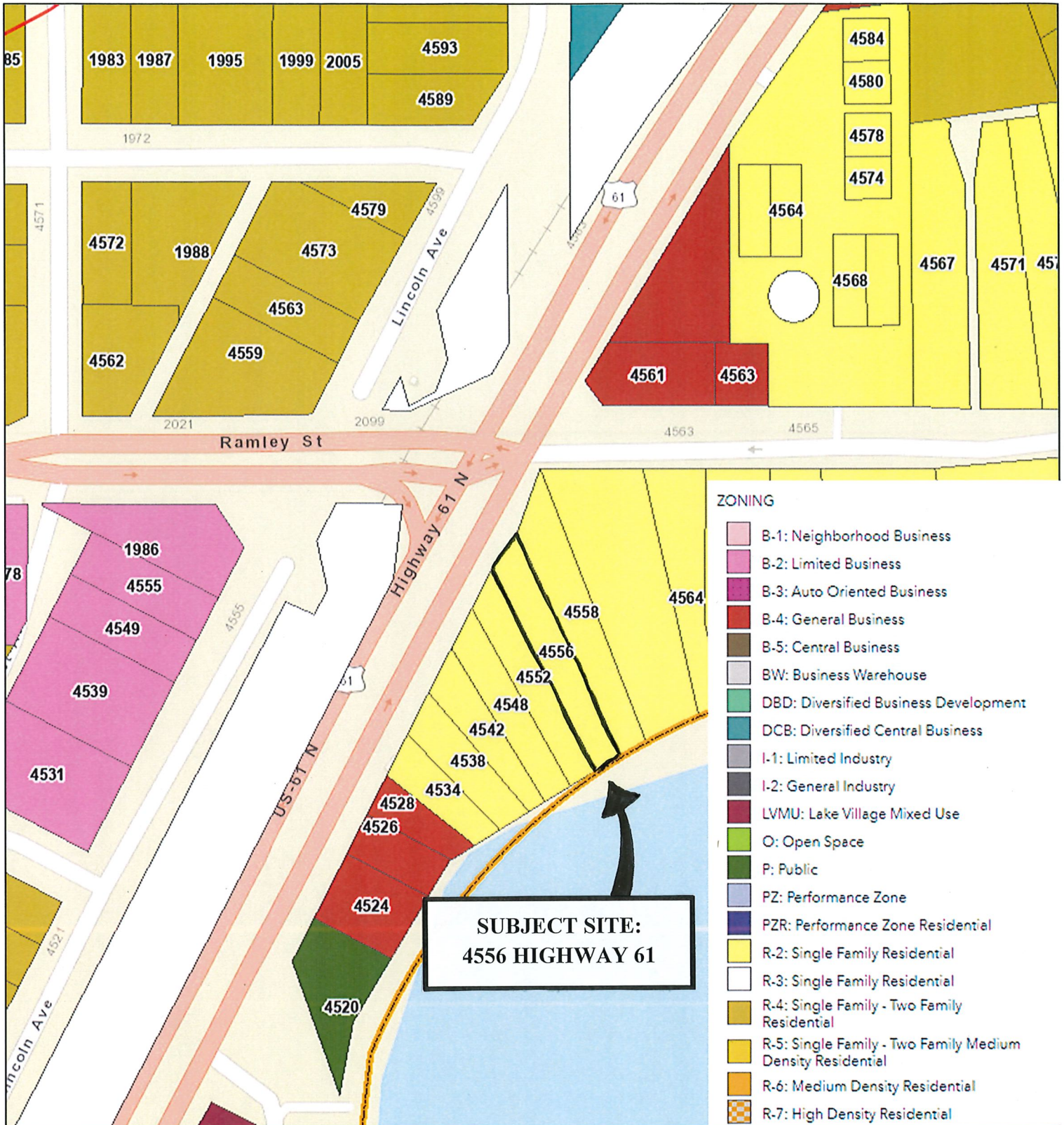
\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

**RESOLUTION NO.**

**EXHIBIT A  
LEGAL DESCRIPTION**

Lot 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, EXCEPT that part described as follows: All that part of Lots 4, 5, 6 and 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, lying Northerly of a line described as follows: Commencing at an iron monument at the Northeast corner of Lot 8 of said Addition, thence on a curve to the right with a radius of 164.15 feet to an iron monument at the intersection with original line of Lake Avenue in Lot 4 of said Addition, said point being 100 feet Easterly from the original angle point of Lot 6 of said Addition, and also EXCEPT all that part of the following described tract: That part of Lot 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, lying Southeasterly of Trunk Highway No. 61 as now located and established, which lies Northwesterly of the following described line: Beginning at the most Westerly corner of the above described tract; thence run northeasterly to the point of intersection of the northeasterly line of said tract with a line run parallel with and distant 5 feet Southeasterly of the northeasterly line of said tract and there terminating. Ramsey County, Minnesota. (PID # 23302212008)



**SUBJECT SITE:  
4556 HIGHWAY 61**



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 23-1-V

CASE NAME : Gilbert

DATE : January 30, 2023

Heather M. Gilbert  
4556 Highway 61  
White Bear Lake, MN 55110

December 6, 2022

White Bear Lake City Council  
White Bear Lake City Hall  
4701 Highway 61  
White Bear Lake, MN 55110

**RE: Development of 4556 Highway 61 (updated December 7, 2022)**

Dear Members of the White Bear Lake City Council:

We respectfully request that the city consider and approve the proposed variance to the current structure located at 4556 Highway 61, based on the description and rationale included herein.

We are requesting a side setback variance and allowance to build a partial second story. We are also requesting an additional 3 feet cantilever beyond the back setback allowance.

### **Background**

The current structure located at 4556 Highway 61 in White Bear Lake, MN, is a single-story ~950 sq. foot home constructed in 1920 and expanded over the course of a century. While the lot on which it sits is a highly visible, prime location on White Bear Lake, the structure itself has experienced significant deterioration over years of neglect. It reflects poorly on the neighborhood creates potentially heightened safety concerns due to vacancy and non-compliance with modern building standards. The structure in its current form appears visibly inferior to the surrounding structures and is likely a significant drag on overall property values. See attached photographs. The dilapidated mechanicals of the building require significant improvements to make the property safe for inhabitants.

### **Proposal**

We propose a near-complete demolition of the existing structure and a replacement with a modern lake home that embodies the spirit of White Bear Lake and the surrounding neighborhood. We worked with Mark Englund, designer for Hanson Builders in Anoka MN, to plan a beautiful new structure that will sit atop the existing foundational footprint to minimize physical intrusion beyond existing setbacks and maximize the utility of the lot. See Attached Site Plans. Our vision is to retain the existing south-side foundation wall, assuming structural viability, and construct an entirely new lake home consisting of a single main level + kids loft, with a lake walkout basement below. This new structure will provide a more aesthetically appropriate welcome to the White Bear Lake neighborhood and will result in an inhabitable home that is built to modern safety standards.

The new structure will have an elevation of 35' from the bottom of the rear (lakeside) grade to the ridge of the roof and will extend 15' beyond the existing footprint in the direction of White Bear Lake. These are the only two expansions beyond existing setbacks that we propose to The City, and we

are confident they are consistent with the standards established in §1301.060 Subd. 1 of the White Bear Lake Zoning Code as follows:

**General Provision and Standards: Prohibited Impacts (1301.060(1)(b)(1)**

- a. Adequate Supply of Light and Air. Because our design incorporates a main level +loft as well as a steep roofline, we retain substantial spacing between neighboring structures at upper elevations. This serves to minimize impacts to light and air circulation. In addition, the situation of the house to the north side of the nearest neighbor avoids impairment of sunlight year-round. The loft design maintains a similar dripline to the existing structure along much of the home except for the loft “bump-out.”
- b. No Impacts to Street Congestion. Because we don’t propose changes to the space on the street side of the building, there will be no increase in the congestion of the public street.
- c. Enhanced Fire/Public Safety. The current structure is essentially a matchbox containing old wiring and all the fireproofing of a building constructed in 1920. The new structure will be built to modern building and fire codes and will enhance the safety of the community. The use of modern gutter and drainage systems will provide for the adequate removal of water away from the roof and structure, eliminating safety concerns related to water or ice.
- d. Enhanced Property Values. The new structure will be an aesthetic improvement and will add approximately 3500 square feet of livable space to the neighborhood. Our designer has a proven track record of creating homes that appreciate over time and add value to existing neighborhoods.

**General Provision and Standards: Minimum Variance and General Purpose (1301.060(1)(b)(2)-(5)**

Our proposed structure takes advantage of the existing footprint and elevations to the maximum degree possible. This process has been intentional to minimize physical intrusion while creating as much value as possible within the existing parameters of the building. Our original design included a full second story, which we determined to scale back to a loft design to achieve a similar outcome with even fewer intrusions.

Our planned home is harmonious with the general purposes and intents outlined in the code, and serves as an enhancement, rather than a detriment to both the neighborhood and the public. We propose to remedy a problem that has arisen naturally through development of the surrounding neighborhood, as well as unnaturally through neglect of the current structure. We are confident that the result will be a fun, vibrant lake home that is superior both aesthetically and structurally, and that, as one of the first building visible to anyone driving into White Bear Lake, will better embody the spirit of the community than does the current building. We appreciate the city’s consideration of our petition.



Sincerely,

*s/Heather Gilbert*

*s/Daniel Gilbert*

Daniel and Heather M. Gilbert

# CERTIFICATE OF SURVEY

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

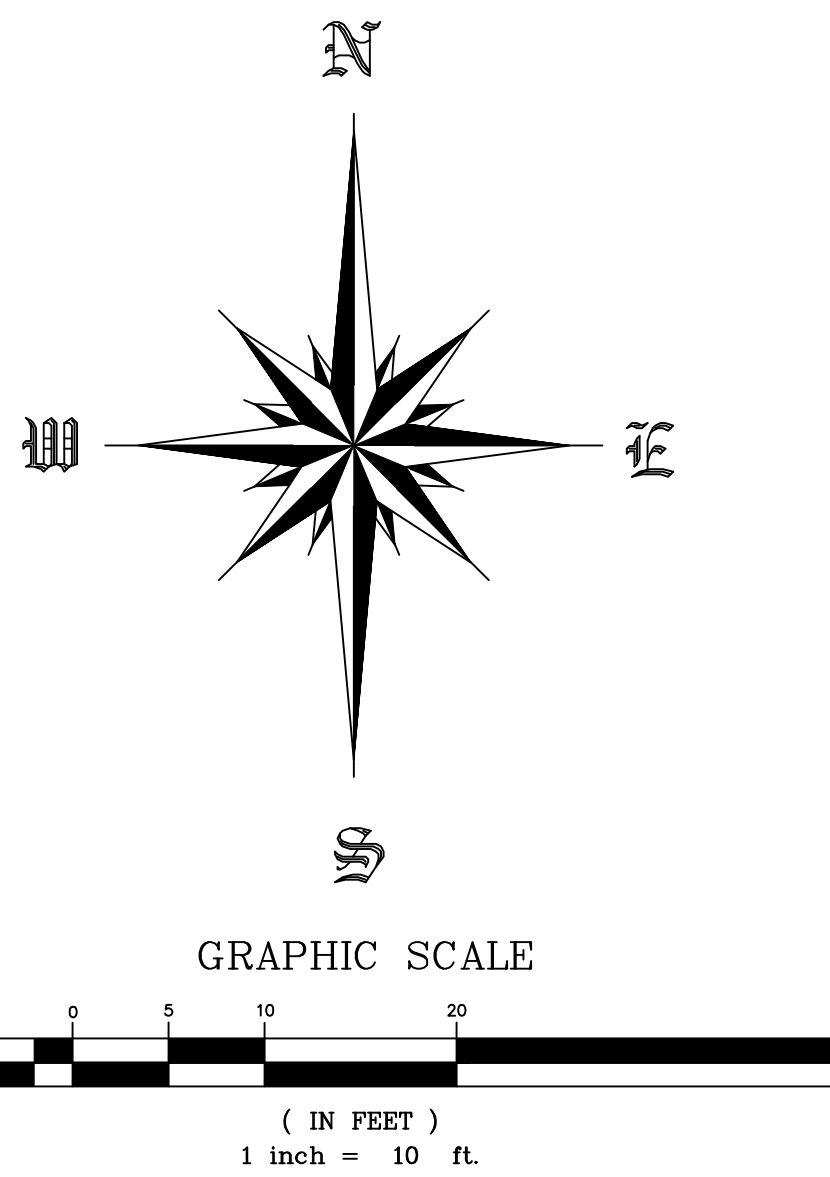
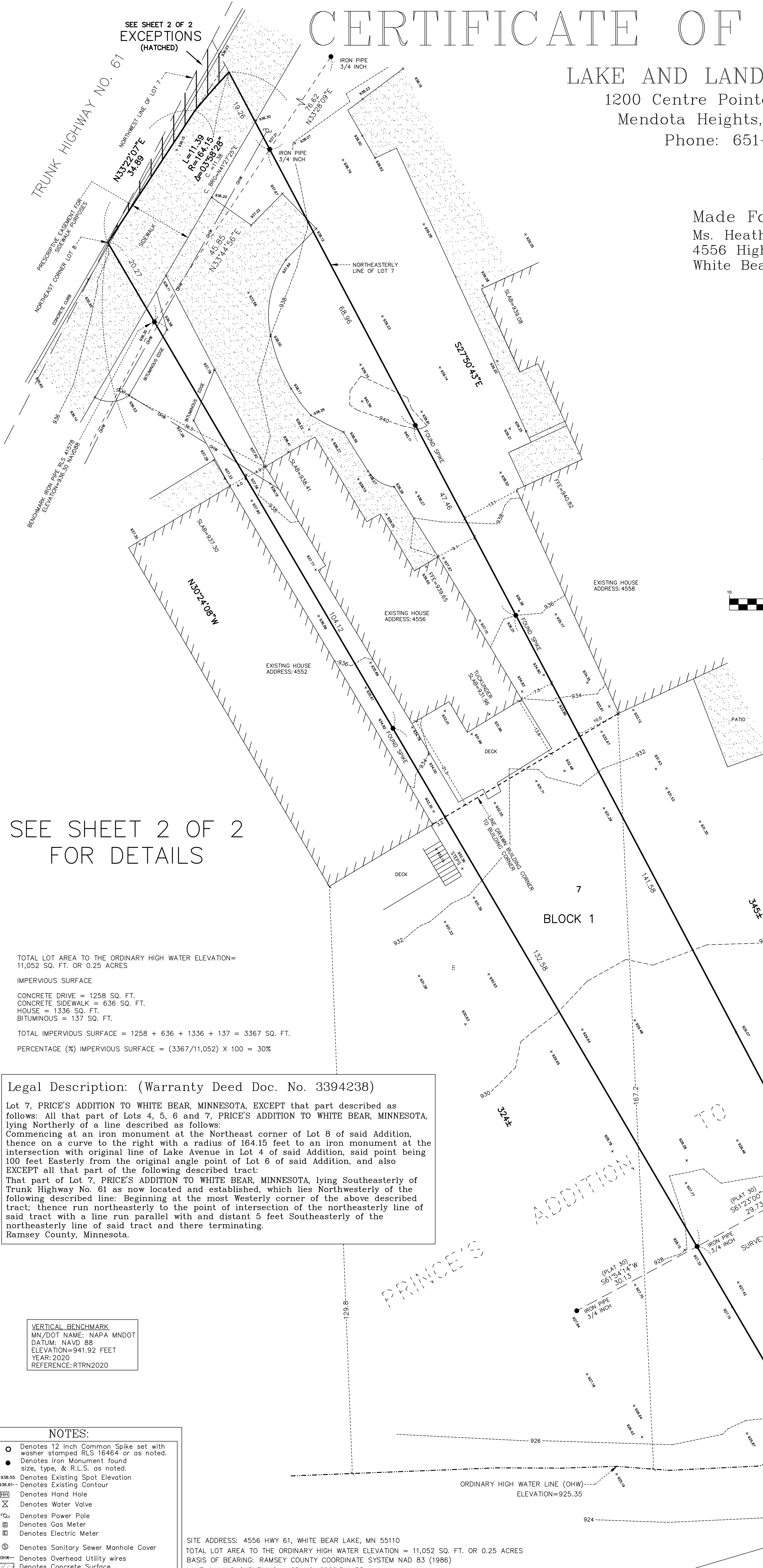
Phone: 651-776-6211

Made For:

Ms. Heather Gilbert

4556 Highway 61, North

White Bear Lake, MN 55110



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

Jonathan L. Faraci  
Registered Land Surveyor & Registered Engineer  
Minnesota Registration No. 16464

Revision Oct. 3, 2022  
September 9, 2022

SEE SHEET 2 OF 2 FOR DETAILS

TOTAL LOT AREA TO THE ORDINARY HIGH WATER ELEVATION = 11,052 SQ. FT. OR 0.25 ACRES

IMPERVIOUS SURFACE

CONCRETE DRIVE = 1258 SQ. FT.  
CONCRETE SIDEWALK = 636 SQ. FT.  
HOUSE = 1336 SQ. FT.  
BITUMINOUS = 137 SQ. FT.

TOTAL IMPERVIOUS SURFACE = 1258 + 636 + 1336 + 137 = 3367 SQ. FT.

PERCENTAGE (%) IMPERVIOUS SURFACE = (3367/11,052) X 100 = 30%

**Legal Description: (Warranty Deed Doc. No. 3394238)**

Lot 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, EXCEPT that part described as follows: All that part of Lots 4, 5, 6 and 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, lying Northerly of a line described as follows: Commencing at an iron monument at the Northeast corner of Lot 8 of said Addition, thence on a curve to the right with a radius of 164.15 feet to an iron monument at the intersection with original line of Lake Avenue in Lot 4 of said Addition, said point being 100 feet Easterly from the original angle point of Lot 6 of said Addition, and also EXCEPT all that part of the following described tract: That part of Lot 7, PRICE'S ADDITION TO WHITE BEAR, MINNESOTA, lying Southeasterly of Trunk Highway No. 61 as now located and established, which lies Northwesterly of the following described line: Beginning at the most Westerly corner of the above described tract, thence run northeasterly to the point of intersection of the northeasterly line of said tract with a line run parallel with and distant 5 feet Southeasterly of the northeasterly line of said tract and there terminating, Ramsey County, Minnesota.

**VERTICAL BENCHMARK**  
MN/DOT NAME: NAPA MNDOT  
DATUM: NAVD 88  
ELEVATION=941.92 FEET  
YEAR: 2020  
REFERENCE: RTRN2020

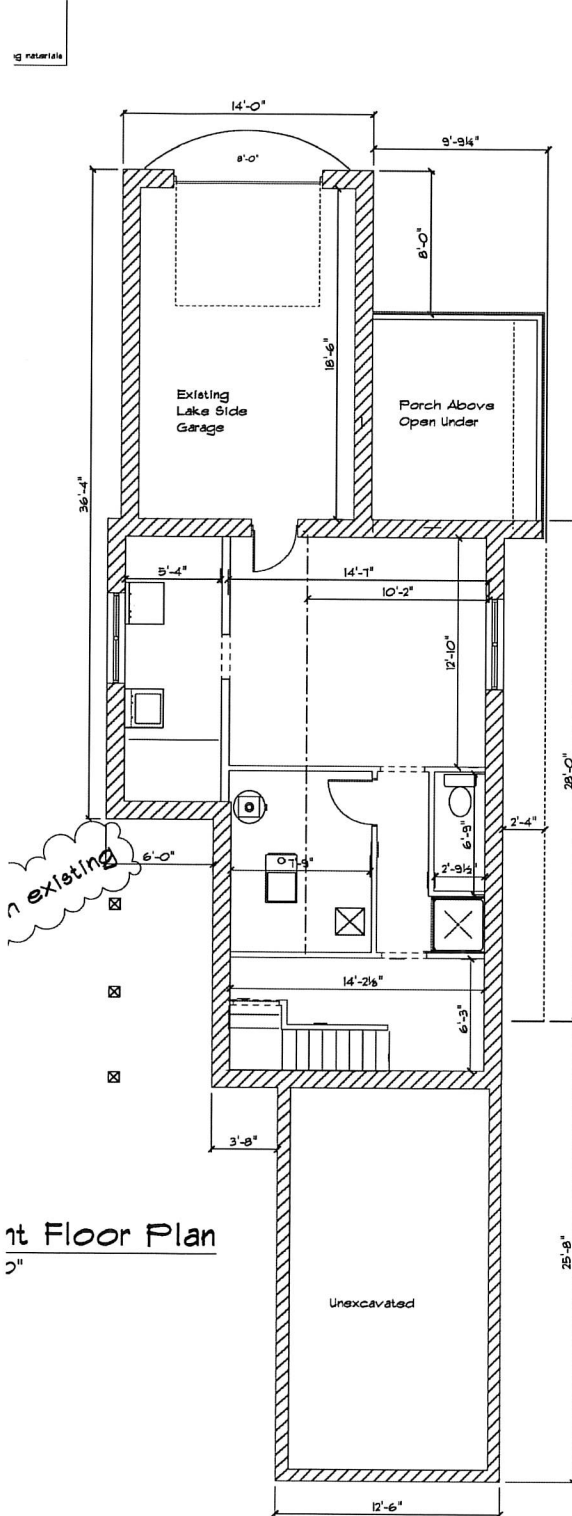
- NOTES:**
- Denotes 12 Inch Common Spike set with washer stamped RLS 16464 or as noted.
  - Denotes Iron Monument found size, type, & R.L.S. as noted.
  - x 938.55 Denotes Existing Spot Elevation
  - 936.61- Denotes Existing Contour
  - ⊞ Denotes Hand Hole
  - ⊗ Denotes Water Valve
  - ⊞ Denotes Power Pole
  - ⊞ Denotes Gas Meter
  - ⊞ Denotes Electric Meter
  - ⊞ Denotes Sanitary Sewer Manhole Cover
  - OHW- Denotes Overhead Utility wires
  - ▨ Denotes Concrete Surface

SITE ADDRESS: 4556 HWY 61, WHITE BEAR LAKE, MN 55110  
TOTAL LOT AREA TO THE ORDINARY HIGH WATER ELEVATION = 11,052 SQ. FT. OR 0.25 ACRES  
BASIS OF BEARING: RAMSEY COUNTY COORDINATE SYSTEM NAD 83 (1986)  
LAKE & LAND SURVEYING. JOB NO. 2022.341 RP

**WHITE BEAR LAKE**  
ORDINARY HIGH WATER LEVEL (OHW)  
OHW = 925.35 (NAVD 1988)  
MINNESOTA DNR DIVISION OF WATERS  
PROTECTED WATERS AREA 82-167P

## Current foot print of basement

- Notice cantilever on west side
- No foundation under garage



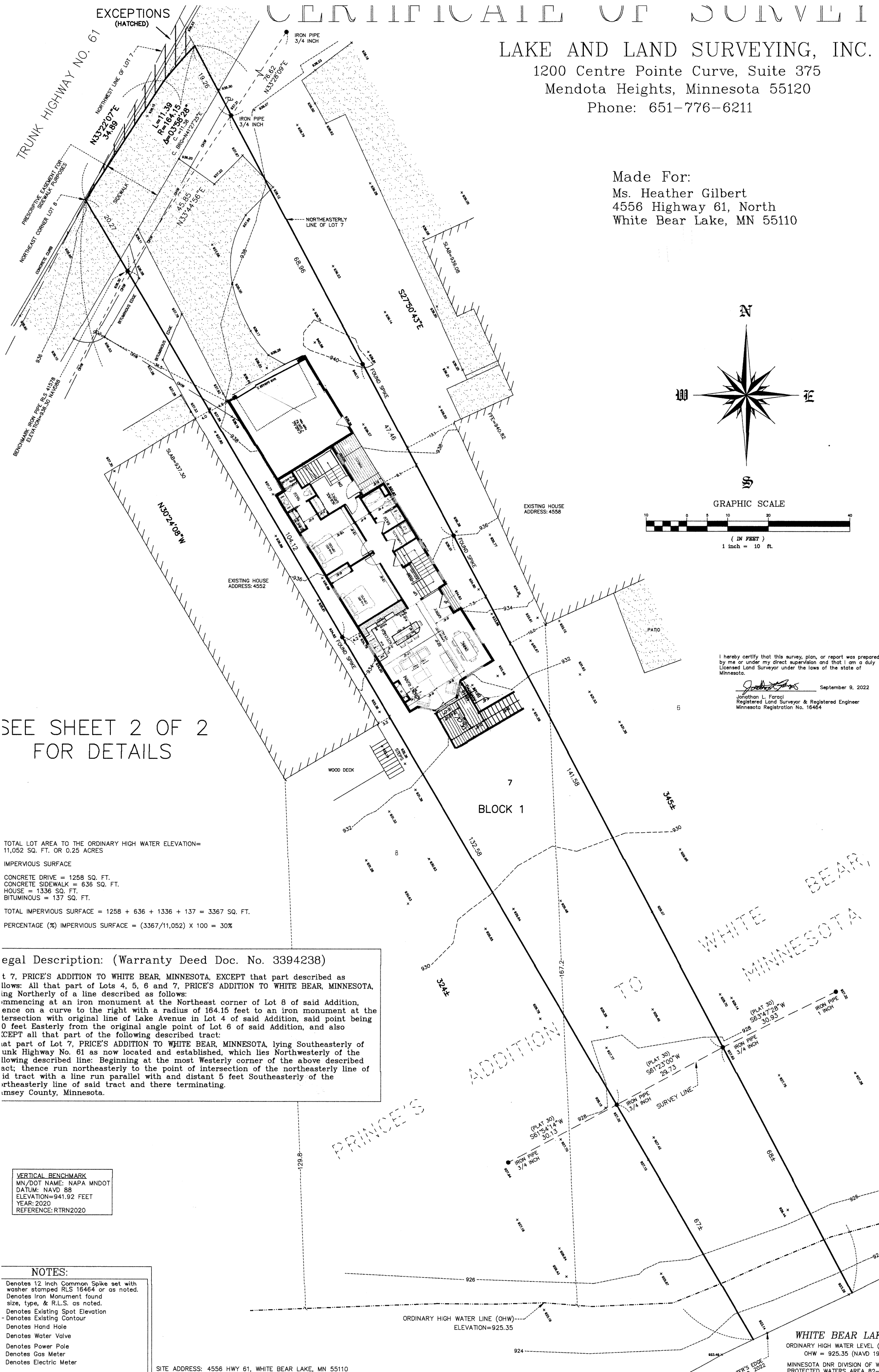
1st Floor Plan  
2"

# CERTIFICATE OF SURVEY

## LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375  
Mendota Heights, Minnesota 55120  
Phone: 651-776-6211

Made For:  
Ms. Heather Gilbert  
4556 Highway 61, North  
White Bear Lake, MN 55110



SEE SHEET 2 OF 2  
FOR DETAILS

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VERTICAL BENCHMARK  
MN/DOT NAME: NAPA MNDOT  
DATUM: NAVD 88  
ELEVATION=941.92 FEET  
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REFERENCE: RTRN2020

NOTES:

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- Denotes Iron Monument found size, type, & R.L.S. as noted.
- Denotes Existing Spot Elevation
- Denotes Existing Contour
- Denotes Hand Hole
- Denotes Water Valve
- Denotes Power Pole
- Denotes Gas Meter
- Denotes Electric Meter

SITE ADDRESS: 4556 HWY 61, WHITE BEAR LAKE, MN 55110

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

*Jonathan L. Faraci* September 9, 2022  
Jonathan L. Faraci  
Registered Land Surveyor & Registered Engineer  
Minnesota Registration No. 16464

WHITE BEAR LAKE  
ORDINARY HIGH WATER LEVEL (OHW) = 925.35 (NAVD 19)  
MINNESOTA DNR DIVISION OF WATERS  
PROTECTED WATERS AREA 82-19



A556  
HIGHWAY 61  
GATHERING SPACE  
MAIN FLOOR

KIDS' LOFT  
OVERLOOK

GREAT  
ROOM

UP TO  
LOFT

DINING

ENTRY





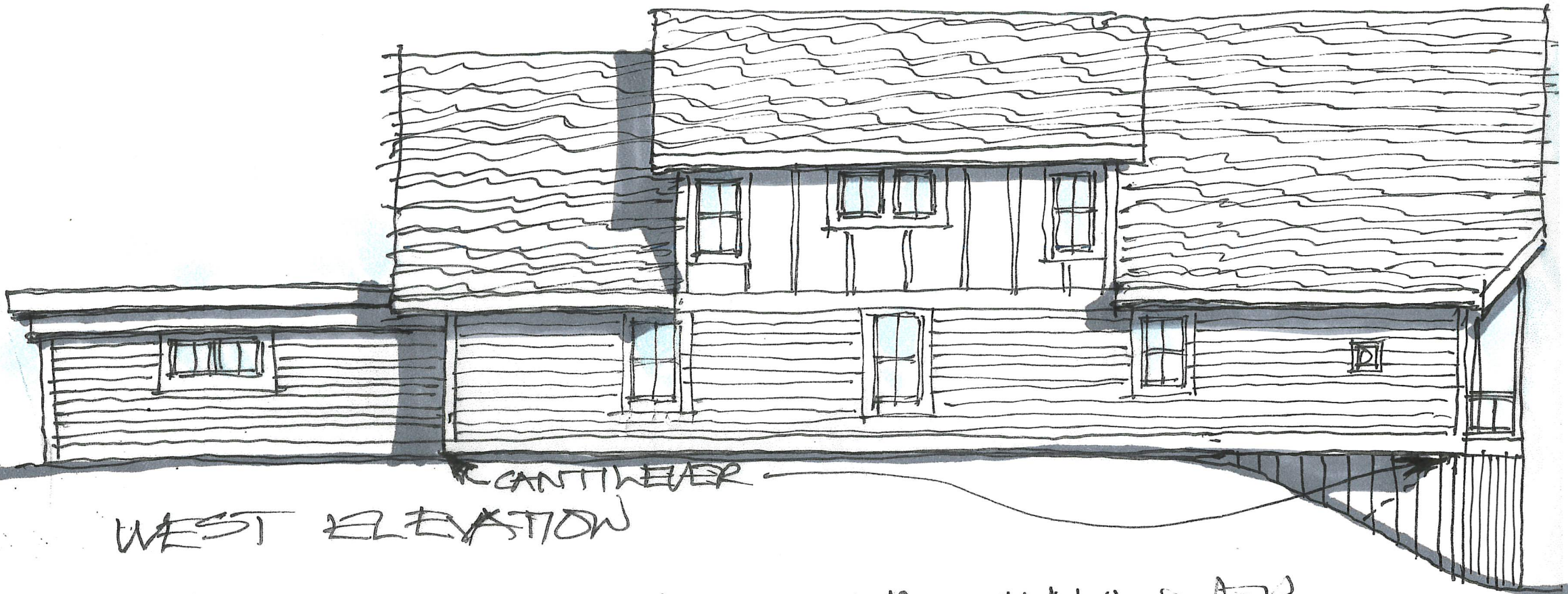


4556 HWY 61  
HOME  
REMODEL





LAKE SIDE ELEVATION



CANTILEVER  
WEST ELEVATION

4556 HIGHWAY 61 HOME MAKEOVER

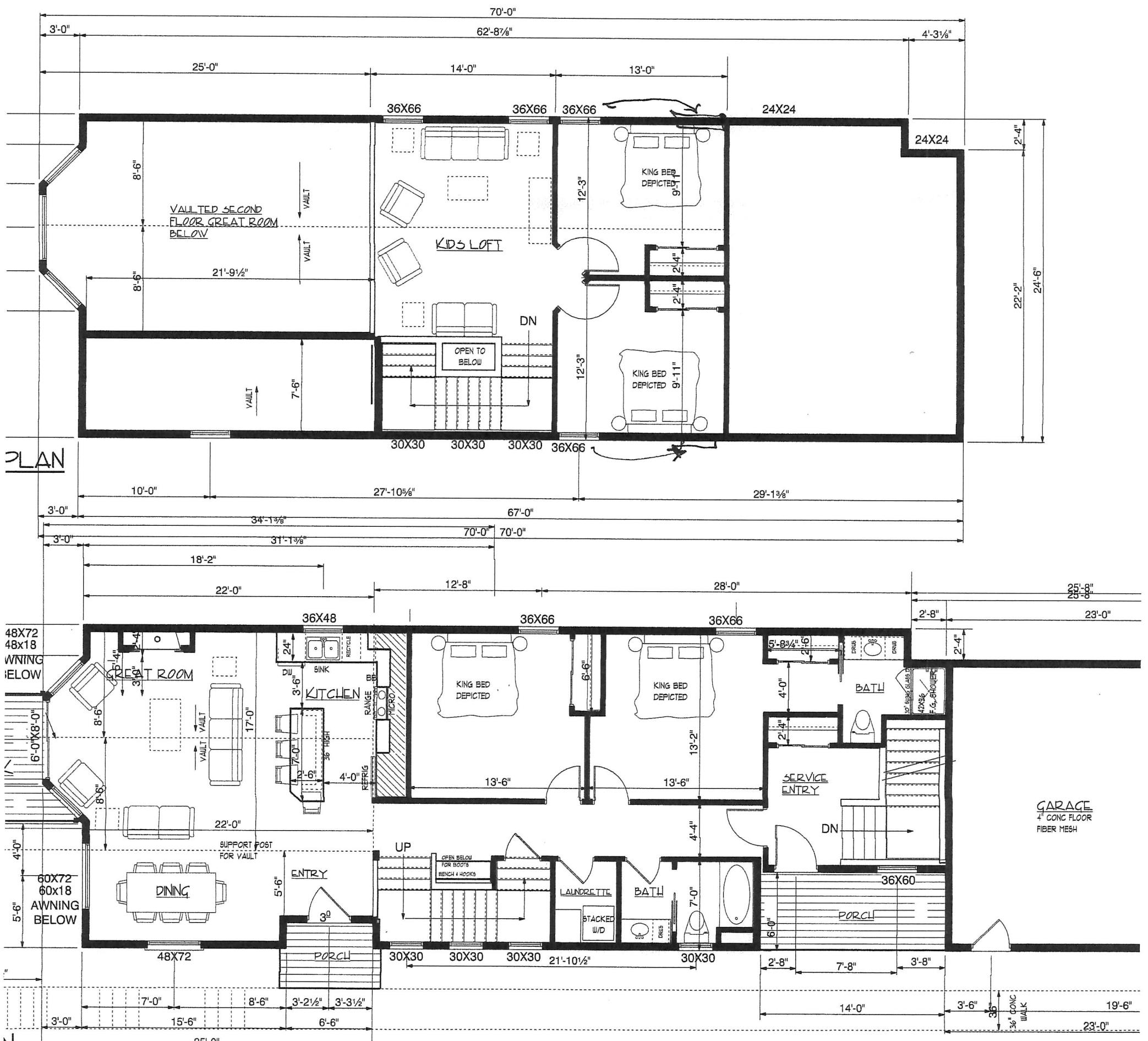


MAIN ENTRY  
SERVICE ENTRY  
EAST ELEVATION

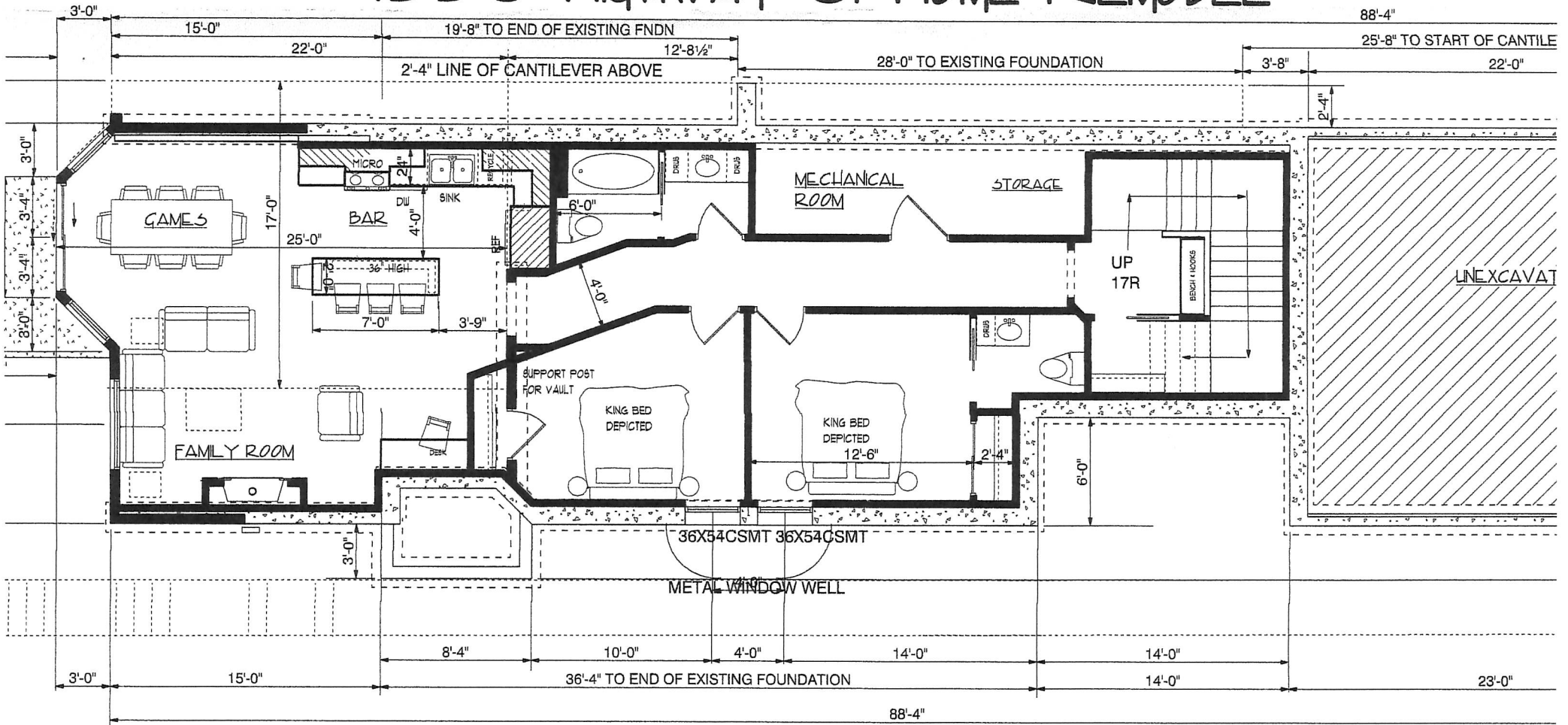


FRONT ELEV.  
(HWY 61)





# 4556 HIGHWAY 61 HOME REMODEL





December 13, 2022

Rosalie and Michael Miller  
4552 Highway 61 North  
White Bear Lake, MN 55110  
Submitted by email: millerworld@comcast.net

Re: Structural Evaluation  
Project Location: 4552 Highway 61 North, White Bear Lake, Minnesota  
Criterium File No.: 22-6832

Dear Rosalie and Michael:

At your request, an initial pre-construction condition survey of the above property has been completed, as well as a visual review of the site layout and conditions as related to the adjacent property to the north at 4556 Highway 61 North. The report that follows has been prepared based on that inspection. This inspection was performed by Paul Schimnowski, PE.

My work includes the following:

1. Visual observations during a physical walk-through on December 7, 2022.
2. Observe factors influencing the performance of the structure.
3. Provide a written report containing the following:
  - a. Scope of services.
  - b. Observations, site characteristics, and data deemed pertinent by me.
  - c. Discussion of major structural factors influencing the performance of this house.
  - d. Conclusions and any recommendations for further investigation and remedial or preventative measures.
4. This inspection is limited to the visible site elements, house foundation, framing, and the nearby or related structural elements as determined by the engineer. You asked me to pay special attention to the potential impacts to the house as related to demolition and/or construction activities at the adjacent property to the north.

## CONCLUSIONS

The following is a summary of my professional opinions regarding this house and proposed construction on the adjacent property to the north:

1. The structural condition of your house is considered to be good when compared to others of similar age and construction type. No structural repairs are required at this time. recommended. Other items noted and general recommendations have been included as well.
2. Construction activities at the adjacent property to the north could affect the structural performance of your house. Depending on the extent of the work performed, the foundation of your house could be negatively affected. Subsequent and/or other effects of construction activities in close proximity to your house could consist of framing damage and crack/gap development on walls, floors, and ceilings.

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3. More information about the proposed work and construction details on the adjacent property would need to be provided in order for me to elaborate further on potential construction-related damage to your house.
4. Regarding potential site and drainage issues, ensuring that surface water continues to be directed away from your house foundation will be important. You reported that you have not had any significant water intrusion issues in the basement of your house. Maintaining a positive slope away from your foundation and preventing water from the adjacent property being directed towards your house will be important to reduce the chances of future water intrusion.
5. The existing proximity between the two structures varies from approximately 7'-3" to 9'-5". This is less than the current White Bear Lake setback requirement of 10-feet. The City should be consulted to verify this requirement and to inquire about possible exemptions, variances, or "grandfathered" rules. The first zoning code was not established in the City until 1965.
6. It is possible that if the existing foundation at 4556 Highway 61 is fully or partially maintained, a new structure may be allowed to be built on it. The structural engineer for the project will need to determine the feasibility of keeping the foundation.
7. Based on the information you provided, a new 2-car, attached garage is proposed on the west end of the house. This addition would likely require a new foundation which may not be allowed as shown on the drawings due to setback requirements.
8. You requested that I comment on some of your other concerns regarding the close proximity of the proposed structure:
  - a. Fire hazard: Having combustible buildings in close proximity to each other increases the risk of a fire spreading from one structure to another. Contact the City Fire Marshall for more information.
  - b. Winter safety: Reducing the opportunity for icicles to form on the edge of the proposed 2-story overhang will be important for safety reasons. Adequate attic insulation and ventilation, as well as gutters and downspouts, will help to reduce this risk.

## RECOMMENDATIONS

Prior to any construction or demolition activities on the adjacent property to the north, another pre-construction condition survey should be performed. The intent would be to document existing cracks, as well as the lack of damage in areas, at the interior and exterior conditions of your house.

A complete plan of all work to be performed on the adjacent property should be provided for review and comment. This could include details regarding excavation, temporary shoring of earth, proposed foundation repair work, and full construction drawings of the proposed modifications to the existing structure.

## GENERAL RECOMMENDATIONS FOR HOUSES:

1. Continue to verify that grading adequately directs surface water to flow away from the house. Surface runoff water is the enemy of foundations. Maintain/correct the landscaping and grading at the area surrounding the home to direct surface water, and water from the roof, to flow away from the foundation walls. Consider removing any decorative landscape border which traps water against the foundation walls especially if basement water has been noted.

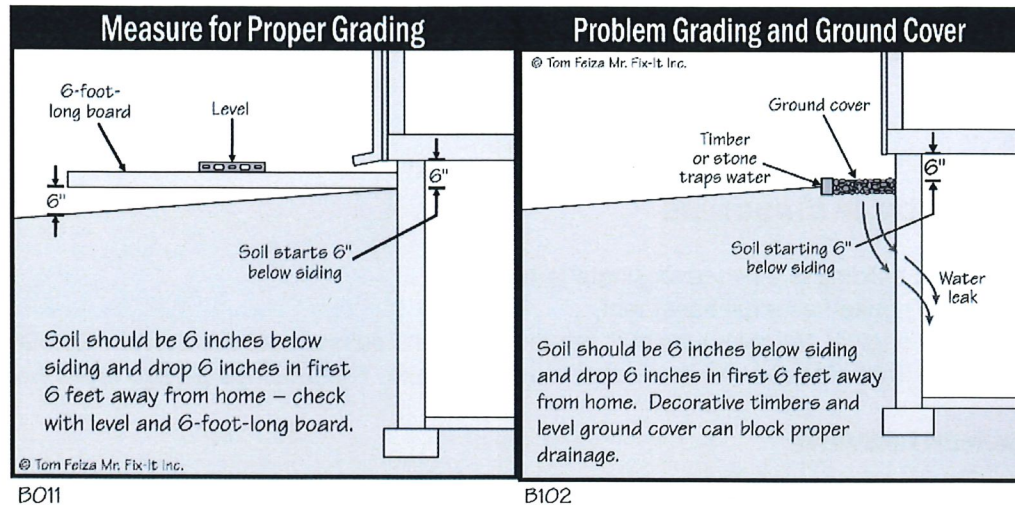
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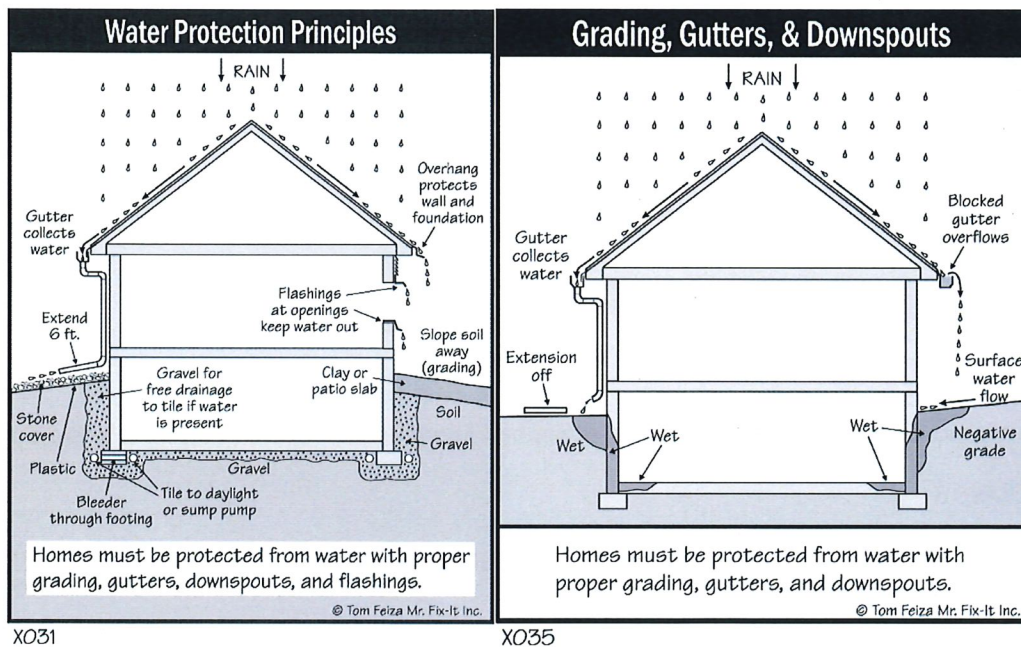
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- Gutter/Downspouts:** Water from the roof damages foundations. Install a gutter/downspout water control system. Ensure that all gutters are unplugged, flowing and all downspouts and leaders are depositing water at least 5 to 10 feet from the home. Gutters with guards, to keep debris from collecting in the gutters, should be considered if not already installed.



- In addition to any specific issues noted, the integrity of the entire building envelope should be maintained to prevent water intrusion into the structure. The house envelope includes such features as roofing, flashing, siding, and trim.

**INSPECTION DETAILS**

- Our client, to whom this report is addressed, is the owner.
- The client was present during our site visit.

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- The following areas were inaccessible or not visible, and this limited the extent of our structural inspection:
  - Most of the foundation system and slab (underground and/or concealed due to finished conditions)
  - Wall and floor framing (concealed)

## **DESCRIPTION OF STRUCTURE**

- This building is a two-level single-family home.
- The house has a full basement.
- The original structure was built around 1921 with subsequent additions in the 1960s and 1980s.
- The front of the house faces east toward the lake. The attached garage faces west.

## **DOCUMENT REVIEW**

In conjunction with this investigation, the following documents were provided for review:

- Certificate of Survey prepared by E.G. Rud & Sons dated September 29, 2017.
- Drawings of a proposed home remodel for 4556 Highway 61.
- A partial site survey drawing for 4556 Highway 61 with notes indicating the proposed house footprint and 2-car garage addition.

These documents were considered when rendering our professional opinion regarding the performance of the home's structural system and/or when providing design specifications or repair details.

## **EXTERIOR**

The exterior walls of this house are covered with composite siding. The siding is in overall good condition.

The exterior foundation walls are mostly concealed. At the visible areas, they are in good condition without structurally significant cracks or displacement noted.

## **ROOF**

The roof covering of this home consists of asphalt/fiberglass shingles. The roof is snow covered.

## **GROUNDS**

The grounds are snow covered but appear to be generally adequate to control ground water. The driveways and walkways are adequately sloped to keep water away from the building foundation.

Gutters and downspouts are recommended.

## **BASEMENT**

The basement has a concrete masonry unit (CMU) foundation system. It is accessible and partly finished. Thus, portions of the foundation as well as some areas of framing are not visible. The covered walls have no bulging or displacement to suggest underlying structural issues with the CMU walls. The visible areas of the foundation walls are in good condition without structurally significant cracks or displacement.

The basement floor consists of a concrete slab which is partially visible. The slab is in good condition with some cracks noted. The cracks are typical for this type of construction and do not signify a structural

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problem. There is no evidence at the covered floors to suggest a structural problem with the concrete slab.

The wood beams and wood posts are in overall good condition. The first-floor joists and subfloor are in overall good condition for age and type of construction. Some typical joist deterioration is seen which contributes to uneven floors above. This is not a structural issue and repairs are not required.

## INTERIOR

Some plaster/sheetrock cracking is noted at the upper level(s) which is typical for houses in this climate and due to seasonal temperature and humidity change.

The floors are slightly uneven throughout. This is a common finding in houses of this age and in this climate and due to typical deterioration of joists and subfloor.

## GARAGE

The attached garage has a concrete masonry foundation system with a ground supported slab. The garage is partly finished. Visible areas of the foundation walls are in good condition without structurally significant cracks or displacement.

The concrete slab is in overall good condition and the cracks seen are typical for age and type of construction. No repairs are needed.

There are no indications of structural issues with the garage framing. No bowing or water intrusion is noted at the finished walls/ceiling.

## DESCRIPTION OF TERMS

Terms used in this report to describe the condition of observable components and systems are listed and defined below. It should be noted that a term applied to an overall system does not preclude that a part or a section of the system or component may be in different condition:

- Excellent-** Component or system is in "as new" condition, requiring no rehabilitation, and should perform in full accordance with expected performance.
- Good-** Component or system is sound and performing its function. Although it may show signs of normal wear and tear, some minor rehabilitation work may be required.
- Fair-** Component or system falls into one or more of the following categories: a) Evidence of previous repairs not in compliance with commonly accepted standards, b) Workmanship not in compliance with commonly accepted standards, c) Component or system is obsolete, d) Component or system approaching end of expected performance. Repair or replacement is required to prevent further deterioration or to prolong expected life.
- Poor-** Component or system has either failed or cannot be relied upon to continue performing its original function as a result of having exceeded its expected performance, excessive deferred maintenance, or state of disrepair. Present condition could contribute or cause the deterioration of other adjoining elements or systems. Repair or replacement is required.

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## SCOPE OF SERVICES and LIMITATIONS

The purpose of this inspection and report is to evaluate the current condition of the **structural system** of this building and to determine what, if any, significant maintenance, repairs, and/or replacement to this system might be expected within the next few years.

The report is not to be considered a guarantee of condition and no warranty is implied.

Our evaluation of this structure is based on many indirect observations. Examination of the foundation is completed without excavation; therefore, we cannot be certain of the condition below grade. Additionally, we cannot certify that the footings extend below the frost line. We cannot see most of the framing. We look for cracks, bulges, and other evidence of distress or deterioration to help us evaluate the condition. In addition, often, construction details cannot be known, and we then assess that system with typical construction practices for our area in mind. As with any limited inspection, it is possible that there are structural deficiencies that cannot be known.

This scope of this inspection does not include a comprehensive evaluation for code compliance, governmental regulation compliance, fire safety, or hazardous materials in or around this building. It does not include an inspection of heating, cooling, plumbing and electrical systems or repair designs. Inspecting for mold is not included in the scope of a structural inspection. Our services do not include determining the presence of a virus in this building. Evidence of any moisture-related problems in the home is not always visible. We cannot be responsible for any such conditions that might be discovered later. This report is not a termite inspection, and no responsibility is assumed for any damage caused by wood-destroying organisms.

This report is based on an examination of the structural system and is an opinion about the condition of the structural system of the building. It is based on evidence available during a diligent inspection of all reasonably accessible areas. No surface materials were removed, no destructive testing undertaken, nor furnishings moved. This report is not an exhaustive technical evaluation. Examination of the exterior veneer, exterior siding, interior walls, trim, windows, doors or frames is completed only to see if any signs of differential movement are present and not to render an opinion of the condition of these items. Issues concerning the veneer, siding, trim, windows, doors or frames, or any associated rot, caulking, etc., are not included in the scope of a structural inspection and, if we address any of these items in our report, it is only as a courtesy and should not be considered an opinion of these items or an all-inclusive list of deficiencies.

As Professional Engineers, it is our responsibility to evaluate available evidence relevant to the purpose of this inspection. We are not, however, responsible for conditions that could not be seen or were not within the scope of our service at the time of the inspection. If additional documentation or information is made available for review, I reserve the right to amend or add to the opinions and observations presented in this report.

No building is perfect. As you review this report, pay particular attention to our notes that often our observations and recommendations are typical of many structures we inspect.

## CLOSING

In summary, I consider the structural condition of this house to be good when compared to others of similar age and construction type. Additional documentation and monitoring should be performed prior to and during any construction activity on the adjacent property to the north.

Opinions and recommendations in this report are limited to the scope of work. This report has been prepared in strict confidence with you as our client. Reliance upon our report by other parties is strictly prohibited. If you choose to share our report, you agree to indemnify, defend and hold harmless the

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Engineer from any third-party action. No reproduction or re-use is permitted without express written consent. Further, we will not release this report to anyone without your permission.

If additional documentation or information is made available for review, I reserve the right to amend or add to the opinions and observations presented in this report.

Please call with any additional questions you may have. Thank you for the opportunity to be of assistance to you.

Sincerely,

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---

161 Dunbar Way / Mahtomedi, MN 55115  
O: 651.779.7700 / criterium-schimnowski.com





**Location**  
4552 Highway 61,  
White Bear Lake, MN

**Photos Taken by:**  
Paul D Schimnowski, P.E.

**Inspection Date:**  
December 7, 2022



1 View of area between structures. (4552 Hwy, 61 on right, 4556 Hwy. 61 on left). Approx. 9.5'



2 View between existing structures looking east.



3 View between existing structures looking west.



4 View between existing structures looking east.



5 Existing garage at 4556 Highway 61.



6 Overhang from foundation on existing house at 4556 Highway 61 is approx. 2'-4".



**Location**  
4552 Highway 61,  
White Bear Lake, MN

**Photos Taken by:**  
Paul D Schimnowski, P.E.

**Inspection Date:**  
December 7, 2022



**7** Existing foundation at 4556 Highway 61.



**8** Existing foundation at 4556 Highway 61.



**9** Existing garage foundation wall at northwest corner of 4552 Highway 61.



**10** Existing garage foundation wall on north side of 4552 Highway 61.



**11** Existing north foundation wall at 4552 Highway 61.



**12** Existing conditions along north side of 4552 Highway 61.



**Location**  
4552 Highway 61,  
White Bear Lake, MN

**Photos Taken by:**  
Paul D Schimnowski, P.E.

**Inspection Date:**  
December 7, 2022



**13** Existing conditions along north basement wall. Foundation concealed.



**14** Existing conditions along north basement wall. Foundation concealed by paneling.



**15** Existing conditions at main level bathroom on north side of house.



**16** Existing conditions at main level bedroom on north side of house.



**17** Existing conditions along north side of upper level loft area over garage.



**18** Existing conditions along north side of upper apartment.



**City of White Bear Lake**  
Community Development Department

# M E M O R A N D U M

**TO:** The Planning Commission  
**FROM:** Shea Lawrence, Planning Technician  
**DATE:** January 30<sup>th</sup>, 2023  
**SUBJECT:** Higher Ground Daycare Conditional Use Permit, 3220 Bellaire Ave,  
 Case No. 23-2-CUP

## SUMMARY

The applicant, Mark Goodman (Guidepost A, LLC) is requesting a conditional use permit in order to remodel the existing medical facility located at 3220 Bellaire Ave, into a Montessori childcare facility.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1302.140 have been satisfied and recommends approval of the request.

## GENERAL INFORMATION

Applicant/Owner: Mark Goodman (Guidepost A, LLC)

Existing Land Use / Zoning: Medical Office; zoned R-6: Medium Density Residential; partially located in Shoreland Overlay District

Surrounding Land Use / Zoning: North: Single Family Home; zoned R-3: Single Family Residential & Shoreland Overlay District  
 East & South: Townhomes; zoned R-6: Medium Density Residential  
 West: Golf Course; zoned P: Public

Comprehensive Plan: Medium Density Residential

Lot Size & Width: Code: n/a  
 Site: 78843.6 sq. ft. & 250 feet

## BACKGROUND INFORMATION

The subject site is located to the east of Bellaire Avenue between Orchard Lane and County Road D, just to the east of Manitou Ridge Golf Course. About half of the site is located within the shoreland district associated with Heiner's Pond. Along the northern property line is a 20 foot drainage and utility easement. The medical clinic was originally constructed in 1973. There are no changes proposed to the footprint of the building. Exterior modifications proposed for

the site include three separate fenced play areas resulting in the removal of the parking spaces on the north side of the building.

#### Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to adjacent property owners within at least 350 feet of the subject property. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff have received three comments. Brian Shipe who lives in a neighboring townhome emailed staff in support saying a child care facility seems like a reasonable use for the building compared to other possibilities. Tom Black who lives at 2546 Sumac Circle, called staff to ask about the daycare participants and explain he believes a Montessori should be considered a school and not a daycare. Another neighbor called to ask about the hours of operation for the daycare and was overall supportive of the daycare after learning about its operating hours. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

#### **ANALYSIS**

##### Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use, in this case a daycare facility. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding:** The 2040 Comprehensive Plan Future Land Use Map guides the subject property medium density residential. High density residential is characterized by multi-unit apartment, condominium and senior living facilities with a density range from 12 to 34 units per acre. While the proposed use is not a high density residential property, child care facilities are permitted in all zoning districts with a conditional use permit.

2. The proposed use is or will be compatible with present and future land uses of the area.



**Finding:** The proposed use is compatible with present and future land uses of the area. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Medium Density Residential. The properties to the east and south are guided as Medium Density Residential, with the properties to the north as Low Density Residential. The property to the east is guided as Park, Recreation & Open Space. With the current land uses and future land uses of the area guided as residential the proposed use of this property as a Montessori childcare facility fits with the area. As stated in their narrative, Guidepost A LLC has determined there is demand for child care in this area.

3. The proposed use conforms with all performance standards contained herein.

**Finding:** The zoning code permits daycare facilities as a conditional use in all zoning districts subject to the criteria in section 1302.140. The subject site was analyzed according to the following standards laid out in the general provisions section.

#### Lot Requirement and Setbacks

The subject property must adhere to the lot requirement and setback as listed in the code for the R-5 zoning district. The property requires a 30 front yard setback, a 15 foot side yard setback and a 30 foot rear yard setback for the construction of buildings. The proposal for the site does not include any addition to the existing building which does not encroach on these setbacks. The lot area and lot width requirements in the R-5 zoning district provides minimum square footage standards for residential buildings which does not apply to this facility. However, the building does exceed the greatest minimum requirement for a residential building.

#### Municipal Sanitary Sewer and Water

The subject property is served by city water and sewer as required by this section of the code.

#### Screening

Daycares must be screened when abutting commercial and industrial properties, which is not applicable to this site, as the property abuts only residential and public zoned properties. The outdoor play spaces are required to be enclosed for the safety of the children. Each play area will be enclosed with either a 4 ft. or 6 ft. black steel fence in compliance with the fencing standards laid out in 1302.030 Subd. 6 of the zoning code. Applicants will need to go through a separate administrative process to receive a fence permit.

#### Parking

There will be adequate off street parking in the parking lot which will have 53 parking spaces including 3 ADA parking stalls. While there are not specific parking requirements listed in the code for daycare facilities, historically city staff have applied the parking standards for elementary schools plus 1 parking stall per staff member. Elementary schools require 1 parking space per classroom plus 1 additional for each 50 student capacity. Because there is a proposed 126 child capacity with 22 staff members, 31 parking spaces are required using this standard. Other communities throughout the metro area use a standard of 1 parking spot per 6 children

for childcare facilities. Applying this standard would require 21 parking spots. Using either analysis the 53 parking spots proposed provides more than the required amount of parking for the facility. According to city code, because the property is abutting residential properties, the parking will need to be screened off to the residential properties. Staff will be including a condition of approval that proper screening will need to be installed between the parking lot and the residential properties to the north.

#### Loading

One off street loading space is required for the proposed site in compliance with section 1302.060 of the code. The site plans displays an access point on the north side of the property which will be used to access the trash. This space should be designated as the loading area. The area will be required to be screened and landscaped from the abutting residential properties according to the code. Staff will include this as a condition of approval.

#### Signage

The design plan displays two separate wall signs. The applicants are only permitted one wall sign up to forty feet according to section 1202.040 Subd. 1 of the city code and must limit their wall signs accordingly. The applicants are also permitted 1 monument sign on the property with a max size of 35 sq. ft. per side because the property is over 1 acre in size. Applicants will be required to submit a commercial signage application and receive proper permitting through a separate administrative process before installation of signs.

#### Day Care or Group Care Facility

The site plans demonstrate that there will be exterior modifications to the building, including repainting and repairing the exterior and trim on the building which will not cause impairment to surrounding property values. Additionally the site plans display that the front, side and rear yard setbacks will not be encroached on.

#### Primary Space

There are 4 standards that address the usable area for daycare in the code section 1302.040 Subd. 3. The facility will include 5,638 sq. ft. of classroom space which provides about 44 sq. ft. of space per child, more than the 35 sq. ft. required by code. Applicants will also be required to limit the amount of primary space occupied with stationary equipment to under 25 percent of the space and keep stairways and corridors free from obstructions. Additionally, state licensing will be included as a condition of approval.

#### Bathroom Facilities

The facility will also have sufficient bathroom facilities for the children and staff. The facility will have 13 toilets and 21 sinks accessible to children, staff and visitors, more than what is required by city code. Code requires 1 toilet and 1 sink per every 15 participants, which would require this facility to have a minimum of 9 toilets and sinks. Each classroom will be equipped with a bathroom with appropriately sized toilets and sinks so that they are easily reachable for the intended age group.

Day Care Facility Sick Room

The site plan illustrates that each child and toddler room will be equipped with a cot on the exterior of the room. This should be utilized to provide space for sick children who can't participate in group activities but can still be supervised. The area should be properly screened from the main activity area.

Day Care Facility Sleeping Area

The classroom sizes exceed the minimum amount required for a daycare which will allow for enough space for the daycare provider to provide space for rest throughout the program day. The applicants will be required to provide a cot or crib to each child during the day for rest.

Day Care Facility Outdoor Play Area:

The child care facility will also feature 3 separate outdoor play areas totaling 12,216 sq. ft. of outdoor play space. This will provide about 96 sq ft of play area per child. This exceeds the required 75 sq. ft. per child required by code. Each play area will be equipped with play equipment designed for the children's intended age group. All play areas will also be enclosed by either a 4 or 6 foot black iron fence. All of the outdoor play space is located outside of the front yard setbacks, as required by code.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

**Finding:** The conversion of the building into a childcare facility will not depreciate the area in which it is proposed. The exterior of the building will receive new paint and repairs to the trim as well as mill and overlay to the existing parking lot.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

**Finding:** The property is served by city water and sewer and the utilities have the capacity to serve the proposed use.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

**Finding:** The applicant anticipates the traffic generation will be low for the childcare facility. The new traffic generation will be spread throughout the day between 7:00 am and 6:00pm due to varying arrival and departure times for staff and children. The site circulation for drop off and pick up will be communicated with staff and families to minimize cars queuing. Car queuing will not be permitted in the public street. All car queuing must occur on the applicant's own property.

**RECOMMENDATION**

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:



1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.
5. Applicant will obtain proper licensing for operating a child care facility and remain in good standing with the MN Department of Health.
6. Applicant will submit a landscaping plan demonstrating compliance with required screening to abutting residential properties
7. The applicant will submit a landscaping letter of credit (LOC) equal to 125% of the cost of all landscaping.
8. The applicant will submit application for fencing on the property and obtain proper permits prior to construction of fences.
9. Designated loading area on the north side of the property must be screened off to abutting residential property per city code section 1302.060 Subd. 5.
10. The applicant will ensure the parking lot will be screened off to abutting residential properties per city code section 1302.030 Subd 7.
11. All signage will be in compliance with city code and applicant will submit for signage permits as needed.

**Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 12/23/22

Community Comment

Applicant's Narrative (6 pages) & Plans (11 pages)

**RESOLUTION NO.**

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT  
FOR 3220 BELLAIRE AVENUE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Guidepost A LLC (Case No. 23-2-CUP) has requested a conditional use permit, per code section 1302.140, in order to convert an existing office building into a daycare facility at the property located at:

**LOCATION:** The North 250 feet of the West 348.48 feet of the West 30 acres of the South Half of the Southeast Quarter, Section 36, Township 30, Range 22, except the West 33 feet thereof, according to the United States Government Survey thereof and situate in Ramsey County, Minnesota. (PID # 363022430073)

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

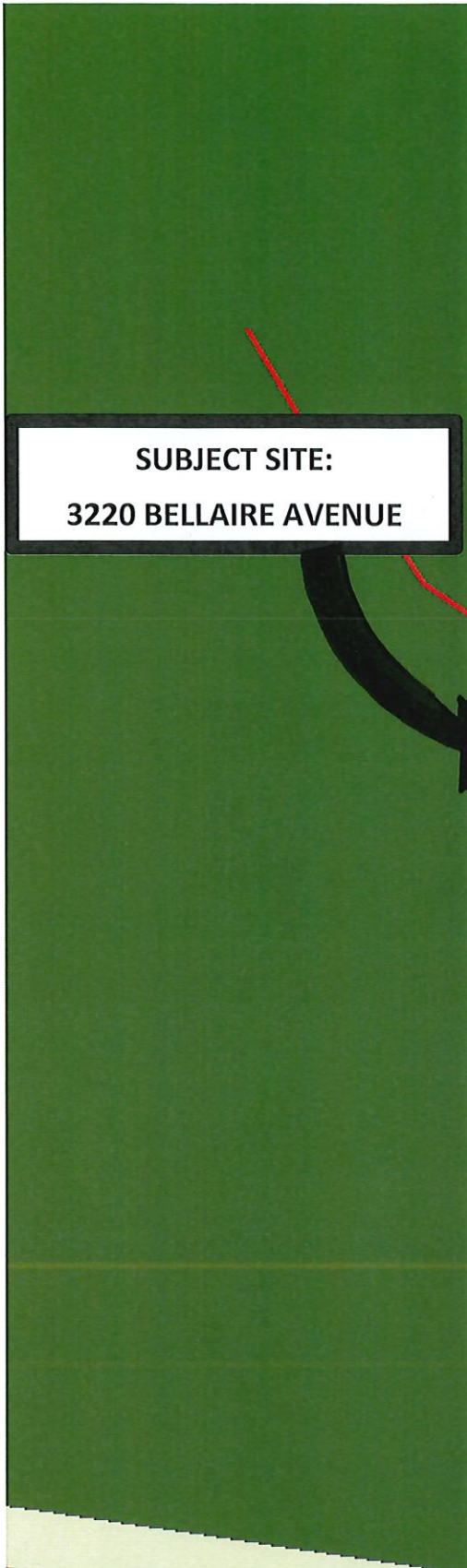
1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the







**SUBJECT SITE:  
3220 BELLAIRE AVENUE**



- ZONING**
- B-1: Neighborhood Business
  - B-2: Limited Business
  - B-3: Auto Oriented Business
  - B-4: General Business
  - B-5: Central Business
  - BW: Business Warehouse
  - DBD: Diversified Business Development
  - DCB: Diversified Central Business
  - I-1: Limited Industry
  - I-2: General Industry
  - LVMU: Lake Village Mixed Use
  - O: Open Space
  - P: Public
  - PZ: Performance Zone
  - PZR: Performance Zone Residential
  - R-2: Single Family Residential
  - R-3: Single Family Residential
  - R-4: Single Family - Two Family Residential
  - R-5: Single Family - Two Family Medium Density Residential
  - R-6: Medium Density Residential
  - R-7: High Density Residential
  - R-B: Residential Business Transition
  - R1-I: Low Density Single Family - Island
  - R1-S: Low Density Single Family - Shoreland



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 23-2-CUP

CASE NAME : Guidepost A LLC

DATE : January 30<sup>th</sup>, 2023



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



December 23, 2022

Guidepost Montessori  
3220 Bellaire Ave  
White Bear Lake, MN, 55110

Dear Mr. Goodman:

Thank you for submitting documents for Fire Department review. The plans for the above project have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison  
Assistant Fire Chief / Fire Marshal  
651-762-4842

Encls.



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



### General Comments

1. The occupancy classification of this building will need to meet the requirements of group I-4. Provide drawings by a certified architect showing all exiting and fire protection requirements for a group I-4 occupancy. This is a change of use to this building which will require the installation of a fire sprinkler system designed to the NFPA 13 standard. A city permit is required **prior** to initiation of work.
2. State licensing requirements shall be met.
3. A fire alarm system shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code for a group I-4. A city permit is required **prior** to initiation of work.
4. The fire alarm system shall be monitored by a central station.
5. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background. Numbers shall be installed on the building.
6. Install approved emergency lock box for Fire Department emergency access to building at an **approved location** and provide keys for emergency access into and throughout the occupancy as required.
7. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
8. Install compliant exit signage as required by the 2020 MSFC.
9. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
10. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.
11. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.





## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



### **Codes and Standards Used for this Review**

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition

## Shea Lawrence

---

**From:** Brian Shipe <brianshipe@gmail.com>  
**Sent:** Monday, January 23, 2023 4:58 PM  
**To:** Ashton Miller  
**Subject:** 3220 Bellaire Ave

I wanted to let you know that my wife and I who live in the neighboring townhome association do not have a problem with a day care going into this building. We think that is a reasonable use for the building compared to other possibilities.

Thanks,

Brian Shipe

# Higher Ground Education



**Project Narrative**  
for  
**Guidepost Montessori White Bear Lake**

**3220 Bellaire Ave.**

**White Bear Lake, MN 55110**





APN: # :223316104014

Guidepost A, LLC (the “Applicant”), an affiliate of “Higher Ground Education Inc” and/or “Guidepost Montessori”, is respectfully applying for a Use Permit approval for the property located at 3220 Bellaire, also known and identified by legal description listed in “Section V” below (the “Property”).

**I. BACKGROUND**

Higher Ground Education includes several “brands” through which they advance their mission to "support the Montessori movement's efforts to professionalize itself, improve its programs, and expand its reach while retaining authenticity and pedagogical integrity." One of the brands, Guidepost Montessori, was founded by a small team of impassioned educators and skilled business leaders to create and scale high-fidelity Montessori networks throughout the world. Guidepost Montessori currently operates over 100 day-care centers and or elementary schools across the United States, Canada, Europe, and Asia, including at-home and virtual learning programs serving thousands of families worldwide. Guidepost Montessori follows five core values dedicated to fostering independence, creativity and intelligence, confidence, and responsibility within the children. Guidepost Montessori also fosters a strong relationship between the care givers and the parents, recognizing the role that a meaningful partnership with a child's parent has on the child's growth and success. Using a holistic approach to enable social, emotional, and physical development alongside academic success, Guidepost Montessori is viewed as one of the most effective and authentic child-centered care centers for children. Guidepost Montessori employs a method of education and care that recognizes that the circumstances of children are as varied as children themselves. The specific needs, the precise resources available, and the particular constraints faced by each child and each family are different. As times change, there is a need to keep step and to ensure that the application is timely. But the fundamental need is timeless: to help the child achieve their own development. So, too, is the fundamental method: to provide the child with material, environment, and guidance that is lovingly optimized to support her in that work. Guidepost Montessori is looks forward to delivering much-needed and highly-desired elementary education to the community of White Bear Lake.

The Applicant will apply for licensing through required state agencies. In addition to state agency oversight, the Applicant is accredited by Cognia/AdvancEd (<https://www.cognia.org>). The Cognia accreditation is a well-respected designation of school quality. Founded in 1895, Cognia has evaluated and provides oversight of thousands of Schools for accreditation. Cognia is also a leader in developing methodology for data-informed school quality assessments. The Applicant’s school system and School were formally approved for accreditation through a vote of the Cognia Global Commission on March 30, 2021 after a rigorous inspection/evaluation process to ensure our Schools meet their high standards. Cognia continues to oversee Applicant’s School on an ongoing basis—making sure that they maintain those standards over time. The Applicant’s accreditation achievement reflects a recognition by highly experienced and expert neutral third-party educators of the high-quality education provided by the Applicant.

**II. PROPERTY LOCATION, ZONING, AND PERMITTED USE**

The Property is at 3220 Bellaire Ave. The Applicant proposes to repurpose an existing office building into a Guidepost Montessori Day Care facility for a total of 126 children, consisting of 6 classrooms: 1 Nido (6 weeks to 18 months) for 8 children; 2 toddlers (18 months to 3 years) for 28 children; and 3 children’s house (3 years to 6 years) for 90 children. Per the White Bear Lake Zoning Code, Day Care facilities require approval of a Use Permit in the R6 Medium Density Residential Zone.





**Project Narrative**  
December 2, 2022

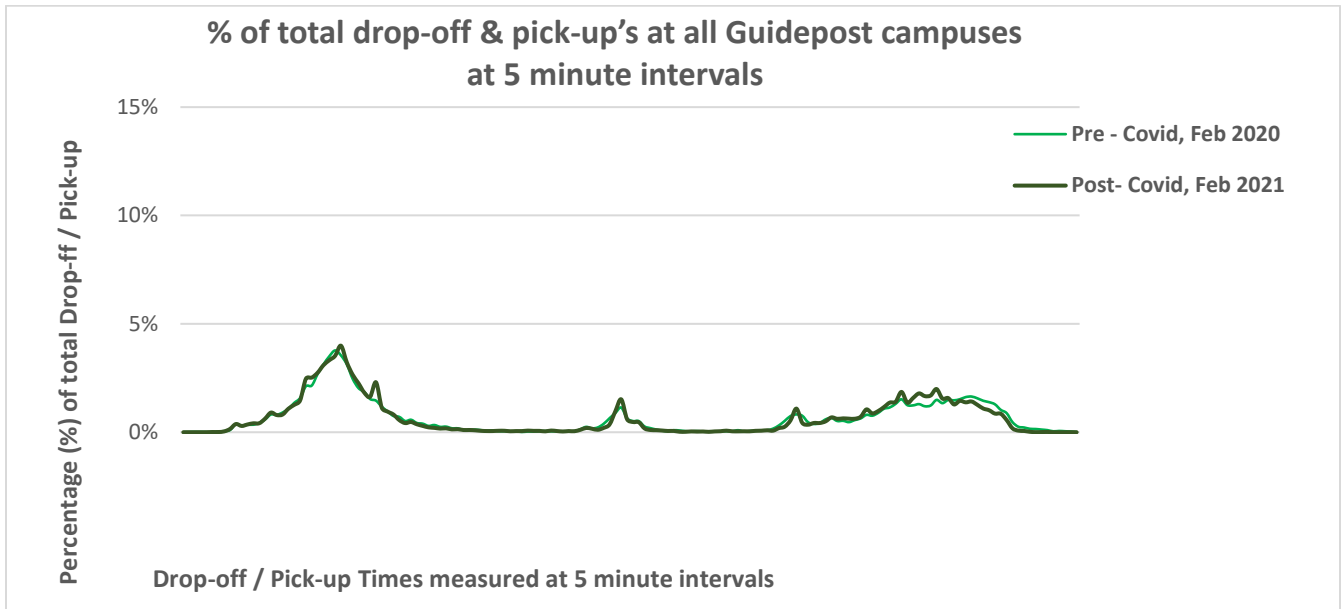
Guidepost Montessori does not build or acquire buildings for day care or educational use on a speculative basis. The subject property is being acquired because there is an existing demand for day care in the immediate area. The modifications to the property and building and the proposed day care use are consistent with the overall goals of the City’s Comprehensive Plan, are compatible with, and actually serve surrounding land uses, will comply with City standards, will not depreciate surrounding property values and can be accommodated by City services. Traffic generation is low and is spread throughout the day (see Proposed Operations below).

**III. PROPOSED OPERATIONS**

The proposed hours of operation are from 7:00am to 6:00pm - Monday through Friday. The staff typically arrives from 7:00am – 7:30am to prepare for children drop-off and arrivals. Although the facility closes at 6:00pm, the facility will occasionally remain open for evening activities such as routine after-school administrative duties, parent meetings, teacher/professional development, and community activities. The following is a sample school schedule with key arrival and departure time ranges identified. Early arrivals (pre-care) and late pickups (extended care) are part our of standard tuition package, and our families are not penalized for utilizing the following wide range of drop off and pick up windows.

<b>Sample School Schedule</b>	
7:00-7:30	Staff Arrival
<b>7:30-10:00</b>	<b>Drop Off Arrival Window</b> • 7:30am – 9am is pre-care
9:00-11:00	Morning Work Period Starts
11:00-12:00	Lunch and Outside Play
12:00-12:30	Half-Day Dismissals
12:30-2:30	Nap Time
2:30-4:30	Snack and Outside Play
<b>2:30-6:00</b>	<b>Pick-Up Departure Window</b> • 3pm – 6pm is extended-care

Arrival and departure times are spread over an approximate (2.5) hour period in the morning and (3.5) hour period in the afternoon. There are also some half-day dismissals that further spreads out the afternoon pickups. At other campuses, the Applicant generally experiences a steady flow of arrivals and departures throughout the drop off and pick up time zones that does not cause parking lot congestion or the need for traffic mitigation. A typical drop off and pick up cycle takes approximately (5-10) minutes per family. The parking layout will provide parking spaces adjacent to the main entry. These parking spaces will be used as pick-up and drop-off parking spaces, which allows for parent or guardian to park, walk their children into the facility, where each child is checked into an electronic (SmartCare) system. The parent or guardian then returns to their car. The process happens in reverse for pick up. Below is an illustration from over (90+) campuses of the steady flow of drop off and pick up period time-frames.



**IV. SITE DEVELOPMENT**

**PARKING/PARKING LOT**

The parking lot will accommodate the drop off and pick up process mentioned herein. Parking configuration and drive aisles will allow for the safe loading and unloading of children, also while allowing for required staff and ADA parking spaces. Per the White Bear Lake Zoning Code, the required number of Vehicular Parking Spaces is 1.5 parking spaces per classroom for Elementary School, but no standard for Day Care has been set.

The proposed parking lot will include 53 regular spaces plus 3 ADA spaces for a total of 56 parking spaces. Based on the number of staff anticipated (22) and the number of students (126) this would be more than adequate. The site circulation will be effectively managed through proactive communication with the staff and families prior to enrollment. The proposed parking lot configuration, controlled conditions, site circulation, and quantity of parking spaces will minimize the necessity for queuing out onto the public street and should not impact the surrounding transportation network. The drop-off and pick-up process, parking configuration, and drive aisles will allow for the safe loading and unloading of children and adequate parking for staff.

**BUILDING INTERIOR AND EXTERIOR**

All building elevation modifications will be compatible with surrounding architecture and will comply any conditions imposed by the City of White Bear Lake.

**LANDSCAPE**

Landscaping will be provided to meet city standards.

## PLAYGROUND

The Guidepost Montessori will provide playground areas for the different age ranges of the facility (6 weeks to 6 years old). The outdoor play areas will be sized appropriately per the student count of the facility. The proposed playground equipment will fully comply with code requirements for outdoor activity space. All equipment will have legal fall zone material surrounding the equipment such as engineered wood fibers. Ornamental aluminum “picket-style” fencing will be provided surrounding and separating the play areas as necessary. The gates in the playground fencing will include emergency panic bars and latches as necessary to meet egress requirements.

### Typical Examples of Playground Equipment

(Actual site design may differ)



## SIGNAGE

New exterior signage will meet all City of White Bear Lake requirements and will be consistent with other Guidepost locations and branding. The proposed signage location and design details shall be subject to the review and approval of the City of White Bear Lake staff.

## LIGHTING

Lighting will be consistent with the style and type that currently exists on adjacent properties and will comply with all city codes and aesthetic requirements.



SECURITY

Guidepost Montessori is dedicated to the safety and security the children, parents, and staff. The facility will be locked at all times. Security keypads are installed at all points of entry along with commercial grade Ring spotlight cameras. Exterior playgrounds are enclosed with fencing to meet local, county, and/or state licensing requirements.

LOADING AND TRASH

Loading and Trash will be accommodated internal to the site.

**V. LEGAL DESCRIPTION**

Real property in the City of Saint Paul, County of Ramsey, State of Minnesota, described as follows: The North 250 feet of the West 348.48 feet of the West 30 acres of the South Half of the Southeast Quarter, Section 36, Township 30, Range 22, except the West 33 feet thereof, according to the United States Government Survey thereof and situate in Ramsey County, Minnesota.

Abstract Property

BEING THE SAME PROPERTY AS SHOWN ON TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMMITMENT NO. NCS-1141583-SA1 HAVING AN EFFECTIVE DATE OF JULY 15, 2022



# GUIDEPOST A, LLC CONDITIONAL USE PERMIT

01.18.2023



## PROJECT TEAM

### Client

Guidepost A, LLC  
10 ORCHARD RD. #10  
Lake Forest, CA 92630  
Contact: Mark Goodman  
Phone: (959) 697-0345  
Email: mgoodman@tohigherground.com

### Architect

Steele Associates Architects, LLC  
1567 SW CHANDLER AVE. #203  
Bend, OR 97702  
Contact: Matthew Mefford  
Phone: (541) 508-7537  
Email: mmefford@steele-arch.com

### Civil Engineer

Civil Site Group  
5000 GLENWOOD AVE  
Golden Valley, MN 55422  
Contact: Matt Pavek  
Phone: (612) 615-0060 x 701  
Email: mpavek@civilsitegroup.com

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unlawful and subject to criminal prosecution.

NOT FOR  
CONSTRUCTION

**STEELE**  
architecture interiors planning  
541.382.9867 www.steele-arch.com  
ASSOCIATES ARCHITECTS, LLC  
686 NW YORK DRIVE SUITE 150  
BEND, OR 97703  
541.382.9867 FAX 541.385.8616  
info@steele-arch.com

### PROJECT DESCRIPTION:

TAX MAP LOCATION: PARCEL #363022430073  
LOT SIZE: 1.81 ACRES  
BUILDING GROUND FLOOR FOOTPRINT: 5,223 SF  
BUILDING GROSS AREA: 10,446 SF  
2 STORY - OCCUPANCY CLASSIFICATION: 3A COMMERCIAL LAND AND BUILDING

### DRAWING INDEX

GENERAL G001	COVER SHEET
CIVIL C1.0 C2.0	EXISTING SITE PLAN (SURVEY) PROPOSED SITE PLAN
ARCHITECTURE A101 A102 A200 A201 A300 A301 A302 A303	LEVEL 1 FLOOR PLAN LEVEL 2 FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS RENDERINGS - NORTH CORNER RENDERINGS - EAST CORNER RENDERINGS - SOUTH CORNER RENDERINGS - WEST CORNER

GUIDEPOST A, LLC  
3220 Bellaire Ave, White Bear Lake, MN  
CITY STATE  
COVER SHEET

JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	CHECKED BY	
VB	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**G001**  
COVER SHEET

CONDITIONAL USE PERMIT







**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**3220 BELLAIRE AVE**  
3220 BELLAIRE AVENUE, WHITE BEAR LAKE, MN 55110  
**HIGHER GROUND EDUCATION**  
10 ORCHARD ROAD, LAKE FOREST, CA 92030

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek  
DATE 12-19-22 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
12-19-2022	CONDITIONAL USE PERMIT APPLICATION

DRAWN BY: KW, JL REVIEWED BY: MP

PROJECT NUMBER: 22460

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

PROPOSED SITE PLAN

**C2.0**

**SITE LAYOUT NOTES:**

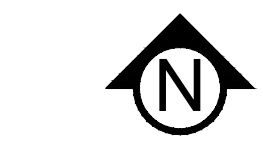
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE, TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADI ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

**SITE PLAN LEGEND:**

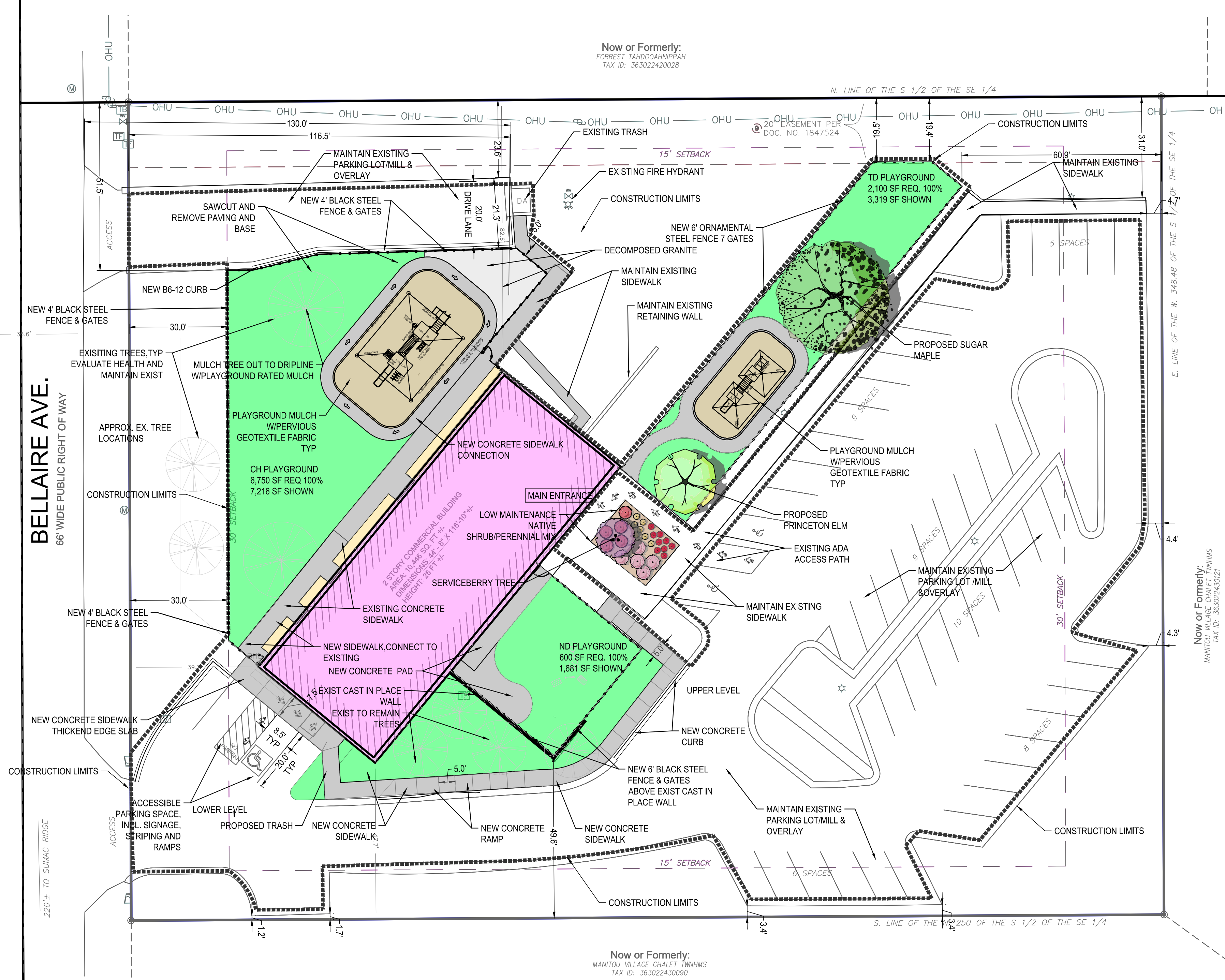
- SPECIALTY PAVEMENT (IF APPLICABLE) - PROVIDE BID FOR THE FOLLOWING OPTIONS. INCLUDE VARIATIONS OF BASE MATERIAL AND OTHER NECESSARY COMPONENTS.
  - STAMPED & COLORED CONCRETE
  - CONCRETE PAVERS
 MAKERS, COLORS, MODELS, & PATTERN TO BE INCLUDED IN SHOP DRAWING SUBMITTAL PRIOR TO CONSTRUCTION.
- LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. WITHIN ROW SEE CITY DETAIL, WITHIN PRIVATE PROPERTY SEE CSG DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS (IF APPLICABLE)
- SIGN AND POST ASSEMBLY (IF APPLICABLE). SHOP DRAWINGS REQUIRED.  
HC = ACCESSIBLE SIGN  
NP = NO PARKING FIRE LANE  
ST = STOP  
CP = COMPACT CAR PARKING ONLY
- ACCESSIBILITY ARROW (IF APPLICABLE) DO NOT PAINT.



Know what's below.  
Call before you dig.



1" = 20'-0"  
10'-0" 0 20'-0"



Now or Formerly:  
FORREST T4H00049H1P4H  
TAX ID: 363022420028

Now or Formerly:  
MANITOU VILLAGE CHALET T1NHMS  
TAX ID: 363022430090

Now or Formerly:  
MANITOU VILLAGE CHALET T1NHMS  
TAX ID: 363022430090

**SITE AREA TABLE:**

SITE AREA CALCULATIONS		
	EXISTING CONDITION	PROPOSED CONDITION
BUILDING COVERAGE	5,435 SF 6.9%	5,435 SF 6.9%
SITE IMPERVIOUS	38,546 SF 48.9%	34,732 SF 44.0%
Sidewalk Areas	3,084	5,837
Parking Lot/Curbs/Trash Enclosure	35,462	394
	Gravel Areas	28,501
	Parking Lot/Curbs/Trash Enclosure	38,699 SF 49.1%
ALL PERVIOUS	34,885 SF 44.2%	38,699 SF 49.1%
Planting Island Areas	810	810
Lawn Areas	34,075	36,089
	Mulched Playground Areas	1,800
TOTAL SITE AREA	78,866 SF 100.0%	78,866 SF 100.0%
IMPERVIOUS SURFACE		
EXISTING CONDITION	43,981 SF 55.8%	
PROPOSED CONDITION	40,167 SF 50.9%	
DIFFERENCE (EX. VS PROP.)	-3,814 SF -4.8%	

**PARKING SUMMARY - 53 TOTAL PARKING STALLS**

LOWER LEVEL PARKING	3 STALLS
UPPER LEVEL PARKING/MAIN ENTRY	47 STALLS
REAR PARKING	0 STALLS
ADA STALLS	3 TOTAL, 2 UPPER LEVEL - 1 LOWER

**PARKING REQUIREMENTS**

STAFF	22 ADULTS
INFANT (3-18 MONTHS)	8 STUDENTS
TODDLER	28 STUDENTS
CHILD	90 STUDENTS
TOTAL STUDENTS	126 STUDENTS
PARKING (1 STALL/50 STUDENTS)	3 STALLS
PARKING (1 STALL/ADULT STAFF)	22 STALLS REQ
TOTAL PARKING	25 PARKING STALLS

**CITY OF WHITE BEAR LAKE SITE SPECIFIC NOTES:**

- RESERVED FOR CITY SPECIFIC NOTES.

**SITE DATA**

EXISTING ZONING	MED. DENS. RES.
PARKING REQ.	25 STALLS
PARKING PROVIDED	53 SPACES
PARKING SPACE	8.5'X20'
DRIVE AISLE	24'

**OPERATIONAL NOTES:**

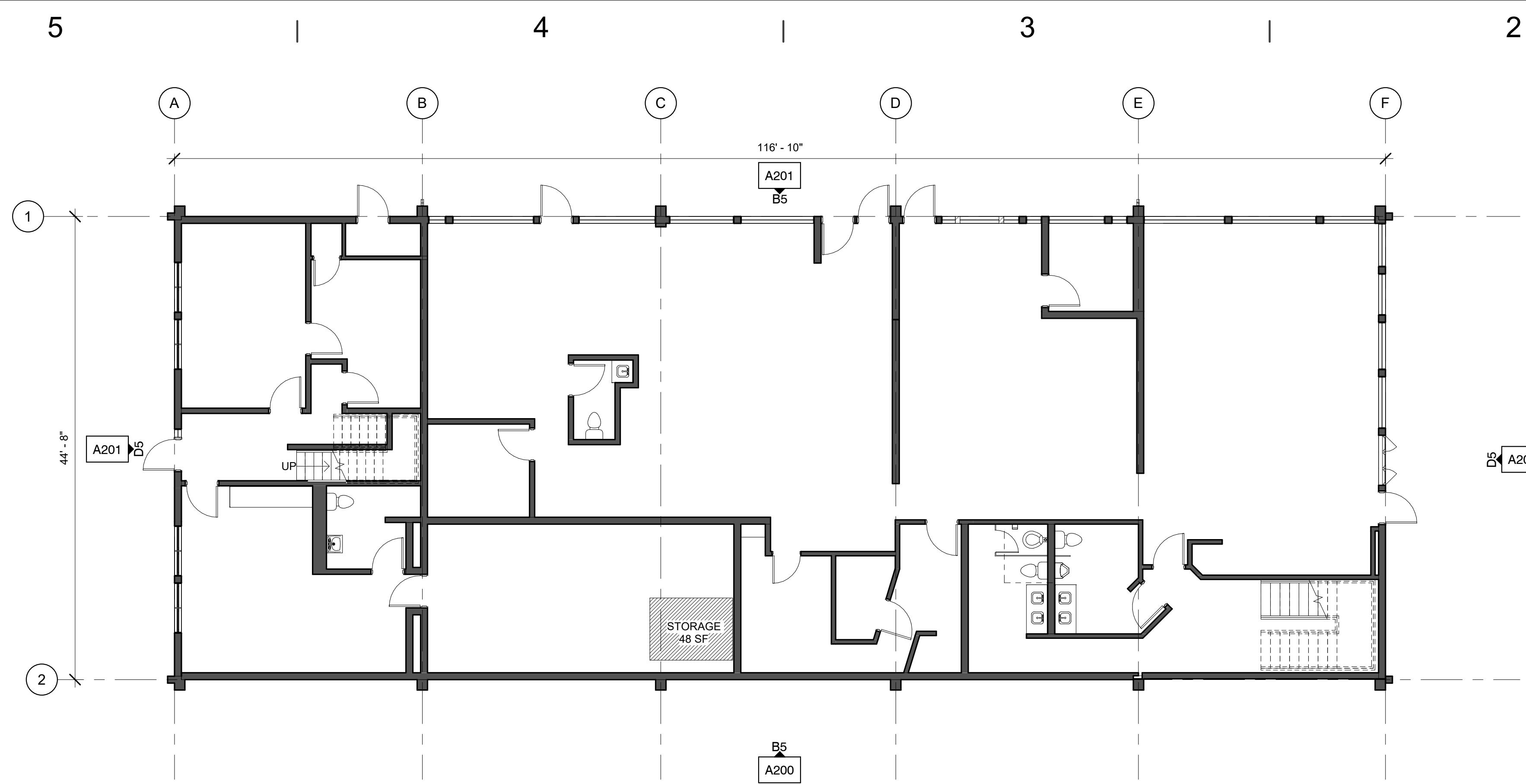
SNOW REMOVAL	ALL SNOW SHALL BE STORED ON-SITE OUTSIDE PARKING LOT. WHEN FULL, REMOVAL CO. SHALL REMOVE EXCESS OF-SITE
TRASH REMOVAL:	TRASH SHALL BE PLACED IN EXTERIOR TRASH AREA (EXISTING) & REMOVED BY COMMERCIAL CO. WEEKLY.
DELIVERIES:	DELIVERIES SHALL OCCUR AT THE FRONT DOOR VIA STANDARD COMMERCIAL DELIVERY VEHICLES (UPS, FED-EX, USPS).

MANITOU RIDGE  
GOLF COURSE

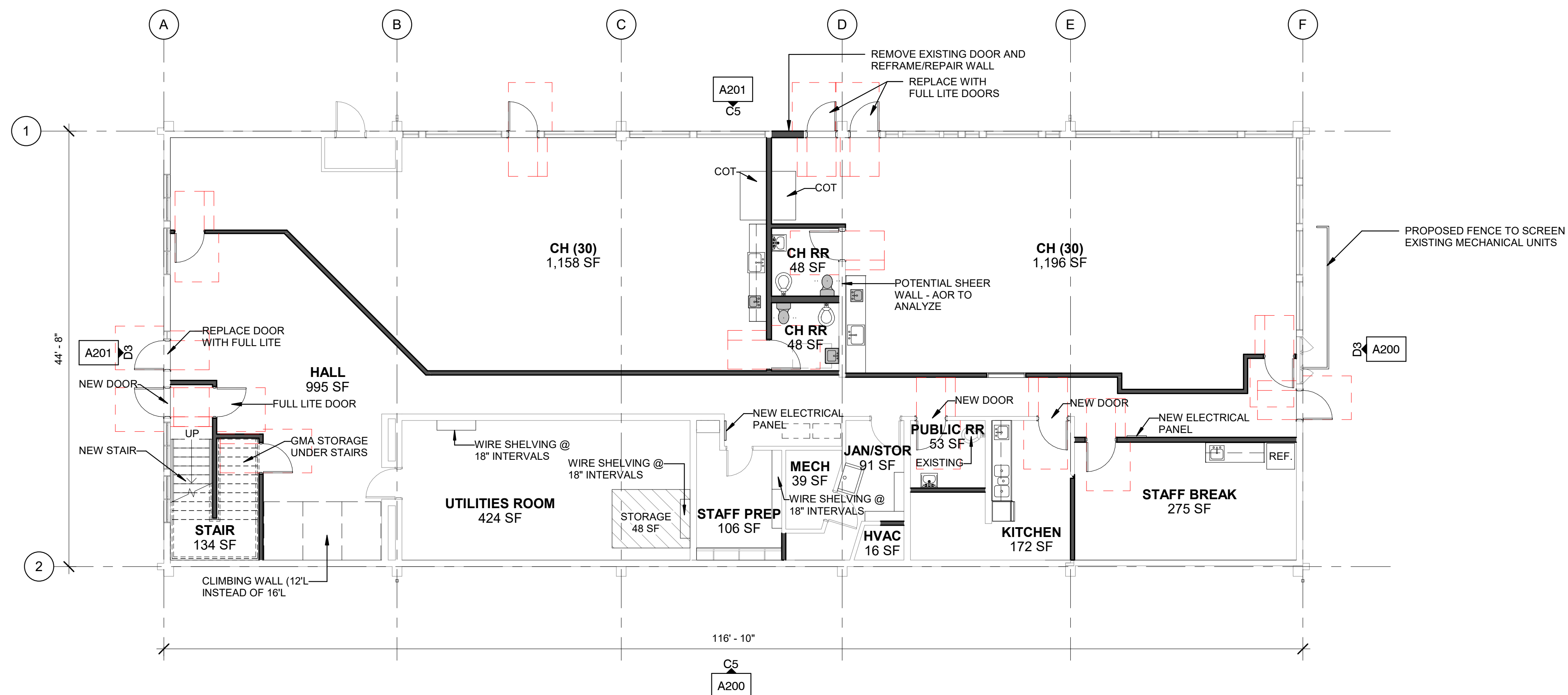
BELLAIRE AVE.  
66' WIDE PUBLIC RIGHT OF WAY

220' ± TO SUMAC RIDGE





**B5** LEVEL 1 PLAN - EXISTING  
1/8" = 1'-0"



**D5** LEVEL 1 PLAN - PROPOSED  
1/8" = 1'-0"

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GENERAL NOTES:

- SEE TITLE SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE APPROXIMATED BASED ON DATA RECEIVED AND SHOULD BE VARIFIED BEFORE CONSTRUCTION STARTS.

PROPOSED PLAN LEGEND:

- PROPOSED WALL
- EXISTING WALL
- CHILD-SIZED PLUMBING FIXTURES

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BEND, OR 97703  
info@steele-arch.com

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CITY STATE

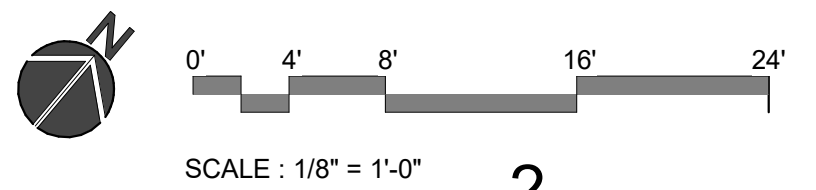
LEVEL 1 FLOOR PLAN

JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	VB/WH	
CHECKED BY	MM	
REV.	DATE	DESCRIPTION

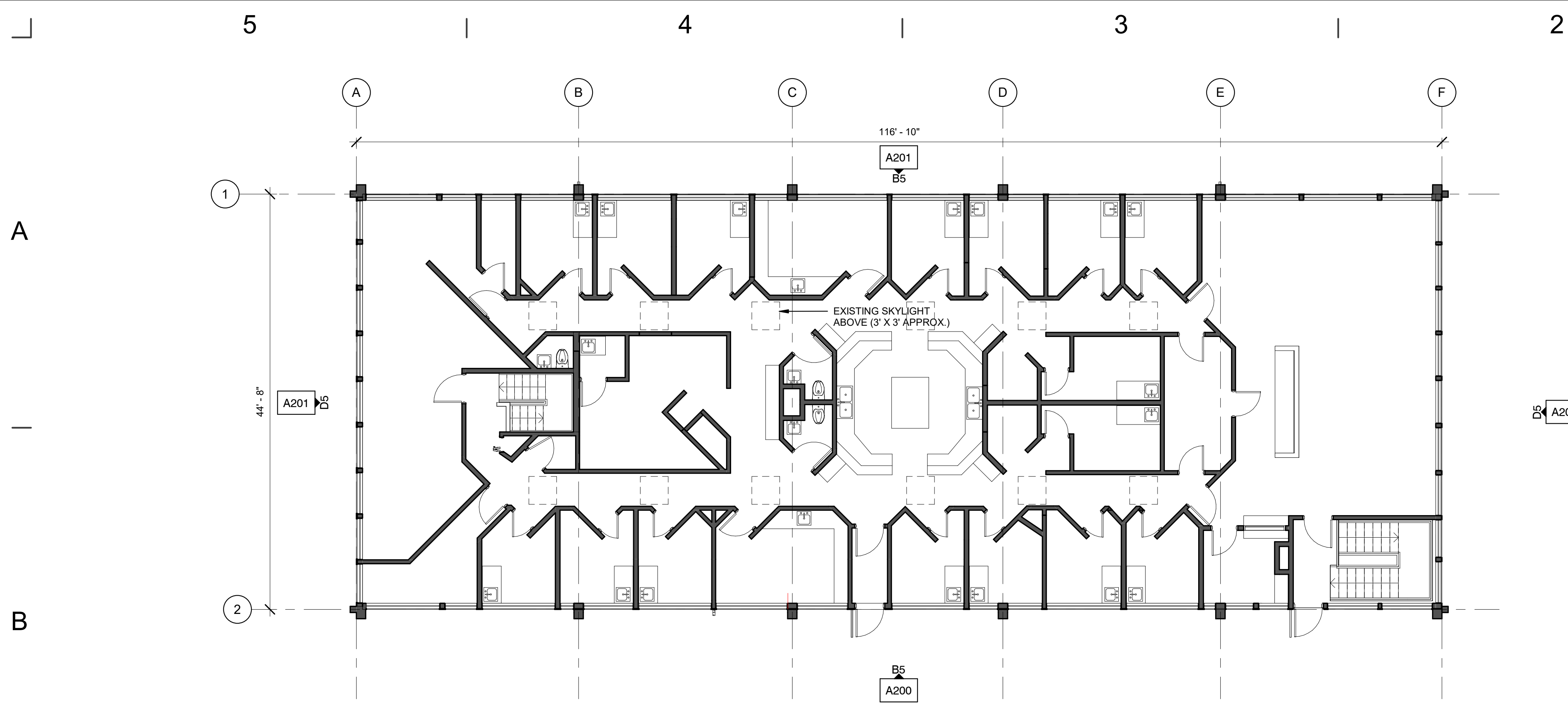
SHEET NO.  
**A101**  
LEVEL 1 FLOOR PLAN

CONDITIONAL USE PERMIT

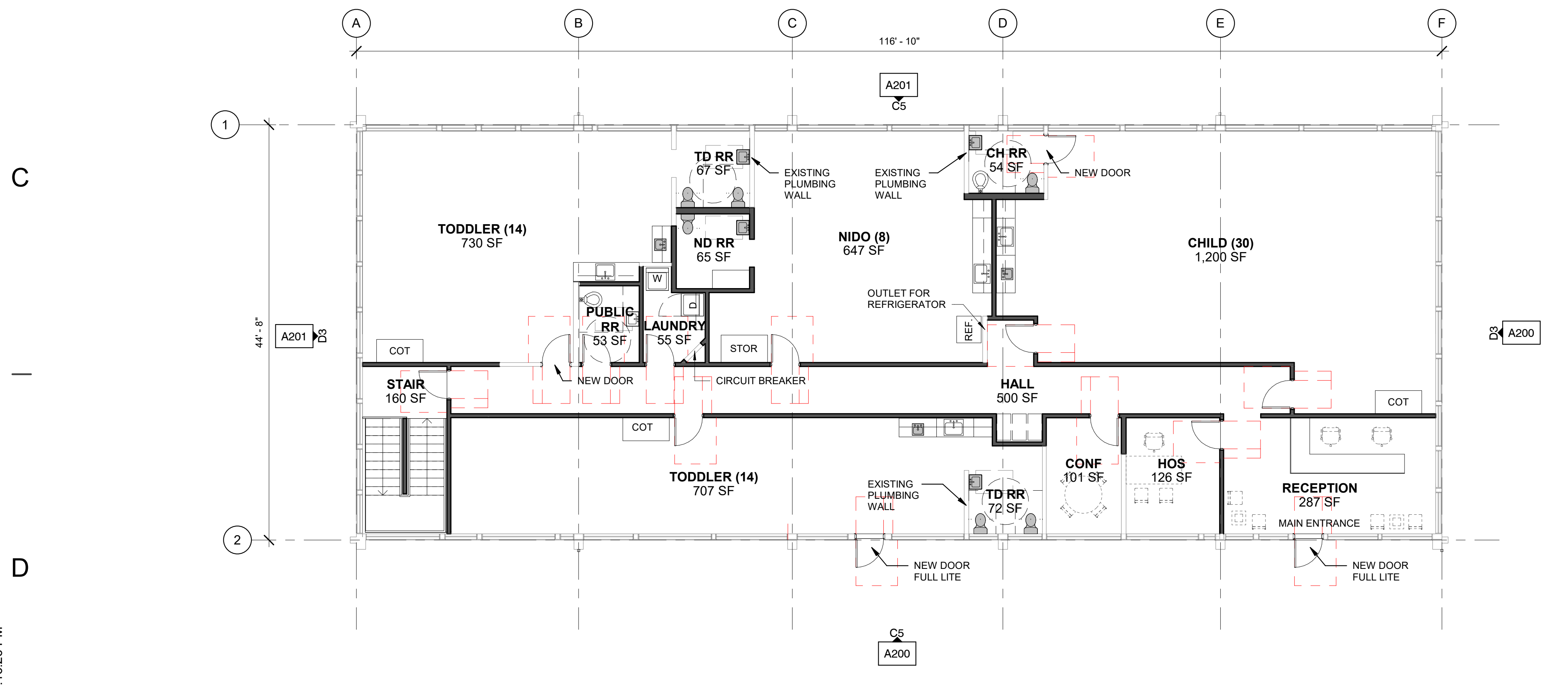
1/17/2023 4:16:25 PM



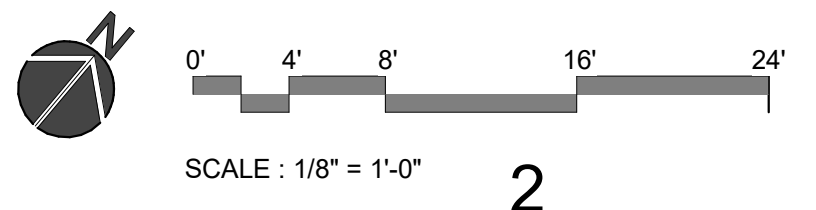




**B5** LEVEL 2 PLAN - EXISTING  
1/8" = 1'-0"



**D5** LEVEL 2 PLAN - PROPOSED  
1/8" = 1'-0"



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GENERAL NOTES:

- SEE TITLE SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE APPROXIMATED BASED ON DATA RECEIVED AND SHOULD BE VARIFIED BEFORE CONSTRUCTION STARTS.

PROPOSED PLAN LEGEND:

- PROPOSED WALL
- EXISTING WALL
- CHILD-SIZED PLUMBING FIXTURES

**GUIDEPOST A, LLC**  
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CITY STATE

**LEVEL 2 FLOOR PLAN**

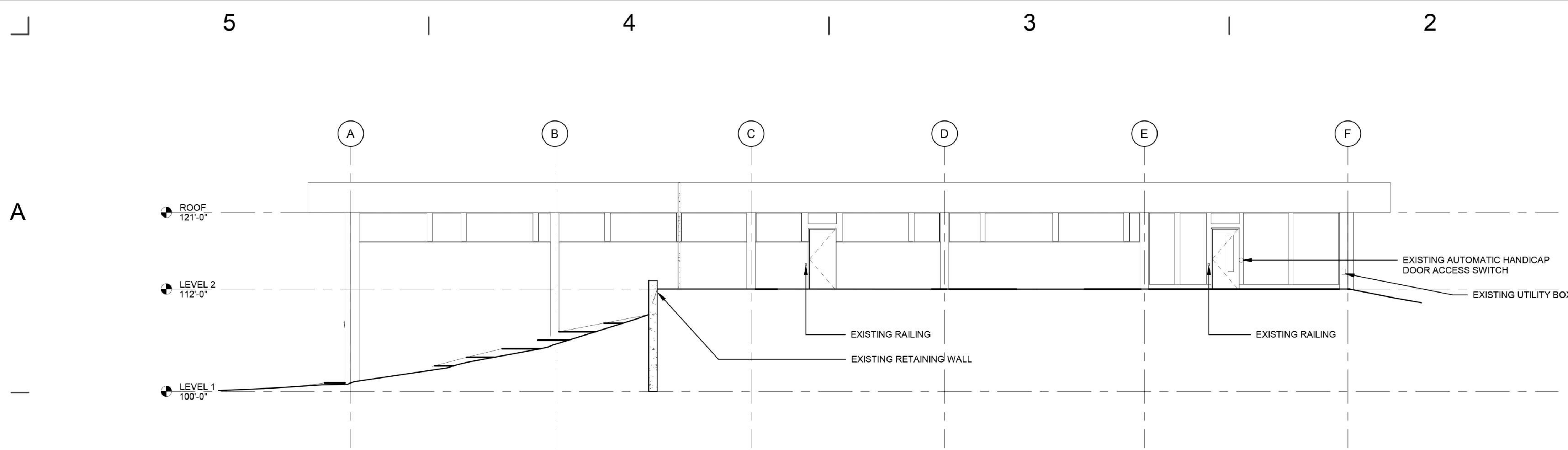
JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	VB/WH	
CHECKED BY	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**A102**  
LEVEL 2 FLOOR PLAN

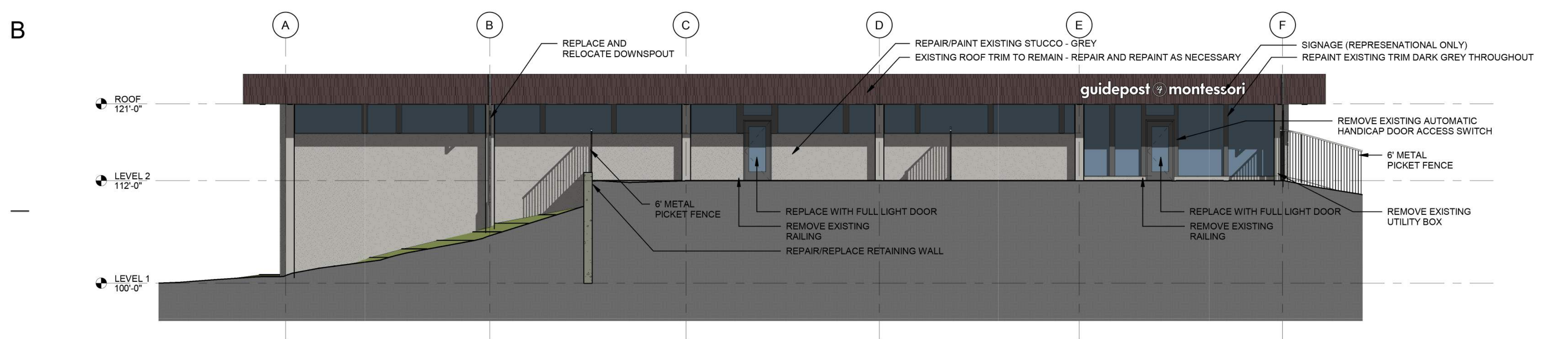
CONDITIONAL USE PERMIT

1/17/2023 4:16:26 PM

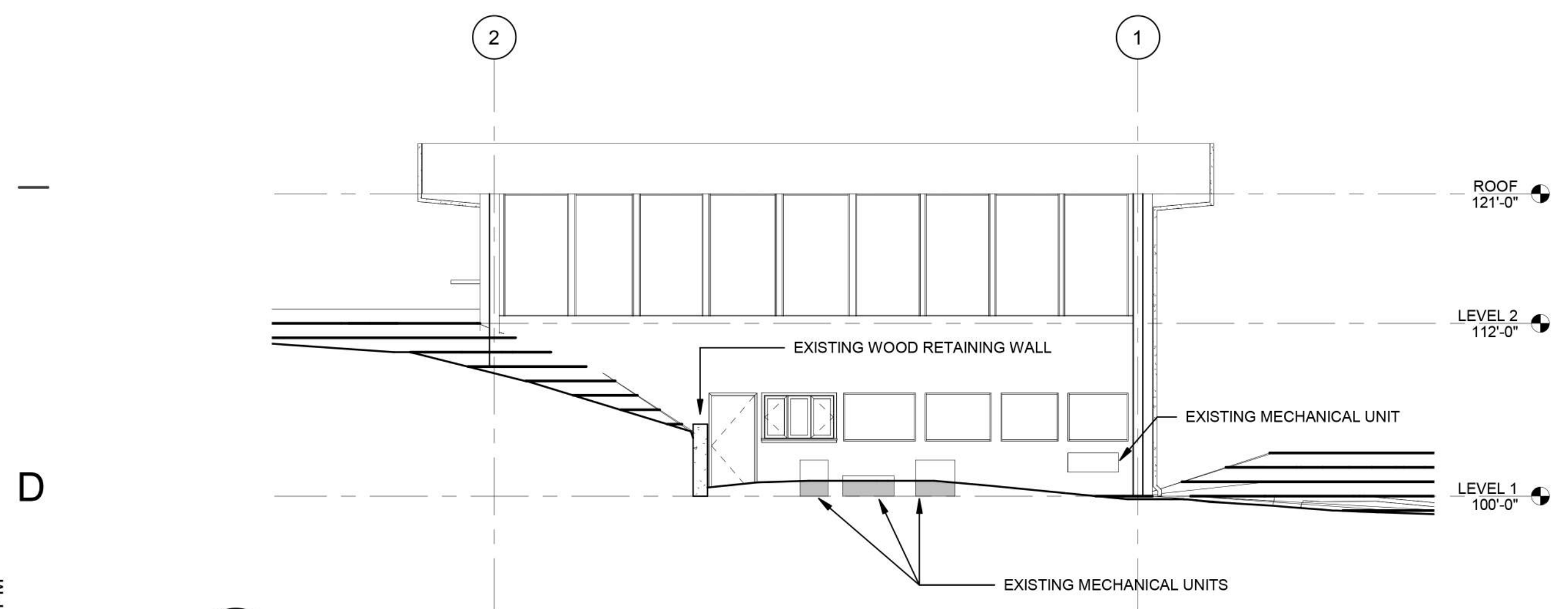




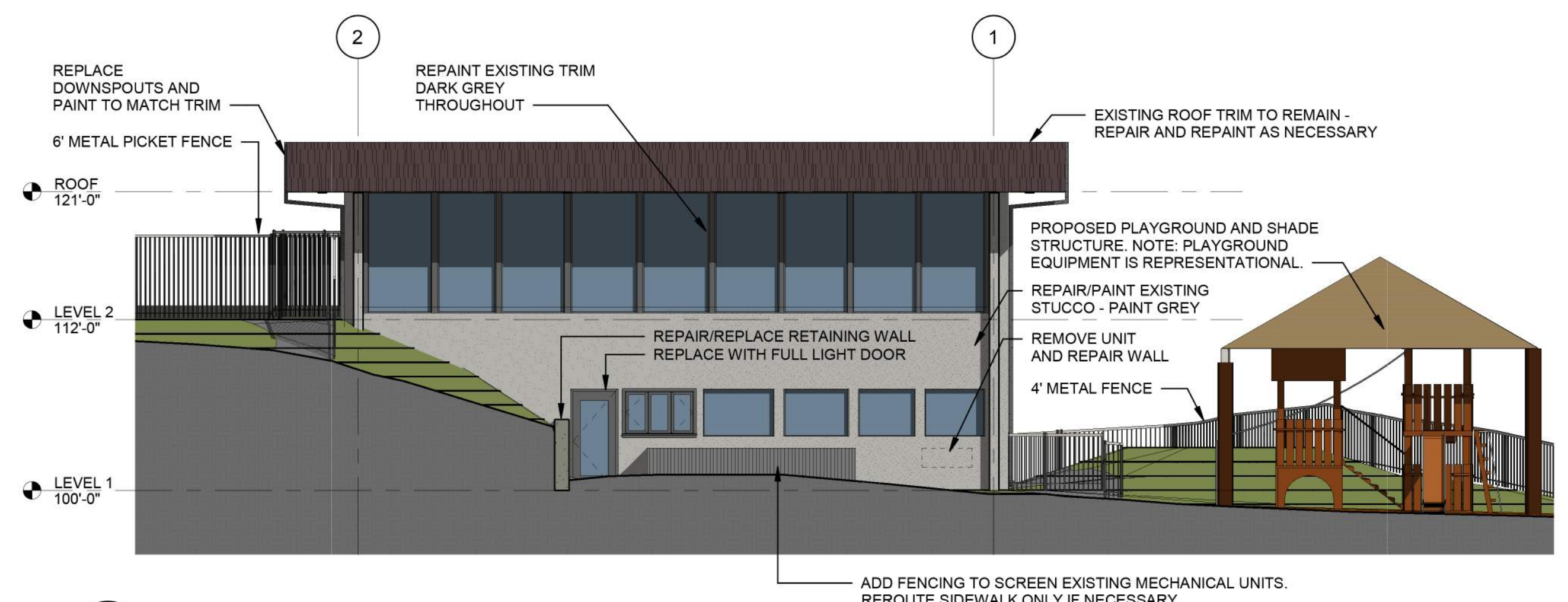
**B5** SOUTHEAST ELEVATION - EXISTING  
1/8" = 1'-0"



**C5** SOUTHEAST ELEVATION - PROPOSED  
1/8" = 1'-0"



**D5** NORTHEAST ELEVATION - EXISTING  
1/8" = 1'-0"



**D3** NORTHEAST ELEVATION - PROPOSED  
1/8" = 1'-0"

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**GUIDEPOST A, LLC**  
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CITY STATE  
EXTERIOR ELEVATIONS

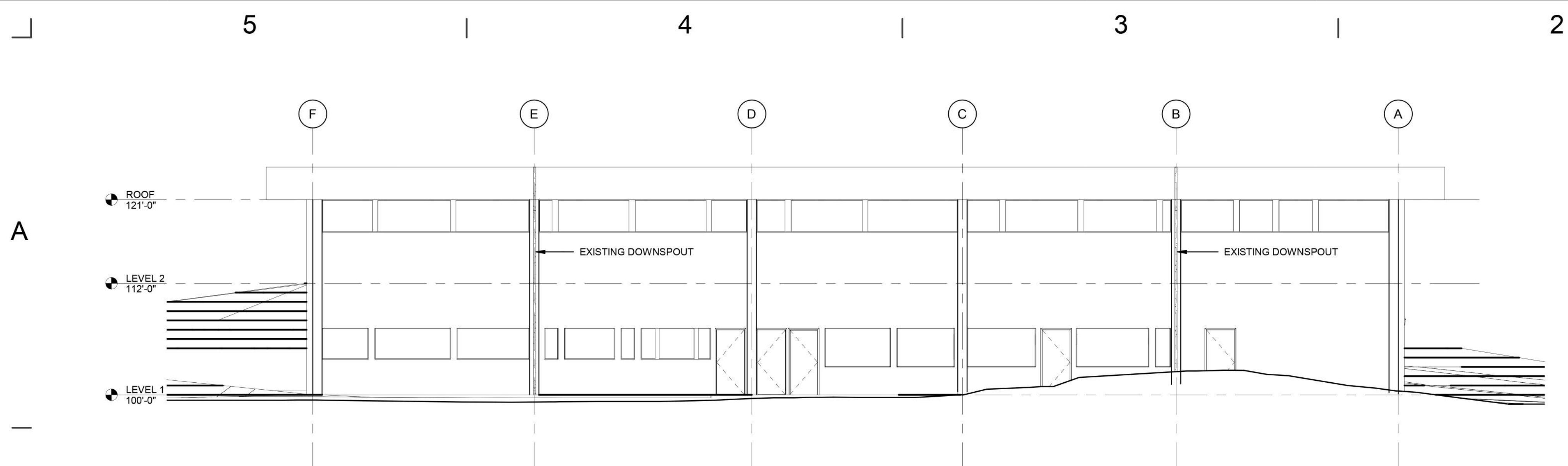
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DATE	01.18.2023
DRAWN BY	VB/WH
CHECKED BY	MM
REV.	DATE
	DESCRIPTION

SHEET NO.  
**A200**  
EXTERIOR ELEVATIONS

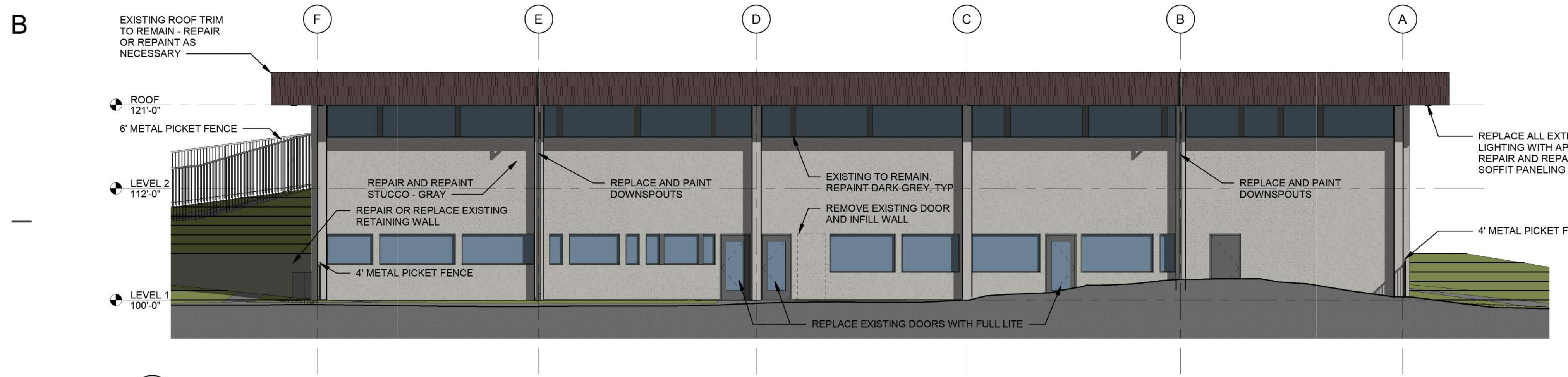
CONDITIONAL USE PERMIT

1/17/2023 4:16:29 PM

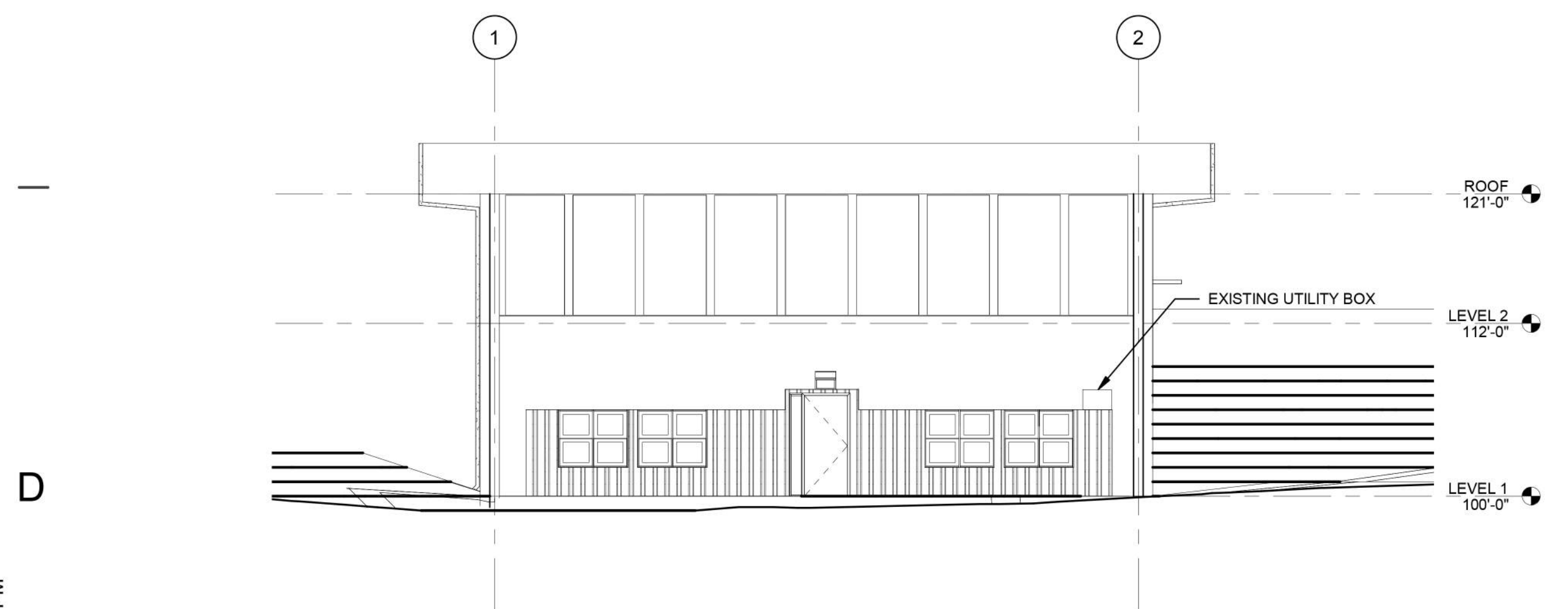




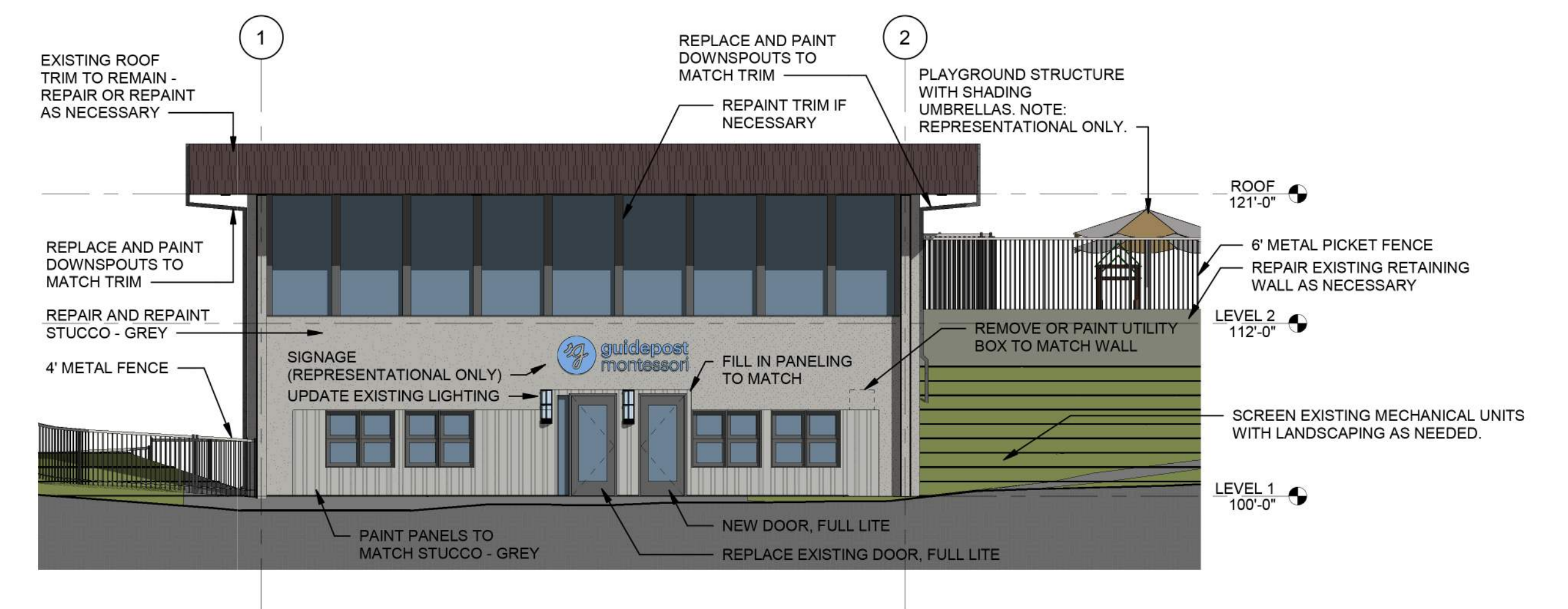
**B5** NORTHWEST ELEVATION - EXISTING  
1/8" = 1'-0"



**C5** NORTHWEST ELEVATION - PROPOSED  
1/8" = 1'-0"



**D5** SOUTHWEST ELEVATION - EXISTING  
1/8" = 1'-0"



**D3** SOUTHWEST ELEVATION - PROPOSED  
1/8" = 1'-0"

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**GUIDEPOST A, LLC**  
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CITY STATE  
EXTERIOR ELEVATIONS

JOB NO.	22123.01
DATE	01.18.2023
DRAWN BY	VB/WH
CHECKED BY	MM
REV.	DATE
	DESCRIPTION

SHEET NO.  
**A201**  
EXTERIOR ELEVATIONS

1/17/2023 4:16:33 PM

CONDITIONAL USE PERMIT





EXISTING



PROPOSED

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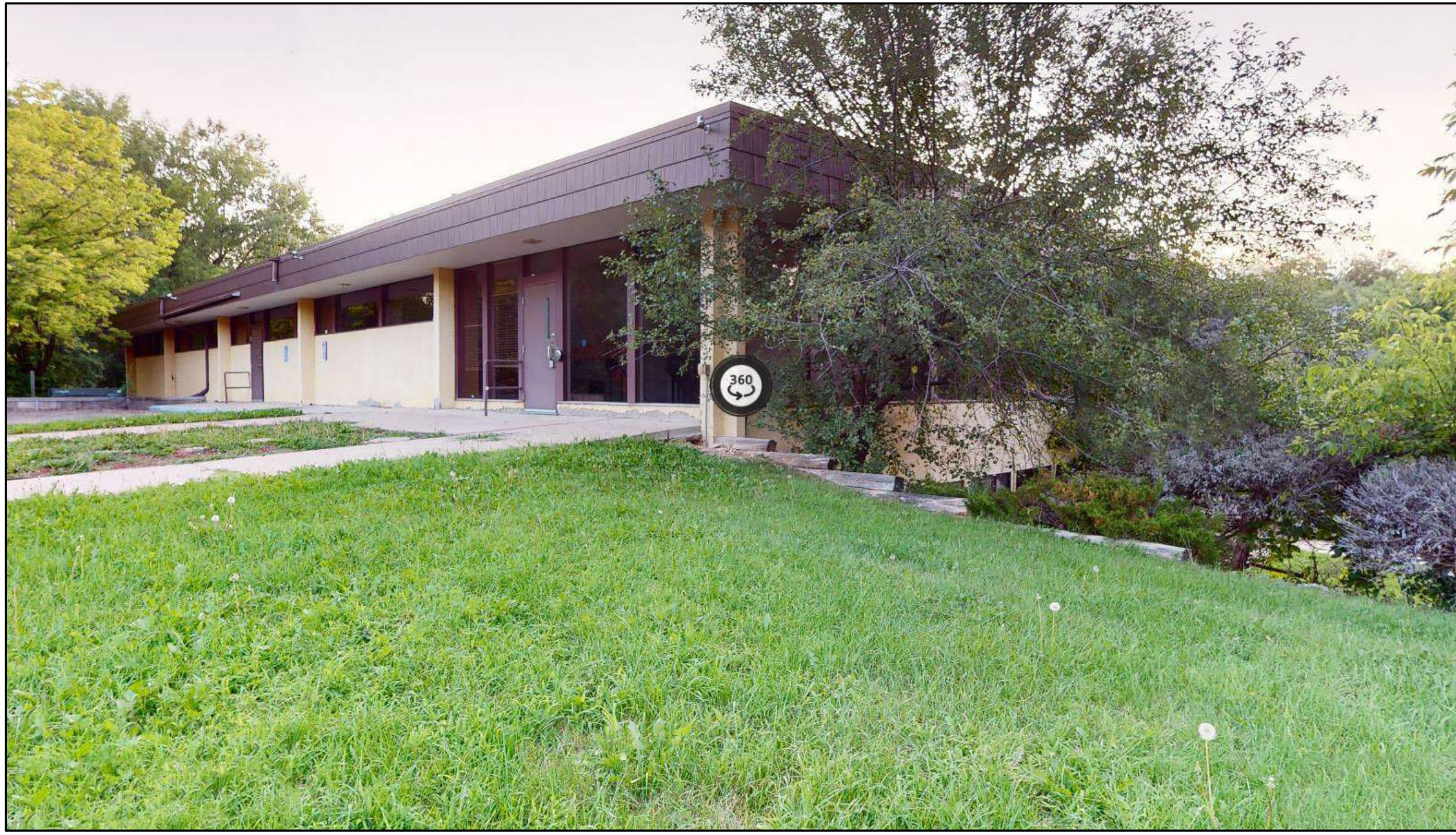
**GUIDEPOST A, LLC**  
3220 Bellaire Ave, White Bear Lake, MN  
CITY STATE  
**RENDERINGS - NORTH CORNER**

JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	CHECKED BY	
VB	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**A300**  
RENDERINGS - NORTH  
CORNER

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**GUIDEPOST A, LLC**  
3220 Bellaire Ave, White Bear Lake, MN  
CITY STATE  
**RENDERINGS - EAST CORNER**

JOB NO.	22123.01	
DATE	01.28.2023	
DRAWN BY	CHECKED BY	
VB	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**A301**  
RENDERINGS - EAST  
CORNER

CONDITIONAL USE PERMIT





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**GUIDEPOST A, LLC**  
3220 Bellaire Ave, White Bear Lake, MN  
CITY STATE  
**RENDERINGS - SOUTH CORNER**

JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	CHECKED BY	
VB	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**A302**  
RENDERINGS - SOUTH  
CORNER

CONDITIONAL USE PERMIT





EXISTING



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**GUIDEPOST A, LLC**  
3220 Bellaire Ave, White Bear Lake, MN  
CITY STATE  
RENDERINGS - WEST CORNER

JOB NO.	22123.01	
DATE	01.18.2023	
DRAWN BY	CHECKED BY	
VB	MM	
REV.	DATE	DESCRIPTION

SHEET NO.  
**A303**  
RENDERINGS - WEST  
CORNER

CONDITIONAL USE PERMIT





**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** January 30, 2023  
**SUBJECT:** **Silverstar Car Wash Conditional Use Permit Amendment, 2180 7<sup>th</sup> Street, Case No. 85-11-Sa2**

## SUMMARY

The applicant, Silverstar Car Wash, is requesting a conditional use permit amendment in order to remodel the existing car wash and add vacuums inside.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request with conditions.

## GENERAL INFORMATION

Applicant/Owner: Silverstar Car Wash

Existing Land Use / Zoning: Car Wash; zoned DCB: Diversified Central Business

Surrounding Land Use / Zoning: North: Bar & Restaurant; zoned DCB: Diversified Central Business  
 East: Gas Station; zoned B-5: Central Business  
 West: Apartments; zoned DCB: Diversified Central Business  
 South: Office; zoned DCB: Diversified Central Business

Comprehensive Plan: Downtown

Lot Size & Width: Code: 20,000 sq. ft. & 100 feet  
 Site: 31,500 sq. ft. & 147 feet

## ANALYSIS

The subject site is located at the southwest intersection of Highway 61 and 7<sup>th</sup> Street. A conditional use permit was granted in 1985 “to establish an automatic full service indoor car wash” and construction on the building was completed in 1986. At the time that approval was granted, the property was zoned B-4 – General Business. The property was rezoned to DCB in 1989, which is a district that prohibits car washes, so the business became a legal non-conforming use at that time. As a legal non-conformity, the use cannot be expanded or



intensified. In 2018, the previous owner was granted an amendment to the conditional use to install an automatic indoor motorcycle wash in addition to the existing mechanical equipment after it was determined the modifications were not considered an intensification.

The current owners would like to again amend the CUP to allow for vacuums inside the building. Vacuums outside of the building have been determined to be an intensification, so locating them within the structure is the only option for this site. There will only be one automatic wash; the motorcycle wash will be removed.

When the CUP was amended in 2018, it was determined that based on historic water usage, 15 to 30 cars, on average, went through the wash per hour. More vehicles or more water usage would be considered an intensification. The applicants state that approximately 200 cars a day are anticipated to use the wash, which over a 12 hour day equals 16 cars an hour and is within the historic range of customers. Water usage over the past two decades has ranged from 1024 units of water used a year all the way up to 6125 units in a year (1 unit = 750 gallons of water). When averaged out, 1800-2000 units of water a year have been used at the car wash, which is 1.35 -1.5 million gallons. As required in the previous amendment to the CUP, the car wash should track the water usage and provide the data to the city to ensure it does not exceed the average or the business could be deemed an intensification.

Because the use is expressly prohibited in the DCB district, it is the applicant's responsibility to prove that the proposed changes will not expand or intensify the manner of operation.

#### Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice to property owners within 350 feet. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding the request. During the public hearing, staff will provide an update if any public comments were received prior to the Planning Commission meeting.

#### Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit amendment.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding:** The 2040 Comprehensive Plan Future Land Use Map guides the subject property as downtown, which is described as 70% commercial, 20% residential, and 10% institutional. The neighborhood is a mix of residential and commercial and the continued use of the site as a car wash will keep the area predominately commercial. Therefore, the proposal is consistent with the City's Comprehensive Plan.

2. The proposed use is or will be compatible with present and future land uses of the area.

**Finding:** The property is zoned DCB: Diversified Central Business, as are the properties to the north, west and south. The building has operated as a car wash since it was constructed in 1985 with no known adverse effects on the surrounding properties. Vacuums internal to the building will minimize any noise generated, so there should be limited, if any, impact on the apartment next door.

3. The proposed use conforms with all performance standards contained herein.

**Finding:** As previously stated, car washes are no longer a permitted use in the DCB zoning district, so the applicants are continuing to use the "grandfathered-in" status of the property. The nonconforming section of the code reads, "any nonconforming structure or use lawfully existing upon the effective date of this Code shall not be enlarged or reconstructed, but may be continued at the size and in the manner of operation existing upon such date." The building itself will be retained, although extensive modifications to the interior are proposed.

#### *Elevations*

The applicants are not making changes to the height or size of the building. The code requires that all subsequent additions, exterior alteration and accessory buildings constructed after the erection of an original building or buildings shall be constructed of materials comparable to those used in the original construction and shall be designed in a manner conforming to the original architectural design and general appearance. The proposal includes cosmetic improvements such as painting the existing walls and adding panels in the standard Silverstar colors.

#### *Right-of-Way*

The applicants are proposing to mill and overlay the lot as well as the portion of Washington Avenue that abuts the property and straighten the road out. The Engineering Department has commented that those improvements are allowed, subject to staff approval. In their review memo, the Engineering Department has also included a condition that the sidewalk along 7<sup>th</sup> Street be extended in front of the car wash.

#### *Stacking/Parking*

In zoning districts that permit car washes, the code requires that enough stacking space is



provided to accommodate the maximum number of vehicles that can go through the wash in 30 minutes. The applicants have stated that the wash takes about 1.5 minutes per vehicle, so 20 stacking spaces would be required if new construction. The car wash is accessed from Washington Avenue and the street has historically been used by the car wash to stack customer vehicles. The proposal will have two lanes for vehicle stacking, which should reduce the use of the City's right-of-way for such purpose. Further, the applicants are providing seven striped parking stalls on the east side of the lot, which is an improvement over the zero stalls currently striped on site. There will be four employees on site during operating hours, so there will be several stalls available if customers should need to park.

### *Signage*

The applicants are working with the City to provide a signage package that meets the standards of the sign code. Separate permits are required for any new signage.

### *Lighting*

The applicants are proposing the construction of one 22-foot-tall light pole with a 30-inch base near the entrance of the car wash. The city is asking that the light fixture match the height and style of those found in the adjacent city parking lot. All new lighting is required to be arranged to deflect light away from adjoining residential properties and all LED light sources must be controlled and equipped with opaque covers, lenses, louvers or shields, or otherwise designed to prevent direct views of the light source.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

**Finding:** The proposal includes upgrades to the façade and improvements to both the parking lot and city right-of-way. The proposed landscaping provides three trees and a number of shrubs and grasses throughout the site. The enhancements to the site will not depreciate the area.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

**Finding:** The property is served by city water and sewer and the utilities have the capacity to serve the proposed addition. A condition is included that reserves the right to revisit the operational capacity of the car wash after a few years to ensure that the use is within the anticipated water usage as projected. The applicants have stated that approximately 87 gallons of water will be used per vehicle and a percentage will be reclaimed. The applicants provided numbers for the same car wash system installed in Coon Rapids. A determination letter was provided from the Metropolitan Council which found that with reclamation, 31 to 32 gallons of new water is used per vehicle. A condition has been included that a water reclamation system be installed at the site.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

**Finding:** The applicant expects the car wash will service 200 vehicles a day, spread throughout

an 11 or 12 hour day, so it is not anticipated that traffic along 7<sup>th</sup> Street will be impacted. Currently, the property has three curb cuts along 7<sup>th</sup> Street. The applicants are proposing to close one and narrow the other two, which should reduce congestion in the area and increase pedestrian safety.

### **RECOMMENDATION**

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.
5. Prior to the issuance of a building permit, all plans shall be revised to comply with applicable building and zoning code requirements and shall comply with Fire Department Memo, dated December 23, 2022 and Engineering Department Memo, dated January 10, 2023.
6. Hours of operation shall be limited to 8:00 a.m. to 8:00 p.m. in the months of May through September and 8:00 a.m. to 7:00 p.m. in the months of October through April.
7. City staff shall revisit the use in 2025 and compare water billing data to ensure that the use is within the anticipated water usage as projected. The City reserves the right, through a public hearing with proper legal notice, to consider further amendment of the use and operation to ensure continued compatibility with the immediate neighborhood and continued compliance with code.
8. An updated SAC (Sewer Availability Charge) determination letter from the Metropolitan Council shall be submitted to the city.
9. A water reclamation system shall be installed prior to operation of the business.
10. The proposed lighting shall be similar in height and style to the city lights on the adjacent lot.

### **Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 12/23/22

Engineering Review Memo, dated 1/10/23

Applicants Narrative (3 pages) & Plans (7 pages)



**RESOLUTION NO.**

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT AMENDMENT  
FOR 2180 7<sup>th</sup> STREET WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Silverstar Car Wash (Case No. 85-11-Sa2) has requested a conditional use permit amendment, per code section 1301.050, in order to remodel the car wash and add vacuums at the following location:

**LEGAL DESCRIPTION:** Lots 2, 3 and 4, Block 38, White Bear, according to the recorded plat thereof, Ramsey County, Minnesota and The Westerly 25.0 feet of the Burlington Northern and Sante Fe Railway Company's (formerly Northern Pacific Railway Company) St. Paul to Duluth Branch Line right-of-way, being 50 feet wide on the Westerly side and of variable width on the Easterly side of said Railway Company's Main Track centerline, as now located and constructed upon, over and across the SE ¼ NE ¼ of Section 14, Township 30, North, Range 22 West of the 4th Principal Meridian, Ramsey County, Minnesota, lying between two lines drawn parallel with and distant, respectively, 25.0 feet and 50.0 feet Westerly of, as measured at right angles from said Main Track centerline and bounded between the South lines of Seventh Street and the North line of Sixth Street, all according to the recorded plat of the Original Town of White Bear Lake, Minnesota, thereof, Ramsey County, Minnesota. (PID # 143022140086 & 143022140144)

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit amendment upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

**RESOLUTION NO.**

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.
5. Prior to the issuance of a building permit, all plans shall be revised to comply with applicable building and zoning code requirements and shall comply with Fire Department Memo, dated December 23, 2022 and Engineering Department Memo, dated January 10, 2023.
6. Hours of operation shall be limited to 8:00 a.m. to 8:00 p.m. in the months of May through September and 8:00 a.m. to 7:00 p.m. in the months of October through April.
7. City staff shall revisit the use in 2025 and compare water billing data to ensure that the use is within the anticipated water usage as projected. The City reserves the right, through a public hearing with proper legal notice, to consider further amendment of the use and operation to ensure continued compatibility with the immediate neighborhood and continued compliance with code.
8. An updated SAC (Sewer Availability Charge) determination letter from the Metropolitan Council shall be submitted to the city.
9. A water reclamation system shall be installed prior to operation of the business.
10. The proposed lighting shall be similar in height and style to the city lights on the adjacent lot.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:

Nays:

Passed:

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Dan Louismet, Mayor

**ATTEST:**

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Caley Longendyke, City Clerk



**RESOLUTION NO.**

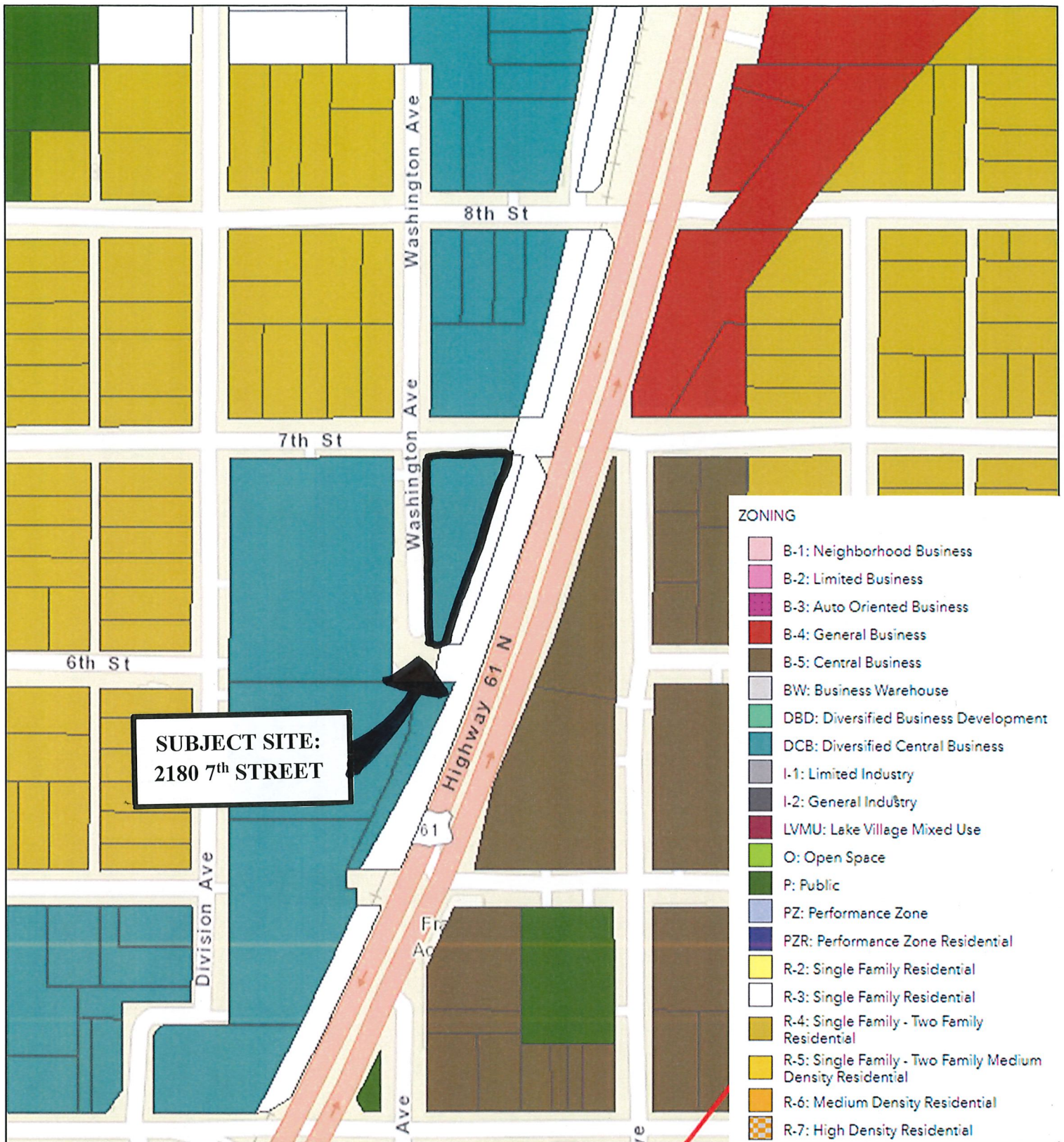
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Approval is contingent upon execution and return of this document to the City Planning Office.  
I have read and agree to the conditions of this resolution as outlined above.

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Applicant's Signature

Date



**SUBJECT SITE:  
2180 7<sup>th</sup> STREET**



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 85-11-5a2

CASE NAME : Silverstar Car Wash

DATE : January 30, 2023





## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



December 23, 2022

Silverstar Carwash  
2180 7<sup>th</sup> Street  
White Bear Lake, MN 55110

Dear Silverstar Carwash:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 2180 7<sup>th</sup> Street have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison  
Assistant Fire Chief / Fire Marshal  
651-762-4842

Encls.



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



### General Comments

1. All roads and drive lane shall meet the White Bear Lake Fire Department requirements. The surfaces shall support fire apparatus weighing 75,000 pounds.
2. Address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
5. Install compliant exit signage as required by the 2020 MSFC.
6. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
7. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.
8. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

### Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code





**City of White Bear Lake**  
Engineering Department

# MEMORANDUM

**To:** Ashton Miller  
**From:** Nathan Christensen, P.E., Assistant City Engineer  
Connie Taillon P.E., Environmental Specialist/Water Resources Engineer  
**Date:** January 10, 2023  
**Subject:** Silverstar Car Wash Engineering Review Comments

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The Engineering Department reviewed the Technical Memorandum, undated, and civil plan sheets (C1.0, C2.0, C3.0, C4.0, C6.0, C6.1, C6.2, C6.3, C6.4, C7.0, C7.1, C7.2, C7.3, C8, and C8.1), undated, and received December 21, 2022 for the above referenced project and have the following comments:

## GENERAL

- 1) Please extend sidewalk along the south side of 7<sup>th</sup> Street so that the alignment matches the existing sidewalk on the west side of Washington Avenue. The sidewalk does not need to extend all the way to the railroad tracks, as long as it continues through the proposed driveways to 7<sup>th</sup> Street.
- 2) The pavement area drawing dated 11-22-22 (Appendix A of the Technical Memorandum) shows areas of existing mill and overlay, existing impervious to be removed, and proposed new impervious. The Civil sheets are not consistent with Appendix A. For example, the demolition plan shows all site impervious surfaces as 'demolition' and the Grading Plan shows all site impervious surfaces as 'mill and overlay'. Revise the Civil plans to be consistent with Appendix A and each other.
- 3) Please update the hatch patterns and legend on all civil sheets. All hatched areas must be included in the legend; remove unnecessary hatching in undisturbed, offsite areas; and ensure that the chosen hatch patterns are easy to differentiate.
- 4) Add the impervious surface classification table that is in the Technical Memorandum on the appropriate civil plan sheet(s).
- 5) The existing trees along the west side of Washington Avenue must be protected from damage. Show tree fencing on the appropriate plan sheet(s).
- 6) Include the following note on the appropriate plan sheet(s):
  - Contact Ashton Miller at 651-429-8534 or [amiller@whitebearlake.org](mailto:amiller@whitebearlake.org) for a tree protection fence inspection prior to any removals or grading work.

- 7) Submit a snow storage plan for review.
- 8) Submit a grading plan for review.
- 9) If construction limits extend into adjacent parcels, temporary construction easements may be necessary.
- 10) Permits may be required from BNSF and MnDOT. Provide a copy of the permits for our records or written documentation from each agency stating that a permit is not required.
- 11) Please provide a copy of the lease agreement with BNSF Railway for use of the drive lane that is on railroad property near the southeast corner of the subject property.
- 12) The driveway access for 4800 Division Avenue from Washington Avenue must be maintained and accessible at all times.
- 13) If the mill and overlay areas are found to need full reconstruction, the City must be notified and a stormwater management plan submitted for review and approval.
- 14) An as-built record drawing is required for this project. A list of record drawing requirements will be provided as part of the Building Permit application review.
- 15) Stormwater efforts that go above and beyond permit requirements are eligible for grant funds. For more information, visit: [www.vlawmo.org/grants/](http://www.vlawmo.org/grants/).

#### **TECHNICAL MEMORANDUM**

- 16) Appendix A, Pavement Areas graphic: remove the mill and overlay hatch pattern on the building.

#### **EROSION CONTROL DETAILS**

- 17) Under the General Construction Activity Information heading, last sentence, add 'mill and overlay' to the project description.

#### **LANDSCAPE PLAN**

- 18) Show the restoration of all disturbed pervious areas within the City ROW.

For questions regarding this memo, contact Nate Christensen at: 651-762-4812/  
[nchristensen@whitebearlake.org](mailto:nchristensen@whitebearlake.org) or Connie Taillon at: 651- 429-8587/  
[ctailon@whitebearlake.org](mailto:ctailon@whitebearlake.org)



## Silverstar Car Wash Narrative

Silverstar Car Wash was founded in 2010 and is a high-quality car wash providing customers with a consistent experience that is quick and convenient. The proposed car wash will be located at the site of the former Hog Wash Facility. The car wash will be contained within the existing building footprint site and consist of 2 drive lanes to enter the car wash; the kiosk lane where patrons are greeted by a customer service associate and a lane for the unlimited pass customers. The unlimited pass customer lane will also serve as a bypass lane. Upon entering the car wash, cars get cleaned using state-of-the-art wash equipment and dried with high-powered dryers. Customers can exit the car wash or enter the vacuum area that is made available to patrons at no cost.

Site improvements will be made to the existing site access, the existing asphalt will be resurfaced with mill and overlay, curb improvements, and the landscaping will be updated per City requirements. Likewise, site signage will be Silverstar Car Wash in accordance with the signage requirements for White Bear Lake.

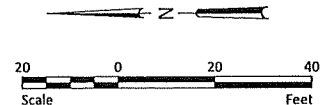
The building exterior will be updated with the signature finishes characteristic of the Silverstar Car Wash Facilities. Specifically, the existing precast exterior walls have been maintained from the original building, as well as the parapet height. The precast walls will be painted in two shades of grey. Prefinished aluminum panels will be added to the North and South side of the wash. A decorative stepped cornice wrapped in prefinished metal will be added to the entire building. There will be one overhead door location on the South end to enter the wash tunnel. The North end will maintain two of the existing overhead door locations. The rest of the openings in the building will be infilled with prefinished aluminum storefronts.

The typical average daily use at the car wash facility is 200 vehicles. The average water use per vehicle based on the wash equipment proposed for the Silverstar Car Wash for White Bear Lake is approximately 87 gallons per vehicle. Silverstar Car Wash uses the PurWater Recovery System in their car wash operation to reduce the overall demand for City water. The PurWater reclamation system treats the wash water collected in the drains and removes oil and grease, floatable materials and settleable solids. The Reclaim System treats 100% of the wash water collected in the drains and returns 60 to 75% of the treated water to the wash cycle. Benefits realized from the PurWater Recovery System includes reduced demand for City water to operate the car wash, and reduced volumes and pretreatment of the water discharged to the sewer.

Silverstar Car Wash will operate seven days a week from 8 a.m. to 7 p.m. during the months from October through April; and from 8 a.m. to 8 p.m. during the months from May through September. Based on the Silverstar Car Wash facilities in operation, peak usage time is typically noon to 4 pm on a Saturday, or during the weekday from 4-6 pm following a snow event. During the weekday peak hours, it's typical to have 15 to 20 cars. During the weekend peak hours, that may increase to 25 to 30 cars per hour.

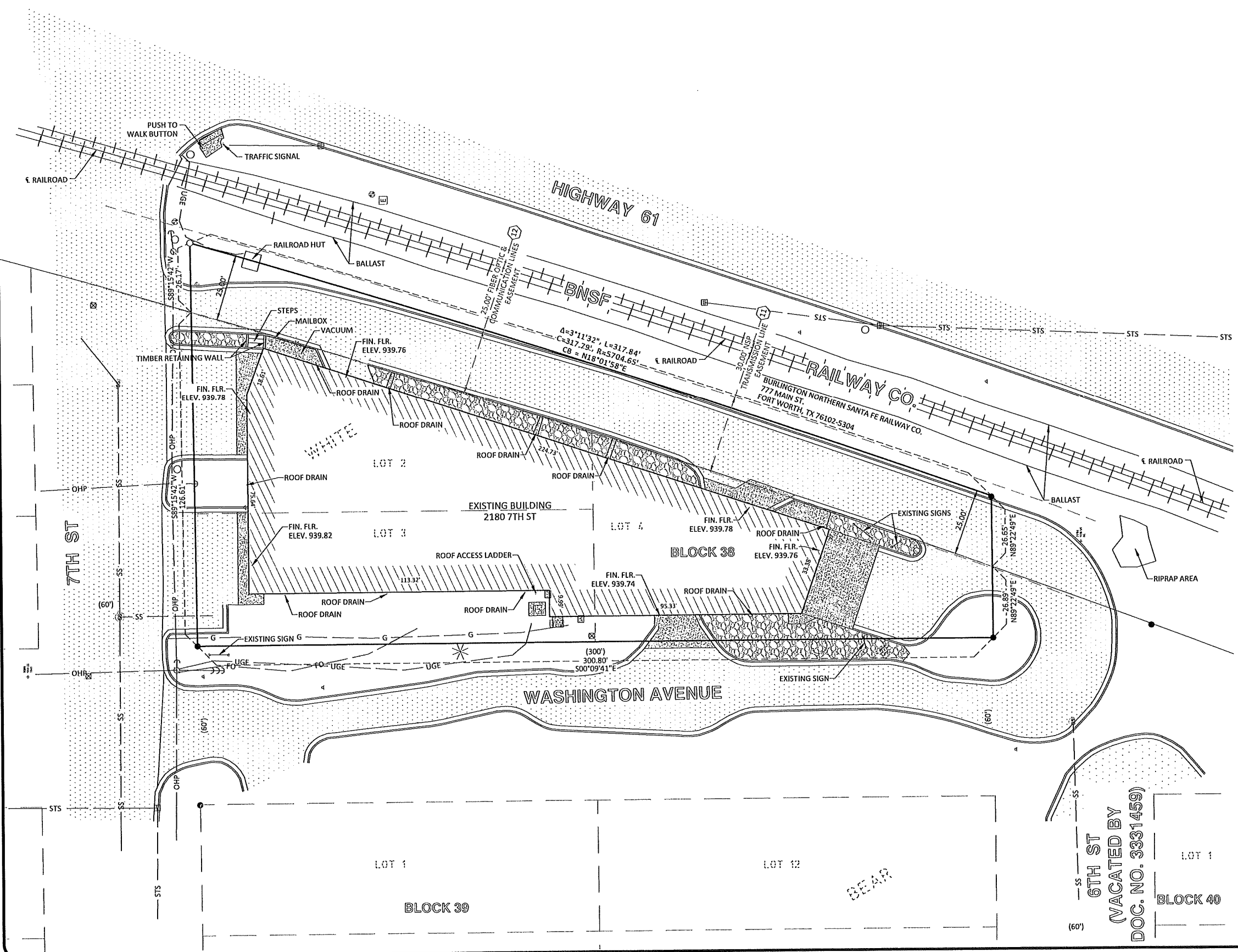
Silverstar Car Wash will staff locally to operate the wash facility. There are four (4) staff members present when the car wash is open to the public for business. One staff member provides customer service at the kiosk area. Two staff members are at the entrance to the car wash spraying down each vehicle as it enters the wash tunnel. The fourth staff member is available to work the kiosk area and wash tunnel as needed, or assist customers.

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**LEGEND**

SANITARY SEWER MAIN	SS
STORM SEWER MAIN	STS
STORM INLET	⊞
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
UTILITY MANHOLE	⊙
FIRE HYDRANT	⊙
GATE VALVE	⊙
UTILITY POLE	⊙
W / GUY WIRE	⊙
LIGHT POLE	⊙
TELEPHONE RISER	⊙
AC UNIT	⊙
ELECTRICAL BOX	⊙
ELECTRIC METER	⊙
GAS METER	⊙
TRANSFORMER	⊙
OVERHEAD POWER	OHP
UNDERGROUND ELECTRIC	UGE
UNDERGROUND FIBER OPTIC	FO
GAS MAIN	G
CONIFEROUS TREE	⊙
DECIDUOUS TREE	⊙
SIGN	⊙
GUARD POST	⊙
WOOD FENCE	⊙
RAILROAD TRACKS	⊙
STANDARD CURB & GUTTER	⊙
SUBJECT PROPERTY BOUNDARY LINE	⊙
EASEMENT LINE	⊙
BUILDING	⊙
CONCRETE	⊙
ASPHALT	⊙
LANDSCAPE ROCK	⊙
IRON MONUMENT FOUND	⊙
IRON MONUMENT SET	⊙



6TH ST  
 (VACATED BY  
 DOC. NO. 3331459)

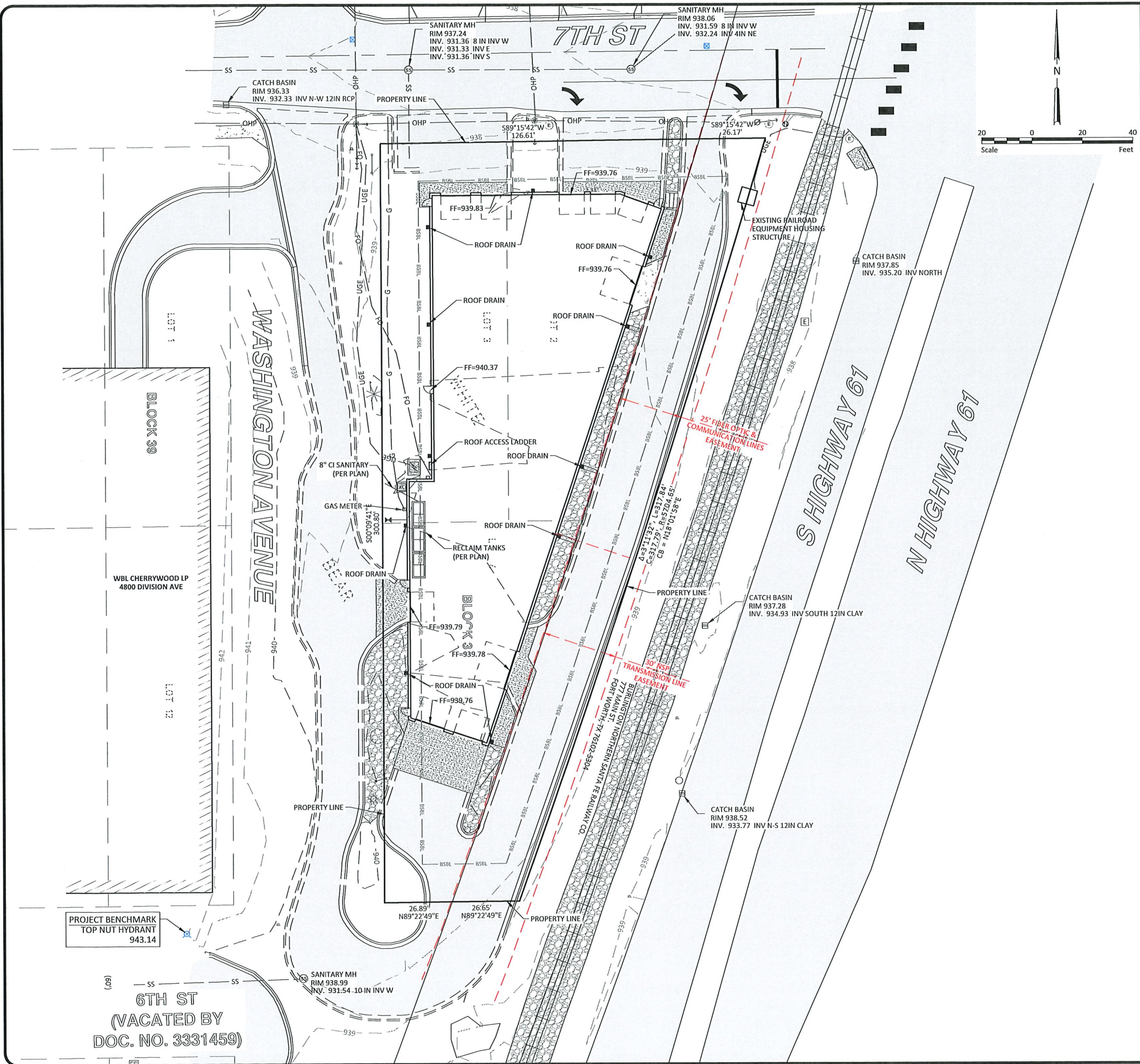
SILVERSTAR CARWASH 2180 7TH STREET WHITE BEAR LAKE, MINNESOTA ALTA/NSPS SURVEY	 <b>HOUSTON</b> engineering, inc.
Drawn By RLA	Checked By JAS
Date 7-12-2022	Scale As Shown
Project No. 10300-0007	SHEET 1 of 2
No.	Revision
By	Date





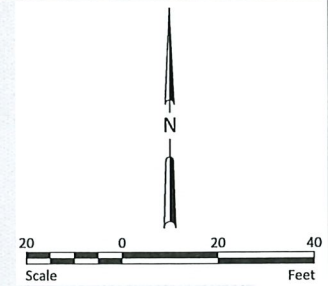


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**LEGEND**

WATER MAIN	— W —
SANITARY SEWER MAIN	— SS —
STORM SEWER MAIN	— STS —
STORM INLET	⊠
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
UTILITY MANHOLE	⊙
FIRE HYDRANT	⊙
GATE VALVE	⊙
CLEANOUT	⊙
UNDERGROUND FIBER OPTIC	— FO —
UNDERGROUND ELECTRIC LINE	— UGE —
UNDERGROUND GAS LINE	— G —
OVERHEAD POWER LINE	— OHP —
SIGN	⊙
WOOD FENCE	— Xw — Xw — Xw —
SPOT ELEVATION	⊙
STANDARD CURB & GUTTER	⊠
BUILDING	▨
PROPERTY LINE	— — — — —
EASEMENT LINE	- - - - -
BUILDING SETBACK LINE	⊠
IRON MONUMENT FOUND	⊙
IRON MONUMENT SET	○



THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, AS-BUILT MAPS AS PROVIDED BY MUNICIPALITIES OR UTILITY COMPANIES, AND/OR EXISTING DRAWINGS. THERE IS NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, NOR IS THERE A GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY RESULT FROM ITS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES.

- NOTES:**
- SANITARY SEWER AND WATER SERVICES FOR THE EXISTING BUILDING SHOWN ON THE PLANS WERE LOCATED BASED ON CITY UTILITY TAP RECORDS AND SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD LOCATE BUILDING UTILITY SERVICES.

PROJECT BENCHMARK  
TOP NUT HYDRANT  
943.14

6TH ST  
(VACATED BY  
DOC. NO. 3331459)



Drawn By  
APD  
Checked By  
CCO  
Date  
1-3-2023  
Scale  
As Shown  
Project No.  
10300-0026

**PRELIMINARY**  
Not for Construction

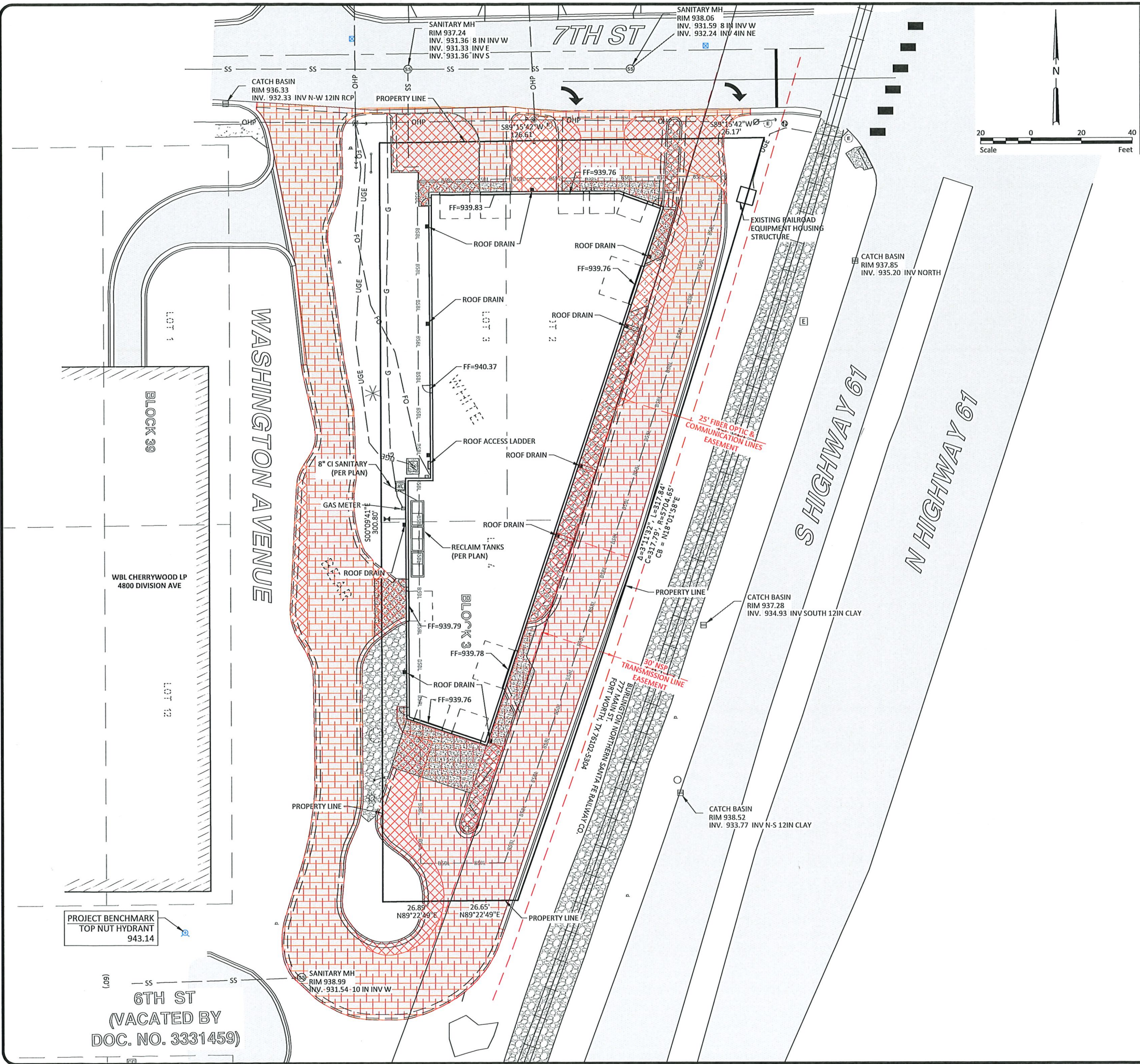
SHEET  
C2.0

No.	Revision	Date	By

SILVERSTAR CAR WASH  
2180 7TH ST  
WHITE BEAR LAKE, MN  
TOPOGRAPHIC SURVEY



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**LEGEND**

WATER MAIN	— W —
SANITARY SEWER MAIN	— SS —
STORM SEWER MAIN	— STS —
STORM INLET	SS
SANITARY MANHOLE	SS
STORM MANHOLE	ST
UTILITY MANHOLE	●
FIRE HYDRANT	○
GATE VALVE	○
CLEANOUT	▽
UNDERGROUND FIBER OPTIC	— FO —
UNDERGROUND ELECTRIC LINE	— UGE —
UNDERGROUND GAS LINE	— G —
OVERHEAD POWER LINE	— OHP —
SIGN	△
WOOD FENCE	— X — X — X —
SPOT ELEVATION	≡
STANDARD CURB & GUTTER	≡
BUILDING	▨
PROPERTY LINE	— — — —
EASEMENT LINE	- - - - -
BUILDING SETBACK LINE	- - - - -
IRON MONUMENT FOUND	●
IRON MONUMENT SET	○
EXISTING PAVEMENT	▨
DEMOLITION	▨
MILL AND OVERLAY PAVEMENT	▨

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, AS-BUILT MAPS AS PROVIDED BY MUNICIPALITIES OR UTILITY COMPANIES, AND/OR EXISTING DRAWINGS. THERE IS NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, NOR IS THERE A GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY RESULT FROM ITS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES.

- NOTES:**
- SANITARY SEWER AND WATER SERVICES FOR THE EXISTING BUILDING SHOWN ON THE PLANS WERE LOCATED BASED ON CITY UTILITY TAP RECORDS AND SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD LOCATE BUILDING UTILITY SERVICES.

**DEMOLITION QUANTITIES:**

ASPHALT	590 CY
CONCRETE	70 CY
CURB AND GUTTER	1480 LF



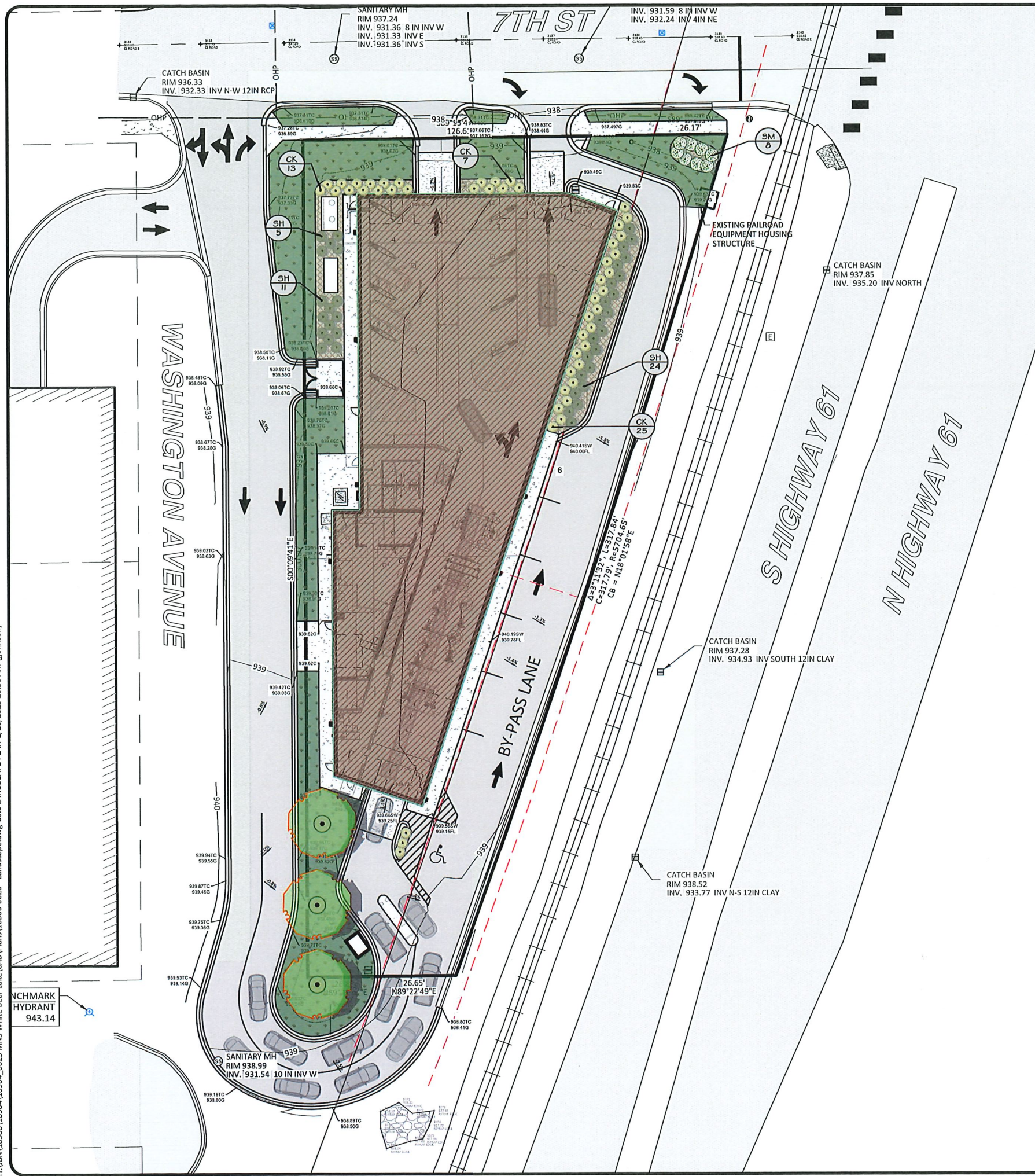
Drawn By	APD
Checked By	CCO
Date	1-3-2023
Scale	As Shown
Project No.	10300-0026
SHEET	C3.0

**PRELIMINARY**  
Not for Construction

No.	Revision	Date	By



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**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	Acer platanoides 'Columnarbroad'	Parkway® Maple	2.5" Cal.	3		
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
CK	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal.	48		
SH	Sporobolus heterolepis	Prairie Dropseed	2 gal.	40		
SM	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	2 gal.	8		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
	ROCK MULCH	1 1/2" RIVER ROCK	MULCH		1,995 sf	
	SOD	SOD	SOD		6,196 sf	

**PRELIMINARY**  
Not for Construction

SILVERSTAR CAR WASH 2180 7TH ST WHITE BEAR LAKE, MN		LANDSCAPE PLAN	
No.	Revision	Date	By
 <b>HOUSTON</b> engineering, inc.			
Drawn By APD Checked By CCO Date 1-3-2023 Scale As Shown Project No. 10300-0026 SHEET C8.0			



**ABBREVIATIONS:**

<b>A</b> AB. ANCHOR BOLT AC. AIR COND. A.H.U. AIR HAND UNIT ACT. ACUST. TILE ADJ. ADJUSTABLE AFF. ABOVE FIN. FL. ALUM. ALUMINUM ALT. ALTERNATE ANC. ANCHOR ATC. A/C CEILING APC. ACOUST. PANEL CEILING	<b>F</b> F.D. FLOOR DRAIN F.E. FIRE EXTING. F.E.C. FIRE EXT. CAB. F.O.F. FACE OF FIN. FDL. FOUNDATION FIN. FINISH FL. FLOOR FLASH. FLASHING FR. FRAME FT. FOOT OR FEET FTG. FOOTING FUR. FURRING	<b>G</b> G.B. GRABBAR G.C. GEN. CONTR. GA. GAUGE GALV. GALVANIZED GL. GLASS GR. GRADE GWB. GYP. WALLBO. GWC. GLAZED WALL COATING	<b>H</b> H. HEIGHT H.C. HOLLOW CORE HM. HOLLOW METAL HCP. HANGING HORIZ. HORIZONTAL HT. HEIGHT HTG. HEATING HVAC. HEATING/AC	<b>I</b> ID. INSIDE DIAM. (DM) INSUL. INSULATION INT. INTERIOR J.B. JUNCTION BOX JST. JOIST JT. JOINT L.A. LAMINATE LAV. LAVATORY LTD. LIGHTING LWCAJ. LIGHTWEIGHT CONCRETE	<b>M</b> M.C. MECH. CONTR. M.O. MASONRY OPENING MAX. MAXIMUM MECH. MECHANICAL MED. C. MEDICINE CAB. MET. METAL MFR. MANUFACTURER MNL. MANUJAM MSC. MISCELLANEOUS MTD. MOUNTED M.L. MULLION	<b>N</b> N.E.C. NAT. ELEC. CODE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE NO. NUMBER NOM. NOMINAL O.C. ON CENTER O.D. OUTSIDE DIA. (DM) O.F. OUTSIDE FACE OH. OVERHEAD	<b>P</b> P.L.A.M. PLASTIC LAM. P.L. PROPERTY LINE P.S.F. LBS. PER SQ. FT. P.S.L. LBS. PER SQ. IN. P.T.D. PAPER T.W. DISP. PART. BO. PARTICLE BOARD	<b>PL.</b> PLATE <b>PLAS.</b> PLASTER <b>P.W.D.</b> PLYWOOD <b>P.T.</b> PAINT <b>Q.T.</b> QUARRY TILE <b>R.</b> RISER <b>R.D.</b> ROOF DRAIN <b>R.O.</b> ROUGH OPENING <b>R.V.</b> ROOF VENT <b>RAD.</b> RADIUS <b>REC.</b> RECEPTICAL <b>REF.</b> REFRIGERATOR <b>REFL.</b> REFLECTED <b>RENF.</b> REINFORCED <b>REM.</b> REMOVABLE <b>REQ.</b> REQUIRED <b>RESL.</b> RESILIENT <b>RJA.</b> ROOF <b>S.B.</b> SPLASH BLOCK <b>S.C.</b> SOLID CORE <b>S.D.</b> SOAP DISPENSER <b>S/S.</b> STAINLESS STEEL <b>SCHED.</b> SCHEDULE <b>SECT.</b> SECTION <b>SHR.</b> SHOWER <b>SHT.</b> SHEET <b>SHT.V.</b> SHEET VINYL <b>SHTG.</b> SHEATHING <b>SHL.</b> SHOWER <b>SPEC.</b> SPECIFICATION <b>SQ.</b> SQUARE <b>STD.</b> STANDARD <b>STL.</b> STEEL <b>STR.</b> STRUCTURAL <b>SUSP.</b> SUSPENDED <b>SW.</b> SWITCH <b>SYM.</b> SYMMETRICAL <b>T.</b> THICK (THICKNESS) <b>T.B.</b> TOWEL BAR <b>T.D.</b> SOAP DISPENSER <b>T.O.C.</b> STAINLESS STEEL <b>T.O.F.</b> TOP OF FOOTING <b>T.O.S.</b> TOP OF STEEL <b>T.A.G.</b> TONGUE AND GROOVE <b>T.P.D.</b> TOILET PAPER DISP. <b>T.V.</b> TELEVISION <b>TEL.</b> TELEPHONE <b>TER.</b> TERRAZZO <b>TYP.</b> TYPICAL <b>UNF.</b> UNFINISHED <b>UR.</b> URINAL <b>V.</b> VOLT <b>V.B.</b> VAPOR BARRIER <b>V.</b> VINYL <b>V.C.T.</b> V.A. COMP. TILE <b>VERT.</b> VERTICAL <b>V.S.G.B.</b> V.A. SURF. GYP. BD. <b>W.</b> WATT <b>WI.</b> WITH <b>W.C.</b> WATER CLOSET <b>WO.</b> WITHOUT <b>WB.</b> WOOD <b>WTDH.</b> WIDTH <b>WH.</b> WALL HUNG <b>WP.</b> WATERPROOF <b>WSCT.</b> WAINSCOT <b>WS.</b> WATER SOFTENER <b>WT.</b> WEIGHT
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# Silverstar Renovation MN3

**2180 7th Street  
White Bear Lake, MN 55110**

**MATERIALS SYMBOLS**

This is a standard list. Not all materials are used in the project.

<b>STONE</b>		OUT STONE
<b>EARTH, etc.</b>		EARTH GRAVEL OR FILL
<b>METALS</b>		METAL METAL STUD
<b>MISC.</b>		GLASS GYPSUM BOARD
<b>CONCRETE</b>		POURED CONCRETE PRECAST LIGHT WT. CONCRETE
<b>INSULATION</b>		BATT OR LOOSE FILL ROOF ACoustICAL TILE
<b>MASONRY</b>		BRICK LW G.A.J. PARTITION STRUCTURAL GLAZED TILE G.A.J.
<b>WOOD</b>		FRESH BLOODING PLYWOOD WOOD STUD PARTITION

**DETAIL INDICATION**

	BUILDING SECTION PLAN REFERENCE		ELEVATIONS
	DETAIL PLAN REFERENCE		TEST BORING
	ELEVATION PLAN REFERENCE		NEW SPOT ELEVATION
	DOOR NUMBER		EXISTING SPOT ELEVATION
	KEYED NOTE		ROOM NUMBER
	REVISION NUMBER		WINDOW REF.
	EXISTING CONTOURS		EQUIPMENT NUMBER
	NEW CONTOURS		REFERENCE GRID

**CIVIL ENGINEER:**

**HOUSTON**  
engineering, inc.

1401 21st Avenue North  
Fargo, ND 58102

701.237.5065

**STRUCTURAL ENGINEER:**

**RISE**  
STRUCTURAL ASSOCIATES INC.

101 Railroad Ave. - PO Box 39 - Harrisburg, SD 57032  
(605)743-2510 fax(605)743-2513

**MECHANICAL ENGINEER:**

**INNOVATIVE ENGINEERING SOLUTIONS**

Mechanical Engineering Consultants  
HVAC & Plumbing

26784 Country Acres Dr.  
Sioux Falls, SD 57106  
ph 605.366.9457  
innovative-engr.com

**ELECTRICAL ENGINEER:**

**PDE** Professional Design Engineers

48371 265th Street  
Brandon, SD 57005

(605)582-5717  
Fax 582-5717

**Revisions**

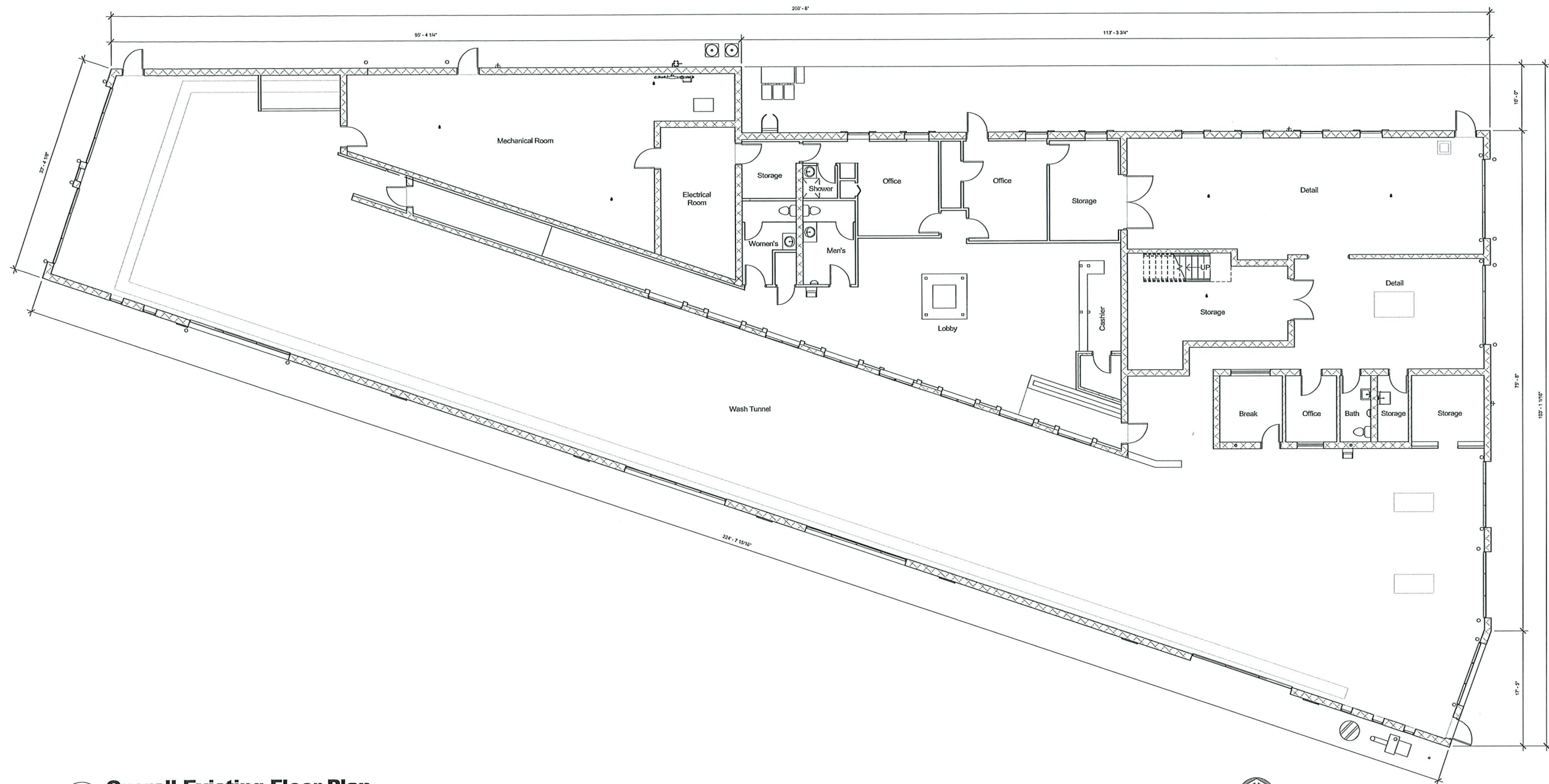

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01.27.23

2180 7th Street  
White Bear Lake, MN 55110

Silverstar Renovation MN3

22055



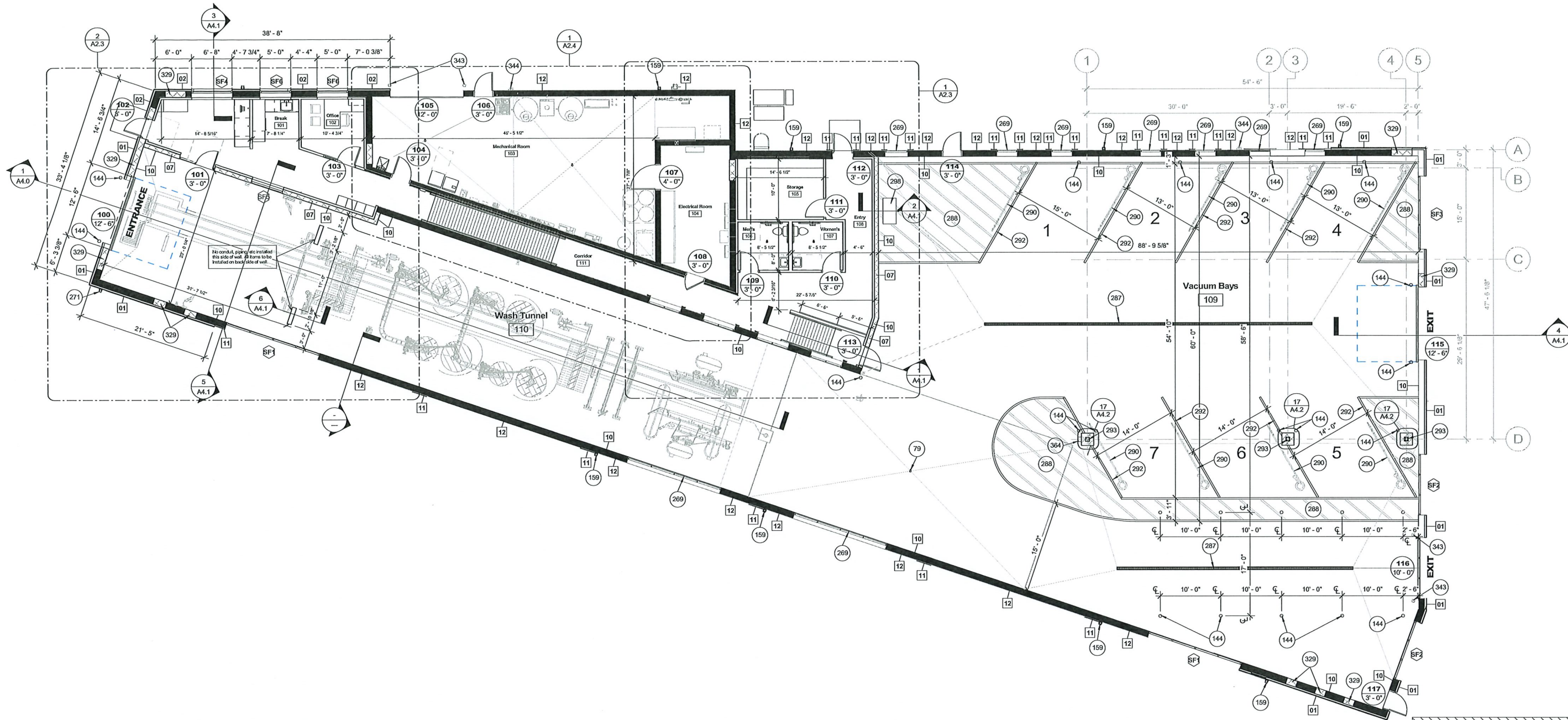
**1 Overall Existing Floor Plan**  
Scale: 1/8" = 1'-0"



1/28/2023 8:40:23 AM Autodesk Docs://Silverstar MN/22055 Silverstar White Bear Lake-Concept H.rvt

 <b>VanDeWalle Architects LLC</b> <small>ARCHITECTURE • PLANNING • INTERIORS</small> Sioux Falls, S.D. 605-339-4411	
 <b>Midwest Fidelity Partners</b>	
Silverstar Renovation MN3 2180 7th Street White Bear Lake, MN 55110	
<b>Existing Floor Plan</b>	
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Project No. 22055	Revisions
Date: 01.27.23	
Drawn By: TJS	A2.0





# 1 Overall New Floor Plan

Scale: 1/8" = 1'-0"

Square Footage: 13,659 SF

### Plan Notes

- 79 Floor drain. See mech.
- 144 6" diameter concrete filled steel pipe bollard w/ prefinished cover.
- 159 Prefinished aluminum scupper & rectangular open faced downspout w/ silver metallic finish. Maintain existing location. Surface drain.
- 269 Existing window to remain. Install new flashing @ sill (exterior side) & caulk perimeter prior to new paint.
- 271 Prefinished aluminum scupper & rectangular open faced downspout w/ silver metallic finish. Relocated from original location. Surface drain.
- 287 Trench drain. See mechanical plans.
- 288 \*No parking' area. Paint concrete & locate signage.
- 290 Vacuum arch location. See final supplier drawings.
- 292 Parking lot striping, paint.
- 293 Steel column. See structural.
- 298 \*Mat beater' equipment. See mechanical & electrical plans.
- 329 Infill existing opening w/ CMU to match adjacent width & coursing. Use 'Dryblock' in cores & 'Dryblock' mortar.
- 343 Existing bollard to remain. Install new cover to match new bollards.
- 344 Existing hose bib location to remain.
- 364 Surface mounted fire extinguisher cabinet. Must be rated for wet environments. Verify requirements w/ Fire Marshal. Install cabinet @ 48" AFF to top of cabinet per ADA requirements. Cabinet can protrude from wall 4" max per 307.2 of ICC A117.1-2009.

### General Notes:

- 01. Provide 'W' style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide W.R. GWB in all bathroom & laundry areas.
- 03. Provide 2x blocking at all grab bar & future grab bar locations. See detail 10/A5.0.
- 04. All dimensions are from face of stud or CMU, U.N.O.
- 05. Caulk perimeter of all toilets, wall hung lavatories, & backsplashes.
- 06. Verify existing conditions prior to construction. Notify architect of any discrepancies immediately prior to construction.
- 07. See sheet A6.0 for interior finishes.
- 08. Wall types are on sheet A2.13.
- 09. Verify all appliance dimensions prior to ordering cabinets.
- 10. Mechanical, electrical, structural, and civil items shown for reference only. For final design see consultant drawings.
- 11. All doors requiring thresholds shall be ADA compliant thresholds. All door hardware shall be lever type.
- 12. Interior elevations are on sheet A5.0.
- 13. Door, window, and storefront schedules & elevations are on sheet A5.1.
- 14. Verify structural stability of all elements to be removed prior to construction. See structural plans.

### Wall Legend:

- Existing wall to remain
- New wall
- New CMU wall

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**VanDeWalle Architects LLC**  
ARCHITECTURE • PLANNING • INTERIORS  
Sioux Falls, S.D. 605-339-4411

**MFP** Midwest Fidelity Partners

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White Bear Lake, MN 55110

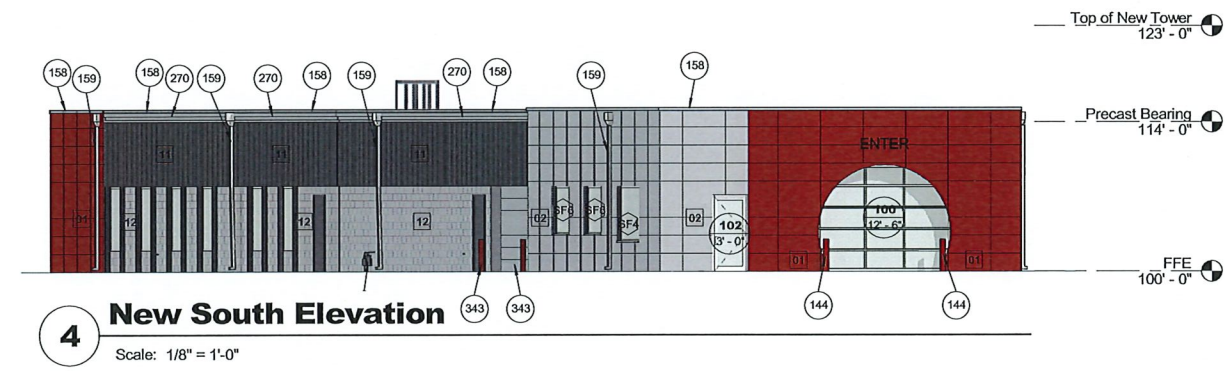
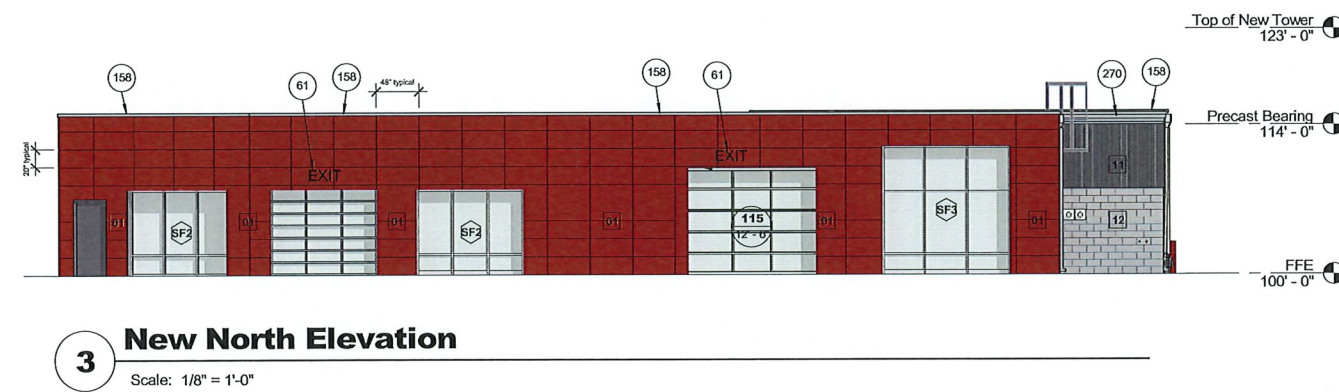
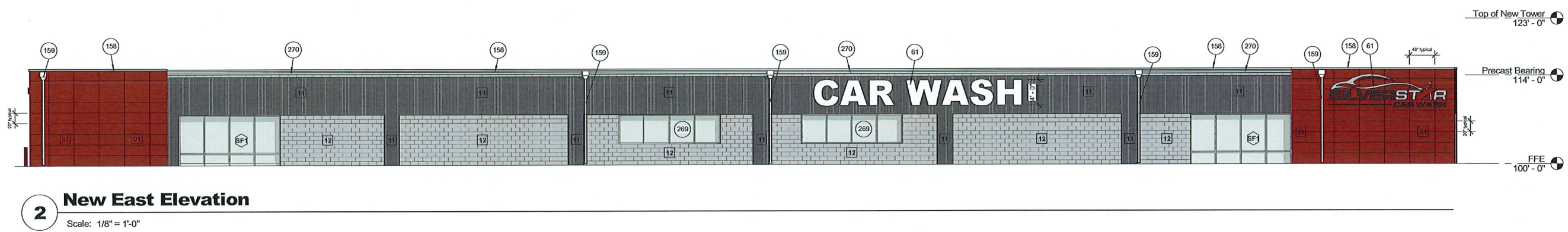
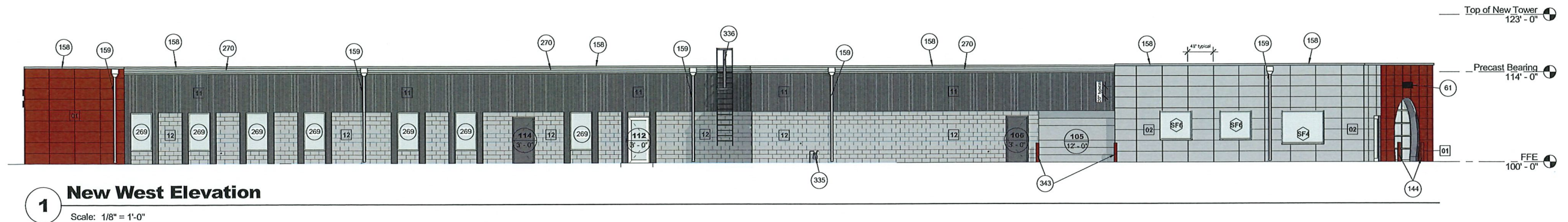
## Overall New Floor Plan

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Project No. 22055  
Date: 01.27.23  
Drawn By: TJS

**A2.2**





- Plan Notes**
- 61 Signage by Owner. Provide power & blocking as required. Coordinate w/ Owner for power, size & location.
  - 144 6" diameter concrete filled steel pipe bollard w/ prefinished cover.
  - 158 Prefinished metal parapet cap. Install blocking as required. Match silver metallic finish.
  - 159 Prefinished aluminum scupper & rectangular open faced downspout w/ silver metallic finish. Maintain existing location. Surface drain.
  - 269 Existing window to remain. Install new flashing @ sill (exterior side) & caulk perimeter prior to new paint.
  - 270 2x built up cornice wrapped in prefinished metal. Silver metallic finish.
  - 335 Existing gas meter location to remain.
  - 336 Existing roof access ladder location to remain.
  - 343 Existing bollard to remain. Install new cover to match new bollards.

- General Notes:**
- 01. Provide 'W' style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
  - 02. Provide W.R. GWB in all bathroom & laundry areas.
  - 03. Provide 2x blocking at all grab bar & future grab bar locations. See detail 10/AS.0.
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  - 14. Verify structural stability of all elements to be removed prior to construction. See structural plans.

**VanDeWalle Architects LLC**  
ARCHITECTURE • PLANNING • INTERIORS  
Sioux Falls, S.D. 605-339-4411

**MFP** Midwest Fidelity Partners

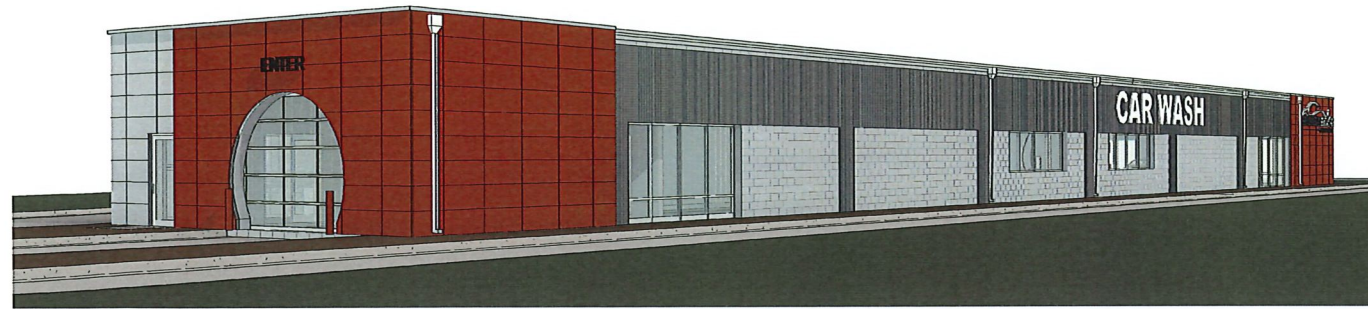
Silverstar Renovation MN3  
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White Bear Lake, MN 55110

**New Exterior Elevations**

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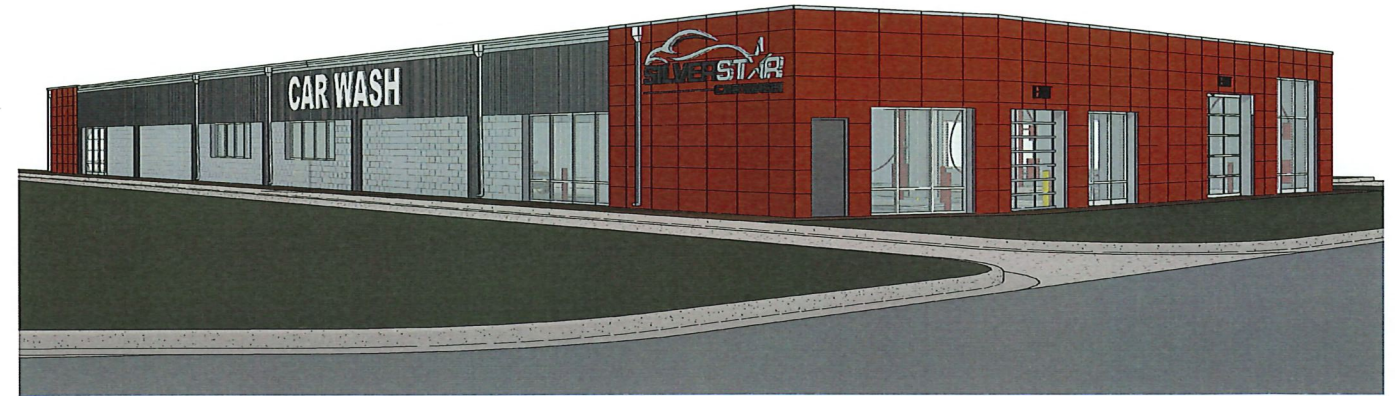
Project No.	22055	Revisions	<b>A3.0</b>
Date:	01.27.23		
Drawn By:	TJS		





**1 Southeast Perspective**

Scale:



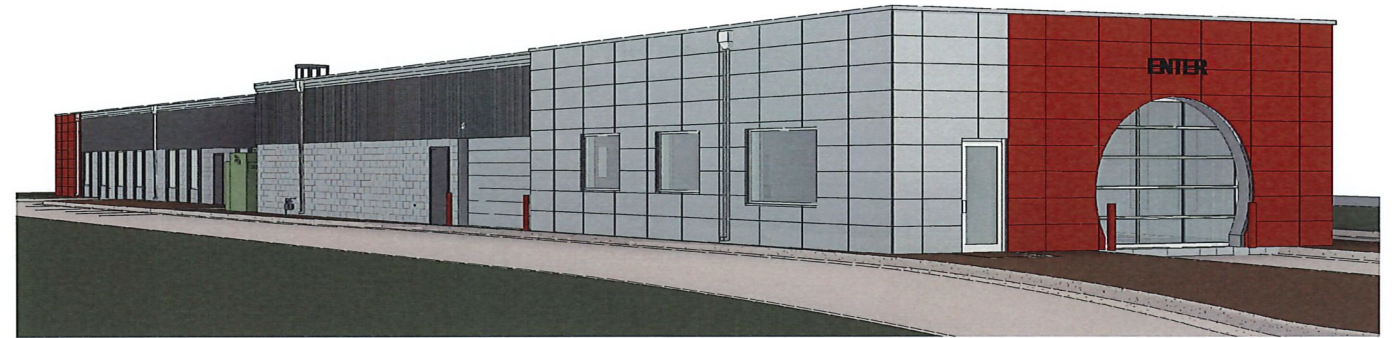
**2 Northeast Perspective**

Scale:



**3 Northwest Perspective**

Scale:



**4 Southwest Perspective**

Scale:

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**New Perspective Views**

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Project No.	22055	Revisions	<b>A3.1</b>
Date:	01.27.23		
Drawn By:	TJS		



**City of White Bear Lake**  
Community Development Department

# MEMORANDUM

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** January 30, 2023  
**SUBJECT:** **Central Middle School Conditional Use Permit, 4857 Bloom Avenue, Case No. 23-5-CUP**

## SUMMARY

The applicant, Wold Architects on behalf of the White Bear Lake Area Schools, is requesting a conditional use permit in order to build a gym addition and add 11 new classrooms.

Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1301.050 have been satisfied and recommends approval of the request.

## GENERAL INFORMATION

Applicant/Owner: Wold Architects / Independent School District #624

Existing Land Use / Zoning: School; zoned P: Public Facilities

Surrounding Land Use / Zoning: North: North Campus; zoned P: Public Facilities  
 East & South: Single Family Homes; zoned R-4: Single Family – Two Family Residential  
 West: Single Family Homes; zoned R-3: Single Family Residential

Comprehensive Plan: Public/Semi-Public

Lot Size & Width: Code: none  
 Site: 33.36 acres & 650 feet

## ANALYSIS

The subject site is located between Division and Bald Eagle Avenue, just south of North Campus. In 2021, as part of the bond referendum passed in 2019, a conditional use permit was approved for major improvements at North Campus that included several shared facilities between the two schools, including practice fields and parking. Modifications to the middle school were not proposed at that time. The current proposal consists of a 10,800 square foot gym addition with bathrooms and storage space that will also serve as a storm shelter. The



District Center will move out of the school, creating space for 11 new classrooms, increased cafeteria space and additional flex space.

#### Community Comment

Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all adjacent property owners. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments regarding the request. During the public hearing, staff will provide an update if any public comments are received prior to the Planning Commission meeting.

#### Conditional Use Permit Review

City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding:** The 2040 Comprehensive Plan Future Land Use Map guides the subject property as public/semi-public. This designation is for properties which are owned by a public or non-profit entity and used for public services and uses other than parks and open space. It is also intended for semi-public uses such as recreation centers, public schools, churches and cemeteries. The continued use as a school is consistent with the Comprehensive Plan.

2. The proposed use is or will be compatible with present and future land uses of the area.

**Finding:** The area has been the location of a school since the 1920's and much of the neighborhood has developed over time around the school. The continued use as a school and the addition of more classrooms to serve the growing number of students in the community is compatible with present and future land uses of the area.

3. The proposed use conforms with all performance standards contained herein.

**Finding:** The Public Facilities zoning district does not have specified setbacks or height

requirements, rather the code states, “requirements as to lot size, setbacks, building, parking landscaping, screening, etc., shall be at least comparable to similar uses in other districts”. The standards for schools in the R-3 and R-4 zoning districts, the predominant surrounding districts, have been used for comparison purposes against this request.

#### *Setbacks*

Schools in residential zoning districts (e.g. private and charter schools) are required to double the setback when adjacent to residential properties, which typically results in a 20 foot setback. The proposed gym addition will be more than 20 feet from the adjacent residential property, and several hundred feet from the adjacent right-of-ways, so staff finds the setbacks to be acceptable. The site plan denotes a 20 foot “buffer”, which is typically required when commercial properties abut residential. The dense vegetation in this buffer area will be maintained to minimize any impact on the residential property.

#### *Height*

At 34 feet in height, the gym is comparable to what is permitted in other zoning districts (35-36 feet or three stories).

#### *Parking*

The zoning code requires elementary schools and junior high schools to provide one parking stall per classroom and one per each 50 students. There will be 57 classrooms and a capacity of 1350 students, meaning 84 stalls are required. 214 stalls are provided and there is additional parking exclusively for school buses so parking requirements are exceeded.

#### *Elevations*

The exterior materials of the gym will be consistent with the existing school as a mix of precast paneling and brick in matching colors are proposed.

#### *Landscaping*

Shrubs are also proposed around the west side of the gym to soften the appearance of the building.

#### *Lighting*

Lighting specifications and details for any new lighting, along with a photometric plan will be required before a building permit is issued.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

**Finding:** The proposal will not depreciate the area. High quality school districts play a large role in the vibrancy and appeal of the local community. The proposal at the middle school will enhance and contribute positively to the general vicinity.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.



**Finding:** As part of the approval for North Campus, existing and proposed sewer and water utility connections were designed to accommodate the expansion in the area, thus the utilities have the capacity to serve the proposed addition.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

**Finding:** The applicant has stated that traffic may decrease with the District office moving out of the building. When North Campus received approval for expansion, several improvements were identified to alleviate traffic congestion in the neighborhood and distribute traffic throughout the existing roadway network. Modifications to traffic controls and access/roadway changes planned for the neighborhood will help keep traffic generated from the gym and classroom addition within the capabilities of the streets. Additionally, staggered school start and dismissal times with the high school should reduce congestion.

### **RECOMMENDATION**

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.  
Prior to the issuance of a building permit, the applicant shall:
5. Provide additional information and details as required by the Fire Marshal, detailed in the attached memo dated December 23, 2022.
6. Provide additional information and details as required by the Engineering Department, detailed in the attached memo dated January 12, 2023.
7. Provide a SAC determination from the Metropolitan Council.
8. Submit lighting details and a photometric plan for staff review and approval. All new or relocated lights shall be shielded so that the light source is not visible from surrounding residences.

### **Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Fire Review Memo, dated 12/23/22

Engineering Review Memo, dated 1/12/23

Applicants Narrative (2 pages) & Plans (18 pages)

**RESOLUTION NO.**

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT  
FOR 4857 BLOOM AVENUE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Independent School District #624 (Case No. 923-5-CUP) has requested a conditional use permit, per code section 1303.245, in order to construct a gym addition and remodel 11 new classrooms at the following location:

**LEGAL DESCRIPTION:** Attached as Exhibit A

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on January 30, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (i.e. a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. A building permit shall be obtained before any work begins.  
Prior to the issuance of a building permit, the applicant shall:





## RESOLUTION NO.

### EXHIBIT A LEGAL DESCRIPTION

#### DESCRIPTION OF PROPERTY SURVEYED

(Per Warranty Deed Doc. No. 888516)

Lots Numbered Twelve (12) and Thirteen (13), Block Two (2), Spruce Grove Addition to the City of White Bear Lake, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said County of Ramsey and State of Minnesota.

AND

(Per Warranty Deed Doc. No. 888517)

Lots Numbered Ten (10) and Eleven (11), and Fourteen (14), Block Two (2), Spruce Grove Addition to the City of White Bear Lake, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said County of Ramsey and State of Minnesota.

AND

(Per Probate Deed Doc. No. 1127304)

Lot One (1) and the North twenty-one (21) feet of Lot Two (2) and all of Lot Twenty-Two (22), Block One (1) Spruce Grove White Bear Lake, Minnesota, subject to unpaid balance of sewer assessment. The North twenty-one (21) feet of Lot Two (2) described above, being all of said Lot Two (2) except the South fifty (550) feet of said Lot.

AND

(Per Doc. No. 1306834)

The Southwest Quarter (SW1/4) of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), except Bald Eagle Avenue, and

except the Easterly one hundred eighty (180) feet, of the Southeast Quarter (SE1/4) of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), all according to the United States Government survey thereof. Also except (per Deed Doc. No. 1315540): The West one hundred, fifty (150) feet of the East three hundred thirty (330) feet of the North two hundred, fifty (250) feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range twenty-two (22), Ramsey County, Minnesota, according to the United States Government survey thereof.

AND

(Per Doc. No. 1330374)

The North 358.75 feet of the SW1/4 of the NE1/4 of Section 14, Township 30, Range 22, except the West 363 feet and except Murray's Second Addition and except Bald Eagle Avenue, consisting of approximately four (4) acres.

AND

(Per Warranty Deed Doc. No. 1395999)

The North 251 feet of the East 330 feet of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4), except therefrom the North 33 feet and the East 30 feet for Division Avenue in Section 14, Town 30, Range 22.

AND

(Per Warranty Deed Doc. No. 1396000)

The North one-half (N1/2) of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), except the West 333 feet thereof; and except that part of the North one-half (N1/2) of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4) of Section 14, Township 30, Range 22, described as follows: Beginning at a point on the East line of said North one-half (N1/2) of said Quarter section distant 464.31 feet South of the northeast corner of the North one-half of said Quarter section; thence South along said East line 75 feet, thence West 189.15 feet to a point which is 539.23 feet South of the North line of the North 1/2 of said Quarter Section; thence North 75 feet; thence East 189.19 feet to the place of beginning, excepting part taken for Division Street, as conveyed to Beatrice N. Baker by deed dated June 5, 1947, recorded in Book 1311 Deeds, page 35, in the office of the Register of Deeds for Ramsey County, Minnesota; and except the tract of land described as follows, to-wit: the North 251 feet of the East 330 feet of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4), except therefrom the North 33 feet and the East 30 feet for Division Avenue in Section 14, Township 30, Range 22, according to the Government plat thereof, subject to the rights of the public in Division Avenue.

AND

(Per Warranty Deed Doc. No. 3804584)

The South 150 feet of the North 535 feet of the East 300 feet of the West 333 feet of the North 1/2 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4787655)

The South 64 feet of the North 256 feet of the East 180 feet of the Southeast Quarter of the Northwest Quarter of the Northeast Quarter of Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4800627)

The South 58 feet of the North 122 feet of the East 180 feet of the Southeast Quarter of the Northwest Quarter of the Northeast Quarter (SE 1/4 of the NW 1/4 of the NE 1/4), Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc No. 4805756)

The North 75 feet of the South 335 feet of the East 180 feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section 14, Township 30, Range 22, Ramsey County, State of Minnesota.

AND

(Per Warranty Deed Doc. No. 4807238)

The North 150 feet of the South 300 feet of the North 535 feet of the East 300 feet of the West 333 feet of the North Half of the Northwest Quarter of the Northeast Quarter, of Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND



## RESOLUTION NO.

(Per Warranty Deed Doc. No. 4807495)

That part of the North half of the Northwest quarter of the Northeast quarter of Section 14, Township 30, Range 22, described as follows: Beginning at a point on the East line of said North half of said quarter-quarter section, distant 464.31 feet South of the Northeast corner of the North half of said quarter-quarter section, thence South along said East line a distance of 75 feet, thence West 189.15 feet to a point which is 539.23 feet South of the North line of said North half of said quarter-quarter section, thence North a distance of 75 feet, thence East a distance of 189.19 feet to the place of beginning, except that part taken for Division Street.

AND

(Per Warranty Deed Doc. No. 4807539)

The South 89 feet of the North 269.75 feet of the West 363 feet of the Southwest 1/4 (SW1/4) of Northeast 1/4 (NE1/4), Section 14, Township 30, Range 22, except Bald Eagle Avenue, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4810300)

The North 100 feet of the South 366 feet of the West 333 feet of the Southwest Quarter of the Southeast Quarter of Section 11, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4831999)

The North 100 feet of the South 266 feet of the West 333 feet of the SW 1/4 of the SE 1/4 of Section 11, Township 30, Range 22, subject to roads, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4816711)

The South 102 feet of the North 235 feet of the East 300 feet of the West 333 feet of the Northwest Quarter of the Northeast Quarter (NW 1/4 of NE 1/4) of Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4827190)

The East 300 feet of the West 333 feet of the South 125 feet of the North 1/2 of the Northwest 1/4 of the Northeast 1/4, Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4823423)

The South 80 feet of the North 180.75 feet of the West 363 feet of the Southwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Certificate of Title No. 633930)

The South 89 feet of the North 358.75 feet of the West 363 feet of the Southwest quarter of the Northeast quarter of Section 14, Township 30, Range 22, except Bald Eagle Avenue.

AND

(Per Warranty Deed Doc. No. 4810403)

The North 75 feet of the South 381 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4820894)

The North 75 feet of the South 306 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4812756)

The North 75 feet of the South 231 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4835162)

The North Ninety (90) feet of the South One Hundred fifty-six (156) feet of the East One Hundred eighty-nine (189) feet of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of Section 11, Township 30, Range 22, Ramsey County, Minnesota.

AND

The North 33 feet of the South 66 feet of the East 189 feet of the SW 1/4 of the SE 1/4 of Sec. 11, T.30, R.22, Ramsey County, Minnesota

AND

(Per Warranty Deed Doc. No. 4834928)

The North sixty-four (64) feet of the East one hundred, eighty (180) feet of the Southeast Quarter (SE1/4) of the Northwest Quarter (NW1/4) of the Northeast Quarter (NE1/4) of Section fourteen (14), Township thirty (30), Range twenty-two (22), Ramsey County, Minnesota.

AND

(Per Warranty Deed Doc. No. 4810400)

The South 70 feet of the North 192 feet of the East 180 feet of the Southeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, according to the United States Government Survey thereof.

AND

(Per Warranty Deed Doc. No. 4591857)

The real property in Ramsey County, Minnesota, described as follows: Lot One (1), Block Four (4), Auditor's Subdivision No. 48.

AND

(Per Warranty Deed Doc. No. 4803960)

Lot 7, Oakhurst Acres, except the North 50 feet of the East 190 feet, Ramsey County, Minnesota.

AND

(Per Limited Warranty Deed Doc. No. 4422493)

Lots 1 and 2, Block 8, Murray's Second Addition to White Bear Lake, Ramsey County, Mn.

AND

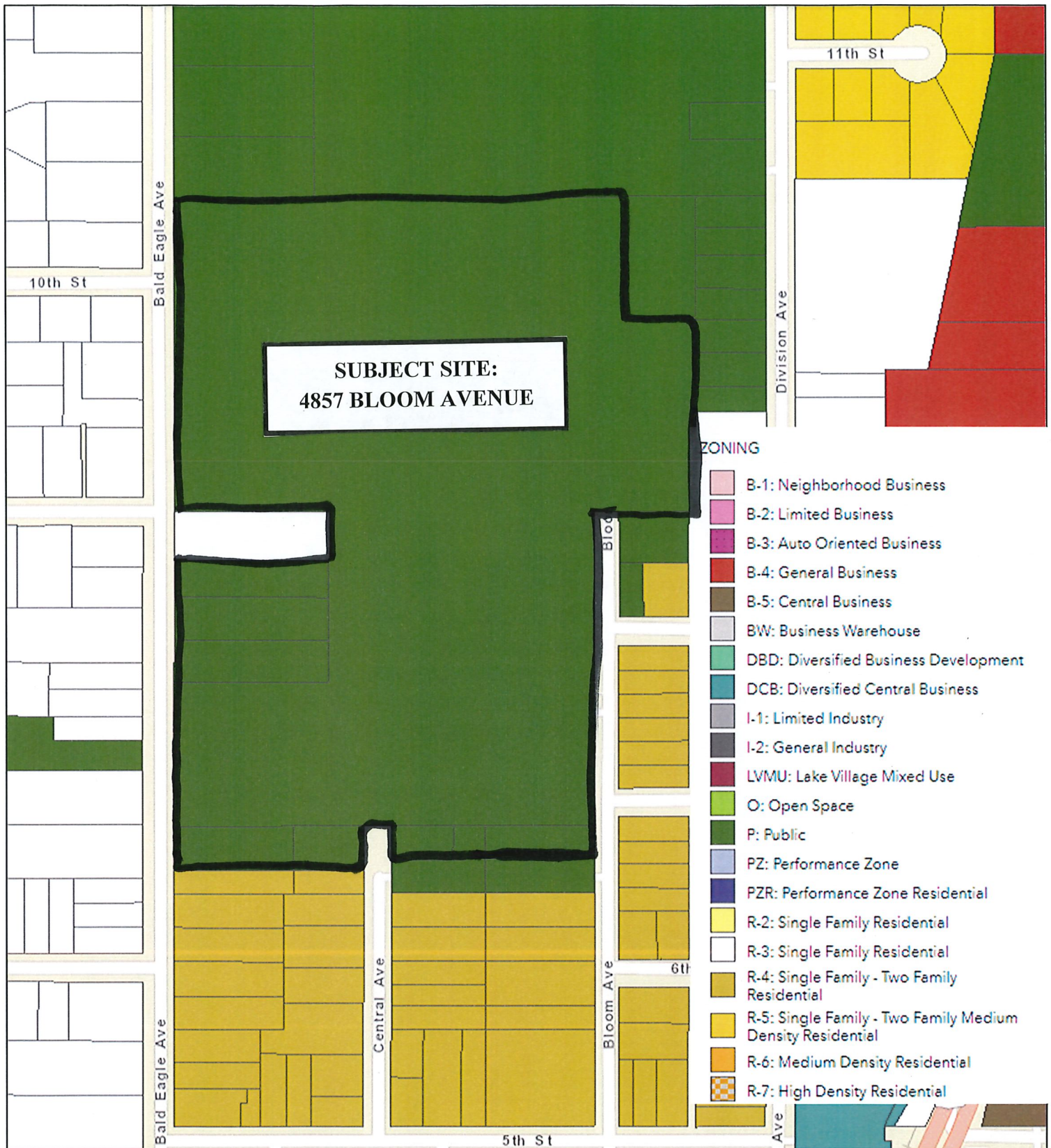
(Per Warranty Deed Doc. No. A4846929)

The West 70 feet of Lots 3 and 4, Block 8, Murray's Second Addition to White Bear Lake.

AND

(Per Warranty Deed Doc. No. 2423360)

The South 64 feet of the North 320 feet of the East 180 feet of the Southeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22.



**SUBJECT SITE:  
4857 BLOOM AVENUE**

- ZONING**
- B-1: Neighborhood Business
  - B-2: Limited Business
  - B-3: Auto Oriented Business
  - B-4: General Business
  - B-5: Central Business
  - BW: Business Warehouse
  - DBD: Diversified Business Development
  - DCB: Diversified Central Business
  - I-1: Limited Industry
  - I-2: General Industry
  - LVMU: Lake Village Mixed Use
  - O: Open Space
  - P: Public
  - PZ: Performance Zone
  - PZR: Performance Zone Residential
  - R-2: Single Family Residential
  - R-3: Single Family Residential
  - R-4: Single Family - Two Family Residential
  - R-5: Single Family - Two Family Medium Density Residential
  - R-6: Medium Density Residential
  - R-7: High Density Residential



City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

CASE NO. : 23-5-CUP

CASE NAME : Central Middle School

DATE : January 30, 2023





## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



December 23, 2022

Wold Architects  
332 Minnesota St STE W2000  
St. Paul, MN 55101

Dear Wold Architects:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 4855 Bloom Ave have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison  
Assistant Fire Chief / Fire Marshal  
651-762-4842

Encls.



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



### General Comments

1. All roads and drive lanes shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. All drive lanes shall be designed to support a fire apparatus weighing 75,000 pounds. Provide a diagram showing the distances from the closest fire apparatus on the West side of the building to the next fire apparatus access point. Depending on these distances the pavement or hydrant location on the West side may need to be adjusted.
2. The fire sprinkler system shall be extended and installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. The new addition fire sprinklers shall extend from the existing fire sprinkler system or riser room. Remove the additional fire sprinkler riser for the new addition. City permit required **prior** to initiation of work.
3. The sprinkler system shall be current on annual inspection and testing. Any deficiencies noted during those reports shall be corrected.
4. The fire alarm system shall be installed and extended compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. All new devices shall be voice evacuation capable. City permit required **prior** to initiation of work.
5. The sprinkler system shall be properly monitored by a qualified monitoring company.
6. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
7. Install compliant exit signage as required by the 2020 MSFC.
8. The design of the new building shall maintain corridor widths. Flex area furniture shall not impede exiting.
9. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information including padded walls for the gym area.
10. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.





## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



11. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

### **Codes and Standards Used for this Review**

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition



**City of White Bear Lake**  
Engineering Department

# MEMORANDUM

**To:** Ashton Miller  
**From:** Nathan Christensen, P.E., Assistant City Engineer  
Connie Taillon P.E., Environmental Specialist/Water Resources Engineer  
**Date:** January 12, 2023  
**Subject:** **Central Middle School Addition and Renovation Engineering Review**  
**Comments**

---

The Engineering Department reviewed the Report of Geotechnical Exploration dated December 8, 2022, Stormwater Calculations report and civil plan sheets (C000, C100, C200, C300, C400, C500, and C600) dated December 19, 2022 and received December 21, 2022 for the above referenced project, and have the following comments:

## **GENERAL**

- 1) Permits may be required from the MPCA for the removal of the underground fuel tank(s). Provide a copy of the permit for our records, or correspondence from the MPCA that a permit is not required.
- 2) An asbuilt survey and Stormwater Operations and Maintenance Agreement (SOMA) is required. Will this project be included in the North Campus asbuilt survey and SOMA?
- 3) Provide a summary of the new and reconstructed impervious areas on the appropriate plan sheet(s).

## **STORMWATER CALCULATION**

- 4) Please include the new and reconstructed impervious areas in the 'Proposed Conditions' narrative.
- 5) Existing conditions model, subcatchment B: the time of concentration for existing subcatchment B should match the time of concentration for proposed subcatchment X in the North Campus approved stormwater model. Please revise.
- 6) Proposed conditions model, subcatchment D: revise the time of concentration to match existing subcatchment B.
- 7) Proposed conditions model, subcatchment C: Revise the time of concentration from 23.2 minutes to 5 minutes to be consistent with the existing conditions model and the North Campus model.



- 8) Section 6.8 of the Report of Geotechnical Exploration states that the proposed infiltration basin is characterized by boring B-7, which identifies sand with silt (SP-SM) at an approximate depth of 5.5' below the ground surface elevation. The report recommends that the bottom of the basin be in the SP-SM layer which has a design infiltration rate of 0.45 in/hr. Revise the infiltration rate of Pond 6P in the existing and proposed conditions model to be 0.45 in/hr. The infiltration rate in the North Campus model for this area should also be revised and submitted for review.
- 9) Water Quality Volume calculation: revise the 'Infiltration Basin Allowable Drawdown' calculation from 0.80 in/hr to 0.45 in/hr.
- 10) Based on the approved North Campus Addition Stormwater Calculations dated May 18, 2022 Volume Control section on page 5, the WQ storage volume for pond 6P was sized for 14,648 SF of new/reconstructed impervious and 7,712 SF of existing impervious routed to the basin. For the proposed Central Middle School project, the total new/reconstructed impervious requiring treatment is 19,727 SF. Therefore, the total impervious area requiring treatment is 42,087sf. The proposed pond 6P for the Central Middle school project provides adequate WQ volume for 1.1" of runoff from 42,087sf of impervious; however, the total area of impervious routed to the basin is only 27,946 SF.
  - a) Please clarify the impervious area numbers in the stormwater report ('North Campus New Impervious' area of 22,707 SF, etc.) and revise as needed.
  - b) The total impervious area requiring treatment must be routed to basin 6P. If this is not feasible, an additional volume control practice may be needed.

#### **DEMOLITION PLAN (C300)**

- 11) Show tree protection fence on the plan and label.

#### **GRADING AND EROSION CONTROL PLAN (C300)**

- 12) Section 6.8 of the Report of Geotechnical Exploration states that the proposed infiltration basin is characterized by boring B-7, which identifies sand with silt (SP-SM) at an approximate depth of 5.5' below the ground surface elevation. The report recommends that the bottom of the basin be in the SP-SM layer.
  - a) Please include a note on the plan that the basin must be excavated into the SP-SM layer.
  - b) It is recommended that a Geotechnical Engineer be on site when the basin is excavated. Include a note on the plan if this will be a requirement.
- 13) Add the low floor and low opening elevations for buildings adjacent to the proposed pond.
- 14) If grades will allow, consider adding a pretreatment structure at the proposed curb cut, such as a Rain Guardian Turret. This structure would help to keep sediment out of the turf area for ease of maintenance.
- 15) Add a note to infiltration basin callout to grade the bottom of the infiltration basin flat.

**UTILITY PLAN (C400)**

16) Will there be a new sanitary sewer connection for this addition, or will the sewer connect to the existing building?

**TREE PRESERVATION AND PLANTING PLAN (C600)**

17) Please include details about the infiltration basin vegetation on this plan (location, type of seed, etc.).

18) Label the infiltration basin and turf areas to be restored.

19) Expand note 8 to state that topsoil is not allowed in the infiltration basin.

For questions regarding this review memo, contact:

Nate Christensen at: 651-762-4812, [nchristensen@whitebearlake.org](mailto:nchristensen@whitebearlake.org), or

Connie Taillon at: 651-429-8587, [ctaillon@whitebearlake.org](mailto:ctaillon@whitebearlake.org)





**ISD #624 – CENTRAL MIDDLE SCHOOL ADDITION AND RENOVATION**

**Condition Use Permit**

In November 2019, the White Bear Lake Area School District passed a referendum to improve and expand facilities districtwide, along with Long Term Facility Maintenance upgrades.

Central Middle School is one of the projects that was included in that referendum. The referendum items at Central were to solve the following issues:

- The building requires additional gymnasium space for a regulation-sized basketball court. The gym will also provide a storm shelter for the facility.
- The building does not have adequate cafeteria seating space and / or kitchen space and equipment to serve the number of students.
- In order to address growing enrollment within the District, renovation of the current District Office spaces into a net gain of 11 additional classrooms that will raise the capacity of the building to a total of 1,350 students.
- Renovations to the existing classrooms, flexible learning spaces, media center, cafeteria, and kitchen areas.
- Address HVAC, electrical, and ADA accessibility issues throughout the building.

The 10,800 square foot proposed addition includes the following spaces: A regulation gymnasium station toilets to support gymnasium use and storm shelter functions, physical education storage associated with the new gymnasium, a water riser and mechanical / electrical support spaces. This addition will bring the total square footage to 215,565. Due to the District Office moving out of the existing building and this space being renovated to additional classroom, the student capacity of the facility will increase to 1,350 to meet the growing enrollment needs as noted above.

The exterior materials of the addition include precast and brick to match the existing building, aluminum windows and entrance systems, and metal roof coping to match colors of the adjacent building being connected to. Since the referendum was passed, a new building code has been adopted requiring the addition to house a storm shelter within the gymnasium addition. Structural design would dictate the storm shelter to be constructed of precast concrete to withstand design wind loads of 250 MPH. The precast is proposed to be integral color and use textures of acid etch and sandblasting to create the patterns on the panels that correspond to features on the existing building.

This application is being submitted for a Condition Use Permit to allow the addition to be constructed.

Per 1301.050 Subd. 2. Procedure e. of the City Code:

Item 2. The proposed addition continues the present use of the site.

Item 3. It is our intent that the proposed expansion meets all the City's performance standards.

Item 4. Typically schools appreciate land values and we believe this expansion would enhance that.



**Independent School District #624 – White Bear Lake School District**

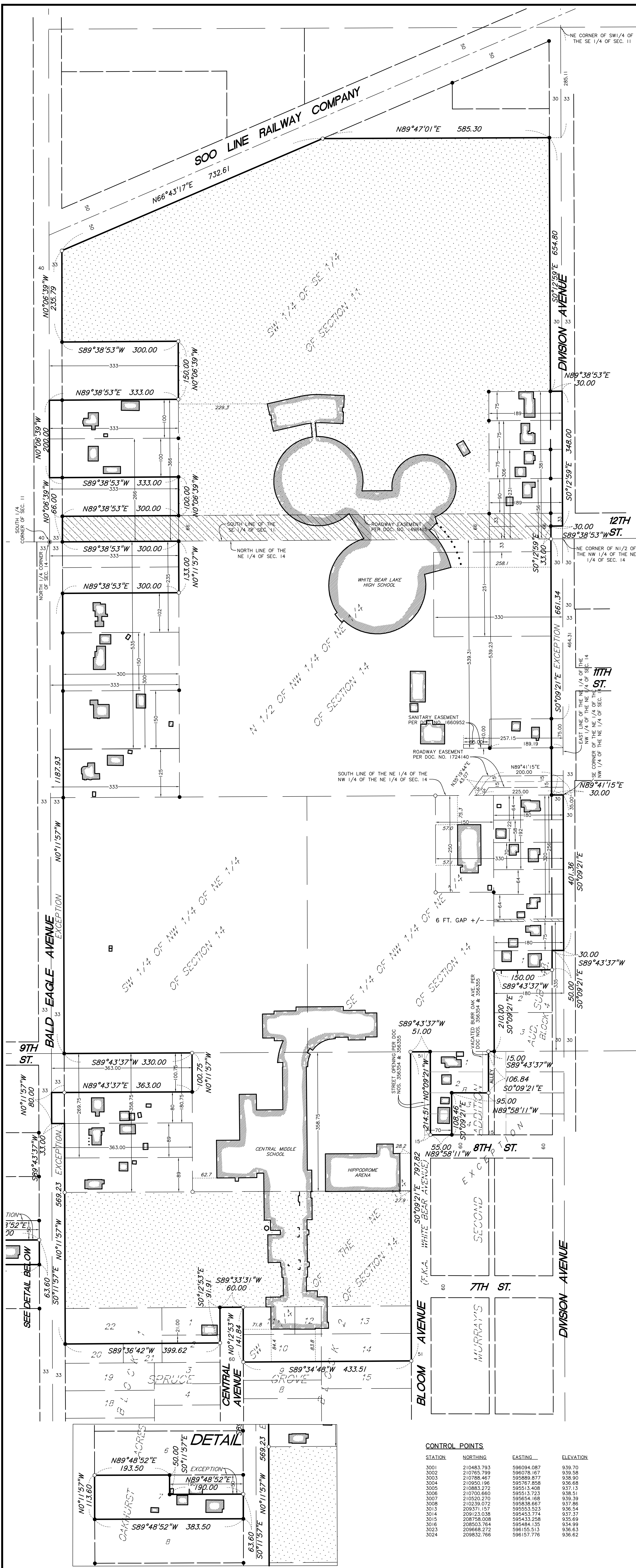
Central Middle School Addition and Renovation

December 19, 2022

Item 5. The proposed addition is maintaining the existing utility connections and will not overburden the City's service capacity.

Item 6. Traffic generation by the proposed use is within the capabilities of streets using the property and could see decreased use due to the reduced visitors to the District Office functions that will leave the site as part of this project.





**DESCRIPTION OF PROPERTY SURVEYED**

(Per Warranty Deed Doc. No. 888516)  
 Lots Numbered Twelve (12) and Thirteen (13), Block Two (2), Spruce Grove Addition to the City of White Bear Lake, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said County of Ramsey and State of Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 888517)  
 Lots Numbered Ten (10) and Eleven (11), and Fourteen (14), Block Two (2), Spruce Grove Addition to the City of White Bear Lake, Minnesota, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said County of Ramsey and State of Minnesota.  
 AND  
 (Per Probate Deed Doc. No. 1127304)  
 Lot One (1) and the North twenty-one (21) feet of Lot Two (2) and all of Lot Twenty-Two (22), Block One (1) Spruce Grove White Bear Lake, Minnesota, subject to unpaid balance of sewer assessment. The North twenty-one (21) feet of Lot Two (2) described above, being all of said Lot Two (2) except the South fifty (50) feet of said Lot.  
 AND  
 (Per Doc. No. 1306834)  
 The Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), except Bald Eagle Avenue, and except the Eastern one hundred eighty (180) feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), all according to the United States Government survey thereof. Also, except (per Deed Doc. No. 1315540): The West one hundred, fifty (150) feet of the East three hundred thirty (330) feet of the North two hundred, fifty (250) feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range twenty-two (22), Ramsey County, Minnesota, according to the United States Government survey thereof.  
 AND  
 (Per Doc. No. 1330374)  
 The North 358.75 feet of the SW 1/4 of the NE 1/4 of Section 14, Township 30, Range 22, except the West 363 feet and except Murray's Second Addition and except Bald Eagle Avenue, consisting of approximately four (4) acres.  
 AND  
 (Per Warranty Deed Doc. No. 1395999)  
 The North 251 feet of the East 330 feet of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4), except therefrom the North 33 feet and the East 30 feet for Division Avenue in Section 14, Town 30, Range 22.  
 AND  
 (Per Warranty Deed Doc. No. 1396000)  
 The North one-half (1/2) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), except the West 333 feet thereof, and except that part of the North one-half (1/2) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section 14, Township 30, Range 22, described as follows: Beginning at a point on the East line of said North one-half (1/2) of said Quarter section distant 464.31 feet South of the northeast corner of the North one-half of said Quarter section; thence South along said East line 75 feet, thence West 189.15 feet to a point which is 539.23 feet South of the North line of the North 1/2 of said Quarter Section; thence East 189.19 feet to the place of beginning, excepting part taken for Division Street, as conveyed to Beatrice N. Baker by deed dated June 5, 1947, recorded in Book 1311 Deeds, page 35, in the office of the Register of Deeds for Ramsey County, Minnesota; and except the tract of land described as follows, to-wit: The North 251 feet of the East 330 feet of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4), except therefrom the North 33 feet and the East 30 feet for Division Avenue in Section 14, Township 30, Range 22, according to the Government plat thereof, subject to the rights of the public in Division Avenue.  
 AND  
 (Per Warranty Deed Doc. No. 3804584)  
 The South 150 feet of the North 535 feet of the East 300 feet of the West 333 feet of the North 1/2 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4787655)  
 The South 64 feet of the North 256 feet of the East 180 feet of the Southeast Quarter of the Northwest Quarter of the Northeast Quarter of Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4800627)  
 The South 58 feet of the North 122 feet of the East 180 feet of the Southeast Quarter of the Northwest Quarter of the Northeast Quarter (SE 1/4 of the NW 1/4 of the NE 1/4) of Section Fourteen (14), Township Thirty (30), Range Twenty-two (22), Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4805756)  
 The North 75 feet of the South 335 feet of the East 180 feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section 14, Township 30, Range 22, Ramsey County, State of Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4807238)  
 The North 150 feet of the South 300 feet of the North 535 feet of the East 300 feet of the West 333 feet of the North Half of the Northwest Quarter of the Northeast Quarter of Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4807495)  
 That part of the North half of the Northwest quarter of the Northeast quarter of Section 14, Township 30, Range 22, described as follows: Beginning at a point on the East line of said quarter-quarter section, distant 464.31 feet South of the northeast corner of the North half of said quarter-quarter section, thence South along said East line a distance of 75 feet, thence West 189.15 feet to a point which is 539.23 feet South of the North line of said North half of said quarter-quarter section, thence North a distance of 75 feet, thence East a distance of 189.19 feet to the place of beginning, except that part taken for Division Street.  
 AND  
 (Per Warranty Deed Doc. No. 4807539)  
 The South 89 feet of the North 75 feet of the West 363 feet of the Southwest 1/4 (SW 1/4) of Northeast 1/4 (NE 1/4), Section 14, Township 30, Range 22, except Bald Eagle Avenue, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4810300)  
 The North 100 feet of the South 366 feet of the West 333 feet of the Southwest Quarter of the Southeast Quarter of Section 11, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4831999)  
 The North 100 feet of the South 266 feet of the West 333 feet of the SW 1/4 of the SE 1/4 of Section 11, Township 30, Range 22, subject to roads, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4816711)  
 The South 102 feet of the North 235 feet of the East 300 feet of the West 333 feet of the Northwest Quarter of the Northeast Quarter (NW 1/4 of NE 1/4) of Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4827190)  
 The East 300 feet of the West 333 feet of the South 125 feet of the North 1/2 of the Northwest 1/4 of the Northeast 1/4, Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4823423)  
 The South 80 feet of the North 180.75 feet of the West 363 feet of the Southwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Certificate of Title No. 633930)  
 The South 89 feet of the North 75 feet of the West 363 feet of the Southwest quarter of the Northeast quarter of Section 14, Township 30, Range 22, except Bald Eagle Avenue, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4810403)  
 The North 75 feet of the South 381 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4820894)  
 The North 75 feet of the South 306 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4812756)  
 The North 75 feet of the South 231 feet of the East 189 feet of the Southwest 1/4 of the Southeast 1/4 of Section 11, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4835162)  
 The North Ninety (90) feet of the South One Hundred fifty-six (156) feet of the East One Hundred eighty-nine (189) feet of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of Section 11, Township 30, Range 22, Ramsey County, Minnesota.  
 AND  
 The North 33 feet of the South 66 feet of the East 189 feet of the SW 1/4 of the SE 1/4 of Sec. 11, T.30, R.22, Ramsey County, Minnesota  
 AND  
 (Per Warranty Deed Doc. No. 4834928)  
 The North sixty-four (64) feet of the East one hundred, eighty (180) feet of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section Fourteen (14), Township Thirty (30), Range twenty-two (22), Ramsey County, Minnesota.  
 AND  
 (Per Warranty Deed Doc. No. 4810400)  
 The East line of said North half of the North 192 feet of the East 180 feet of the Southeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22, according to the United States Government Survey thereof.  
 AND  
 (Per Warranty Deed Doc. No. 4591857)  
 The real property in Ramsey County, Minnesota, described as follows: Lot One (1), Block Four (4), Auditor's Subdivision No. 48.  
 AND  
 (Per Warranty Deed Doc. No. 4803960)  
 Lot 7, Oakhurst Acres, except the North 50 feet of the East 190 feet, Ramsey County, Minnesota.  
 AND  
 (Per Limited Warranty Deed Doc. No. 4422493)  
 Lots 1 and 2, Block 8, Murray's Second Addition to White Bear Lake, Ramsey County, Mn.  
 AND  
 (Per Warranty Deed Doc. No. A4846929)  
 The West 70 feet of Lots 3 and 4, Block 8, Murray's Second Addition to White Bear Lake.  
 AND  
 (Per Warranty Deed Doc. No. 2423360)  
 The South 64 feet of the North 320 feet of the East 180 feet of the Southeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 14, Township 30, Range 22.

**PLAT RECORDING INFORMATION**

The plat of Spruce Grove was filed for record on January 3, 1924, in Book 41 Plats, page 15.  
 The plat of Oakhurst Acres was filed for record on November 1, 1911.

[ ] Bearings and/or dimensions listed within brackets are per plat or record documents.

**TITLE COMMITMENT**

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

NOTE: It is recommended by this surveyor that title work be performed on this site due to the missing documents and property gap. Also a number of properties may not be completely transferred at the time of this survey.

**GENERAL NOTES**

- 1.) Survey coordinate basis: Ramsey County Coordinate System (NAD83)
- 2.) There were no wetland delineation markers observed in the process of conducting the fieldwork.

**UTILITY NOTES**

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 200862331, 200862340, 200862347, 200862359 & 200901245.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- 5.) Private utilities are shown as marked by Hance Locating Services, Inc. on April 9, 2020. Private utilities are those utilities installed for the use of their owner, typically by someone other than a Gopher State One Call registered utility operator.

**LEGEND**

- Denotes iron monument set marked with P.L.S. No. 44900
- Denotes found iron monument
- ⦿ Denotes 1.17 inch diameter copper magnetized mark with disc cap affixed stamped LS-44900 set
- ▨ Denotes no record deed found
- ▨ Denotes existing road easement

**BENCHMARKS (BM)**

- Area east of Bald Eagle Avenue = 3,435,255 square feet or 78.863 acres  
 That part of Lot 7, Oakhurst Acres = 34,066 square feet or 0.782 acres  
 Total area = 3,469,321 square feet or 79.645 acres
- 1.) Top of top nut of fire hydrant 120 feet +/- north of door B of High School building. Elevation = 943.06 feet
  - 2.) Top of top nut of fire hydrant 40 feet +/- northwest of northwest corner of High School building. Elevation = 941.47 feet
  - 3.) Top of top nut of fire hydrant 50 feet +/- south of door S of High School building. Elevation = 942.55 feet
  - 4.) Top of top nut of fire hydrant 70 feet +/- south of 11th Street on east side of Division Avenue. Elevation = 939.68 feet
  - 5.) Top of top nut of fire hydrant 80 feet +/- north of door U of Middle School building. Elevation = 940.64 feet
  - 6.) Top of top nut of fire hydrant at southwest corner of parking lot south of Middle School building. Elevation = 937.59 feet
  - 7.) Top of top nut of fire hydrant at southeast corner of parking lot south of Middle School building. Elevation = 938.49 feet
  - 8.) Top of top nut of fire hydrant 25 feet +/- northeast of northeast corner of Middle School building. Elevation = 939.61 feet

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
 Dated this 8th day of December, 2020  
 SUNDE LAND SURVEYING, LLC.  
 By: *Ailee J. Olson*  
 Ailee J. Olson, P.L.S. Minn. Lic. No. 44900

Added 3 Lots to overall survey		MAP 02/02/2021
Added 21 Lots to overall survey		MAP 12/08/2020
Revision	By	Date

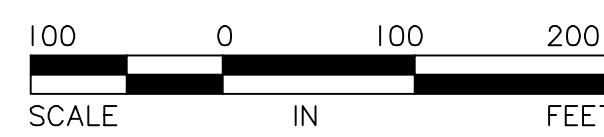
Drawing Title:  
**BOUNDARY, LOCATION, TOPOGRAPHIC AND UTILITY SURVEY FOR: WHITE BEAR LAKE AREA HIGH SCHOOL NORTH CAMPUS, WHITE BEAR LAKE, MN.**

**SUNDE LAND SURVEYING**  
 Main Office: 9001 East Bloomington Freeway (35W) • Suite 118  
 Bloomington, Minnesota 55420-3435  
 952-881-2455 (Fax: 952-888-9526)  
 www.sunde.com

Project: 2020-014-0      Bk/Pg: 808/30      Date: 12/08/2020  
 Township: 30      Range: 22      Section: 14E4      MAP 12/08/2020  
 File: 2020014001.dwg & 20200148ND-E3.dwg      Sheet: 1 of 10

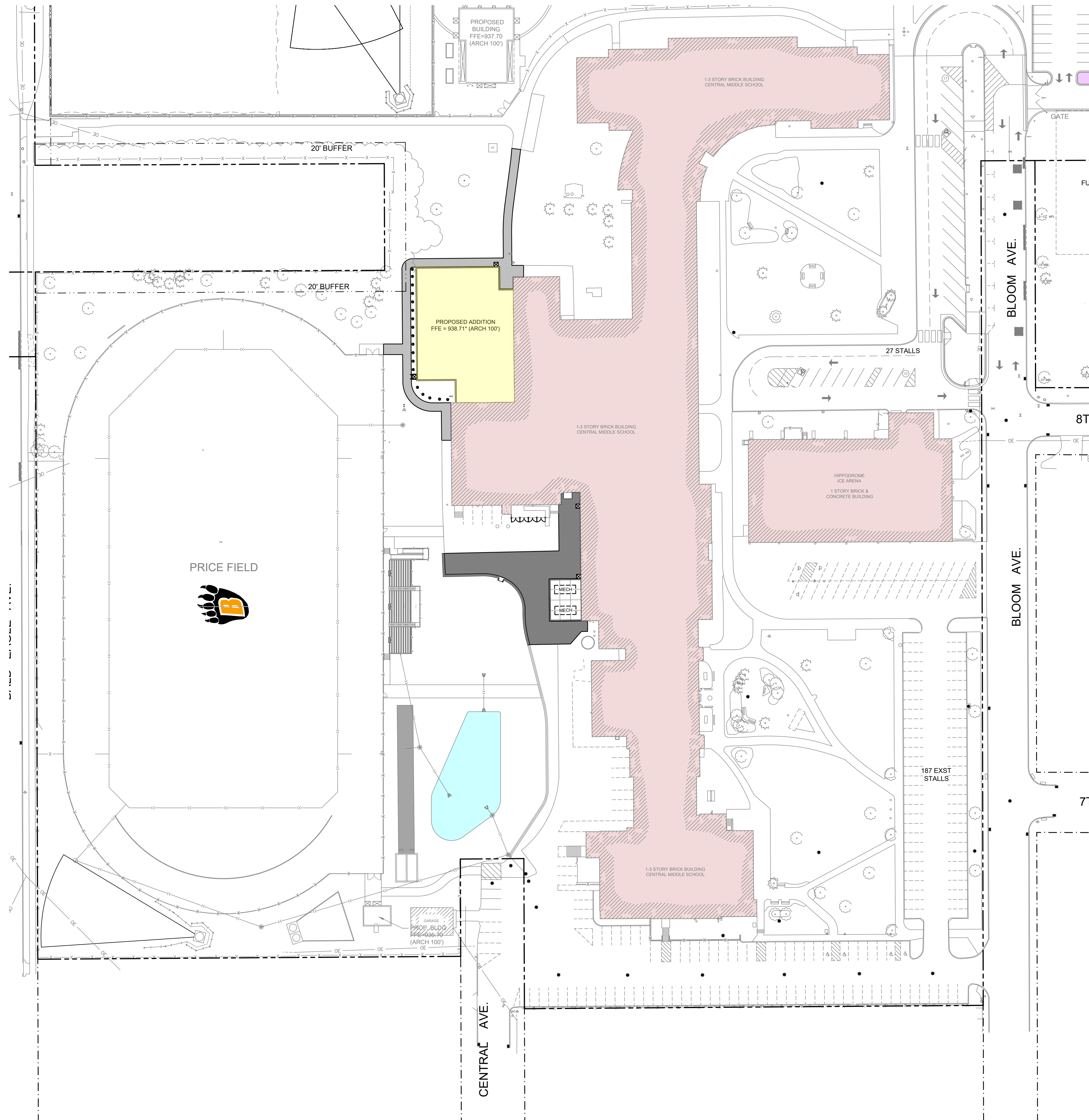
**CONTROL POINTS**

STATION	NORTHING	EASTING	ELEVATION
3001	210483.793	596094.087	939.70
3002	210765.799	596078.167	939.58
3003	210768.467	595980.877	938.00
3004	210950.196	595767.858	936.68
3005	210883.272	595513.408	937.13
3006	210700.660	595513.723	938.51
3007	210520.270	595654.168	939.39
3008	210239.072	59538.867	937.86
3013	209371.157	595531.523	936.54
3014	209123.038	595453.774	937.37
3015	208758.008	595433.258	935.69
3016	208503.764	595484.135	934.99
3023	208668.272	596155.513	936.63
3024	208832.766	596157.776	936.62





MN



**SYMBOL LEGEND**

- EXISTING BUILDING
- PROPOSED BUILDING/ADDITION
- NEW BITUMINOUS PAVING
- NEW CONCRETE PAVING

**SITE SETBACKS**

PER 1303.130 Subd.4 and Subd.5 & 1302.050 Subd.17

Building Setbacks:  
Front Yard = 30'  
Side Yard = 10' or 30' abutting street  
Rear Yard = 30'

Abutting residentially zoned land:  
Building & Loading Dock = 50'  
Screening/Buffer Zone = 20'

Parking Setbacks:  
From Right-of-Way = 15'  
From Residential Lot = 20'

**SITE SUMMARY**

**ZONING DISTRICT:**  
PUBLIC  
**LOT AREA:**  
1,453,316 SQUARE FEET = 33.36 ACRES

**PARKING REQUIREMENTS:**

REQUIRED:		
1356 STUDENTS @ 1 STALL PER 50 STUDENTS	=	28 STALLS
57 CLASS ROOMS @ 1 STALL PER 1 CLASS ROOM	=	57 STALLS
<b>TOTAL REQUIRED</b>	<b>=</b>	<b>85 STALLS</b>

**PROVIDED:**

EAST DROP OFF	=	27 STALLS (2 ADA)
EXISTING LOTS	=	187 STALLS (7 ADA)
SHARED BUS LOT	=	23 STALLS

<b>TOTAL PROVIDED</b>	<b>=</b>	<b>214 STALLS</b>
SHARED BUS LOT	=	23 STALLS

**Central Middle School Addition and Renovation**

4857 Bloom Ave,  
White Bear Lake, MN 55110

**INDEPENDENT SCHOOL DISTRICT #624**

4855 Bloom Ave,  
White Bear Lake, MN 55110



**WOLD ARCHITECTS AND ENGINEERS**

332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101  
woldae.com | 651 227 7773

**Larson Engineering, Inc.**

3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
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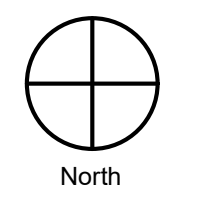
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Buchal, P.E.

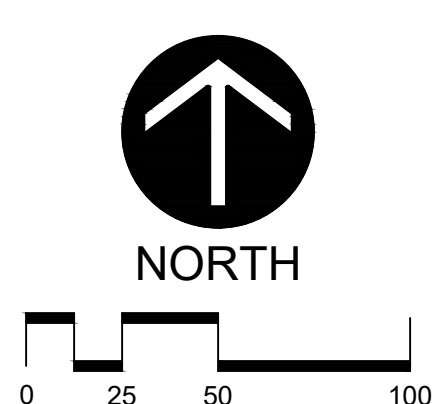
Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Description	Revisions	
	Date	Num

Comm: 12226128  
Date: 12.19.2022  
Drawn: MTH  
Check: GAB



**OVERALL PLAN**



**12.19.2022 CUP SUBMITTAL SET  
NOT FOR CONSTRUCTION**

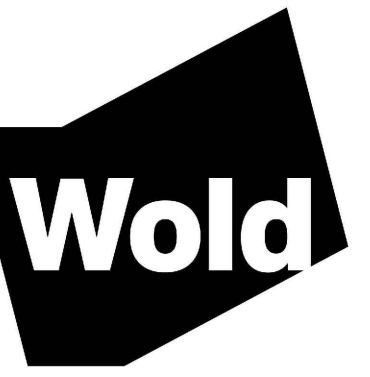
**C000**



**Central Middle School Addition and Renovation**

4857 Bloom Ave,  
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**INDEPENDENT SCHOOL DISTRICT #624**  
4855 Bloom Ave,  
White Bear Lake, MN 55110



**WOLD ARCHITECTS AND ENGINEERS**

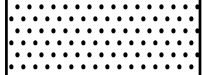
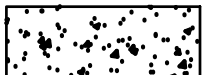
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773

**Larson Engineering, Inc.**  
3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
www.larsonengr.com

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**SYMBOL LEGEND**

-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION. AT CONTRACTOR OPTION, RECLAIM FOR USE AS BASE AGGREGATE
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

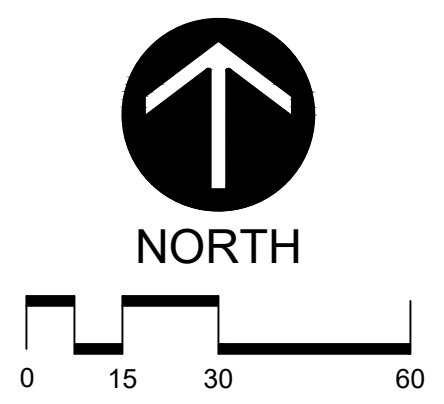
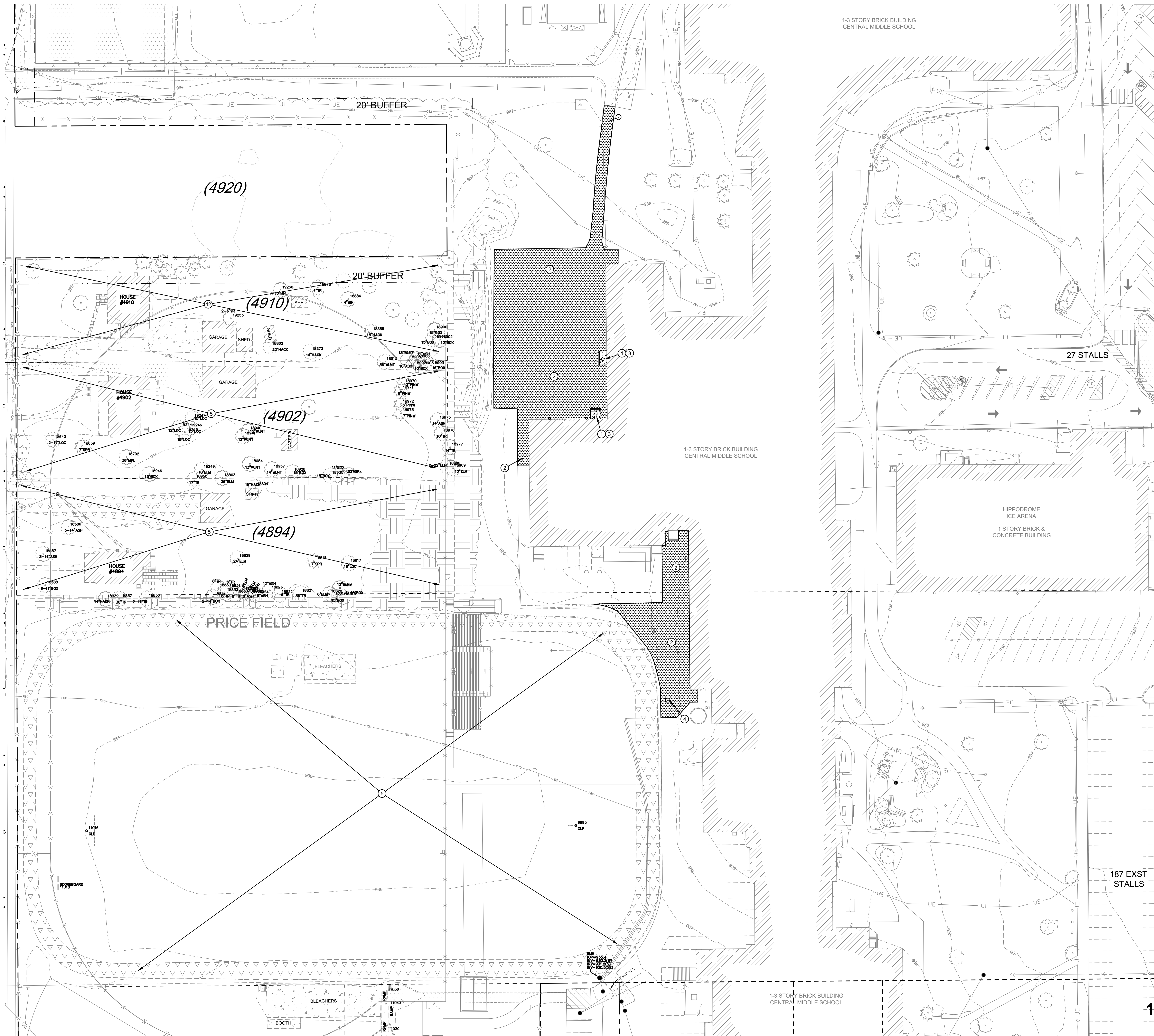
**KEY NOTES**

- ① REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT.
- ② REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT.
- ③ REMOVE AND DISPOSE OF EXISTING STOOP, STAIRS, HANDRAIL, AND ANY RELATED INFRASTRUCTURE.
- ④ REMOVE AND DISPOSE OF EXISTING UNDERGROUND FUEL TANK(S), ACCESS LIDS, ASSOCIATED INFRASTRUCTURE, AND ANY CONTAMINATED SOILS. THE TANK AND CONTAMINATED SOILS SHALL BE DISPOSED OF PROPERLY AND IN ACCORDANCE WITH THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) REQUIREMENTS. COORDINATE DISCONNECTION(S) WITH MECHANICAL. BACKFILL EXCAVATION WITH GRANULAR BORROW TO TOP OF THE SUBGRADE ELEVATIONS.
- ⑤ REMOVAL BY OTHERS, NOT IN CONTRACT.

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractors to perform or coordinate all necessary utility demotions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc. Do not disturb active utilities until new or temporary services are in place.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractors shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. Remove and replace asphalt pavement as needed to properly install new curb and gutter in areas of mill and overlay.

MN



**12.19.2022 CUP SUBMITTAL SET**  
**NOT FOR CONSTRUCTION**

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Buchal, P.E.  
Date: \_\_\_\_\_ Lic. No. \_\_\_\_\_

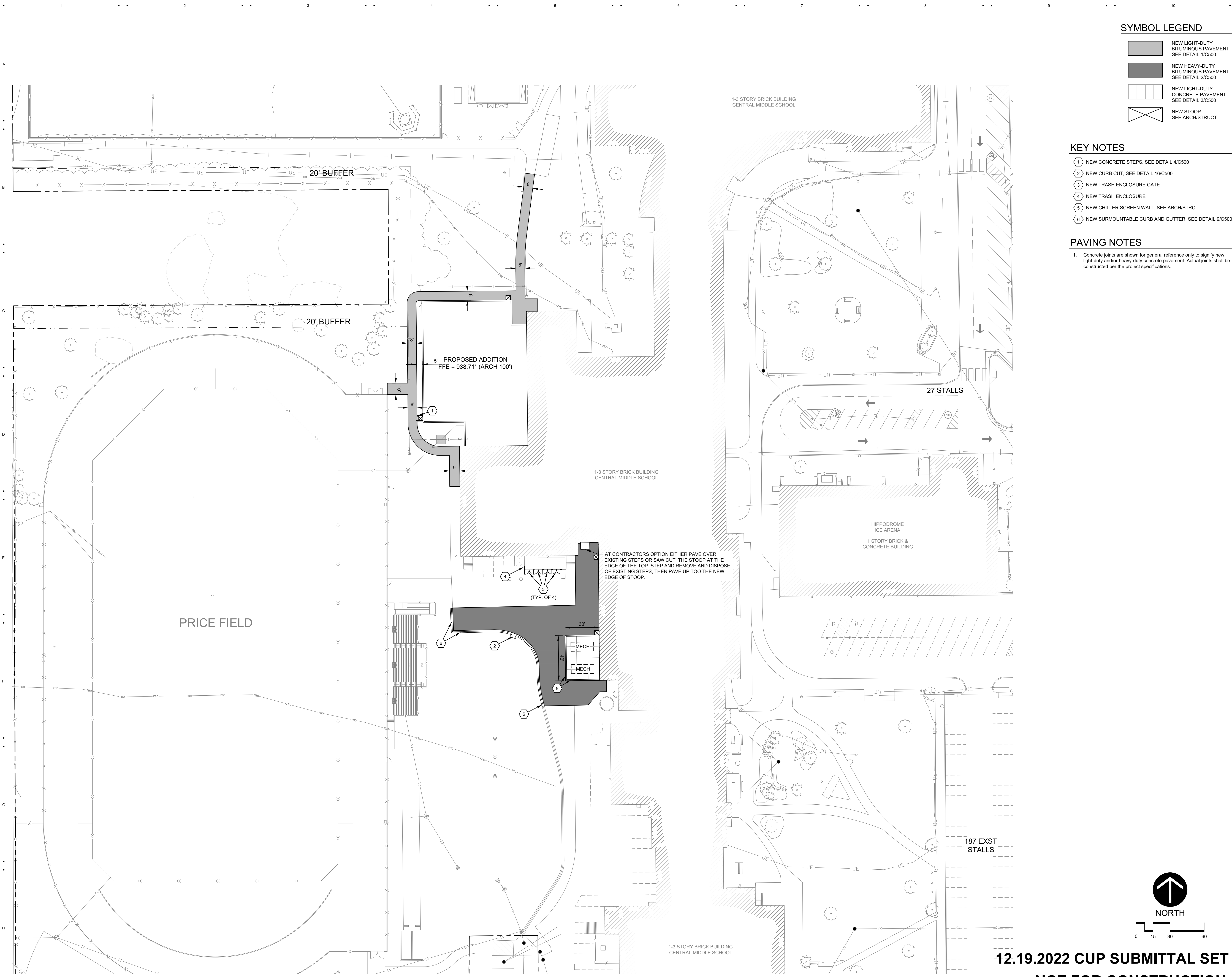
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Comm: 12226128  
Date: 12.19.2022  
Drawn: MTH  
Check: GAB



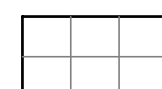

**DEMOLITION PLAN**

Scale: \_\_\_\_\_  
**C100**

MN



**SYMBOL LEGEND**

-  NEW LIGHT-DUTY BITUMINOUS PAVEMENT SEE DETAIL 1/C500
-  NEW HEAVY-DUTY BITUMINOUS PAVEMENT SEE DETAIL 2/C500
-  NEW LIGHT-DUTY CONCRETE PAVEMENT SEE DETAIL 3/C500
-  NEW STOOP SEE ARCH/STRUC

**KEY NOTES**

- 1 NEW CONCRETE STEPS, SEE DETAIL 4/C500
- 2 NEW CURB CUT, SEE DETAIL 16/C500
- 3 NEW TRASH ENCLOSURE GATE
- 4 NEW TRASH ENCLOSURE
- 5 NEW CHILLER SCREEN WALL, SEE ARCH/STRC
- 6 NEW SURMOUNTABLE CURB AND GUTTER, SEE DETAIL 9/C500

**PAVING NOTES**

1. Concrete joints are shown for general reference only to signify new light-duty and/or heavy-duty concrete pavement. Actual joints shall be constructed per the project specifications.

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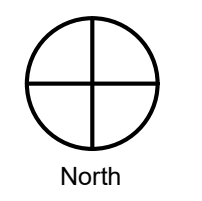
AT CONTRACTORS OPTION EITHER PAVE OVER EXISTING STEPS OR SAW CUT THE STOOP AT THE EDGE OF THE TOP STEP AND REMOVE AND DISPOSE OF EXISTING STEPS, THEN PAVE UP TO THE NEW EDGE OF STOOP.

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

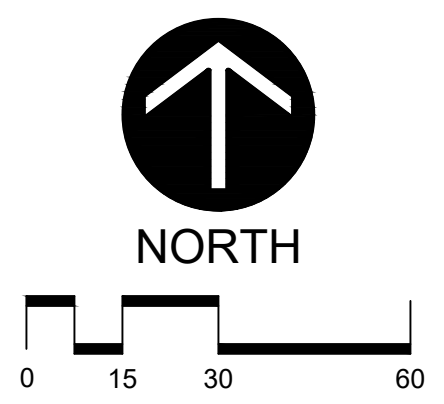
Greg A. Buchal, P.E.  
 Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Description	Revisions	
	Date	Num

Comm: 12226128  
 Date: 12.19.2022  
 Drawn: MTH  
 Check: GAB



**PAVING PLAN**



**12.19.2022 CUP SUBMITTAL SET**  
**NOT FOR CONSTRUCTION**

Scale: \_\_\_\_\_  
**C200**



**GRADING NOTES**

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed turf areas with 6" of good quality topsoil and seed, unless noted otherwise.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

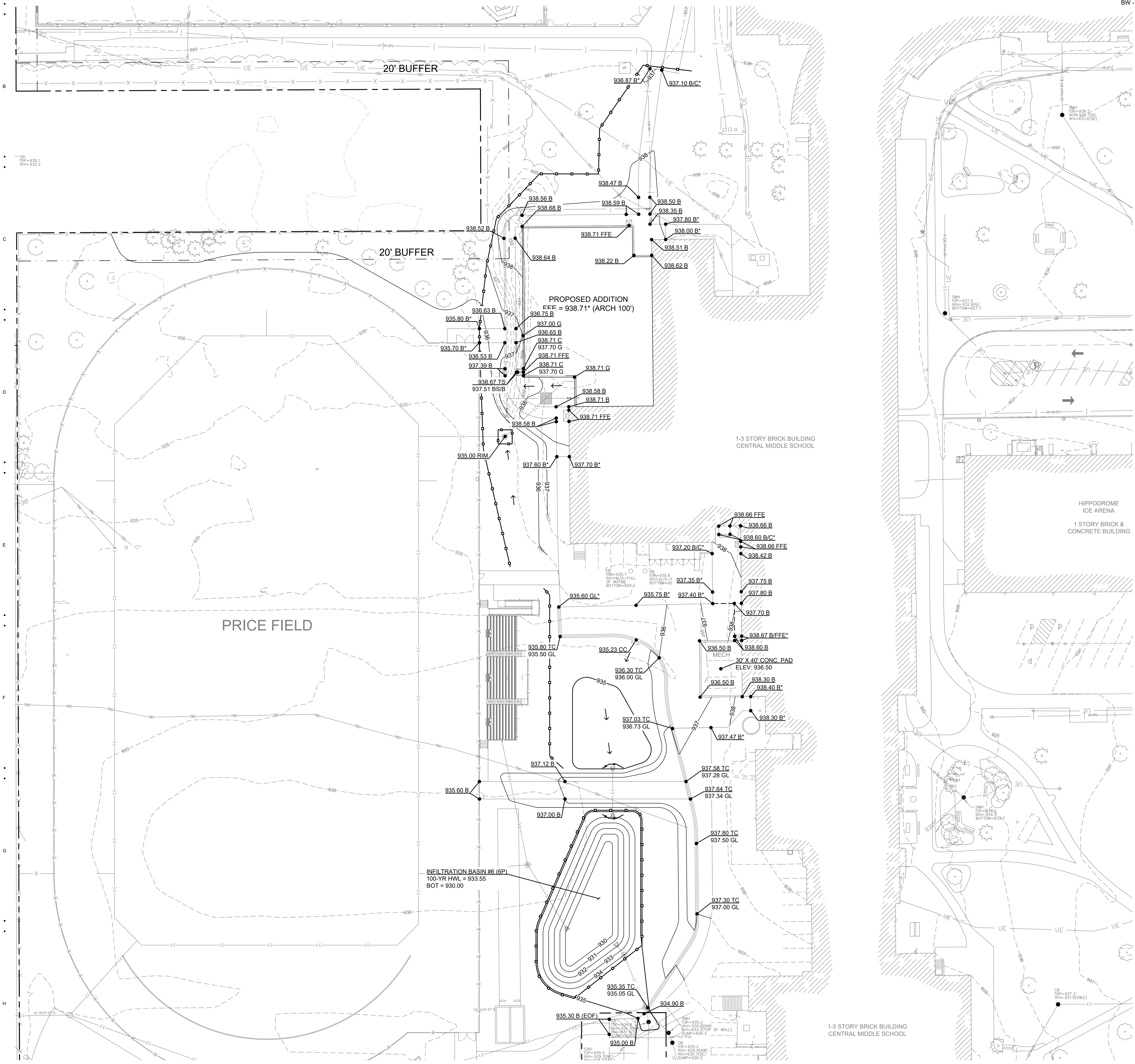
**LEGEND**

<p>950 949</p> <p>2.0%</p>	<p>EXISTING CONTOURS</p> <p>PROPOSED CONTOURS - MAJOR INTERVAL</p> <p>PROPOSED CONTOURS - MINOR INTERVAL</p> <p>GRADE BREAK LINE</p> <p>GRADE SLOPE</p>	<p>SILT FENCE, SEE DETAIL 12/C500</p> <p>BIO ROLL, SEE DETAIL 11/C500</p> <p>RIP-RAP / ROCK CONST. ENTRANCE</p> <p>EROSION CONTROL BLANKET, SEE DETAIL 13/C500</p> <p>INLET PROTECTION</p> <p>CONCRETE WASHOUT STATION (TO BE DETERMINED ON SITE)</p>
<p>950.00 TC 949.50 GL</p>	<p><b>SPOT ABBREVIATIONS:</b></p> <p>TC - TOP OF CURB</p> <p>GL - GUTTER LINE</p> <p>B - BITUMINOUS</p> <p>C - CONCRETE</p> <p>TW - TOP OF WALL</p> <p>BW - BOTTOM OF WALL (F/G)</p>	<p>TS - TOP STEP</p> <p>BS - BOTTOM STEP</p> <p>G - GRADE</p> <p>FFE - FINISH FLOOR ELEVATION</p> <p>EOF - EMERGENCY OVERFLOW</p> <p>(*) - EXISTING TO BE VERIFIED</p>

**EROSION CONTROL NOTES**

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All BMPs must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the capacity. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.
27. Where five (5) or more acres of disturbed soil drain to a common location, the contractor must provide a temporary sediment basin that meets MPCA Stormwater Permit guidelines. The temporary basin must provide live storage for a calculated volume of runoff from a two (2)-year, 24-hour storm from each acre drained to the basin or 1,800 cubic feet of live storage per acre drained, whichever is greater.
28. Erosion control blankets are to be placed on all 1:4 slopes or greater.

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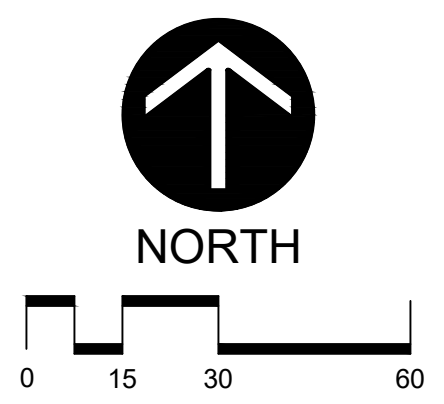
Greg A. Buchal, P.E.

Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Description	Revisions	Date	Num

Comm: 12226128  
Date: 12.19.2022  
Drawn: MTH  
Check: GAB

**GRADING AND EROSION CONTROL PLAN**



**12.19.2022 CUP SUBMITTAL SET**  
**NOT FOR CONSTRUCTION**

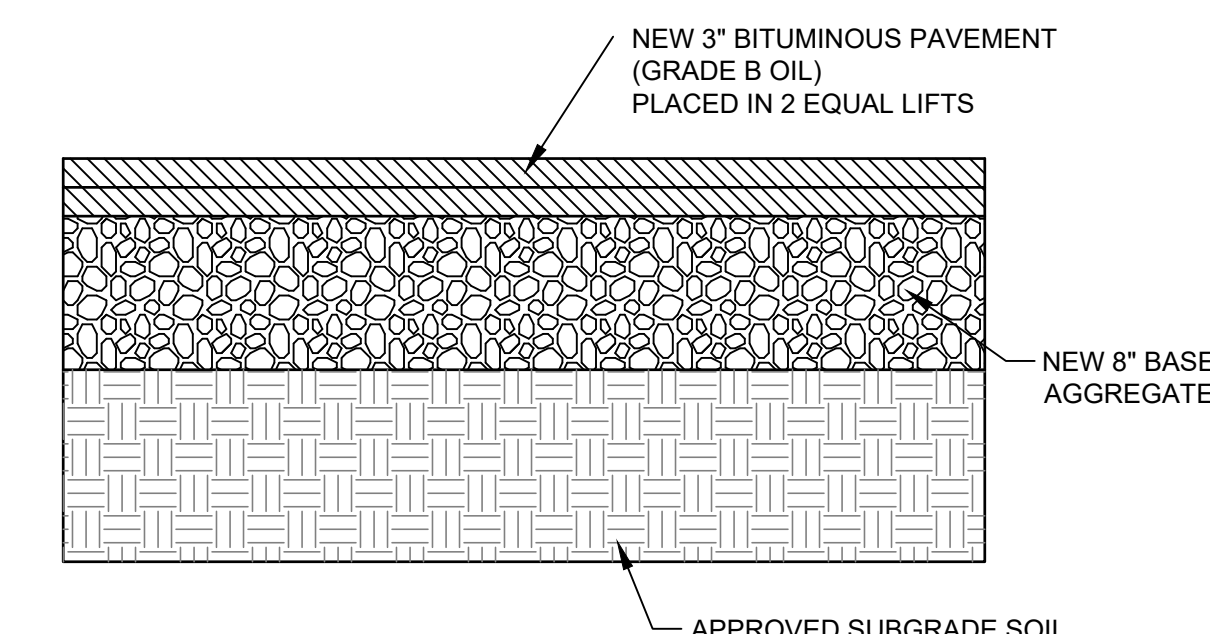
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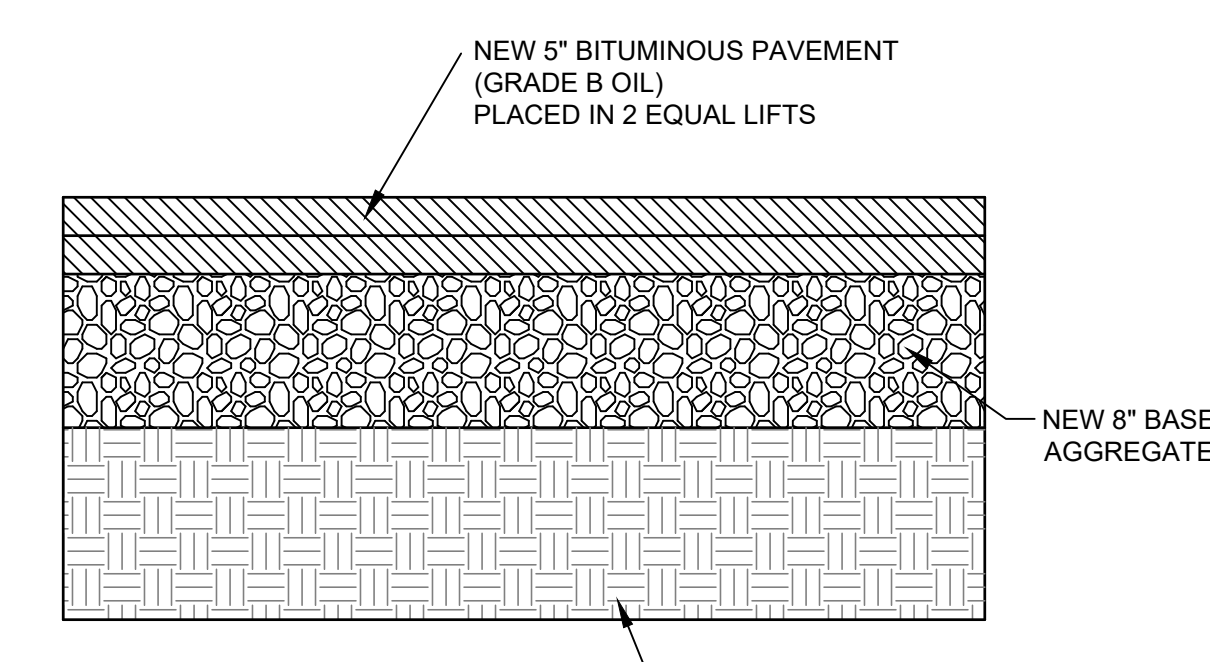




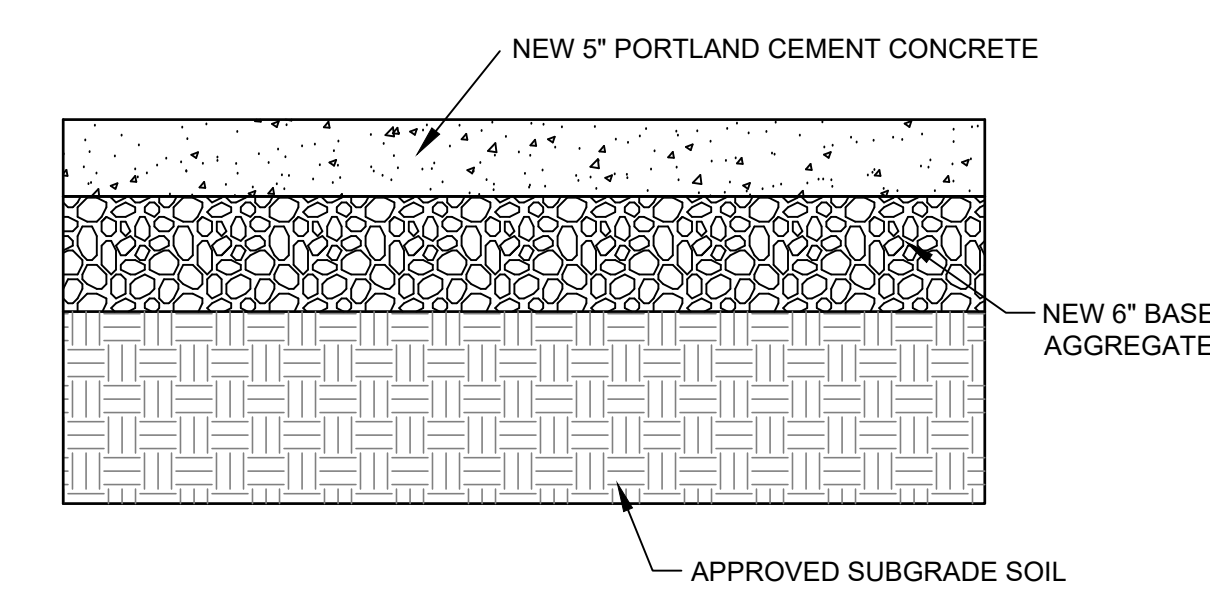
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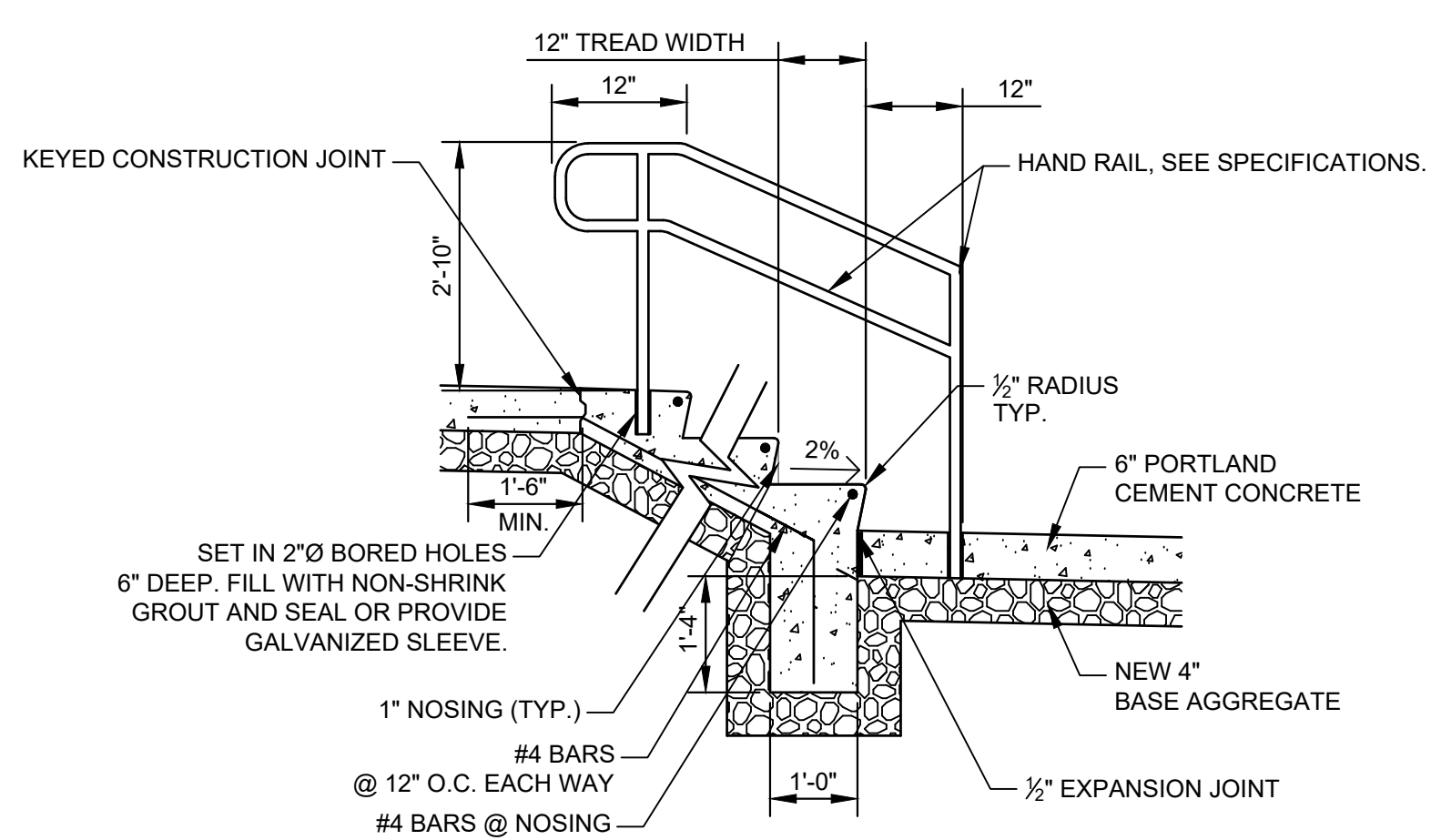
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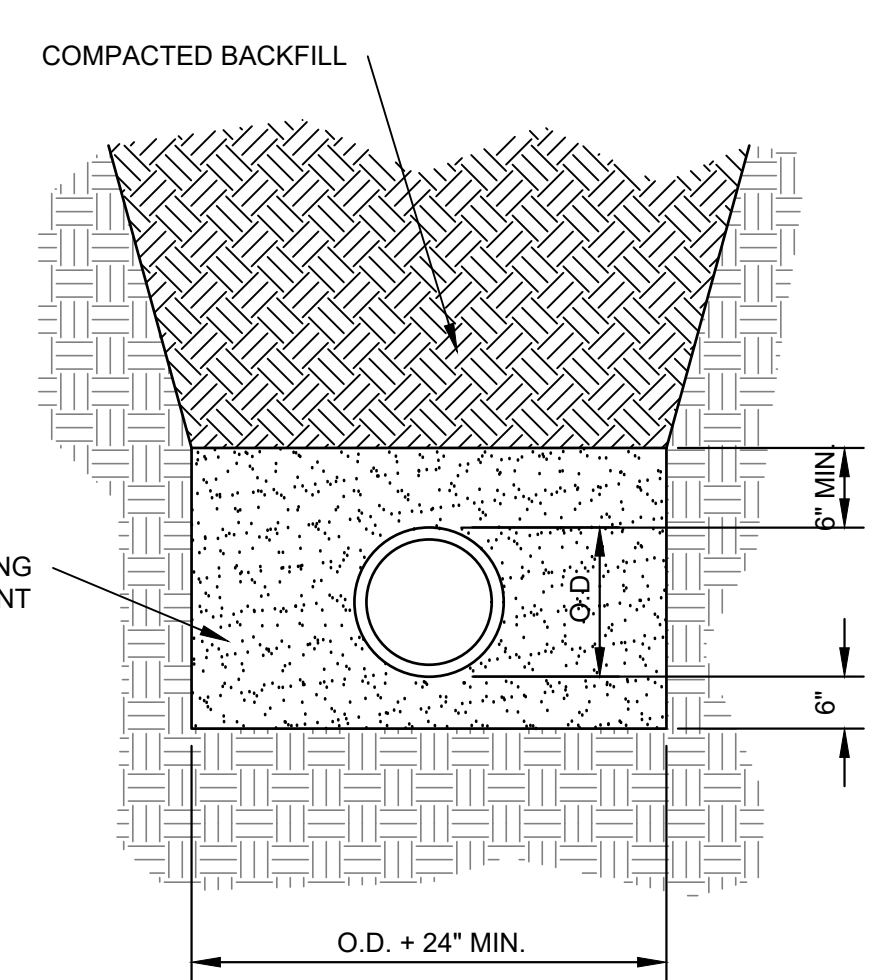
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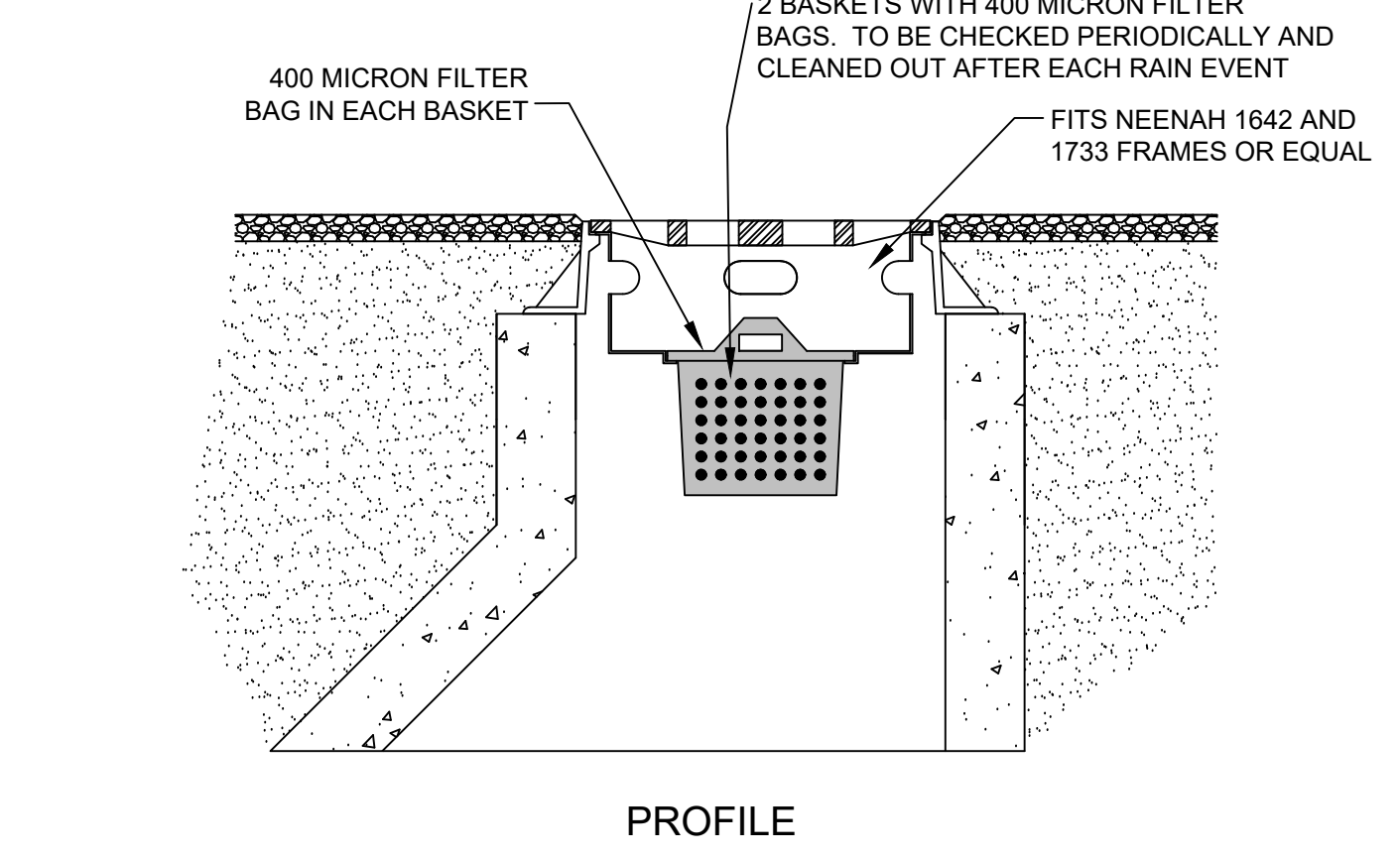
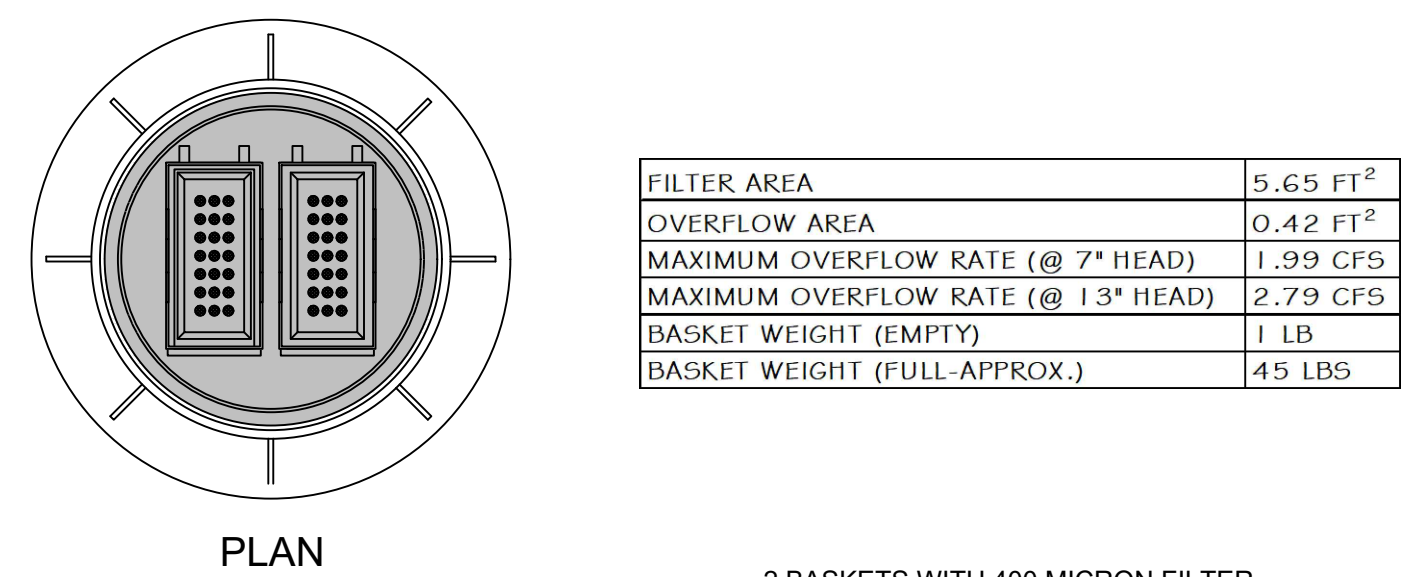
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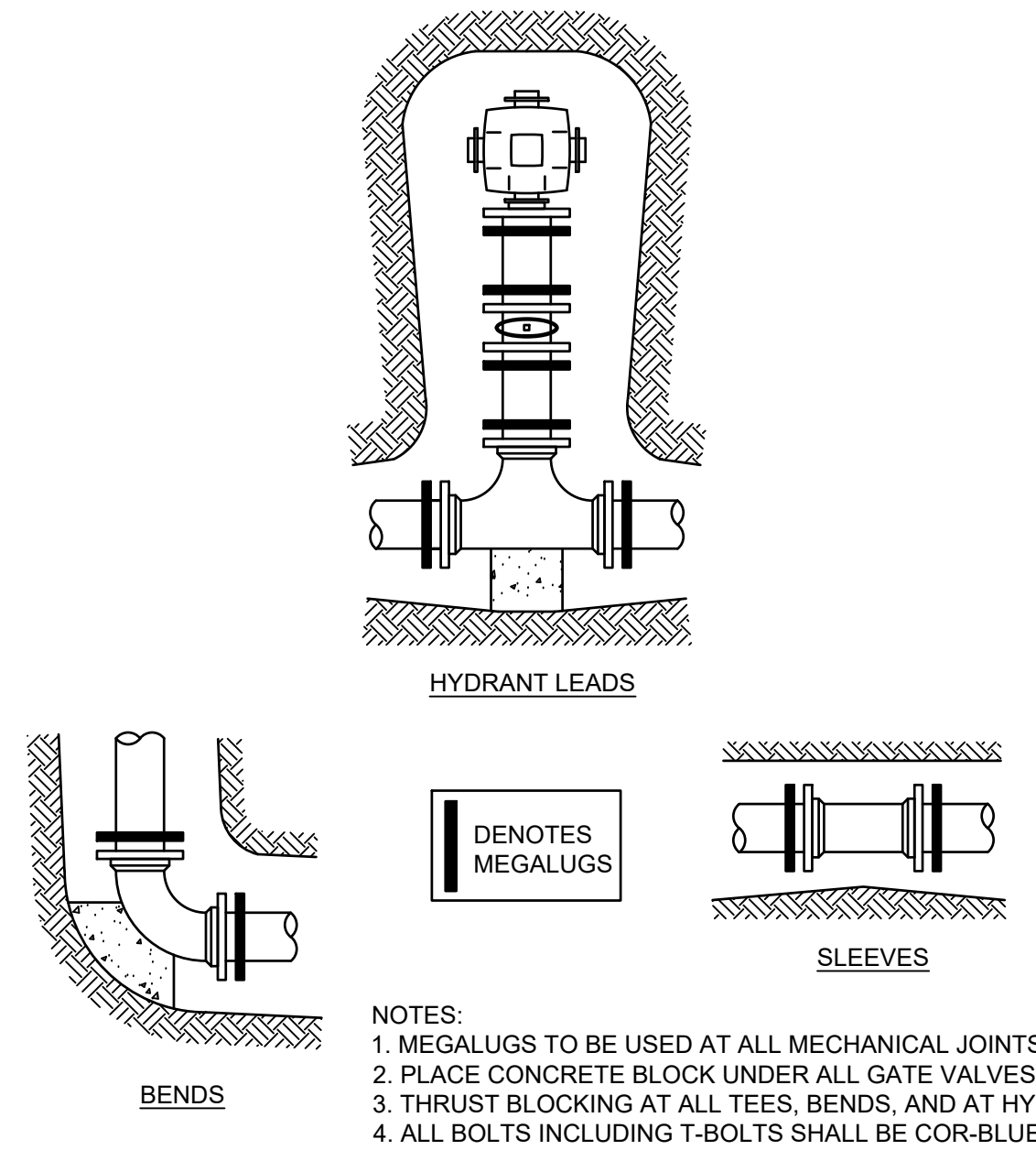
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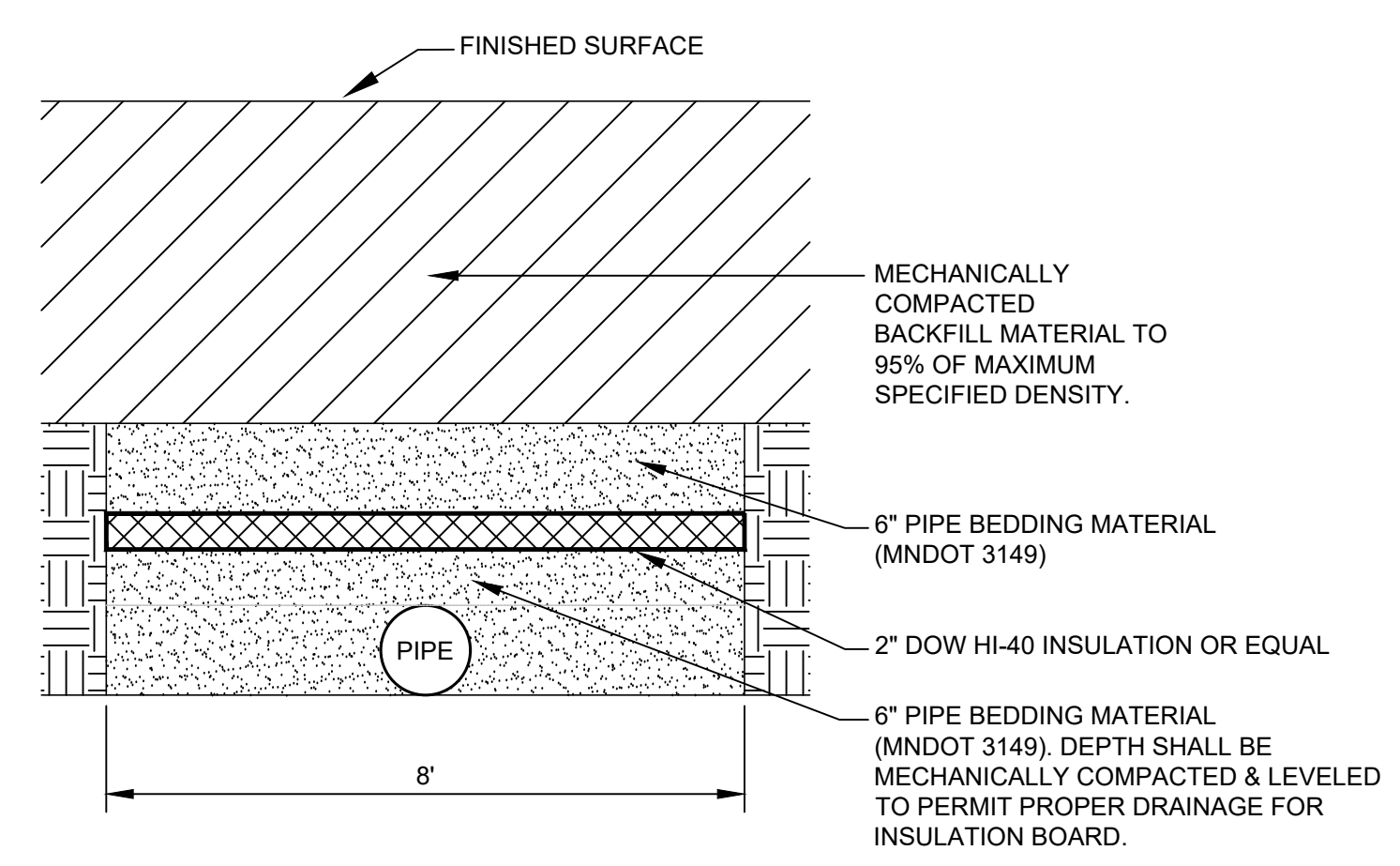
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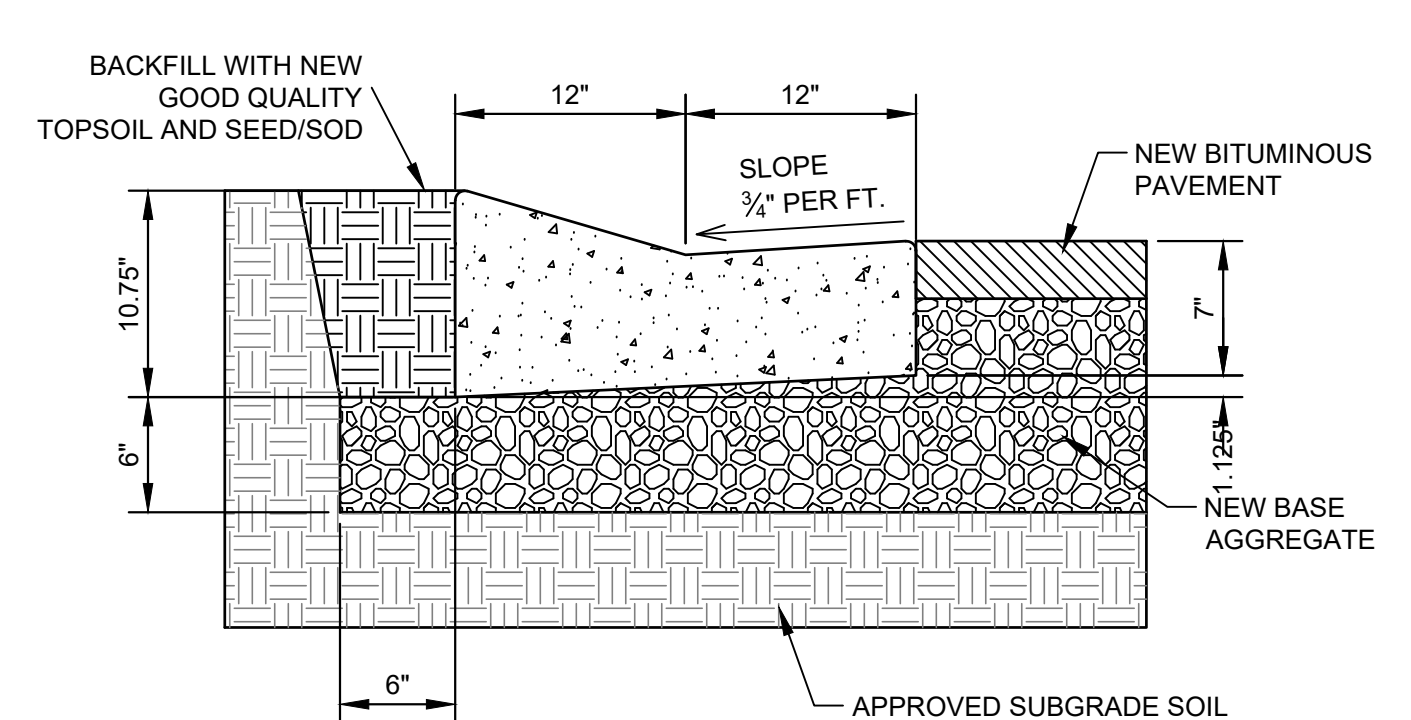
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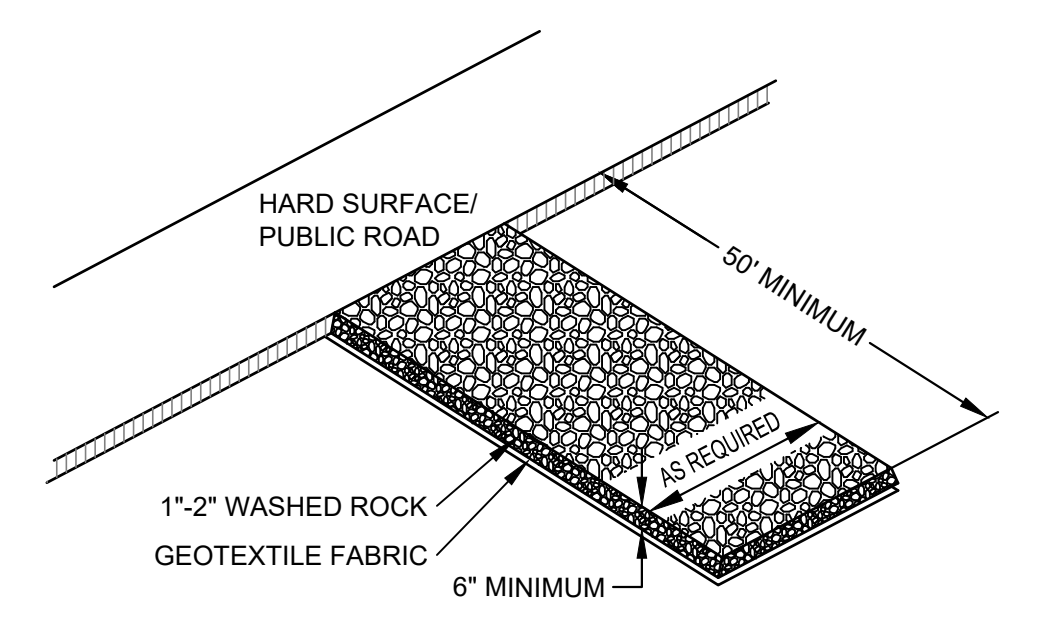
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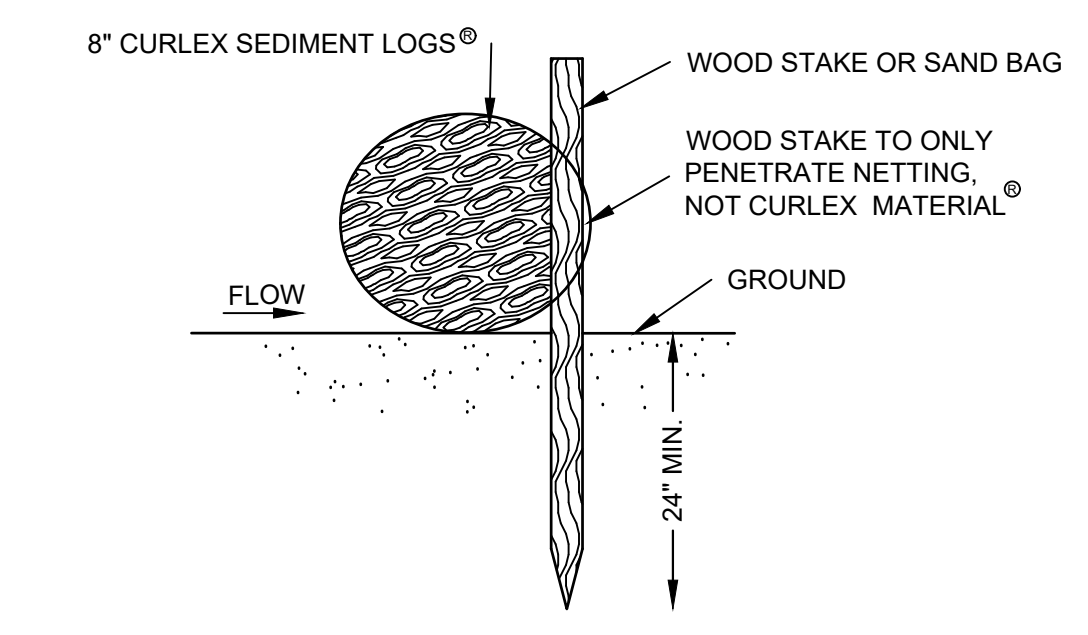
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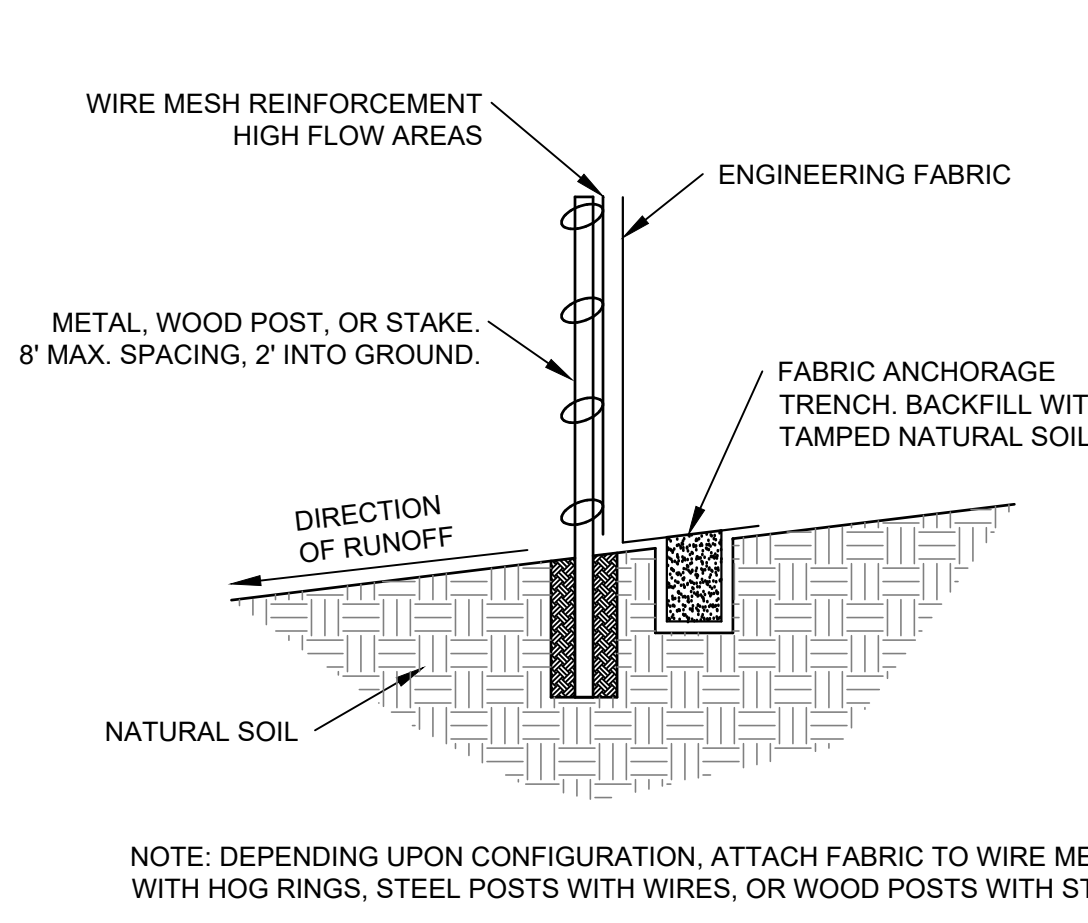
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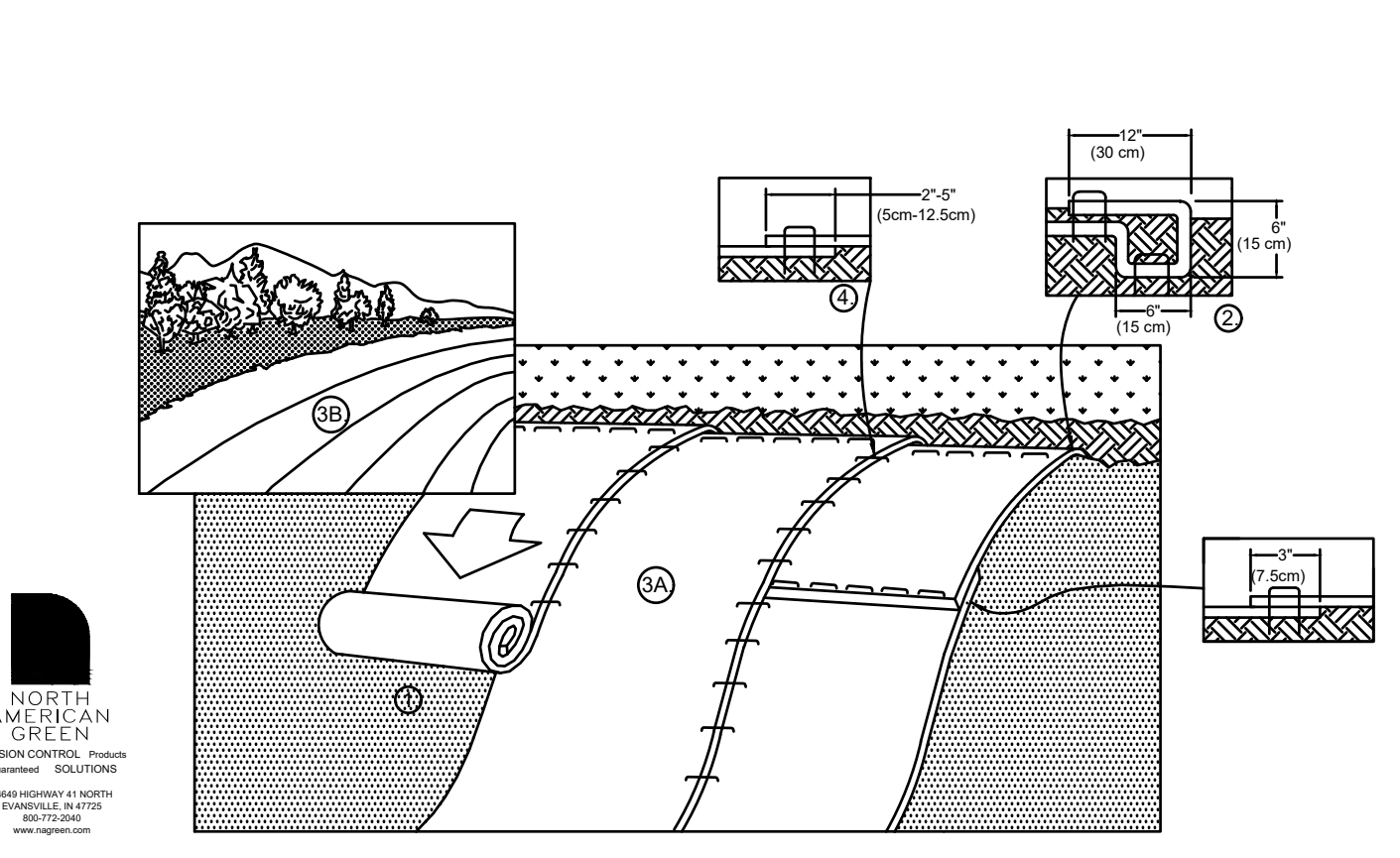
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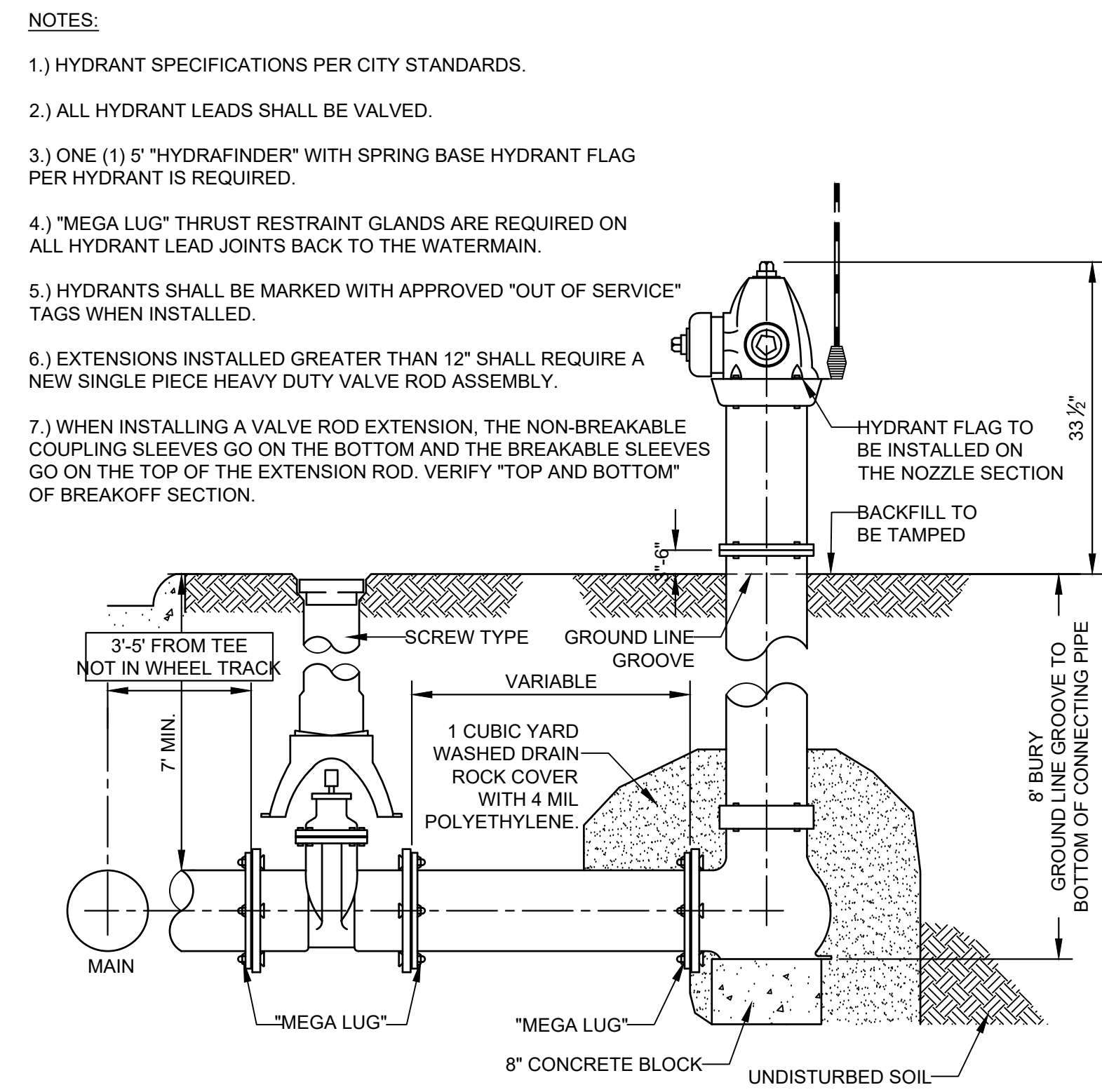


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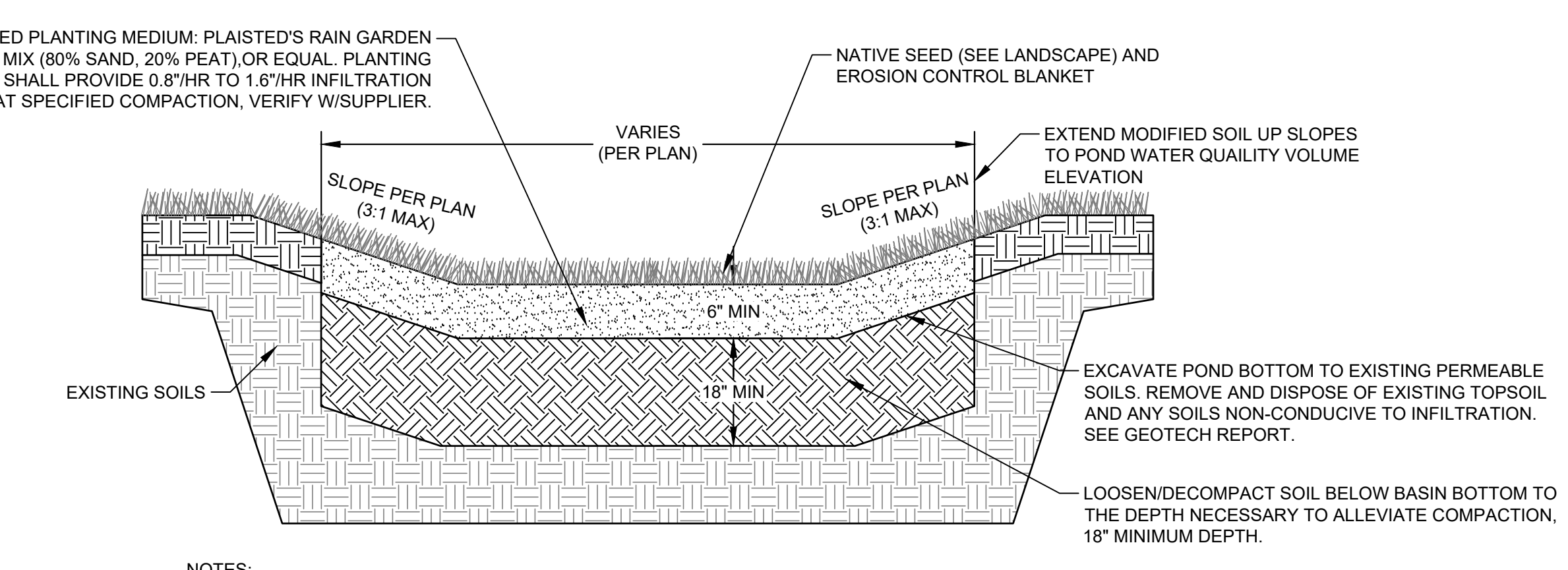


- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIMB, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPs.
  - ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON SOIL CONDITIONS.
  - CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE LENGTH.
- \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.
- Staples/Anchors:  
The type of anchors used to secure the blanket to the ground shall be Steel wire 11 Gauge 1" wide x 8" long.

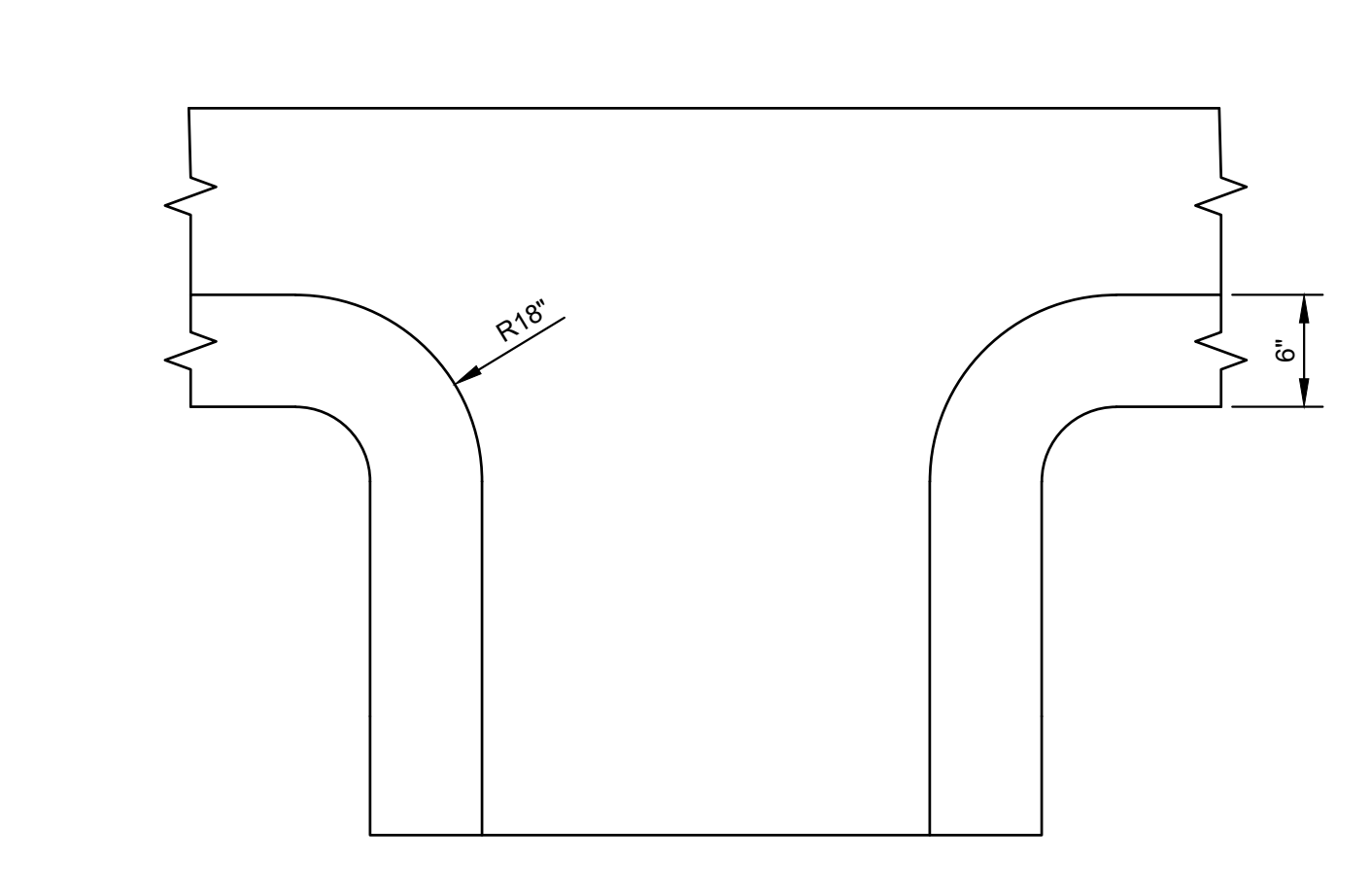
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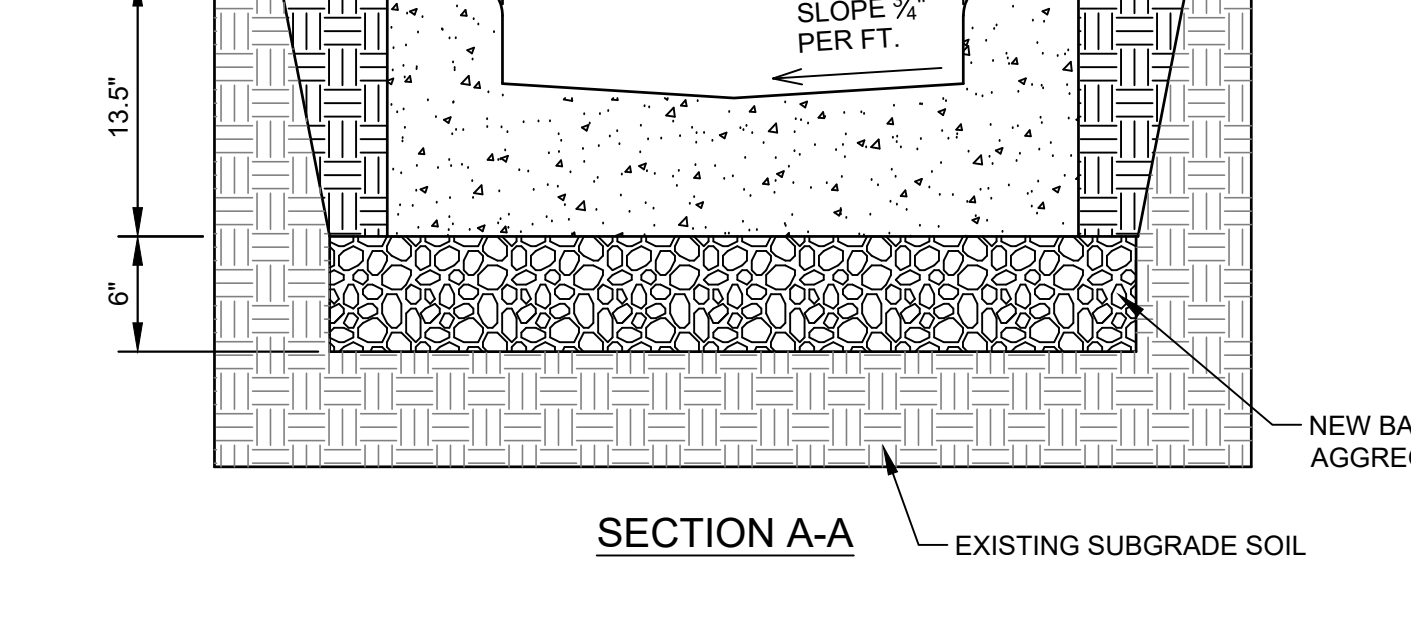
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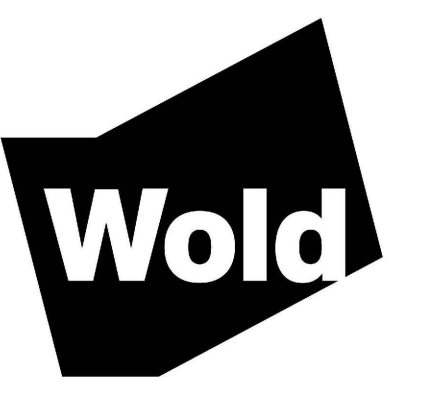
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16 C500  
NOT TO SCALE

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Greg A. Buchal, P.E.  
Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Description	Revisions	
	Date	Num

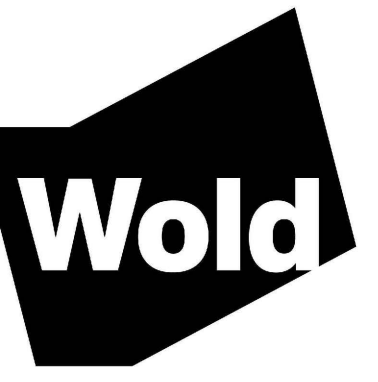
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Date: 12.19.2022  
Drawn: MTH  
Check: GAB

**DETAILS**

Scale:  
**C500**

**12.19.2022 CUP SUBMITTAL SET  
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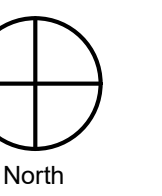
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

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	Date	Num

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**TREE PRESERVATION AND PLANTING PLAN**

Scale: \_\_\_\_\_

**C600**

**SYMBOL LEGEND**

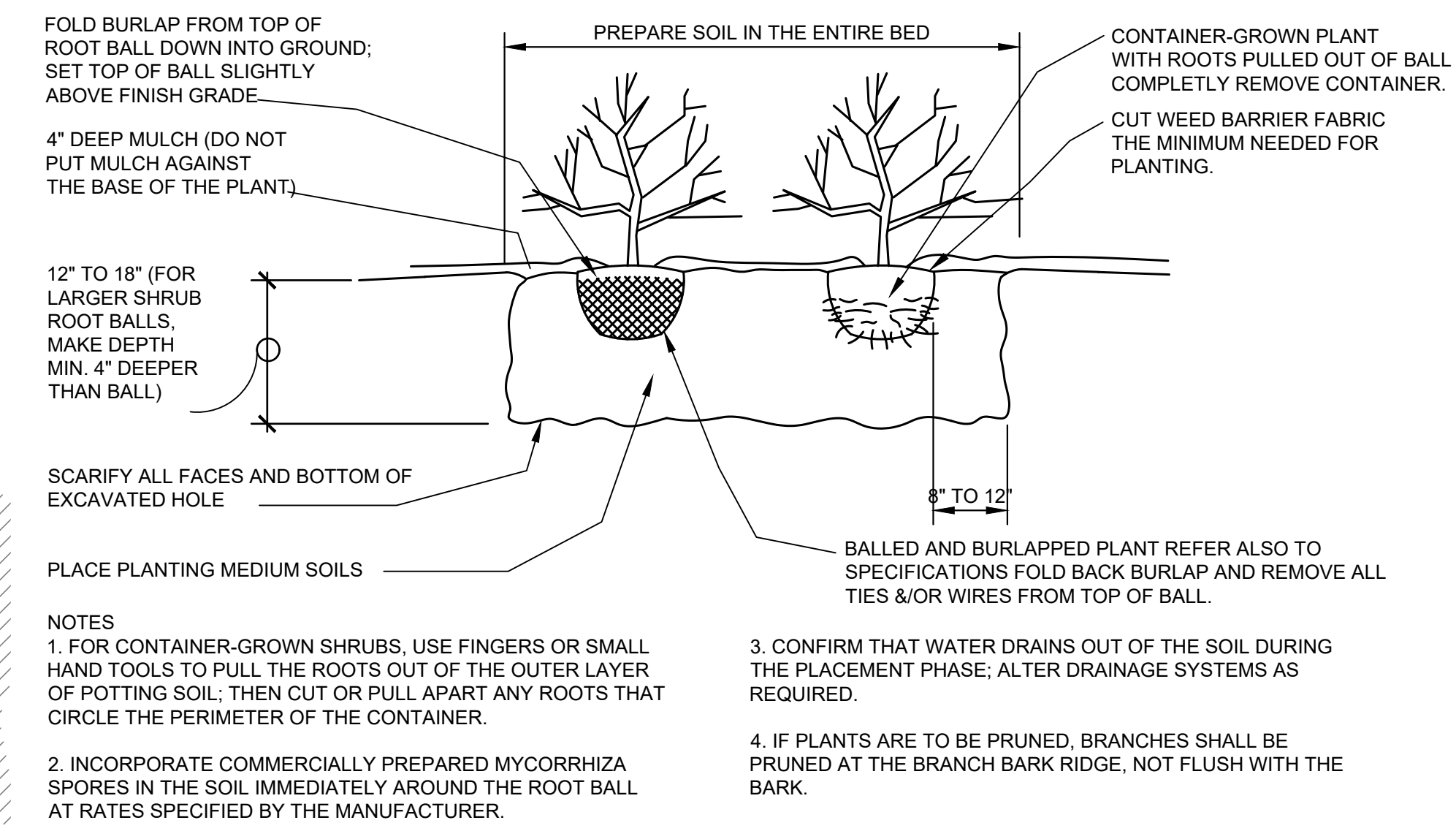
- EXISTING TREE TO REMAIN
- NEW PLANTING

**LANDSCAPING NOTES**

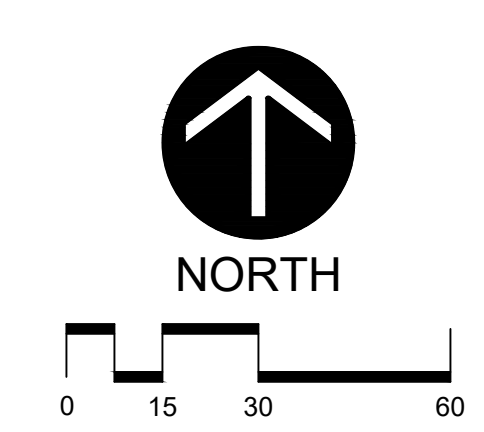
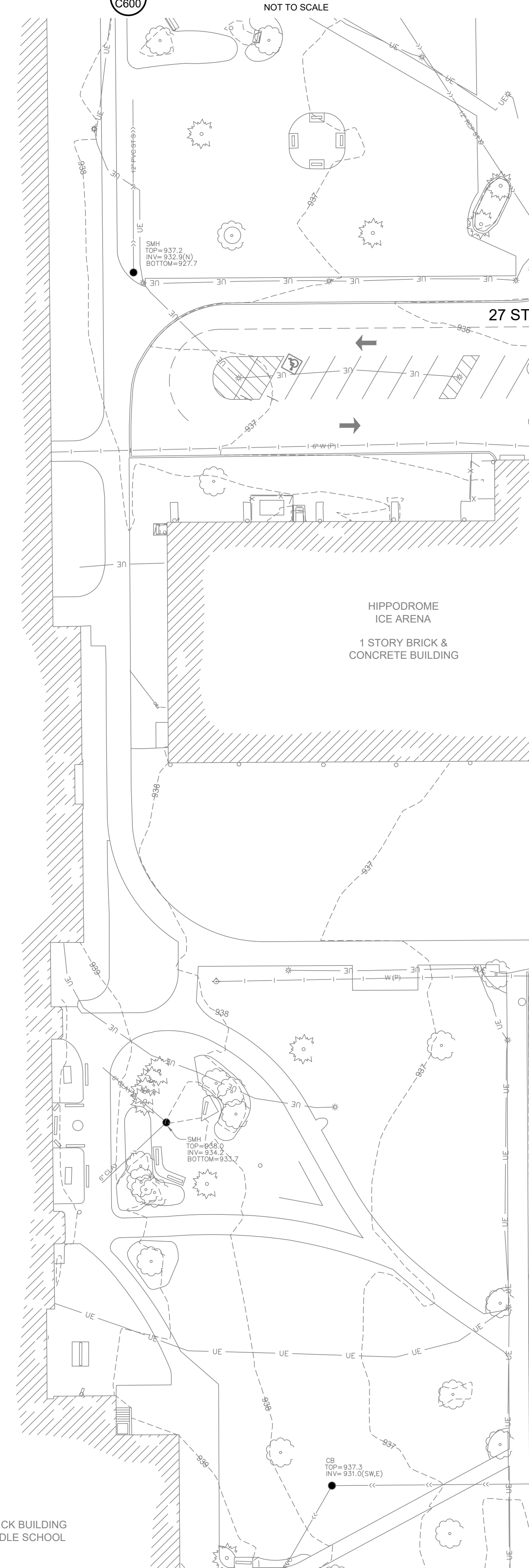
- Landscape Contractor is responsible for coordination with other contractors to protect the new improvements during landscape work activities. Report any damage to the Construction Manager immediately.
- Plant size and species substitutions must be approved in writing prior to acceptance in the field.
- Landscape Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- Landscape Contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- Landscape Contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- Planting areas shall be edged with 6" black vinyl edging and have 4" colored hardwood wood mulch over a weed barrier fabric.
- All trees not planted in landscaped areas shall have shredded hardwood mulch placed around the tree at 4' diameter and 6" deep.
- Restore all disturbed turf areas with 6" of good quality topsoil and seed.
- Filtration basin plantings to be 2" plugs. Filtration basin plantings are to be placed in the side slopes.

**PLANTING SCHEDULE**

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER
DECIDUOUS SHRUBS, SEE DETAIL 1/C600				
18	Canadale Gold Euonymus	Euonymus Fortunei 'Canadale Gold'	12" Ht	Pot



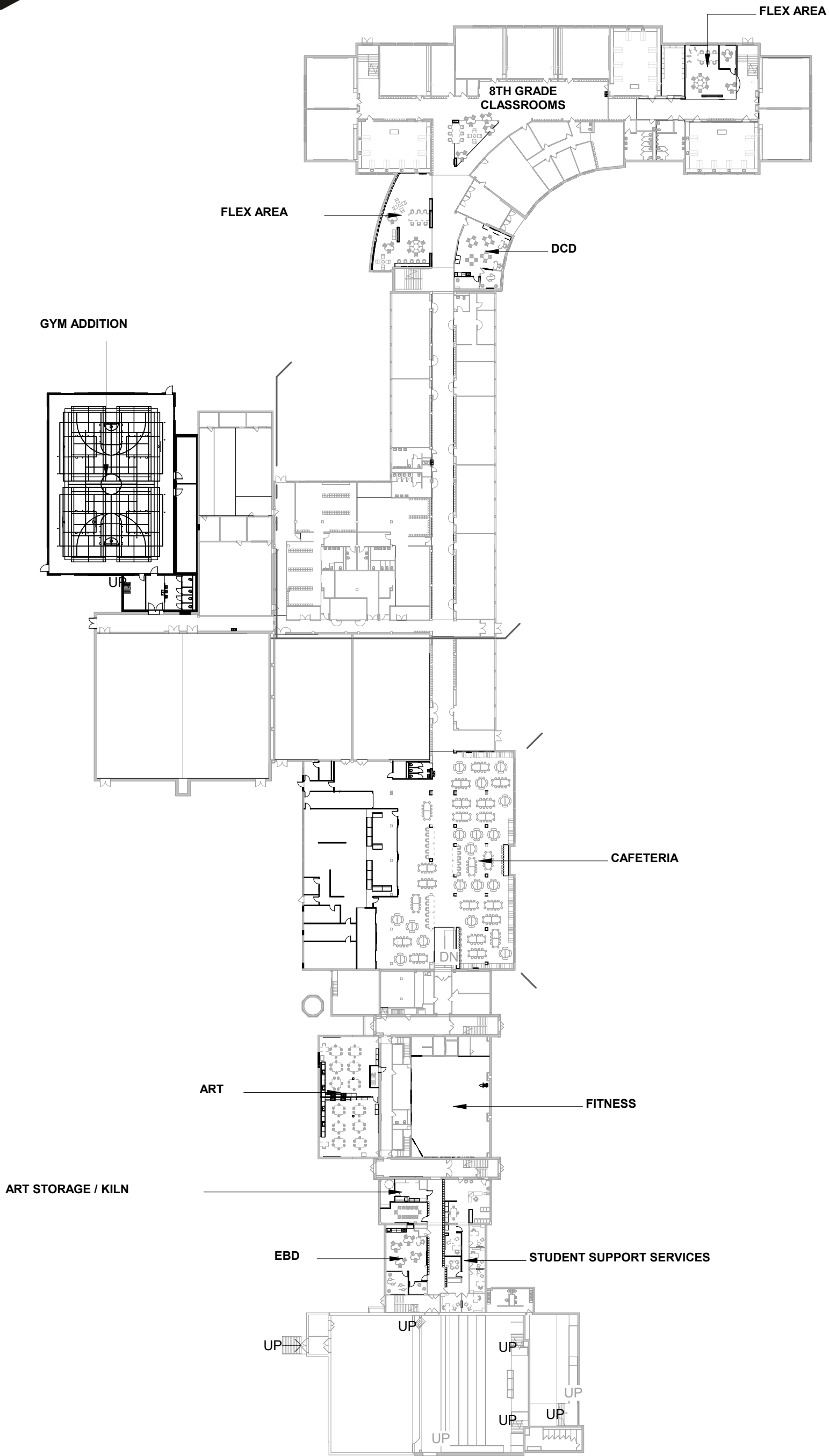
**SHRUB PLANTING DETAIL**



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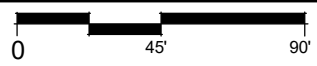


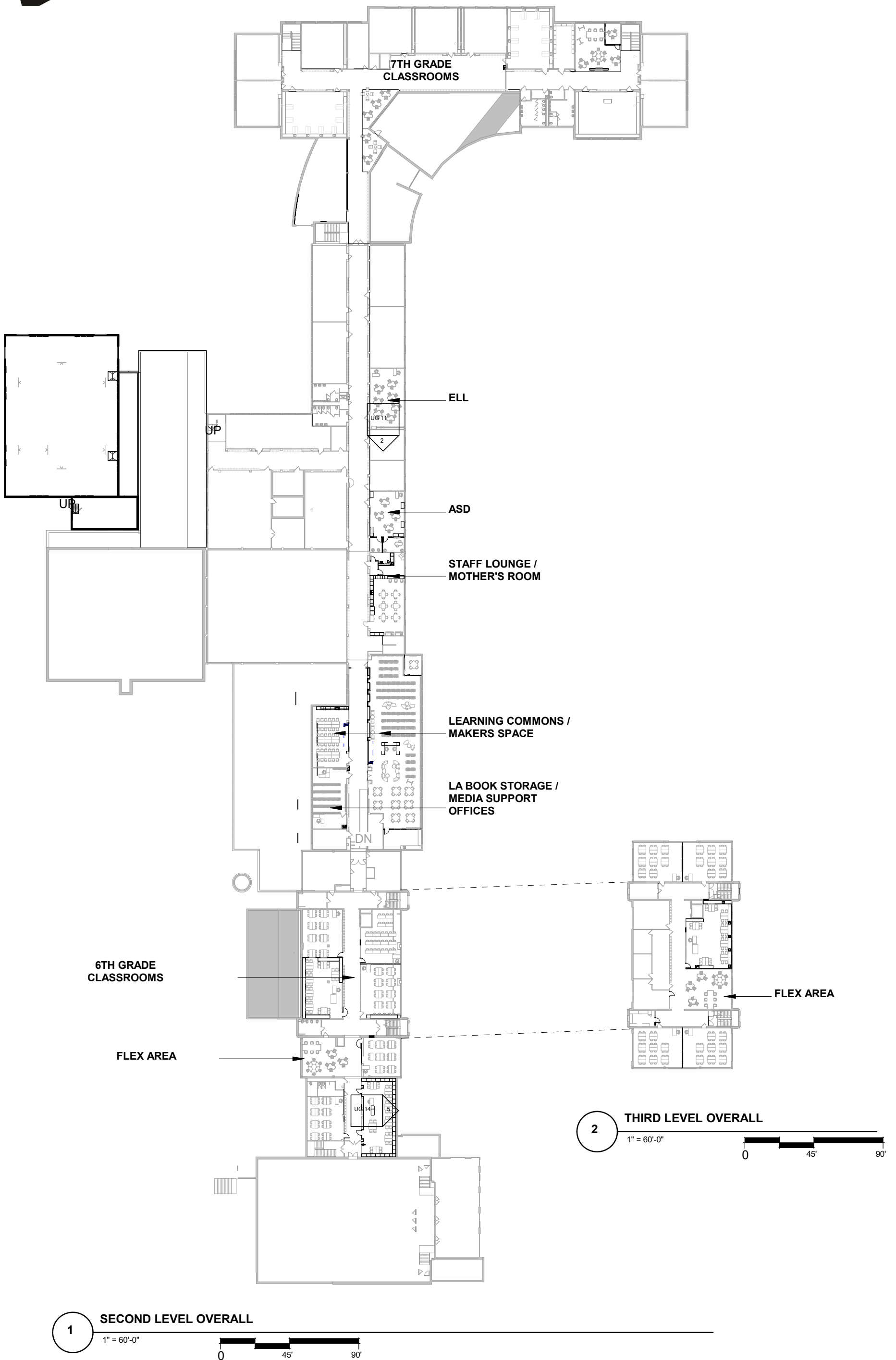


1

MAIN LEVEL OVERALL

1" = 60'-0"

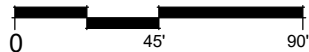




1

SECOND LEVEL OVERALL

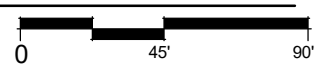
1" = 60'-0"



2

THIRD LEVEL OVERALL

1" = 60'-0"



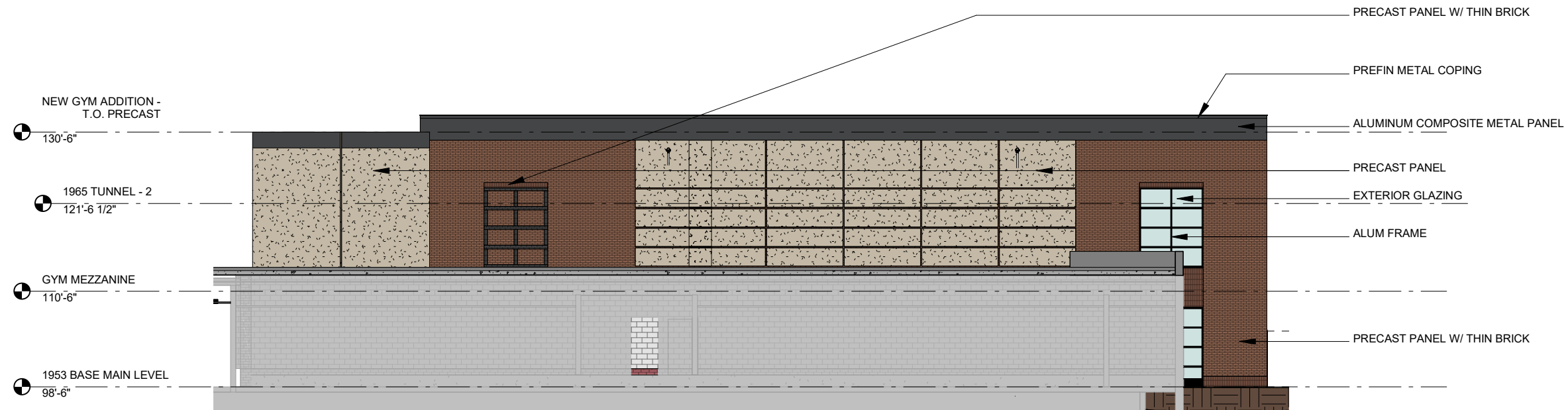




CUP - EXTERIOR ELEVATION  
- NORTH

1

1/16" = 1'-0"

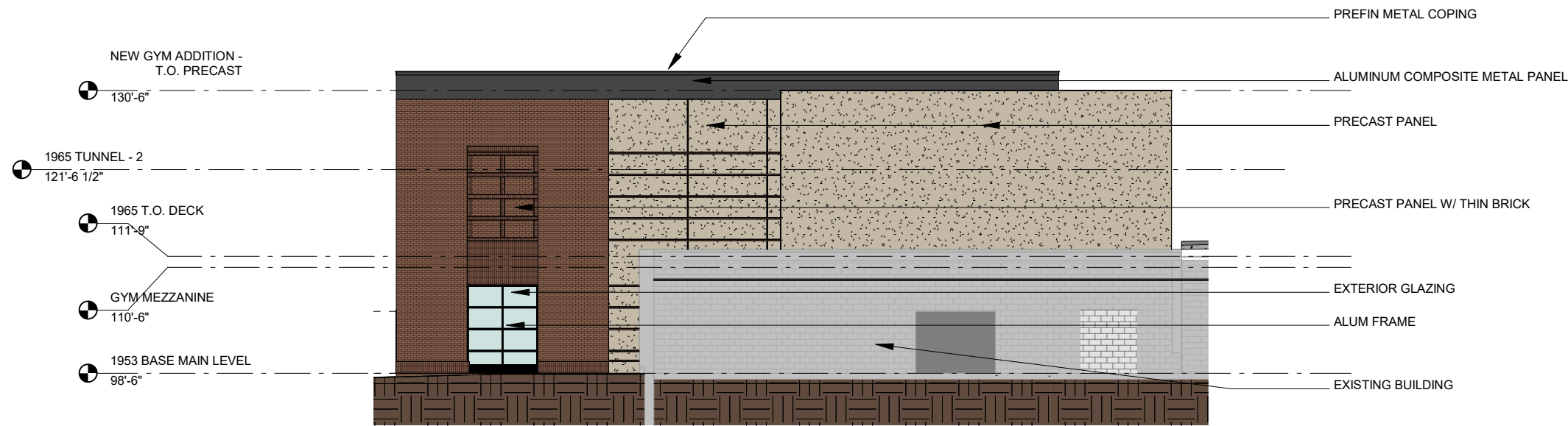


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- EAST

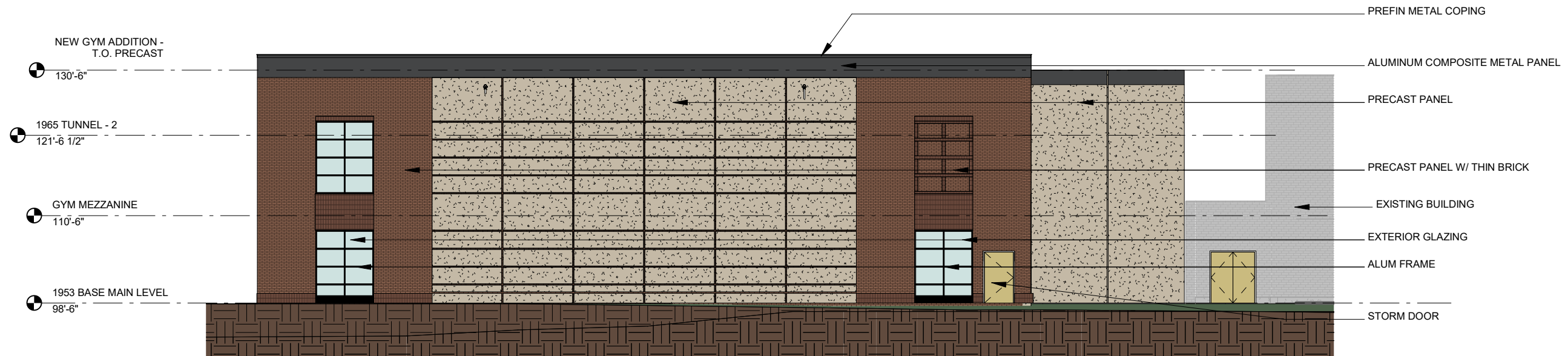
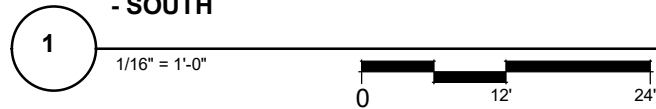
2

1/16" = 1'-0"





CUP - EXTERIOR ELEVATION  
- SOUTH



CUP - EXTERIOR ELEVATION  
- WEST

