



**AGENDA  
PLANNING COMMISSION OF THE  
CITY OF WHITE BEAR LAKE, MINNESOTA  
MONDAY, APRIL 24<sup>TH</sup>, 2023  
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

**2. APPROVAL OF AGENDA**

**3. APPROVAL OF THE MINUTES**

A. Minutes of the Planning Commission meeting on March 27, 2023

**4. PUBLIC HEARING**

**A. Case No. 23-11-LS & V:** A request by **Charles Cudd Co LLC** on behalf of Karen Dalke, for a minor subdivision, per code section 1407.030 and two 30 foot variances from the 80 foot minimum lot width requirement, per section 1303.230, subd.5.a.2, in order to split one lot into two at the property located at 4593 Shady Lane.

**B. Case No. 23-13-PUD:** A request by **Element-Design Build**, for rezoning from B-3, Auto Oriented Business to R-6, Medium Density Residential per code section 1301.040 and both General and Development Stage approvals of a Planned Unit Development, per code section 1301.070, in order to construct a 14 unit apartment building and three townhomes on the property located at 2502 County Road E.

**5. DISCUSSION ITEMS**

- A. Downtown Mobility and Parking Study Steering Committee
- B. City Council Meeting Overview

**6. ADJOURNMENT**

Next Regular City Council Meeting ..... May 9, 2023

Next Regular Planning Commission Meeting ..... May 22, 2023



**MINUTES  
PLANNING COMMISSION MEETING  
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA  
MONDAY, MARCH 27, 2023  
7:00 P.M. IN THE COUNCIL CHAMBERS**

**1. CALL TO ORDER AND ATTENDANCE**

- MEMBERS PRESENT:** Mike Amundsen, Ken Baltzer, Jim Berry, Pamela Enz, Mark Lynch, Erich Reinhardt, Andrea West
- MEMBERS ABSENT:** n/a
- STAFF PRESENT:** Jason Lindahl, Community Development Director; Ashton Miller, City Planner; Shea Lawrence, Planning Technician; Nate Christensen, Assistant City Engineer
- OTHERS PRESENT:** Barb Bicha, Karen Larson, Jeremy Post, Brie Enz, Will Enz, Alastair Downie, Mary Pollard, Sean Higgins, Joe Kimball, Tim Martin, Jim Galvin, Dustin Holman, Linda Martin, Tim Wald

**2. APPROVAL OF AGENDA**

It was moved by Member Lynch and seconded by Member West to approve the agenda as presented.

Motion carried, 7:0.

**3. APPROVAL OF THE MINUTES**

A. Minutes of February 27, 2023

It was moved by Member Baltzer and seconded by Member Enz to approve the minutes of February 27, 2023.

Motion carried, 7:0.

**4. CASE ITEMS**

- A. **Case No. 21-3-CUPa:** A request by **White Bear Lake Area Schools** for a conditional use permit amendment, per code section 1303.245, Subd.2.c.4, in order to add bleachers at the athletic stadium for a maximum capacity of 5000 seats at the property located at 5045 Division Avenue.

Jason Lindahl, Community Development Director, discussed the case. Staff recommended approval of the request as proposed.

Member Reinhardt asked about the current capacity of the South Campus stadium. Lindahl responded that he believes it is about 4,800.

Member Enz asked for clarification about the report including conflicting references about which campus will be hosting football. Lindahl explained that in the staff memo there were quotes from the original Environmental Assessment Worksheet (EAW) report when it was still the intention to keep hosting football at South Campus.

Member Enz asked about what type of noise control methods will be in place during games. Lindahl explained that the original noise analysis was done prior to the decision to move football to North Campus, and that no further analysis has occurred at this point. Lindahl explained that the noise study measures noise over a period of time which would include sudden spikes in noise but doesn't do anything to specifically address those spikes.

Member West asked how the plan for the stadium came to include 5,000 seats, increasing from the original plan for 1,500. Lindahl explained this was the applicant's request and they could help answer how they came to this number.

Member Berry opened the public hearing.

Tim Martin 4820 Bald Eagle Ave, expressed his opposition to the proposal and that he hopes it is delayed or rejected. He explained that residents were initially told that the school district's short term plan was to continue hosting football at the South Campus location. He added that because the expansion of the school is not completed yet, they don't know what the impacts that the school expansion alone will have on the neighborhood. He noted that Ramsey County hopes to expand the Bruce Vento Trail in the neighborhood which will also have impacts to the neighborhood. The impacts of all this needs to be understood prior to approving this project.

Joe Kimball of 4930 Walnut St, expressed various concerns about the proposal including parking on game nights, previous concerns from the Fire Department about access and an increase in traffic on Walnut from people using it as a shortcut.

Jeremy Post of 2068 3<sup>rd</sup> St, and an employee of the school district, explained that he understands the concerns people have but expressed his support of the proposal. He explained that the South Campus stadium is also in a residential neighborhood and that congestion and traffic is standard at South Campus football games as well. He added that there isn't land within the city to build a football stadium where it won't impact neighborhoods with parking and traffic. He continued that Marketfest is an example of an event that occurs throughout the summer that leads to additional street parking, but the benefits of that event outweigh the burden of additional traffic and street parking. He added that in regards to additional events, they are essentially talking about

additional traffic and street parking during 4 football games which is not a huge sacrifice to make. He explained that approving this proposal would be a great benefits to the students and community. He believes that there are many other people who are supportive of the proposal, who don't attend these meetings.

Alastair Downie of 1988 Campbell Circle, explained that he appreciates the engagement the school has done, but overall expressed concerns about the proposal. He explained that the campus will never be inclusive of all sports games, baseball and softball will continue to be hosted at South Campus, so the argument that this would unify the campus is not entirely accurate. He continued to say that there are parking and traffic concerns that need to be resolved because as is, the neighborhood is not capable of the increased use.

Jim Galvin of 4702 Wood Ave, a former math teacher and football coach with the district expressed his support for the project. Galvin provided an overview of the football traditions and history in White Bear Lake including that high school football used to be played at Price Field, which is near North Campus. He explained that it would have a great impact on the players if they are able to play football right outside their own school instead of needing to be bussed across town. He also added that moving football could have great benefits to the businesses in White Bear Lake, with people visiting for football games and driving past the local businesses.

Mary Pollard of 2321 5<sup>th</sup> St, explained that she understands that football was always intended to eventually move to North Campus, but that it is untenable in the area. She explained that she doesn't think it would be wise to approve this project which would increase traffic.

Dustin Holman of 4961 Campbell St., explained that he empathizes with the concerns of other nearby residents but overall expressed his support for the project. He emphasized that the proposal includes plans to modify Bald Eagle Ave to address traffic concerns. He also added that he believes the parking capacity at North Campus will be greater than it currently is at South Campus. He explained that homecoming events create an important experience for students and believes that 4 extra events at North Campus is worth it and that he is hopeful this project will pass.

Linda Martin of 4820 Bald Eagle Ave explained that it won't only be football that takes place at North Campus, but there will be 20 events in both spring and fall semester at this location. She questioned why all these events need to be moved to North Campus and that more than football needs to be considered when reviewing this proposal. She also noted that the school will see an influx of about 600 cars on a daily basis once the juniors and seniors move to North Campus.

Barb Bicha of 4965 Lamire Lane, explained that Lamire Lane and the neighborhood currently experiences a lot of traffic with school dismissal. She asked if studies have been completed in regards to traffic resulting from regular school sessions.

Tim Wald, the Assistant Superintendent for Finance and Operations for White Bear Lake Area Schools expressed his thanks to City Staff and the Planning Commissioners. He explained that beyond the neighborhood meeting he's heard from about three other people in regards to the proposal.

Member Berry stated that when parent drop off and buses are located in the same space it causes congestion, but the plans seem to indicate they will be separated. Wald confirmed that their plan is intended to mitigate that rush of traffic. Parent drop off will be located on the Division Ave side of the property. Wald also stated that many of their football games will result in less traffic than a typical school day creates, but that homecoming is an exception to that.

Member Berry mentioned that there was an unofficial count done within the first weeks of school that counted about 470 parent drop off cars one morning. Wald responded that he thinks that is reflective of a typical day.

Member Baltzer asked if Wald could clarify the number of events North Campus will be hosting as brought up by one resident. Wald explained that in the original Condition Use Permit agreement that they were planning to host boys and girls soccer, lacrosse and track and field at North Campus. This would be 16 events in the spring and 19 events in the fall, with some of them being double headers. He explained that a typical soccer or lacrosse game would draw a much smaller crowd of about 200-400 visitors.

Member Enz asked if it would be a safe to assume that the additional bleachers are really only needed to accommodate football. Wald responded that South Campus has seating for 4800 right now and that they don't fill that stadium up for football even during their homecoming which had 3,800 spectators. He explained that the seat count is based on 18 inches per seat for the bleachers but in reality people don't sit that close together.

Member Amundsen asked for clarification on why the school is planning to move football to North Campus sooner than they originally indicated. He asked if the school district decided to move football sooner because they own more of the neighboring properties now than when they originally went through the conditional use permit process. Wald explained that they originally did not have the space at North Campus to make it work. They now are able to expand their parking to more than double the parking at South Campus. He added that they intend to work with the City on parking mitigation measures.

Member Amundsen asked for confirmation that football would be moved to North Campus only after the road improvements are complete and the school is unified. Wald confirmed that is the plan. Football would still be played at South Campus in the fall of 2023.

Member Berry closed the public hearing.

Member Enz added that the traffic study that was included in the packets was helpful in addressing some of the concerns regarding traffic in the neighborhood.

It was moved by Member **Amundsen** to recommend approval of Case No. 21-3-CUPa, seconded by Member **Enz**.

Member Amundsen added that the conditions for the school have changed since they originally went through the approval process and that he looks forward to going to a football game and nearby restaurant.

Member Enz explained that there are a lot of small towns that celebrate football in a really big way despite having less parking. Football could bring people to White Bear Lake who haven't visited in a while.

Member Berry added that if the noise study is conducted it should occur during a football game.

Motion carried, 7:0.

- B. Case No. 23-10-V:** A request by **McNeely Music Center** for a variance from the 10 foot property line setback, per sign code section 1202.040, subd.2.B.1, in order to construct a freestanding dynamic display sign 3 inches from the street side property line on the property located at 4910 Highway 61.

Ashton Miller, City Planner, discussed the case. Staff recommended denial of the request as proposed.

Member Lynch asked if a sign attached to the building can be a dynamic sign. Miller responded that no, that is not permitted.

Member Berry opened the public hearing.

Sean Higgins, the architect for the McNeely Music Center project, distributed renderings of the proposed sign and images of nearby signs. Higgins provided an overview of the Manitou Fund and McNeely Music Center's purpose of community engagement and music. Higgins stated that the goal of the zoning ordinance is to improve public safety and aesthetics, so they planned to place their sign so it's facing traffic and drivers don't

have to turn their heads to read it. He explained that they designed the sign while trying to be consistent with the City's Comprehensive Plan. Higgins explained that the property is oddly shaped and it was a challenge to design the property when considering the setbacks and safety requirements. He continued that the proposed sign would be 32 feet and 7 inches from the roadway surface.

Member Enz asked why the applicant wants a dynamic sign. Higgins responded that they plan to use the sign for branding and to display info on their classes and events.

Member West asked for clarification on the images Higgins distributed to the commissioners. Higgins explained that the images include examples of nearby signs in relation to the right of way.

Member Berry asked if the plans for the sign were discussed when they were initially working on their design plan for the facility with the Sam Crosby, the former City Planner. Higgins responded that they had discussed signage but intended to apply for it when they were further along in the construction process.

Member Berry asked if they changed the foundation of the building when they reconfigured the building. Higgins responded that the building is in basically the same footprint as before.

Member Lynch asked about alternative locations for the sign. He asked if a parking spot could be eliminated to accommodate the sign. Higgins responded that they worked with the Fire Department and former City Planner during the design process for the parking lot to reach an adequate number of parking spots while still considering emergency vehicle access. Another location on the lot would require the removal and replacement of a tree which would be costly.

Member Baltzer added that he's never seen a request for a variance of down to 3 inches.

Member Berry closed the public hearing.

Member Amundsen asked staff if the applicant can apply with the state to have a sign in their right of way, and reference a recent sign application that the state got involved with. Miller responded that the recent sign application that was reviewed by the State was in regards to an off premise sign that the State considered a billboard. Miller added that staff doesn't anticipate that the state would have comments on the McNeely sign proposal because this sign would be located on the applicant's property. Miller continued that the sign's footings actually encroach into the right of way and staff believe that the State would have some concerns about that. Miller explained that there is a process with the state for vacating land, but she is unsure if the State has any intention of vacating their right of way.

Member Lynch added that while it currently looks like 32 feet of greenspace between the roadway and the sign, the right of way belongs to the State, who could in theory decide to do something with space. Member Lynch explained that he agrees with staff that the variance would not be in harmony with the intent of the ordinance and that the design of the lot is what has created a challenge for the placement of the sign.

Member Berry explained that he is concerned about setting a precedent for constructing a sign so close to the right of way.

It was moved by Member **Lynch** to deny Case No. 23-10-V, seconded by Member **Reinhardt**.

Motion carried, 6:1.

Member Enz opposed.

## 5. DISCUSSION ITEMS

- A. Case No. 23-8-C:** A presentation by **WBL DigniSuites RE, LLC** of their Concept Plan proposing to redevelop the property located at 2687 County Road D East and construct an approximately 6,000 sq. ft. nursing home facility with 14 units.

Miller discussed the case.

Member Lynch asked staff if the Concept Plan review process covers both if the applicant would plan to proceed with a PUD application or a rezoning and conditional use permit application. Miller answered yes.

Brian Wings, applicant and resident of 3900 Van Dyke St, explained he has been in the senior living business for about 25 years and DigniSuites is the newest model he is exploring and he intends to open about 5 more of these facilities in the Twin Cities area.

Member Enz asked the applicant to provide some more information on the model of this care facility. Wings explained that they will use prewired telehealth in the facility along with the assistance of care givers. It will be an activity based model to get residents out of their rooms during the day. The intent is to have activities continually offered so the suites would mostly be used for sleeping. The facility would have a residential style commercial kitchen and central communal living spaces.

Member West asked if they will be equipped to deal with people with dementia. Wings responded that that is their primary focus. It will be a high care and secure building. Member West also asked about the affordability of the suites. Wings responded that



he has a contract with Medicaid and their goal is that 20 percent of their payments will come through Medicaid and 80 percent will be through private payments.

Member Amundsen asked about the site plan and parking on the site. Wings responded that based on his experience at other locations, they have more than enough parking for staff and visitors based the amount of residents they will have. He also added that they plan to do a lot of landscaping to the property so it looks like an inviting place that people want to live. He also mentioned that they will put up a fence as required for licensing.

Member Amundsen asked if there is flexibility in their design to reorient the parking spaces. Wings responded that he is used to the process of working within a site and that they do what they can to make the space work and keep it affordable.

Lindahl explained that rezoning to get the right use for the applicant makes sense for the site. After rezoning, the applicant could either design the site to meet the standards for that zone or would go through the PUD process and work to minimize the deviations. Lindahl added that the encroachment into the Met Council easement and storm water easement may be a significant challenge for the applicant to solve. Wings explained that he is okay with using underground storage for storm water management.

Member Amundsen asked if there is a potential for a lot split on the property. Wings explained that the property will be split because he will only be purchasing the part of the property south of County Rd D.

Wings added that he has a lot of experience working with cities throughout the development process.

Lindahl asked if it was the consensus of the Planning Commission that they were generally supportive of the Concept Plan. All commissioners responded yes.

Member Enz stated that the proposed zoning change for the property would serve as a nice transition with nearby residential area.

## **B. City Council Meeting Overview**

Lindahl provided an overview of the Planning Commission cases that went before City Council on March 14. The cases included a variance to rebuild a house on Lake Ave and a Conditional Use Permit to operate a daycare facility on Wildwood Rd which were both approved by City Council. Lindahl also explained that Element-Design Build presented their Concept Plan before City Council to build apartments at the southeast corner of County Rd E and Bellaire Ave. Lindahl explained that four councilmembers seemed generally supportive of the idea and one was opposed. Lindahl added that staff have since met with the applicants and that they are working to adjust their plans to address

the feedback they have received throughout the Concept Plan review process. The applicants plans to come before the Planning Commission next month with a PUD application.

Lindahl added that the process to revise and update the zoning code has started. The RFP has been published and the response deadline will be April 7<sup>th</sup>. After the deadline, staff will score proposals and conduct interviews. Once staff selects a preferred consultant they will go before City Council for approval hopefully by the end of May. Staff hopes the work with the consultant will officially kick off in the beginning of July.

Member Enz asked if the Planning Commission will be involved in the zoning code update process. Lindahl answered yes. He explained there will be a significant amount of community engagement and staff plans to have a steering committee involved in development process of the zoning code which would have some planning commissioners on it. Lindahl also added that he plans to have consistent updates from staff and the consultants for the Planning Commissioners throughout the process. Lindahl explained there will also be updates on the City's website about the process.

Member Amundsen asked if the RFP states why there is a need for a zoning code update, or if the steering committee is meant to outline the reasoning. Lindahl responded that the RFP is available on the City's website and that it speaks generally to the rationale behind the need for zoning code update and the consultant's role. He explained the consultant will look at the 2040 Comprehensive Plan and other studies the city has conducted including the arts district study and the County Rd E study to put together a document that is a framework and wish list of what should be included in the updated zoning code. That framework will be the guiding document when updating the code. Lindahl explained the consultant will likely breakdown our current code into various sections and rewrite the individual sections and then have check in meetings about it. Following this, there would be a draft zoning code put together. Lindahl added that there would then likely be a community wide open house for the draft zoning code.

Member Enz asked if state ordinances take precedence over city codes. Lindahl explained that zoning authority is specifically prescribed to local government by the state, but there are certain things that all municipalities are bound to by the state, such as public hearings, review timelines, notices and more. He added that generally, local government have the discretion to set their own local zoning regulations.

## 6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Enz**, seconded by Member **Baltzer** to adjourn the meeting at 9:11 p.m.



**City of White Bear Lake**  
Community Development Department

# M E M O R A N D U M

**TO:** The Planning Commission  
**FROM:** Ashton Miller, City Planner  
**DATE:** April 24, 2023  
**SUBJECT:** Dalke Minor Subdivision and Variances, 4593 Shady Lane, Case No. 23-11-LS & V

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## SUMMARY

The applicant, Charles Cudd Co LLC, on behalf of Karen Dalke, is requesting a minor subdivision and two 30 foot lot width variances from the 80 foot minimum lot width requirement in order to split one lot into two 50 foot wide lots. Based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of this request.

## GENERAL INFORMATION

Applicant/Owner: Charles Cudd Co LLC / Karen Dalke

Existing Land Use / Zoning: Single Family home; zoned R-4: Single Family – Two Family Residential & S: Shoreland Overlay District

Surrounding Land Use / Zoning: North & East: Single Family Home; zoned R-4 & S  
 South & West: Single Family Home; zoned R-2: Single Family Residential & S

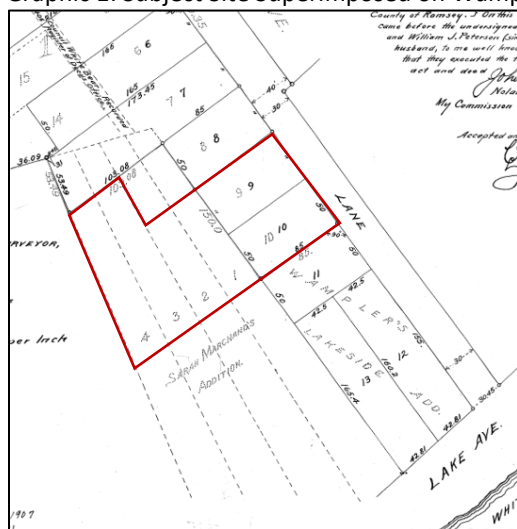
Comprehensive Plan: Low Density Residential

Lot Size & Width: Code: 10,000 sq. ft.; 80 feet  
 Existing Site: 22,525 sq. ft.; 100 feet  
 Proposed Site A: 12,448 sq. ft.; 50 feet  
 Proposed Site B: 10,077 sq. ft.; 50 feet

## BACKGROUND

The western half of the property was platted in 1884 as part of Sarah Machand's Addition and the eastern half was platted in 1907 as part of Wampler's Lakeside Rearrangement. Over time, the lots in both of these subdivisions were divided and combined in numerous ways to create the lots that exist today, although the city does not have record of those re-combinations. According to Ramsey County, the home on the property was constructed in 1889.

Graphic 1: Subject Site Superimposed on Wampler's Lakeside Rearrangement



As part of the request for a lot split, the applicant is proposing to demolish the existing home and construct a new home on parcel A. The existing detached garage on parcel A will remain. There are no plans for development on parcel B at this time.

#### Community Comment

Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to property owners within 200 feet of the subject site. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback.

As of the writing of this report, city staff received one phone call from the property owner at 4581 Lake Avenue, Wendy Espe, inquiring about an easement that the subject site shares with her property for lake access. She asked if both properties would now have access. Staff does not have record of an access easement, but if one exists, it is a private easement that property owners would need to work out privately to determine who has access. During the public hearing, staff will provide an update if any additional public comments are received prior to the Planning Commission meeting.

#### **ANALYSIS**

##### Review Authority

City review authority for subdivision applications is considered a Quasi-Judicial action. As such, the City is acting as a judge to determine if the regulations within the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance are being followed. Generally, if the application meets these requirements, the subdivision application should be approved. The City also has the authority to add conditions to an approval that are directly related to the application.

City review authority for variance applications is also considered a Quasi-Judicial action. When reviewing variances, the city's role is limited to applying the legal standard of practical

difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

#### Minor Subdivision Review

The standards for reviewing subdivision requests are detailed in Subdivision Code Section 1407 of the City Code. Staff has reviewed the lot split request against the standards utilized for other land use requests and provided responses to each as outlined below.

1. Is the proposal consistent with the City's Comprehensive Plan?

**Finding:** The proposed minor subdivision is consistent with the comprehensive plan. The 2040 Land Use map guides the property as low density residential, which is characterized by a density range of 3 to 9 units per acre. Typical housing types include single family detached and attached when within the density range. The current lot is 1.9 units per acre, which is below the density range. The lot split would bring the area up to 3.9 units per acre, within the density range, making the parcels consistent with the comprehensive plan.

2. Is the proposal consistent with the existing and future land uses in the area?

**Finding:** The existing uses of the surrounding properties are single-family residences. The 2040 Land Use map in the Comprehensive Plan guides all of the surrounding properties as low density residential. The creation of two lots that are similar in size and width to the surrounding properties for use as single-family homes is consistent with the existing and future land uses in the area.

3. Does the proposal conform to the Zoning Code requirements?

**Finding:** Other than the requested lot width variances as reviewed below, the proposed subdivision meets the zoning code requirements of both the R-4 and S districts.

Lot Width. The shoreland overlay district requires an 80 foot lot width, while the R-4 district requires a 60 foot lot width. The stricter of the two applies. The applicants are requesting a 30 foot lot width variance for each newly created parcel. Staff's findings for those are detailed in the next section.

Lot Size. The shoreland overlay district requires parcels within the White Bear Lake Shoreland Overlay District be at least 10,000 square feet in size, while the R-4 district requires a minimum of 7,200 square feet. The stricter of the two applies. Both of the newly created lots will exceed the 10,000 square feet minimum. Parcel A will be 12,448 square feet and parcel B will be 10,077 square feet.

Section 1407.030 of the subdivision code includes the following standards in order for a property to qualify for a minor subdivision and be exempt from the more formal platting requirements:

- The subdivision results in fewer than three lots;

- Public utilities and street right-of-ways serve the parcel;
- The new legal description does not rely on metes and bounds and is not overly complicated; and
- The newly created property lines will not cause any resulting lot to be in violation of these regulations or the Zoning Code.

The proposed lots meet the above criteria; therefore can be subdivided through the minor subdivision process.

4. Will the proposal depreciate values in the area?

**Finding:** The proposal is not anticipated to depreciate values in the area. Recent infill projects of single-family homes throughout the city have not resulted in depreciation of nearby homes, and staff finds that trend should continue in this neighborhood.

5. Will the proposal overburden the existing public services or the capacity of the service area?

**Finding:** The property is served by city water and sewer and the utilities have the capacity to serve the two lots. The newly created parcel B will need to connect to services when the site is developed. At that time, the developer will also need to pay Metropolitan Council and City SAC (Sewer Availability Charge) and WAC (Water Availability Charge) fees.

6. Will traffic generation be within the capabilities of the streets serving the site?

**Finding:** Traffic generation will be within the capabilities of the street serving the site. Although the Shady Lane right-of-way is 40 feet wide rather than the typical 60 feet in width, the number of trips generated by one additional household is minimal and not anticipated to negatively impact the traffic. Two car garages are required for each lot, so there will be adequate off-street parking.

#### Variance Review

The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with the purposes and intent of the ordinance?

**Finding:** The variances are in harmony with the purposed and intent of the ordinance. The purpose of the R-4 zoning district is to provide low and moderate density one and two unit dwellings and directly related, complementary uses. If side yard setback variances were required to construct a home, that would indicate that the lot was not wide enough and the proposed variances would not meet the intent of the code. The required side yard setbacks in the R-4 district for principal structures are 10 feet, which leaves a 30 foot wide buildable area. The minimum width of a house is 22 feet, so no variances are needed. The two lots have buildable area that is sufficient for the construction of a single family home and accessory, or complementary, uses.

The shoreland overlay district does not provide a purpose statement, although generally, the intent is to protect the health and quality of nearby waters and shorelines. One of the main components of the shoreland overlay district is that the lots are limited to 30% impervious surface coverage to protect White Bear Lake from excessive runoff. Thirty percent coverage of each new lot is the same amount of coverage as 30% of the existing larger lot, so there will not be more allowance for impervious surface in the area. Any amount above 30% is required to be mitigated through the use of a stormwater infiltration system.

2. Is the variance consistent with the comprehensive plan?

**Finding:** The requested variances are consistent with the comprehensive plan. As noted above, the lot split provides a density range for the area that is consistent with the low-density residential designation as depicted on the Future Land Use map of the 2040 Comprehensive Plan. The variances will allow the creation of lots that would bring the area into conformity with the density range of 3 to 9 units per acre as described in the Comprehensive Plan.

3. Does the proposal put the property to use in a reasonable manner?

**Finding:** The proposal would put the subject properties to use in a reasonable manner. Both the Comprehensive Plan and the purpose and intent of the R-4 zoning district allow for single-family dwelling units, so the request to split one lot into two for the construction of two single homes is reasonable.

4. Are there unique circumstances to the property not created by the landowner?

**Finding:** There are unique circumstances to the property that were not created by the landowner. A majority of the properties along Shady Lane were platted as 50 foot wide lots, including the subject site. Current zoning standards do not reflect how the neighborhood was developed.

5. Will the variance, if granted, alter the essential character of the locality?

**Finding:** Granting the requested variance will not alter the essential character of the neighborhood. Nine of the 15 residential lots that front Shady Lane are 50 feet in width, 4 of the lots range between 55 and 60 feet, and only one other lot on the street, besides the subject

site, is 100 feet in width. The proposed 50 foot wide lots will be consistent with the surrounding neighborhood.

### **RECOMMENDATION**

Staff recommends approval of the request subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Within 6 months after the approval of the survey by the City, the applicant shall record the survey, along with the instruments of conveyance with the County Land Records Office, or the subdivision shall become null and void.
3. The resolution of approval shall be recorded against both properties and notice of these conditions shall be provided as condition of the sale of any lot.
4. The applicant shall provide the City with proof of recording (receipt) as evidence of compliance with conditions #2 and #3. Within 120 days after the date of recording, the applicant shall provide the City Planner with a final recorded copy of the Certificate of Survey.
5. The applicant shall agree to reapportion any pending or actual assessments on the original parcel or lot of recording in accordance with the original assessment formula on the newly approved parcels, as per the City of White Bear Lake finance office schedules.
6. Durable iron monuments shall be set at the intersection points of the new lot lines with existing lot lines. The applicant shall have one year from the date of Council approval in which to set the monuments.
7. The park dedication fee shall be collected for Parcel B at the time when a building permit is issued.
8. Metropolitan Council SAC (Sewer Availability Charge) and WAC (Water Availability Charge) and City SAC and WAC shall be due at the time of building permit for Parcel B.
9. Water and sewer hook-up fees shall be collected at the time when a building permit is issued for Parcel B.
10. A tree preservation plan shall be submitted for review and approval prior to the issuance of a building permit for new construction on either parcel.

### **Attachments:**

Draft Resolution of Approval

Zoning/Location Map

Applicant's Narrative (1 Page) & Plans (6 pages)



**RESOLUTION NO.**

**RESOLUTION GRANTING A MINOR SUBDIVISION AND TWO VARIANCES  
FOR 4593 SHADY LANE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, Karen Dalke has requested a minor subdivision, per code section 1407.030 and two 30 foot variances from the 80 foot minimum lot width requirement, per section 1303.230, subd.5.a.2, in order to split one lot into two at the following location:

LEGAL DESCRIPTION: Attached as Exhibit A.

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on April 24, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that, in relation to the minor subdivision, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with the existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED** by the City Council of the City of White Bear Lake, Minnesota that, in relation to the variances, the City Council accepts and adopts the following findings of the Planning Commission:

7. The requested variances are in harmony with purposes and intent of the ordinance.
8. The requested variances are consistent with the 2040 Comprehensive Plan.
9. Granting the requested variances will allow the property to be used in a reasonable manner.
10. There are unique circumstances to the property not created by the landowner.
11. Granting the requested variances alone will not alter the essential character of the neighborhood.

**RESOLUTION NO.**

**BE IT FURTHER RESOLVED,** that the City Council of the City of White Bear Lake hereby approves the requested subdivision and variances, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Within 6 months after the approval of the survey by the City, the applicant shall record the survey, along with the instruments of conveyance with the County Land Records Office, or the subdivision shall become null and void.
3. The resolution of approval shall be recorded against both properties and notice of these conditions shall be provided as condition of the sale of any lot.
4. The applicant shall provide the City with proof of recording (receipt) as evidence of compliance with conditions #2 and #3. Within 120 days after the date of recording, the applicant shall provide the City Planner with a final recorded copy of the Certificate of Survey.
5. The applicant shall agree to reapportion any pending or actual assessments on the original parcel or lot of recording in accordance with the original assessment formula on the newly approved parcels, as per the City of White Bear Lake finance office schedules.
6. Durable iron monuments shall be set at the intersection points of the new lot lines with existing lot lines. The applicant shall have one year from the date of Council approval in which to set the monuments.
7. The park dedication fee shall be collected for Parcel B at the time when a building permit is issued.
8. Metropolitan Council SAC (Sewer Availability Charge) and WAC (Water Availability Charge) and City SAC and WAC shall be due at the time of building permit for Parcel B.
9. Water and sewer hook-up fees shall be collected at the time when a building permit is issued for Parcel B.
10. A tree preservation plan shall be submitted for review and approval prior to the issuance of a building permit for new construction on either parcel.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
Nays:  
Passed:

\_\_\_\_\_  
Dan Louismet, Mayor

**ATTEST:**

\_\_\_\_\_  
Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

**RESOLUTION NO.**

I have read and agree to the conditions of this resolution as outlined above.

---

Applicant's Signature

Date

**RESOLUTION NO.**

**EXHIBIT A**

**EXISTING LEGAL DESCRIPTION**

Lot 9, Wampler's Lakeside Re-Arrangement and the Northeasterly 15 feet of that part of Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. lying between the extended Northwesterly and Southeasterly line of said Lot 9, according to the recorded plat thereof; Ramsey County, Minnesota.

And

All that part of Lots 1, 2, 3 and 4, Sarah Marchand's Addition to White Bear Lake, Minn., described as follows: Beginning at the Southwesterly corner of lot 10, Wampler's Lakeside Addition to White Bear; thence Southwesterly on the extended Southeasterly line of said Lot 10 to the Easterly line of Murray's Rearrangement; thence Northerly on the Easterly line of said Murray's Re-Arrangement to the Southerly line of Lot 7, Wampler's Lakeside Re-Arrangement; thence Northeasterly on the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to the Easterly line of Lot 3, Sarah Marchand's Addition to White Bear Lake, Minn.; thence Southerly on the Easterly line of said Lot 3, 50.42 feet to a point on the extended Northerly line of Lot 9, Wampler's Lakeside Re-Arrangement; thence Northeasterly and parallel to the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to a point 15 feet Westerly of the Northwesterly corner of Lot 9, Wampler's Lakeside Re-Arrangement; thence Southeasterly and parallel to the Westerly line of said Lot 9, Wampler's Lakeside Re-Arrangement, to a point on the extended Southerly line of said Lot 9; thence Northeasterly on the extended Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement to the Southwesterly corner of said Lot 9; thence Southeasterly on the Easterly line of said Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. to the place of beginning, and Lot 10, Wampler's Lakeside Addition to White Bear (Wampler's Lakeside Re-Arrangement). Ramsey County, Minnesota

**PROPOSED LEGAL DESCRIPTIONS**

**LOT 1**

Parcel A

Lot 9, Wampler's Lakeside Re-Arrangement and the Northeasterly 15 feet of that part of Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. lying between the extended Northwesterly and Southeasterly line of said Lot 9, according to the recorded plat thereof, Ramsey County, Minnesota.

Parcel B

All that part of Lots 1, 2, 3 and 4, Sarah Marchand's Addition to White Bear Lake, Minn., described as follows: Beginning at the Southwesterly corner of Lot 10, Wampler's Lakeside Addition to White Bear; thence Southwesterly on the extended Southeasterly line of said Lot 10 to the Easterly line of Murray's Rearrangement; thence Northerly on the Easterly line of said Murray's Rearrangement to the Southerly line of Lot 7, Wampler's Lakeside Re-Arrangement; thence Northeasterly on the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to the Easterly line of Lot 3, Sarah Marchand's Addition to White Bear Lake, Minn.; thence Southerly on the Easterly line of said Lot 3, 50.42 feet to a point on the extended Northerly line of Lot 9, Wampler's Lakeside Re-Arrangement; thence Northeasterly and parallel to the

## **RESOLUTION NO.**

Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to a point 15 feet Westerly of the Northwestern corner of Lot 9, Wampler's Lakeside Re-Arrangement; thence Southeasterly and parallel to the Westerly line of said Lot 9, Wampler's Lakeside Re-Arrangement, to a point on the extended Southerly line of said Lot 9; thence Northeasterly on the extended Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement to the Southwesterly corner of said Lot 9; thence Southeasterly on the Easterly line of said Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. to the place of beginning, and Lot 10, Wampler's Lakeside Addition to White Bear (Wampler's Lakeside Re-Arrangement). Ramsey County, Minnesota.  
Except the southeasterly 50.00 feet thereof.

### **LOT 2**

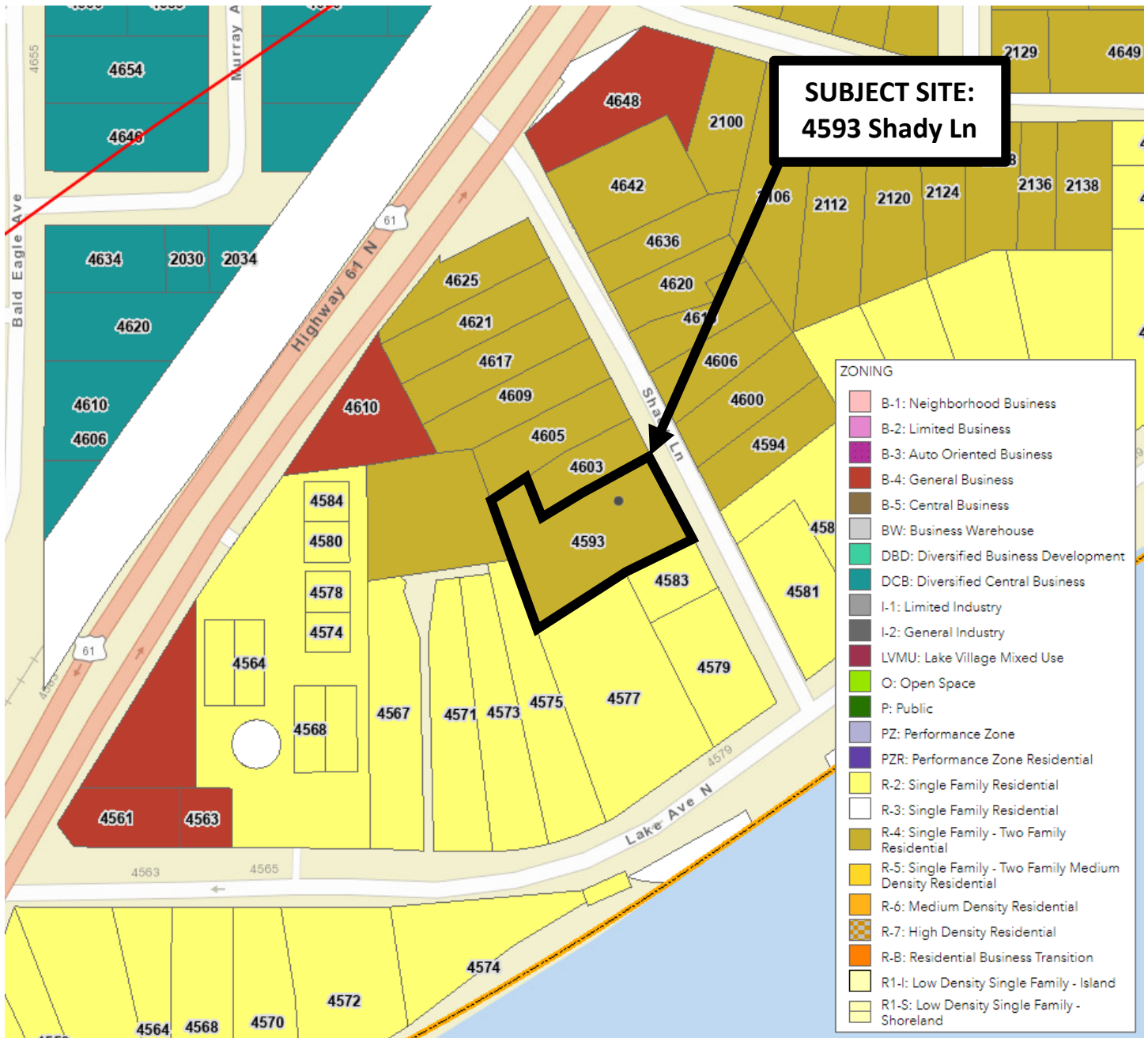
The southeasterly 50.00 feet of the following described parcels:

Parcel A

Lot 9, Wampler's Lakeside Re-Arrangement and the Northeasterly 15 feet of that part of Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. lying between the extended Northwesternly and Southeasterly line of said Lot 9, according to the recorded plat thereof, Ramsey County, Minnesota.

Parcel B

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City of  
White Bear Lake  
Planning & Zoning  
651-429-8561

**CASE NO.** : 23-11-LS & V

**CASE NAME** : 4593 Shady Lane Lot Split

**DATE** : 4-24-2023



03-10-23

RE: 4563 Shady Lane, White Bear Lake

On behalf of client Karen Dalke, the Charles Cudd Co is asking for a variance at 4593 Shady Lane. We request the property to be allowed to be split back into two fifty-foot-wide lots that would be congruent with the neighboring properties. We have developed a small architectural cottage home that will conform with the essence of the community and not construct the “mac-mansion” style home that could be built on this property which other cities have allowed in their existing communities. Bringing this property back to 50 ft wide will ensure the essential character of the local neighborhood.

John Sonnek

A handwritten signature in blue ink, appearing to read "JRS", is positioned below the name "John Sonnek".

VP of Construction

Charles Cudd Co.

15050 23rd Ave North

Plymouth, MN 55447

DESCRIPTION OF PROPERTY SURVEYED

Parcel A

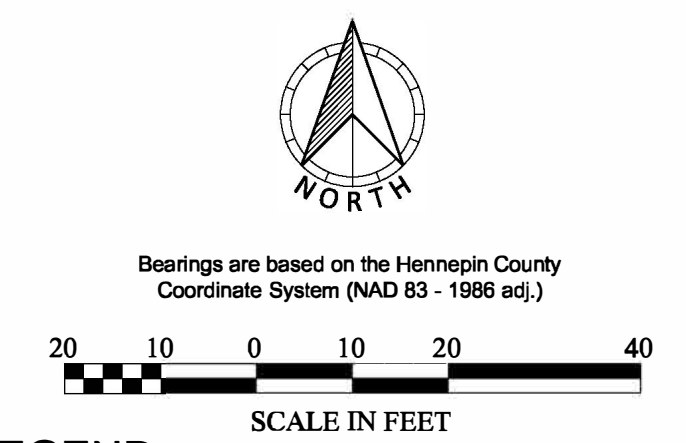
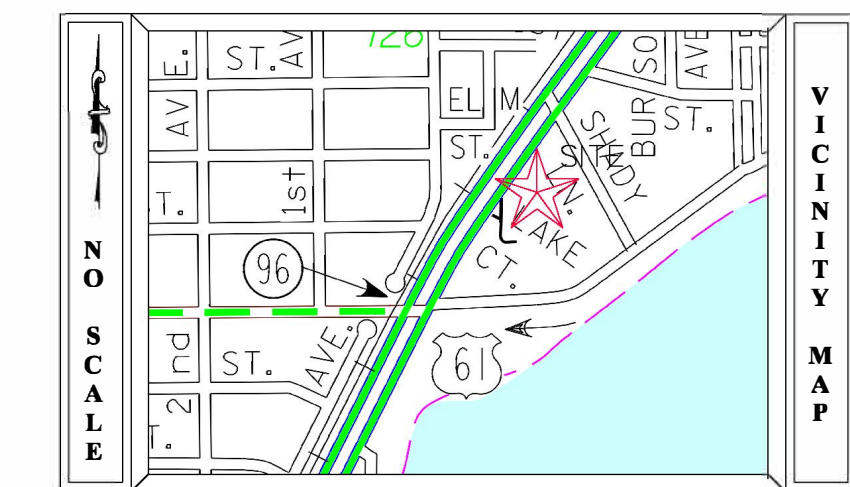
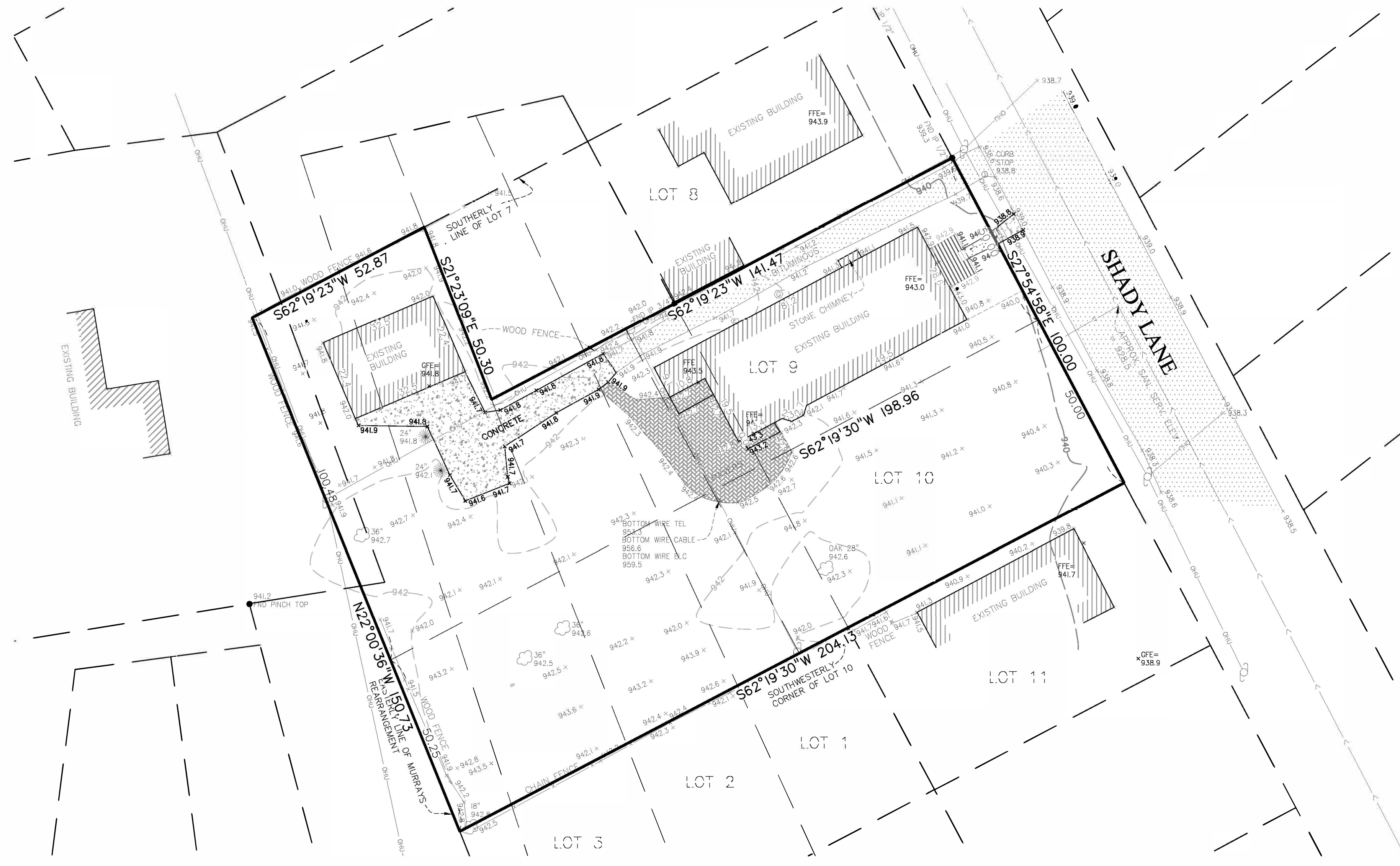
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Parcel B

All that part of Lots 1, 2, 3 and 4, Sarah Marchand's Addition to White Bear Lake, Minn., described as follows: Beginning at the Southwesterly corner of Lot 10, Wampler's Lakeside Addition to White Bear; thence Southwesterly on the extended Southwesterly line of said Lot 10 to the Easterly line of Murray's Rearrangement; thence Northerly on the Easterly line of said Murray's Rearrangement to the Southerly line of Lot 7, Wampler's Lakeside Re-Arrangement; thence Northeasterly on the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to the Easterly line of Lot 3, Sarah Marchand's Addition to White Bear Lake, Minn.; thence Southerly on the Easterly line of said Lot 3, 50.42 feet to a point on the extended Northerly line of Lot 9, Wampler's Lakeside Re-Arrangement; thence Northeasterly and parallel to the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to a point 15 feet Westerly of the Northwesterly corner of Lot 9, Wampler's Lakeside Re-Arrangement; thence Southeastery and parallel to the Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement, to a point on the extended Southerly line of said Lot 9; thence Northeasterly on the extended Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement to the Southwesterly corner of said Lot 9; thence Southeastery on the Easterly line of said Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. to the place of beginning, and Lot 10, Wampler's Lakeside Addition to White Bear (Wampler's Lakeside Re-Arrangement). Ramsey County, Minnesota.

STANDARD NOTES

- Site Address: 4593 Shady Lane, White Bear Lake, Minnesota 55110
  - A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
  - Flood Zone Information: X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27123C0035G, effective date of June, 4th 2010.
  - Parcel Area Information: Gross Area: 22,525.6 ~ 0.517 acres  
\*We do not affirmatively insure the quantity of acreage set forth in the description.
  - Benchmark: Elevations are based on MN/DOT Geodetic Station Name: NAPA MNDT which has an elevation of: 941.862 feet (NAVD88).
  - Zoning Information: The current Zoning for the subject property is R-4 (Single Family - Two Family Residential) per the City of White Bear Lake's zoning map. The setback, height, and floor space area restrictions for said zoning designation are as follows:  
Principal Structure Setbacks - Street(s): 25 feet (Shady Lane)  
Side: 10 feet  
Rear: 30 feet  
Height: 35 feet  
Hardcover: 30 percent of lot area  
Minimum Lot Requirements  
Lot Area: 7,200 s.f.  
Lot Width: 60 feet
- \*Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process prior to any planning or construction.
- We have not received the current zoning classification and building setback requirements from the insurer.
- Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.



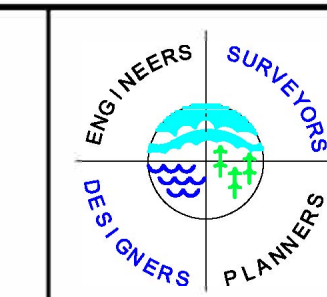
**SURVEY LEGEND**

<ul style="list-style-type: none"> <li>● CAST IRON MONUMENT</li> <li>○ IRON PIPE MONUMENT SET</li> <li>● IRON PIPE MONUMENT FOUND</li> <li>● DRILL HOLE FOUND</li> <li>✕ CHISELED "X" MONUMENT SET</li> <li>✕ CHISELED "X" MONUMENT FOUND</li> <li>▲ REBAR MONUMENT FOUND</li> <li>▲ PK NAIL MONUMENT FOUND</li> <li>○ PK NAIL W/ ALUMINUM DISC</li> <li>△ SURVEY CONTROL POINT</li> <li>□ A/C UNIT</li> <li>○ CABLE TV PEDESTAL</li> <li>⊕ ELECTRIC TRANSFORMER</li> <li>⊕ ELECTRIC MANHOLE</li> <li>⊕ ELECTRIC METER</li> <li>⊕ ELECTRIC OUTLET</li> <li>⊕ YARD LIGHT</li> <li>⊕ LIGHT POLE</li> <li>⊕ FIBER OPTIC MANHOLE</li> <li>⊕ FIRE DEPT. HOOK UP</li> <li>⊕ FLAG POLE</li> <li>⊕ FUEL PUMP</li> <li>⊕ FUEL TANK</li> <li>⊕ PROPANE TANK</li> <li>⊕ GAS METER</li> <li>⊕ GAS VALVE</li> <li>⊕ GAS MANHOLE</li> <li>⊕ GENERATOR</li> <li>⊕ GUARD POST</li> <li>⊕ HAND HOLE</li> <li>⊕ MAIL BOX</li> </ul>	<ul style="list-style-type: none"> <li>⊕ PIEZOMETER</li> <li>⊕ POWER POLE</li> <li>⊕ CUI WIRE</li> <li>⊕ ROOF DRAIN</li> <li>⊕ LIFT STATION</li> <li>⊕ SANITARY MANHOLE</li> <li>⊕ SANITARY CLEANOUT</li> <li>⊕ STORM MANHOLE</li> <li>⊕ STORM DRAIN</li> <li>⊕ CATCH BASIN</li> <li>⊕ FLARED END SECTION</li> <li>⊕ TREE CONIFEROUS</li> <li>⊕ TREE DECIDUOUS</li> <li>⊕ TREE CONIFEROUS REMOVED</li> <li>⊕ TREE DECIDUOUS REMOVED</li> <li>⊕ TELEPHONE MANHOLE</li> <li>⊕ TELEPHONE PEDESTAL</li> <li>⊕ UTILITY MANHOLE</li> <li>⊕ UTILITY PEDESTAL</li> <li>⊕ UTILITY VAULT</li> <li>⊕ WATERMAIN MANHOLE</li> <li>⊕ WATER METER</li> <li>⊕ WATER SPIGOT</li> <li>⊕ WELL</li> <li>⊕ MONITORING WELL</li> <li>⊕ CURB STOP</li> <li>⊕ GATE VALVE</li> <li>⊕ HYDRANT</li> <li>⊕ IRRIGATION VALVE</li> <li>⊕ POST INDICATOR VALVE</li> <li>⊕ SIGN</li> <li>⊕ SOIL BORING</li> </ul>	<ul style="list-style-type: none"> <li>WOE WALKOUT ELEVATION</li> <li>FFE FIRST FLOOR ELEVATION</li> <li>GFE GARAGE FLOOR ELEVATION</li> <li>TOF TOP OF FOUNDATION ELEV.</li> <li>LOE LOWEST OPENING ELEV.</li> <li>CONCRETE</li> <li>BITUMINOUS</li> <li>BUILDING SETBACK LINE</li> <li>CTV CABLE TV</li> <li>CONCRETE CURB</li> <li>CONTOUR EXISTING</li> <li>CONTOUR PROPOSED</li> <li>GUARD RAIL</li> <li>DT DRAIN TILE</li> <li>ELC ELECTRIC UNDERGROUND</li> <li>FENCE</li> <li>FD FIBER OPTIC UNDERGROUND</li> <li>GAS GAS UNDERGROUND</li> <li>OHU OVERHEAD UTILITY</li> <li>TREE LINE</li> <li>SS SANITARY SEWER</li> <li>SS STORM SEWER</li> <li>TEL TELEPHONE UNDERGROUND</li> <li>RETAINING WALL</li> <li>UTL UTILITY UNDERGROUND</li> <li>WATERMAIN</li> <li>TRAFFIC SIGNAL</li> <li>RAILROAD TRACKS</li> <li>RAILROAD SIGNAL</li> <li>RAILROAD SWITCH</li> <li>SATELLITE DISH</li> <li>WETLAND BUFFER SIGN</li> </ul>
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FIELD CREW	NO.	BY	DATE	REVISION
DM DR ML EJ				
DRAWN				
JPR/EJ				
CHECKED				
DLS				
DATE				
3/2/23				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
Dated this 10th day of March 2023.  
**DRAFT 03-10-23**  
Daniel L. Schmidt, PLS  
schmidt@sathre.com  
Minnesota License No. 26147



**SATHRE-BERGQUIST, INC.**  
14000 25TH AVENUE NORTH, SUITE 120  
PLYMOUTH MN 55447 (952) 476-6000  
WWW.SATHRE.COM

TWP:30-RGE:22-SEC.14  
Ramsey County  
**WHITE BEAR LAKE,  
MINNESOTA**

**CERTIFICATE OF SURVEY**  
PREPARED FOR:  
**CHARLES CUDD**

FILE NO.  
1830-019  
**1**  
**1**



DESCRIPTION OF PROPERTY SURVEYED

Parcel A

Lot 9, Wampler's Lakeside Re-Arrangement and the Northeasterly 15 feet of that part of Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. lying between the extended Northwestery and Southeastery line of said Lot 9, according to the recorded plat thereof, Ramsey County, Minnesota.

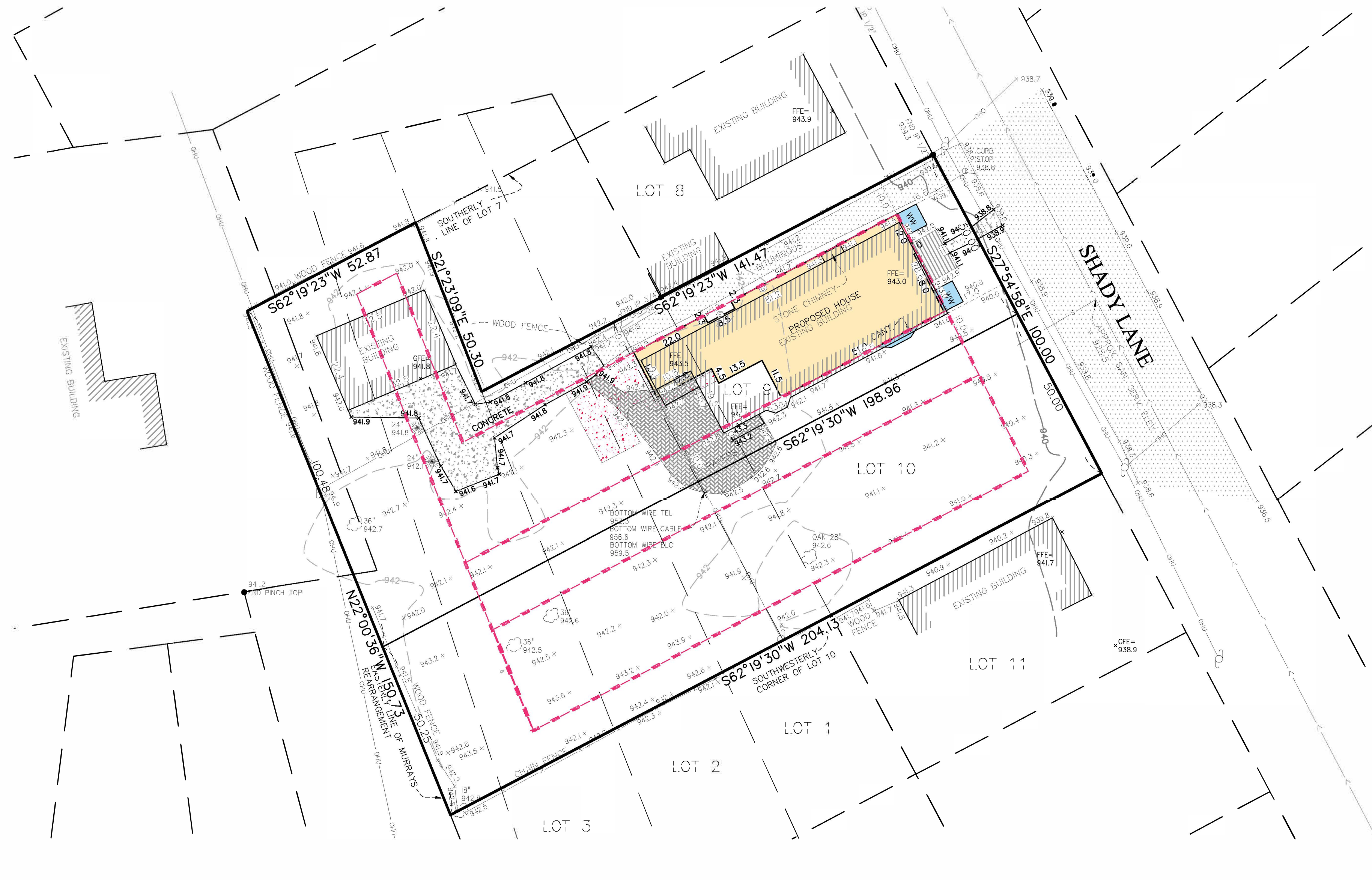
Parcel B

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	Rear: 30 feet	Lot Width: 60 feet
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PROPOSED LEGAL DESCRIPTION

Lot 1: Parcel A  
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Parcel B

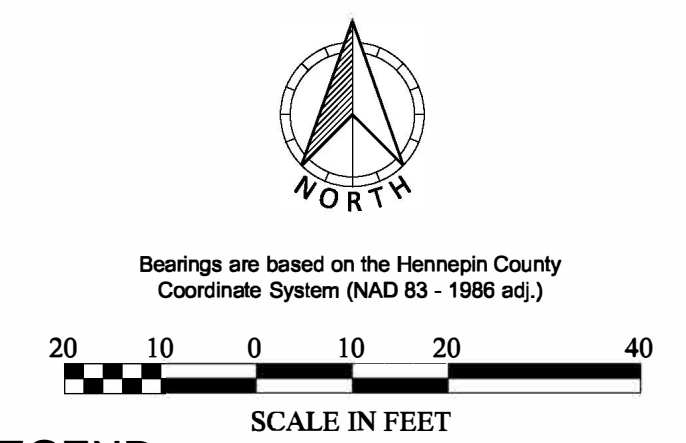
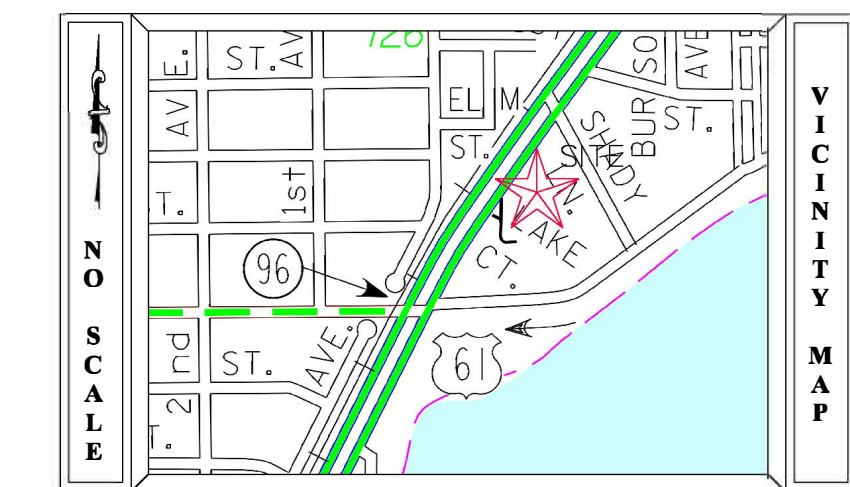
All that part of Lots 1, 2, 3 and 4, Sarah Marchand's Addition to White Bear Lake, Minn., described as follows: Beginning at the Southwestery corner of Lot 10, Wampler's Lakeside Addition to White Bear; thence Southwestery on the extended Southeastery line of said Lot 10 to the Easterly line of Murray's Rearrangement; thence Northerly on the Easterly line of said Murray's Rearrangement to the Southerly line of Lot 7, Wampler's Lakeside Re-Arrangement; thence Northeasterly on the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to the Easterly line of Lot 3, Sarah Marchand's Addition to White Bear Lake, Minn.; thence Southerly on the Easterly line of said Lot 3, 50.42 feet to a point on the extended Northerly line of Lot 9, Wampler's Lakeside Re-Arrangement; thence Northeasterly and parallel to the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to a point 15 feet Westerly of the Northwestery corner of Lot 9, Wampler's Lakeside Re-Arrangement; thence Southeastery and parallel to the Westerly line of said Lot 9, Wampler's Lakeside Re-Arrangement, to a point on the extended Southerly line of said Lot 9; thence Northeasterly on the extended Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement to the Southwestery corner of said Lot 9; thence Southeastery on the Easterly line of said Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. to the place of beginning, and Lot 10, Wampler's Lakeside Addition to White Bear (Wampler's Lakeside Re-Arrangement). Ramsey County, Minnesota.

Except the southeasterly 50.00 feet thereof.

Lot 2: The southeasterly 50.00 feet of the following described parcels:

Parcel A  
Lot 9, Wampler's Lakeside Re-Arrangement and the Northeasterly 15 feet of that part of Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. lying between the extended Northwestery and Southeastery line of said Lot 9, according to the recorded plat thereof, Ramsey County, Minnesota.

Parcel B  
All that part of Lots 1, 2, 3 and 4, Sarah Marchand's Addition to White Bear Lake, Minn., described as follows: Beginning at the Southwestery corner of Lot 10, Wampler's Lakeside Addition to White Bear; thence Southwestery on the extended Southeastery line of said Lot 10 to the Easterly line of Murray's Rearrangement; thence Northerly on the Easterly line of said Murray's Rearrangement to the Southerly line of Lot 7, Wampler's Lakeside Re-Arrangement; thence Northeasterly on the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to the Easterly line of Lot 3, Sarah Marchand's Addition to White Bear Lake, Minn.; thence Southerly on the Easterly line of said Lot 3, 50.42 feet to a point on the extended Northerly line of Lot 9, Wampler's Lakeside Re-Arrangement; thence Northeasterly and parallel to the Southerly line of said Lot 7, Wampler's Lakeside Re-Arrangement, to a point 15 feet Westerly of the Northwestery corner of Lot 9, Wampler's Lakeside Re-Arrangement; thence Southeastery and parallel to the Westerly line of said Lot 9, Wampler's Lakeside Re-Arrangement, to a point on the extended Southerly line of said Lot 9; thence Northeasterly on the extended Southerly line of said Lot 9, Wampler's Lakeside Re-Arrangement to the Southwestery corner of said Lot 9; thence Southeastery on the Easterly line of said Lot 1, Sarah Marchand's Addition to White Bear Lake, Minn. to the place of beginning, and Lot 10, Wampler's Lakeside Addition to White Bear (Wampler's Lakeside Re-Arrangement). Ramsey County, Minnesota.



**SURVEY LEGEND**

● CAST IRON MONUMENT	⊕ PIEZOMETER	WOE WALKOUT ELEVATION
● IRON PIPE MONUMENT SET	⊖ POWER POLE	FFE FIRST FLOOR ELEVATION
● DRILL HOLE FOUND	< GUY WIRE	GFE GARAGE FLOOR ELEVATION
⊗ CHISELED "X" MONUMENT SET	⊖ ROOF DRAIN	TOF TOP OF FOUNDATION ELEV.
⊗ CHISELED "X" MONUMENT FOUND	⊖ LIFT STATION	LOE LOWEST OPENING ELEV.
⊗ REBAR MONUMENT FOUND	⊖ SANITARY MANHOLE	CONCRETE
⊗ PK NAIL MONUMENT SET	⊖ SANITARY CLEANOUT	BITUMINOUS
⊗ PK NAIL MONUMENT FOUND	⊖ STORM MANHOLE	BUILDING SETBACK LINE
⊗ PK NAIL W/ ALUMINUM DISC	⊖ STORM DRAIN	CABLE TV
⊗ SURVEY CONTROL POINT	⊖ CATCH BASIN	CONCRETE CURB
⊗ A/R UNIT	⊖ FLARED END SECTION	CONTOUR EXISTING
⊗ CABLE TV PEDESTAL	⊖ TREE CONIFEROUS	CONTOUR PROPOSED
⊗ ELECTRIC TRANSFORMER	⊖ TREE DECIDUOUS	GUARD RAIL
⊗ ELECTRIC MANHOLE	⊖ TREE CONIFEROUS REMOVED	DT DRAIN TILE
⊗ ELECTRIC METER	⊖ TREE DECIDUOUS REMOVED	ELC ELECTRIC UNDERGROUND
⊗ ELECTRIC OUTLET	⊖ TELEPHONE MANHOLE	FENCE
⊗ LIGHT POLE	⊖ TELEPHONE PEDESTAL	FG FIBER OPTIC UNDERGROUND
⊗ FIBER OPTIC MANHOLE	⊖ UTILITY MANHOLE	GA GAS UNDERGROUND
⊗ FIRE DEPT. HOOK UP	⊖ UTILITY PEDESTAL	OHU OVERHEAD UTILITY
⊗ FLAG POLE	⊖ UTILITY VAULT	TR LINE
⊗ FUEL PUMP	⊖ WATERMAIN MANHOLE	SS SANITARY SEWER
⊗ FUEL TANK	⊖ WATER METER	STW STORM SEWER
⊗ PROpane TANK	⊖ WATER SPIGOT	TEL TELEPHONE UNDERGROUND
⊗ GAS METER	⊖ WELL	RETAINING WALL
⊗ GAS VALVE	⊖ MONITORING WELL	UTL UTILITY UNDERGROUND
⊗ GAS MANHOLE	⊖ CURB STOP	WM WATERMAIN
⊗ GENERATOR	⊖ GATE VALVE	TRF TRAFFIC SIGNAL
⊗ GUARD POST	⊖ HYDRANT	RRR RAILROAD TRACKS
⊗ HAND HOLE	⊖ IRRIGATION VALVE	RRS RAILROAD SIGNAL
⊗ MAIL BOX	⊖ POST INDICATOR VALVE	RRS RAILROAD SWITCH
	⊖ SIGN	SAT SATELLITE DISH
	⊖ SOIL BORING	WBW WETLAND BUFFER SIGN

FIELD CREW	NO.	BY	DATE	REVISION
DM DR ML EJ				
DRAWN				
JPR/EJ				
CHECKED				
DLS				
DATE				
3/2/23				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.  
Dated this 10th day of March 2023.  
**DRAFT 03-10-23**  
Daniel L. Schmidt, PLS  
schmidt@sathre.com  
Minnesota License No. 26147

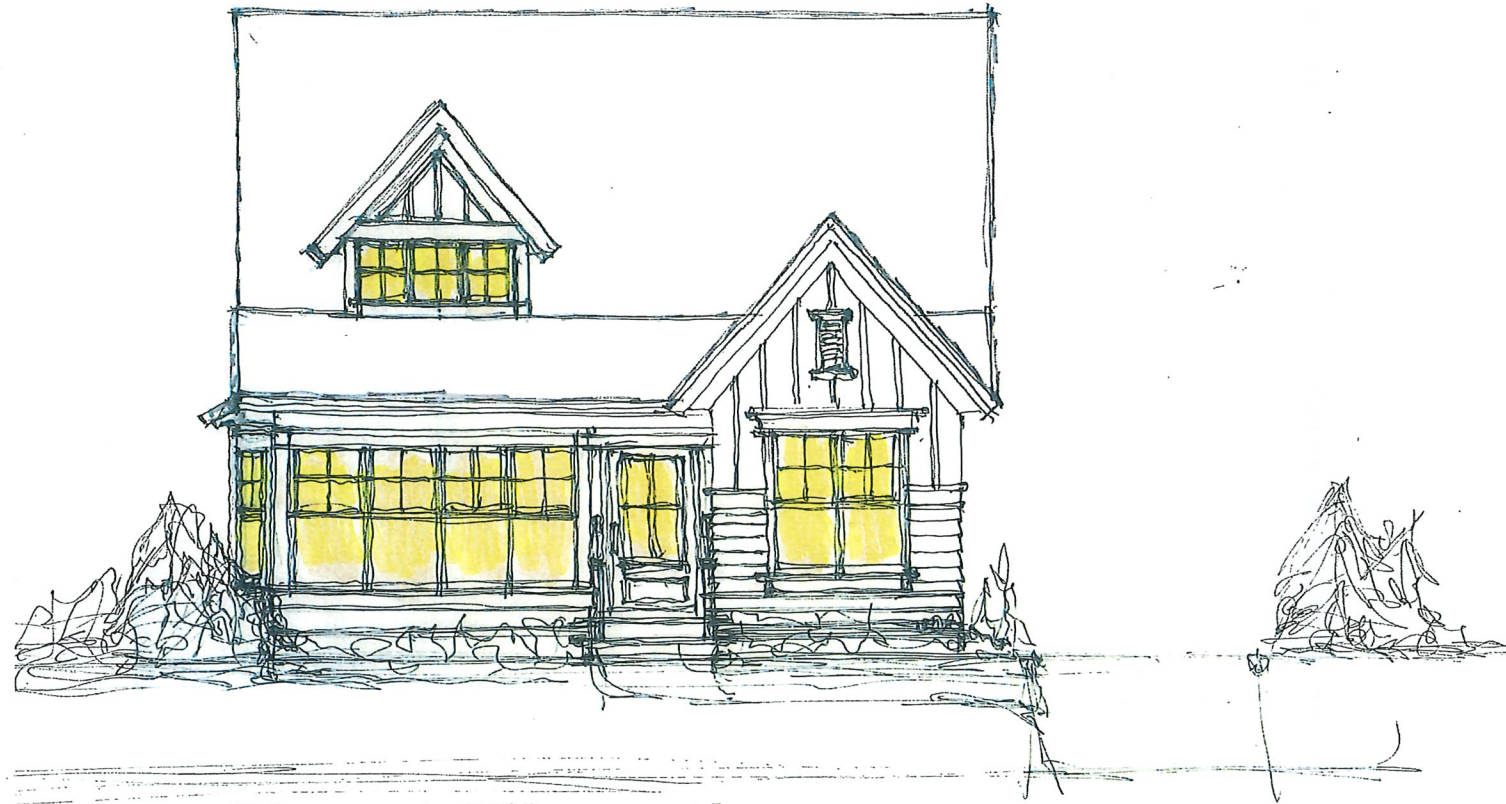
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ENGINEERS SURVEYORS  
DESIGNERS PLANNERS

TWP:30-RGE:22-SEC.14  
Ramsey County  
WHITE BEAR LAKE,  
MINNESOTA

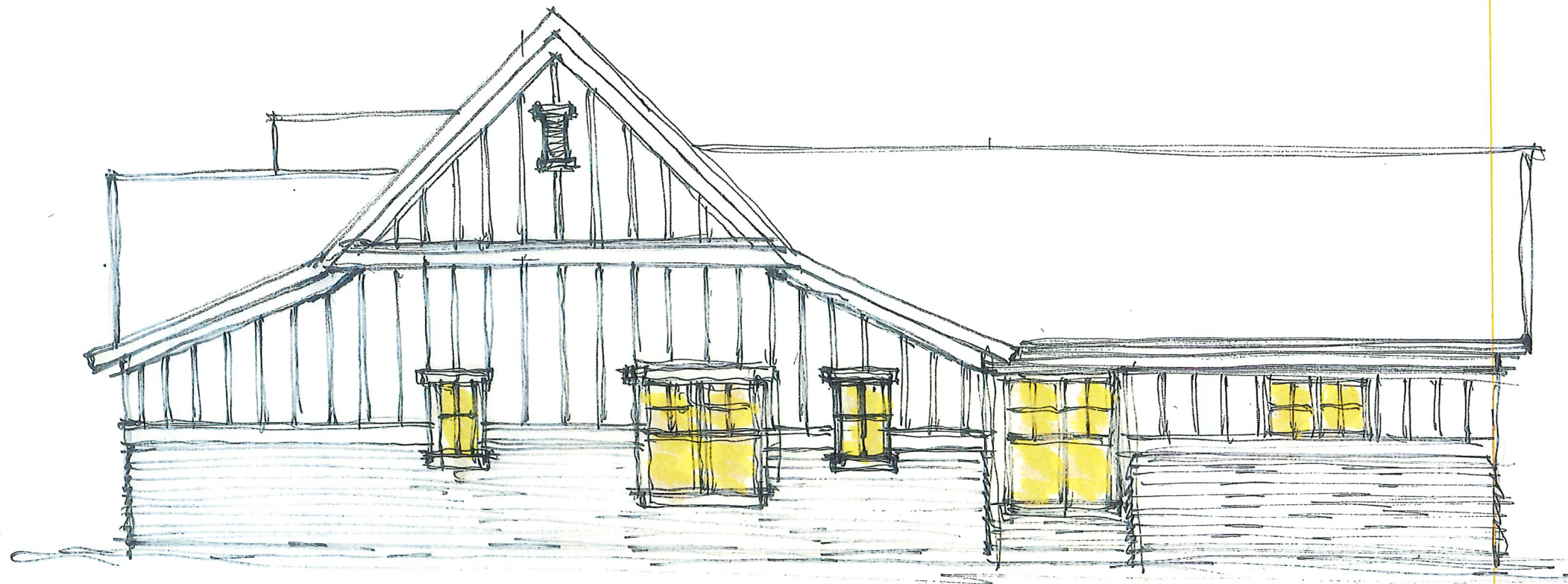
**CERTIFICATE OF SURVEY**  
PREPARED FOR:  
**CHARLES CUDD**

FILE NO.  
1830-019  
**1**  
**1**



Front Elevation

Charles Cudd Co.  
Job # 5289 - Dalke, Karen  
4593 Shady Lane, White Bear Lake, MN 55110



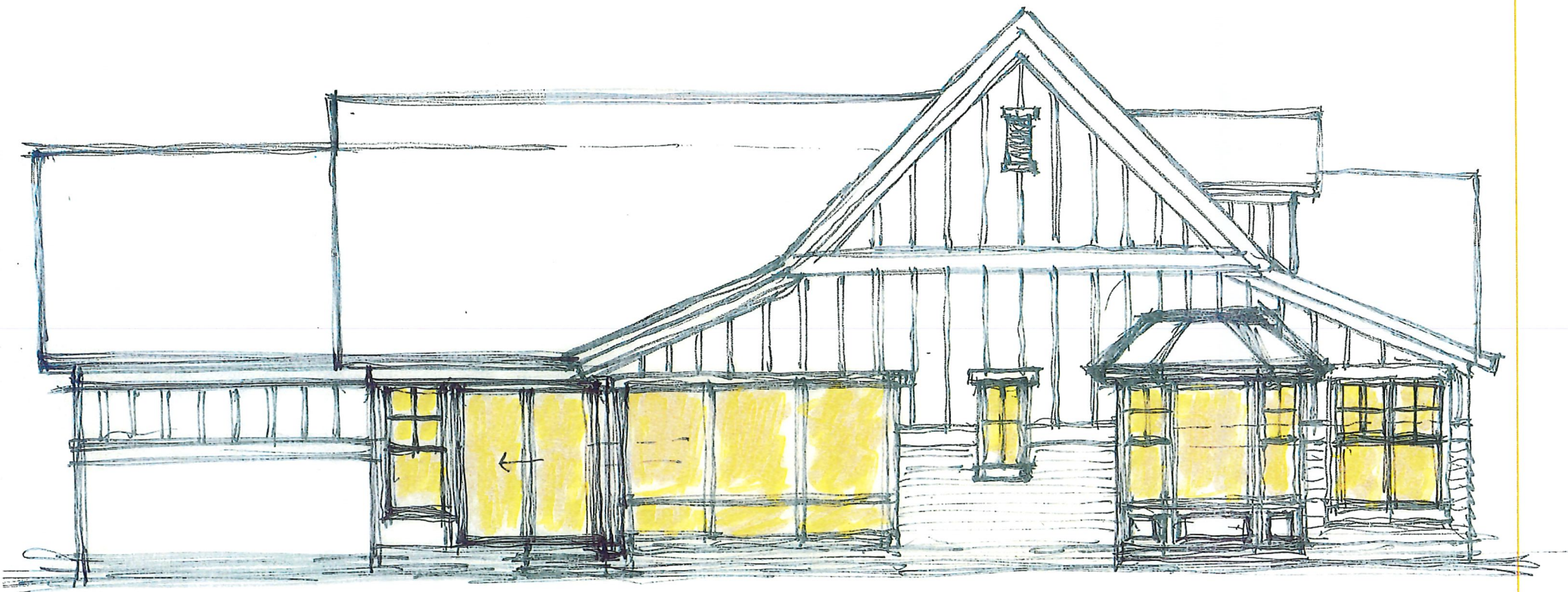
## Right Elevation

Charles Cudd Co.  
Job # 5289 - Dalke, Karen  
4593 Shady Lane, White Bear Lake, MN 55110



## Rear Elevation

Charles Cudd Co.  
Job # 5289 - Dalke, Karen  
4593 Shady Lane, White Bear Lake, MN 55110



Left Elevation

Charles Cudd Co.  
Job # 5289 - Dalke, Karen  
4593 Shady Lane, White Bear Lake, MN 55110



**City of White Bear Lake**  
Community Development Department

# M E M O R A N D U M

**TO:** Planning Commission  
**FROM:** Jason Lindahl AICP, Community Development Director  
**DATE:** April 24, 2023  
**SUBJECT:** 2502 County Road E Concept Plan Review - Case No. 23-13-PUD

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## SUMMARY

The applicant, Element Design Build, requests rezoning and both General and Develop Stage planned unit development (PUD) approvals to redevelop the vacant commercial site located at 2502 County Road E. The proposal would redevelop this vacant gas station site into 17 residential units. As proposed, the site would include two separate buildings - a 14-unit, 3-story apartment building and a 3-unit, 2.5-story rowhouse building. Both the apartment and rowhouse buildings would include their own internal parking and the site would share a 12-stall surface parking lot. Based on the findings detailed in this report, staff recommends approval of the requested rezoning and both the General and Development Stage PUD applications.

## GENERAL INFORMATION

Applicant/Owner: Ryan McKilligan, Element Design-Build

Existing Land Use / Zoning: Vacant Commercial Gas Station/B-3, Auto Oriented Business

Surrounding Land Use /Zoning: North and West - Commercial, South & East - Low Density Residential/  
North – B-3, Auto Oriented Business, West – B-2, Limited Business, South & East – R-5, Single Family Residential

Comprehensive Plan: North and West - Neighborhood Mixed Use, South & East - Low Density Residential

Lot Size & Width: Current Zoning - B-3, Auto Oriented Business: None & 100'  
Anticipated Zoning – R-6, Medium Density Residential: 3,600 Sq. Ft./Unit & 100'

## BACKGROUND INFORMATION

Current Site Description. The subject property is 0.67-acre (approximately 29,185 square feet) in size and located at 2502 County Road E which is in the southeast quadrant of the County Road E and Bellaire Avenue intersection. Building permit data shows the subject property has been used as a gas station since approximately 1971 with the existing gas station build constructed in 1985. City records indicate water service to the property ceased 13 years ago in December of 2009 and the fuel tanks

were removed from the site in 2016. The city has no other records indicating an authorized use of the property since 2009.

Redevelopment Proposal. The applicant proposes to redevelop the vacant commercial (gas station) use into a total 17 residential units in two different building types. Fourteen of the proposed units would be in a three-story apartment building positioned on the northern half of the site adjacent to County Road E. The remaining three units would be in a 2.5 story rowhouse style building located in the southwest corner of the property adjacent to Bellaire Avenue. The site also includes a courtyard amenity space for outdoor recreation, a 25' greenspace buffer along the entire east side of the site and a 12-stall surface parking.

According to the applicant, the overall layout is intentionally designed to focus the most intense use of the site along County Road E and Bellaire Avenue and then transition to a surface parking lot adjacent to the residential neighborhood to the east and south. The highest part of the proposed apartment building is three stories which is limited to the portion of the building immediately adjacent to the corner of County Rd E and Bellaire Ave. From the prominent point of the intersection, the apartment building steps down to two-stories along County Road E to the eastern property line and to 2.5 story rowhouse along Bellaire Avenue to the southern property line. The buildings are then buffered from the adjacent residential neighborhood by a shared surface parking lot and a 25' green space with a stormwater bioswale, landscaping and a 6' privacy fence. This design was intended to create a natural transition to the surrounding single-family neighborhoods.

Community Comment. Under state law and the City's zoning regulations, rezoning and PUD applications require a public hearing. Accordingly, the City published notice of this requests and the public hearing in the White Bear Press and mailed notice directly to all property owners within at least 350 feet of the subject property. In an effort to help ensure notification continuity, the notification distances were extended to around 1,100 feet. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing before the Planning Commission where they could learn about the request, ask questions and provide feedback. In addition, both the city and the applicant created project specific websites that included the applicant's plans and narrative, information on the city's review process and how to provide comment, and history on the prior concept plan review process.

As of the writing of this report, the city had received five comments or questions regarding this application. A summary of those comments is provided below and copies of any written comments are attached for your reference.

1. **Lee Branwell, 3583 Glen Oaks Avenue.** Mr. Branwell called staff to inquire about the applicant's submittal and the timeline for review by the Planning Commission and City Council. Mr. Branwell expressed his opposition to the development proposal.
2. **Larry & Judy Behm, 3511 Bellaire Avenue.** The Behms emailed staff (attached) to state their opposition to the development proposal with concerns about density, parking, and children living in the development playing in the streets.
3. **Collen Chermak, 3549 Bellaire Avenue.** Ms. Chermak emailed staff (attached) to express her opposition to the development proposal with concerns about parking and the impact on surrounding

streets.

4. **Bill and Roberta Kolesar, 3505 Glen Oaks Avenue.** The Kolesars emailed staff (attached) to state their opposition to the development proposal citing concerns with density, setback from the intersection, parking, trash storage and the potential for similar development on the surrounding corners.
5. **Ms. Nolls, 2571 Elm Drive.** Ms. Nolls called staff to state her excited for redevelopment of this site and to ask questions about the proposal, review timeline and stormwater impact on Peppertree Pond.

During the public hearing, staff will provide an update on all public comments received prior to the Planning Commission meeting.

Concept Plan Review Process. Prior to submitting the rezoning and PUD applications noted above, the property owner went through the city's concept plan review process. The concept plan review process does not result in any approvals. Rather, the applicant requests feedback from neighbors, the Planning Commission and the City Council on the proposals so they can work toward preparing a future, formal submittal. The concept plan review process schedule and a summary of the comments from those meetings are provided below.

**Neighborhood Meeting** – The applicant held their neighborhood meeting on February 2, 2023 at Redeemer Lutheran Church which is located at 3770 Bellaire Avenue just north of the subject property. According to the sign-in sheet, 22 people attended the meeting. While some in attendance expressed support for the project, most voiced opposition based on concerns with the number of units, height of the building, parking, stormwater, snow storage and access from Jenson Avenue. In addition to the comments gathered through the neighborhood meeting, three individuals who did not identify themselves reached out to city staff by phone with questions. Of the three, one was opposed to the project with the other two stating they liked the concept plan review process and opportunity to provide comments and understood the proposed concept plan fit within the Mixed-Use future land use category of the 2040 Comprehensive Plan.

**Planning Commission Review & Comment.** The Planning Commission reviewed the concept plan during their February 27, 2023 regular meeting. The meeting included presentations from both staff and the developer as well as an opportunity for the public to provide comments. There were eight people who provided comments to the Planning Commission. Of these, five opposed to the project while three supported it. Those opposed to the project cited similar concerns as those at the neighborhood meeting. After some general discussion and questions of the applicant, all seven Planning Commissioners stated their general support for the concept proposal. Minutes from Planning Commission meeting can be reviewed on the city's website by [clicking here](#).

**City Council Review & Comment:** The City Council reviewed the concept plan during their March 14, 2023 regular meeting. Similar to the Planning Commission meeting, it included presentations from both staff and the developer as well as an opportunity for the public to provide comments. Four people provided comments to the City Council and all were opposed to the project citing concerns with



height, parking, stormwater management and tree removal. Overall, the Mayor and four of the five councilmembers expressed general support for the concept while one councilmember (Engstran) stated they were opposed to the project. Both minutes and the video recording of the City Council meeting can be reviewed on the city's website by [clicking here](#).

In response to the comments provided during the concept plan review process, the applicant has made the following revisions to their plans:

- Parking: Changes in site and building layout have allowed the project to achieve the city standard parking ratio of 2 spaces per unit with at least one space per unit enclosed. Additionally, the townhome units now add an additional six parking spaces that do not count towards the 2:1 parking ratio but create more parking options.
- Building Height: The third story of the apartment building has been redesigned with dormers to keep the building height below 35' and eliminate the variance for height within the Medium Density, R-6, zoning category.
- Exteriors: Exterior selections have been refined to create a high level of architectural quality and more closely align with the neighborhood and city character.
- Landscaping: The updated landscape architecture includes significant tree and vegetative cover to create privacy around the parking areas to the southeast of the site and on all sides of the property.
- Stormwater: The bioswale retention, storage, and treatment system on the east end of the property will naturally and effectively manage stormwater to ensure only clean water is leaving the site and entering the city stormwater system and will be a significant improvement over current site stormwater conditions.
- Sidewalk connection to Jansen Ave: In order to help facilitate pedestrian traffic from the nearby residential neighborhood to Bellaire Ave across the project vehicle entrance, the proposed plan now shows a sidewalk connection by developer that extends from the northeast corner of Jansen Ave and Bellaire Ave across the project driveway apron with a pedestrian ramp into the residential street.
- Unit Count: The total number of units has been reduced (from 18 to 17) and now includes three units that are accessible without stairs and offers an additional housing option for a wider demographic.

## **ANALYSIS**

Rezoning. The procedure and criteria used to evaluate zoning amendment applications (either text changes or rezoning of individual properties) are found in City Code Section 1301.040 – Amendments. Review of this type of application is considered a legislative action. When considering legislative actions, cities have discretion to set the public policy or development standards they decide are appropriate for their community. This section of the City Code details seven criteria for the city to weigh when considering a rezoning application. These criteria and staff's findings for each are provided below.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

**Finding.** The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Neighborhood Mixed Use. According to the Comprehensive Plan, the Neighborhood Mixed Use designation is intended to be for commercial retail or service businesses and offices serving the local community, and medium to high-density housing. This district should lean towards residential with an expectation of 75 percent residential but at least 50 percent of development being residential in nature, and recognizing that some sites may be appropriate at 100% residential. Stacked multi-family housing and courtyard apartments will be the predominant use, with townhomes and villas used where appropriate in transitional areas abutting surrounding residential neighborhoods. The applicant's development proposal which includes 14-unit, three-story apartment building and a 3-unit, 2.5-story rowhouse building is consistent with the use and building types allowed in the Neighborhood Mixed Use future land use category of the 2040 Comprehensive Plan.

The applicant's development proposal is also consistent with the density standards of the Neighborhood Mixed Use future land use category. The Neighborhood Mixed Use category allows a density range between 16 and 34 dwelling units per acre. Under this standard, the 0.67-acre subject property is allowed between 10 and 22 total units ( $0.67 \times 16 = 10$  units and  $0.67 \times 34 = 22$  units) and has a median density (the value in the middle of a range of numbers) of 16 units per acre. With a total of 17 residential units (14-unit apartment building and 3-unit rowhouse building), the applicant's development proposal is only one unit above the median density level for this land use category and complies with the overall density standards of the Mixed Use future land use category.

2. The proposed use is or will be compatible with present and future land uses of the area.

**Finding.** The proposal residential development will be compatible with surrounding present and future land uses. The surrounding existing land uses are commercial to the north and west and residential uses to the south and east. Similarly, the Future Land Use Map in the 2040 Comprehensive Plan guides parcels to the north and west as Neighborhood Mixed Use with the properties to the south and east remaining Low Density Residential.

According to the applicant, the proposed 14-unit, three-story apartment building and 3-unit, 2.5-story rowhouse building design concept was specifically intended to provide a transition between the surrounding existing and proposed land uses. Other design features of the site intended to ensure long term compatibility include reduced setbacks along County Road E and Bellaire, increased setbacks along the east side of the site adjacent to the neighboring single family uses, landscaping and a privacy fence.

3. The proposed use conforms with all performance standards contained herein.

**Finding.** This application proposes to rezone the subject property from B-3, Auto Oriented Business to R-6, Medium Density Residential. Staff finds the proposed development meets or exceeds the zoning standards for the R-6 district with the exception of the front (County Road E) and street side yard (Bellaire Avenue) setbacks. These deviations were intentional to comply with the goals and

policies of the Neighborhood Mixed Use future land use category of the 2040 Comprehensive Plan and to provide a larger buffer and better transition with the residential neighborhood to the south and east. The applicant requests deviations from these setback requirements through the associated planned unit development (PUD) application (see analysis below). The proposed development meets or exceeds the remaining R-6 district zoning standards as demonstrated through the analysis below.

**Use.** The applicant’s plans conform with the allowable uses in the R-6 district. This district allows single family, two family, 3 or 4-plexes, or multiple family dwellings. The applicants proposal include both a 14-unit, three-story apartment building and 3-unit, 2.5-story rowhouse which are consistent with the uses allowed in the R-6 district.

**Height.** The maximum height in the R-6 district is 35 feet and is measured from the average grade of the ground to the top of a flat roof or the mid-point of a pitched roof. Based on feedback from the concept plan review process, the applicant has redesigned the roof from a flat to a pitched design and reduced the height of the proposed building to comply with the 35-foot height limitation. The 3-story portion of the apartment building is now 30’- 11” to the mid-point of the new pitched roof while the rowhouse measures 29’ – 5” from the average grade of the ground to the mid-point of the pitched roof.

**Setback.** The table below compares the setbacks for both the apartment and rowhome buildings with the standards of the R-6 district. As proposed, the apartment would not meet the front (County Road E) or street side yard (Bellaire Ave.) setbacks but would substantially exceed the side (east) and rear (Jansen Ave.) setback standards. Similarly, the rowhouse building would not meet the street side yard (Bellaire Ave) or rear yard (Jansen Ave.) setbacks but significantly exceed the side (east) setback requirements.

25-2 County Road E Concept Plan Setback Analysis					
Setback	Standard	Apartment		Townhouse	
		Proposed	Deviation	Proposed	Deviation
Front (Co. Rd. E)	30’	7’	-23’	N/A’	N/A
Side (Bellaire Ave.)	30’	10’	-20’	15’	-15
Side (Interior)	15’	25’	+10	53	+28’
Rear (Jansen Ave.)	30’	84’	+54	15’	-15’

According the applicant, this design was intended to meet the goals and policies of the Neighborhood Mixed Use future land use category in the 2040 Comprehensive plan but more importantly to focus the most intense use of the site along County Road E and Bellaire Avenue and provide the greatest possible transition and setback on the sides of the property that abuts the existing residential neighborhood to the south and east.

**Parking.** The City’s residential off-street parking standards require two stalls per unit and at least one stall to be enclosed in multiple family buildings. Based on feedback from the concept plan review process, the applicant has reduced the number of units and redesigned the site to fully

meet these standards.

The redesigned site now includes 17 total units which would require 34 total off-street parking stalls. The apartment building now has 14 units and 16 enclosed parking spaces while the rowhouse has 3 units and 6 enclosed parking spaces. The site also has an additional 12 stalls in a shared surface parking lot for a total of 34 off-street parking stalls for 17 units. In addition, the applicant has pledged to not charge a separate parking fee which will encourage residents to fully utilize the provided off-street parking. And the redesigned site now includes area for 2 guest stalls behind each of the 3 rowhouse units which are not included in the 34 total off-street stalls available to the site.

**Trash & Utility Screening.** Trash and recycling will be stored inside the building and all roof top or ground mounted mechanical equipment will be screened.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding. The proposed residential use will not tend to or actually depreciate the area in which it proposed. The applicant's proposal will make a significant financial investment in what has historically been a vacant property. This investment will bring additional residents, spending and physical improvements to the area.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding. The Engineering department has reviewed the applicant's plans and provided comments in the attached memo dated April 17, 2023. Overall, the propose use can be accommodated with existing and planned improvements to public services.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding. Traffic generation by the proposed use will be within capabilities of streets serving the property. Generally, the 17-unit residential development should generate significantly less traffic than the former commercial gas station use. Further, Ramsey County has reviewed the proposed development and stated they have no concerns with the use, traffic or proposed access design for the site.

#### Planned Unit Development.

The purpose of a planned unit development (PUD) is to allow flexibility from traditional development standards in return for a higher quality development. Typically, the city looks for a developer to exceed other zoning standards, building code requirements or Comprehensive Plan goals. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals.

In this case, a PUD is necessary to allow more than one principal building on the site and decreased setback along the street sides of the subject property. In exchange for these deviations, the applicant

designed the site to maximize the setback from the adjacent neighborhood to the south and east, enhanced the architecture along the street facing sides of both the apartment and rowhouse buildings, included indoor bicycle parking in the apartment building and provide enhanced landscaping, buffering and screening throughout the site. Notable architectural enhancement added since the concept plan include:

- Redesign of the apartment building to include three walk-up style units along Bellaire Avenue.
- Increased stone along the street facing sides of both the apartment and rowhouse buildings.
- Increased transparency (glass) along the County Road E and Bellaire sides of the apartment building.
- Redesign of the buildings from flat to pitched roofs with dormers that lessen the height and provide vertical divisions to break up the street facades.
- The addition of vertical pillars with wood accents to the apartment building along the County Road E and Bellaire Avenue.

In addition to these offerings, staff recommends the applicant be required to install conduit in the apartment building garage to allow for future Level 2 electric vehicle charging and revise their landscaping plan to the extent practical to include native trees and plants so as to reduce the need for water through irrigation. Based on the overall site design and with the two additional offerings noted above, staff finds the applicant proposed improvements acceptable under the overall planned unit development application.

Engineering Review. The Engineering department has reviewed the applicant's plans and provided comments in the attached memo. Staff recommends a condition of approval require the applicant to comply with all requirements of the Engineering department.

Fire Department Review. The Fire department has reviewed the applicant's plans and provided comments in the attached memo. Staff recommends a condition of approval require the applicant to comply with all requirements of the Fire department.

## **RECOMMENDATION**

Staff recommends approval of the requested rezoning from B-3, Auto Oriented Business to R-6, Medium Density Residential and Planned Unit Development based on the findings made in this report, summarized below and detailed in the attached resolution.

### Findings:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

Conditions:

1. Rezoning of the property to R-6, Medium Density Residential.
2. Execution of a Planned Unit Development Agreement in a form acceptable to the City Attorney.
3. Issuance of a building permit.
4. Conformance with all requirements of the Engineering, Fire and Building Departments.
5. Payment of all applicable development fees including SAC and WAC.
6. As part of the PUD agreement the applicant shall agree to not charge a separate or additional fee beyond the base rent for off-street parking.
7. Installation of conduit in the apartment building garage to allow for future Level 2 electric vehicle charging.
8. Revise the landscape plan to the extent practical to include native trees and plants so as to reduce the need for irrigation water.

**Attachments:**

Resolution

Zoning Location Map

Applicant's Narrative

Plans & Elevations

Comments from Lee Branwell

Comments from Larry & Judy Behm

Comments from Colleen Chermak

Comments from Bill & Roberta Kolesar

Fire Department Memo

Engineering Department Memo

**RESOLUTION NO.**

**RESOLUTION GRANTING GENERAL AND DEVELOPMENT STAGE  
PLANNED UNIT DEVELOPMENT (PUD) APPROVALS FOR THE PROPERTY LOCATED AT  
2502 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA**

**WHEREAS**, a proposal (23-13-PUD) has been submitted by Element Design Build, to the City Council requesting approval of both General and Development Stage Planned Unit Development (PUD) approvals from the Zoning Code of the City of White Bear Lake for the following location:

**LOCATION:** 2502 County Road E; and

**LEGAL DESCRIPTION:** PID – 363022120027. SECTION 36 TOWN 30 RANGE 22 SUBJ TO RD AND AVE THE W 183 FT OF N ...OF NE 1/4 OF SEC 36 TN 30 RN 22

**WHEREAS, THE APPLICANT SEEKS THE FOLLOWING:** General & Development Stage approvals of a Planned Unit Development, per Code Section 1301.070, in order to construct a total of 17 residential units in one 3-story apartment building and one 2.5-story rowhouse building; and

**WHEREAS**, the Planning Commission held a public hearing as required by the Zoning Code on April 24, 2023; and

**WHEREAS**, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of White Bear Lake that, in relation to the PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

**BE IT FURTHER RESOLVED**, that the City Council of the City of White Bear Lake hereby approves the PUD Development Stage Plan, subject to the following conditions:

**RESOLUTION NO.**

1. Rezoning of the property to R-6, Medium Density Residential.
2. Execution of a Planned Unit Development Agreement in a form acceptable to the City Attorney.
3. Issuance of a building permit.
4. Conformance with all requirements of the Engineering, Fire and Building Departments.
5. Payment of all applicable development fees including SAC and WAC.
6. As part of the PUD agreement the applicant shall agree to not charge a separate or additional fee beyond the base rent for off-street parking.
7. Installation of conduit in the apartment building garage to allow for future Level 2 electric vehicle charging.
8. Revise the landscape plan to the extent practical to include native trees and plants so as to reduce the need for irrigation water.

The foregoing resolution, offered by Councilmember \_\_\_\_\_ and supported by Councilmember \_\_\_\_\_, was declared carried on the following vote:

Ayes:  
Nays:  
Passed:

\_\_\_\_\_  
Dan Louismet, Mayor

**ATTEST:**

\_\_\_\_\_  
Caley Longendyke, City Clerk

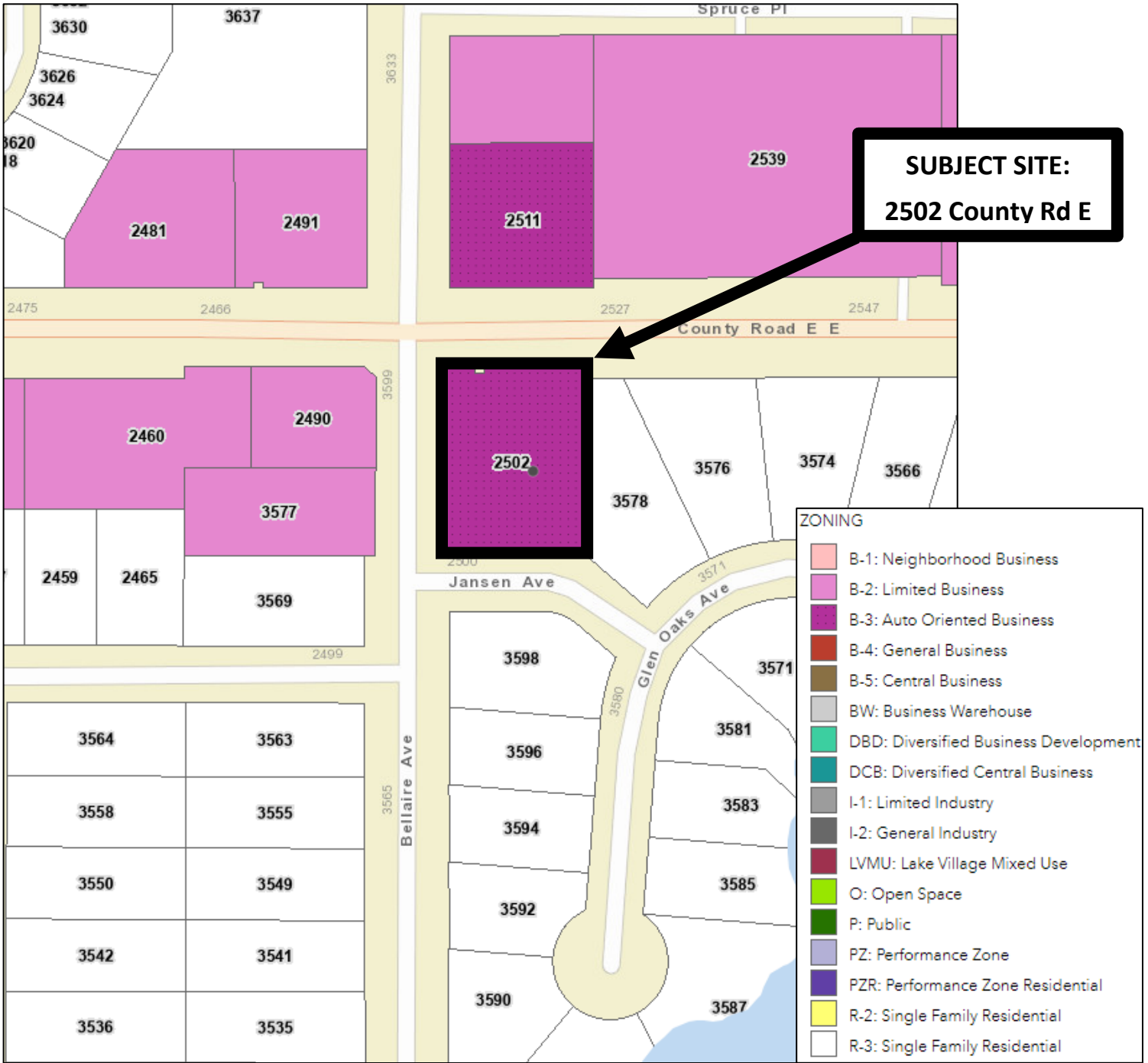
\*\*\*\*\*


Approval is contingent upon execution and return of this document to the City Planning Office.  
I have read and agree to the conditions of this resolution as outlined above.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date





 <p>City of White Bear Lake Planning &amp; Zoning 651-429-8561</p>	<p><b>CASE NO.</b> : <u>23-13-PUD</u></p>
	<p><b>CASE NAME</b> : <u>2502 Co Rd E Apartments</u></p>
	<p><b>DATE</b> : <u>4-24-2023</u></p>

## 2502 County Rd E – Planned Unit Development – Development Stage

### Executive Summary

- **Parking:** Changes in site and building layout have allowed the project to achieve the city standard parking ratio of 2 spaces per unit with at least one space per unit enclosed. Additionally, the townhome units now add an additional six parking spaces that do not count towards the 2:1 parking ratio but create more parking options.
- **Building height:** The third story of the apartment building has been redesigned with dormers to keep the building height below 35' and eliminate the variance for height within the Medium Density, R-6, zoning category.
- **Exteriors:** exterior selections have been refined to create a high level of architectural quality and more closely align with the neighborhood and city character.
- **Landscaping:** the updated landscape architecture includes significant tree and vegetative cover to create privacy around the parking areas to the southeast of the site and on all sides of the property.
- **Stormwater:** the bioswale retention, storage, and treatment system on the east end of the property will naturally and effectively manage stormwater to ensure only clean water is leaving the site and entering the city stormwater system and will be a significant improvement over current site stormwater conditions.
- **Sidewalk connection to Jansen Ave:** In order to help facilitate pedestrian traffic from the nearby residential neighborhood to Bellaire Ave across the project vehicle entrance, the proposed plan now shows a sidewalk connection by developer that extends from the northeast corner of Jansen Ave and Bellaire Ave across the project driveway apron with a pedestrian ramp into the residential street.
- **Unit Count:** the total number of units has been reduced and now includes three units that are accessible without stairs and offers an additional housing option for a wider demographic.

### Introduction

Since beginning work on the redevelopment plan for 2502 County Rd E community input from neighbors, business owners, and city officials has been robust and informative. The thoughtful and honest feedback from all stakeholders has gone a long way in beginning to understand how a redevelopment at the intersection of Bellaire and County Rd E would fit into the neighborhood today and into the future. White Bear Lake is a town with deep rooted history and long-term residents that appreciate its character and don't want that to be overcome by the spread of development from the Twin Cities. There is also a desire for connection to a more natural time and place. Sustainability and natural landscaping are a priority for White Bear Lake citizens which creates a conflict with the auto-oriented reality of the area. To that end a redevelopment plan needs to address the automobile infrastructure while preserving the ability to feel a connection with White Bear Lake itself which originally drew people

to the area. Since the Noyes Cottage was built in 1879 people have gravitated to White Bear Lake as a respite from the commercial weight of the Twin Cities, and the charm and slower pace of the town is still unmistakably felt when walking along Lake Avenue. The goal of the development then becomes to make it possible for new residents to feel the same lake-oriented community charm while ensuring that the experience for existing residents is not hindered or altered by new growth. The design and planning of the following PUD application seeks to continue and add to the special character of White Bear Lake while addressing the existing geographic challenges the location poses.

### Interaction with local context

The context of 2502 County Rd E is unique in that it sits next to a busy intersection of County Rd E and Bellaire Ave but also borders a single-family residential neighborhood. Given the noise and traffic level of the abutting streets, it would be impossible to make low density housing feel comfortable in that context. So, as in many neighborhood situations such as this, commercial spaces are planned for the street corners where surrounded by single family residences. The second unique challenge with 2502 County Rd E, however, is that despite it being situated in a quality neighborhood, the lack of redevelopment as a commercial property in the last decade has proven its inability to economically support new construction commercial uses. So, when considering a rezoning or new use, the Future Land Use Plan for White Bear Lake is the most appropriate place to start. There, guidance for the property for future development is Neighborhood Mixed Use. This classification calls for an elevated level of density at each of the four corners of County Rd E and Bellaire Ave. Density guidance for Neighborhood Mixed Use for the 2502 County Rd E site is between 10 and 22 units with up to 100% of the space being dedicated to residential. The proposed development includes 17 residential units, 14 of which are apartment residences with the remaining 3 units being townhome residences.

In order to achieve the charm and character of White Bear Lake in a redevelopment while attempting to meet the intent of the Future Land Use Plan, intentional variations from strict provisions of the zoning code are planned. The City of White Bear Lake's PUD process is the procedural process to evaluate such variations. The following are outcomes the city's PUD process is intended to encourage and a summary of how the proposed development addresses those areas:

***A) Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and siting of structures and by the conservation and more efficient use of land in such developments;***

The proposed development offers a wide variety of housing types within a small development that include townhome style residences for young professionals and small families, single-level living access in several units for an older demographic

looking to avoid stairs, as well as one-bedroom and two bedroom units for a wide variety of potential residents.

***B) Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects and engineers;***

The architecture and landscaping of the proposed project goes above and beyond the typical multifamily structures typically found in Twin Cities suburbs. The shingle-style exterior along with robust and thoughtfully planned landscaping and site layout aim to align with the special character of White Bear lake.

***C) The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion;***

Careful planning on the project has allowed for all stormwater to be treated through natural soil filtering or cleanly routed to public stormwater connections. The basin on the east buffer of the project will maximize the amount of rainwater that can be naturally infiltrated into groundwater while filtering excess water by natural means before leaving the site. The proposed plan would be a major improvement to the quality of storm runoff leaving the site relative to the gas station that currently exists.

***D) An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments;***

The 2502 County Rd E site is an opportunity to utilize existing city infrastructure efficiently including, stormwater, sanitary sewer, water, and city services.

***E) A development pattern in harmony with the objectives of the White Bear Lake Comprehensive Plan. (Ref. Ord. 10-1-1061, 1/12/10);***

The proposed development is well aligned with the Future Land Use Plan Neighborhood Mixed Use designation and achieves its intent in terms of density and function as it relates to creating more vibrance and foot traffic that supports local businesses near the intersection.

***F) A mix of land uses made compatible through careful oversight. (Ref. Ord. 10-1-1061, 1/12/10);***

It is important to consider how the proposed development interacts with the other uses at the County Rd E and Bellaire intersection. With an existing coffee shop at the southeast corner, adding walkable patrons will support the business and be a significant step towards a vibrant intersection with varied uses.

## Parking

By far the most common and significant feedback regarding plans for the proposed development was that parking would be a major concern. Cars crowding streets and large concrete slabs of parking are not commensurate with the residential nature of the

neighborhood nor the relaxed, residential character of the area. For that reason it is important to address the appropriate number of parking spaces, the management of those parking spaces, and the way they are shielded by the site context to reduce their impact on the surrounding area. The previous parking concept included roughly 1.8 parking spaces per unit and involved management practices that were arguably difficult to enforce in the long-term. The proposed development includes 2 parking spaces per unit with greater than 1 enclosed parking space per unit. Additionally, there are six tandem parking stalls added adjacent to the townhome units that will further reduce parking demand for the apartment residences. The management plan includes a simple requirement to be enforced by covenant that the owner not charge for parking spaces, thereby encouraging tenants to use the allocated parking spaces rather than parking on the street. In addition to the number of off-street parking spaces and their management, the attached landscaping plan provides significant tree plantings and vegetation to the south and east of the property to shield parking and vehicle circulation from the neighborhood context to the southeast. The community feedback on parking was clear, and the proposed development addresses parking from all available angles and creates the best parking scenario available short of extreme measures that would not be commensurate with the neighborhood context and character of White Bear Lake.

### **Building Height and Neighborhood Transition**

The second most common and significant feedback in the planning process was to find a way to blend the proposed development into the neighborhood context and create a connection to nature and preserve nearby natural features. Building height was a major concern, and it became clear that any development on the site should have a residential feel. To this end the section of the building with the greatest height and scale is located at the County Rd E and Bellaire intersection and still remains under the 35' building height limit for Medium Density Residential zoning. From that point the proposed structures step down in height to the south via the townhome units and to the east where the apartment building steps down to two stories. The stepped concept attempts to transition from the intersection where height, density, and scale are appropriate and necessary back down into the single-family neighborhood to the south and east. Additionally, the proposed plan includes a sidewalk connection from Bellaire Ave along Jansen Ave across the project's vehicle entrance to facilitate safe passage of pedestrians from the residential neighborhood back to Bellaire Ave.

### **Sustainability and Connection to Natural Features**

Another common theme of feedback on the project included sustainability considerations and incorporation of natural features. As it stands, the blighted gas station is a significant departure from both environmental sustainability and natural appearance. The proposed development looks to address that problem by improving the stormwater management of the site and the addition of significant landscaping

features that will enhance the natural beauty of the property now and into the future as trees mature.

Any development on the property including the existing gas station will create stormwater runoff that will end up in Peppertree pond. The clayey nature of the soils prevent significant infiltration, and all nearby stormwater connections are routed to the east and eventually back to the south into Peppertree pond. For that reason it is extremely important that any stormwater runoff either be cleanly routed to the stormwater system or naturally filtered. The proposed development routes nearly all of its stormwater to the vegetated stormwater basin on the east setback of the property where stormwater volume is contained and must pass through sand filters before leaving the site. The remaining stormwater is routed to the landscaped areas to the west and north of the residential buildings or diverted directly to the city's stormwater system.

## Design Principles

As a first step in an effort to redevelop strategic locations of the County Rd E corridor, the 2502 County Rd E site provides an opportunity to address the regionalism and build towards a sense of place along the corridor that aligns with White Bear Lake as a whole. Our driving design concept is to relate to the lake culture, heritage of resorts and nautical elements, and Northwoods feel of Minnesota. Creating a pitched roof design relates to the predominate architecture of the area and using slightly rustic materials such as shakes gives it a nod toward the "cottage on the lake" or "cabin in the woods" feel while being subtle and not overly literal. A courtyard is provided between the buildings to break up the massing of the buildings and offer an amenity for residents to enjoy the outdoors. The design emphasizes the corner of County Rd E and Bellaire and devotes significant care and detail to the North and West elevations that face the public streets. The overall design intent aims to build on the special character of White Bear Lake while still addressing its context within the County Rd E corridor.

## Conclusion

As mentioned in previous presentations to Planning Commission and City Council, it is our belief that more, not less, input and involvement with the community results in better design and development. Over the last six months our team has sat to talk with community members and business owners. Team members have knocked on doors in the nearby residential neighborhood. Neighbors did not always answer, but many did and their input has been informative and helped to understand the context of White Bear Lake and the County Rd E and Bellaire Ave intersection. The concept review process has also contributed significantly to the understanding of the city's intent for the intersection and the concerns that must be addressed to reach a development plan

that creates long-term community benefit. All of the conversations have helped to understand the historical and geographic context of the site. The County Rd E and Bellaire Ave intersection is a focal point for a wide variety of stakeholders and there are as many ideas for how to redevelop it as there are community members. Our team believes the proposed plan will make the special character of White Bear Lake available to a variety of new residents while respecting the existing community members and will create a long-term benefit to the neighborhood as a whole for years to come. We greatly appreciate your consideration of our proposed development for 2502 County Rd E.

## Planned Unit Development – Development Stage

### 2502 County Rd E

#### 1. General Information

##### a. Landowner's name and address and interest in the subject property

###### i. *Waypoints Equity Investments LLC (Co-owner)*

*2770 Arapahoe Road*

*Lafayette, CO 80026*

###### ii. *Element Design-Build LLC (Co-owner)*

*1110 Raymond Ave Apt #3*

*Saint Paul, MN 55108*

##### b. Applicant's name and address: *Same as owner*

##### c. Professional consultants contributing to the PUD plan:

###### i. *Architect: Henry Elgersma*

*Element Design-Build LLC*

*1153 16th Ave SE*

*Minneapolis, MN 55414*

###### ii. *Civil Engineer: Matt Woodruff*

*Larson Engineering, Inc.*

*3524 Labore Road*

*White Bear Lake, MN 55110*

###### iii. *Environmental: Brian Englert*

*A3E Environmental*

*3030 Warrenville Rd. Suite 418*

*Lisle, IL 60532*

###### iv. *Surveyor: Jonathan Faraci*

*Lake & Land Surveying, Inc.*

*1200 Centre Pointe Curve, Suite 375*

*Mendota Heights, MN 55120*

###### v. *Landscape architect: Ben Hartberg*

*Calyx Design Group*

*475 Cleveland Ave North Suite 101A*

*Saint Paul, MN 55104*

###### vi. *Geotechnical: Jeff Casmer*

*Braun Intertec Corporation*

*11001 Hampshire Avenue S*

*Minneapolis, MN 55438*

#### 2. Present Status

##### a. Address and legal description of the property

###### i. *Address: 2502 County Rd E*

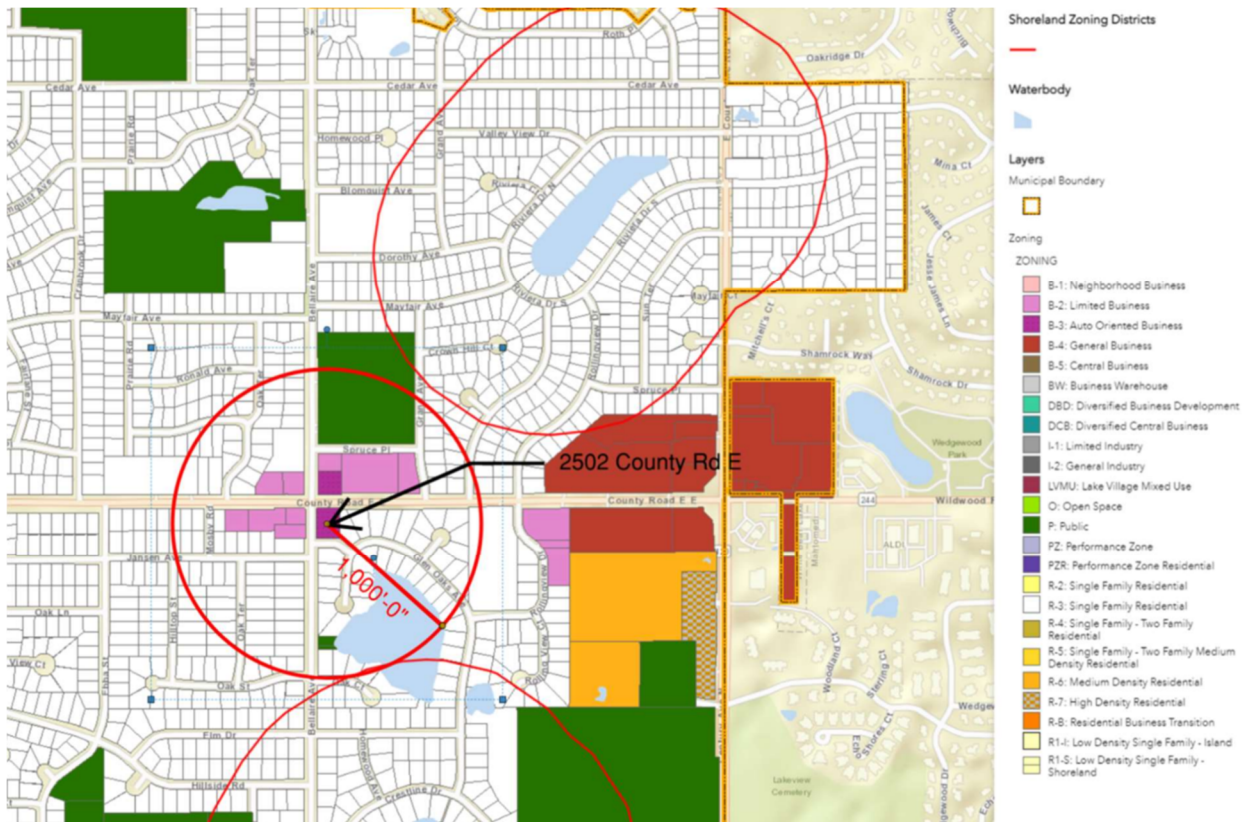


ii. Legal description:

The West 183 Feet of North 233 feet of the Northwest Quart of the Northeast Quarter of Section 36, Township 30, Range 22. EXCEPT that part of the West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 North, Range 22 West, Ramsey County, Minnesota, described as follows: From the center of said Section 36, run Northerly along the North and South Quarter line of said Section 36 on an azimuth of 359 degrees 23 minutes and 51 seconds (azimuth oriented to Minnesota State Plan Coordinated System) for 2577.02 feet to Right of Way Boundary Corner B 809 as shown on Minnesota Department of Right of Way Plat No. 62-9 as the same is on file and of record in the office of the County Recorder in and for said county; thence on Corner B 31, thence on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 4.77 feet to the point of beginning of Tract A to be described; thence continue on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 1.50 feet to Right of Way Boundary Corner B 29; thence on an azimuth of 88 degrees 56 minutes 06 seconds along the boundary of said plat for 3 feet; thence on an azimuth of 230 degrees 01 minutes 30 seconds for 0.35 feet to the point of beginning.

b. The existing zoning classification and present use of the subject property and all lands within 1,000 feet of the subject property:

The existing zoning classification is B3: Auto Oriented Business. Other properties within 1000' of the property include R-3 Single Family residential, P: Public, and B-2: Limited Business. Present use of the property is a gas station which is a permitted use for auto-oriented business.



3. Project Description

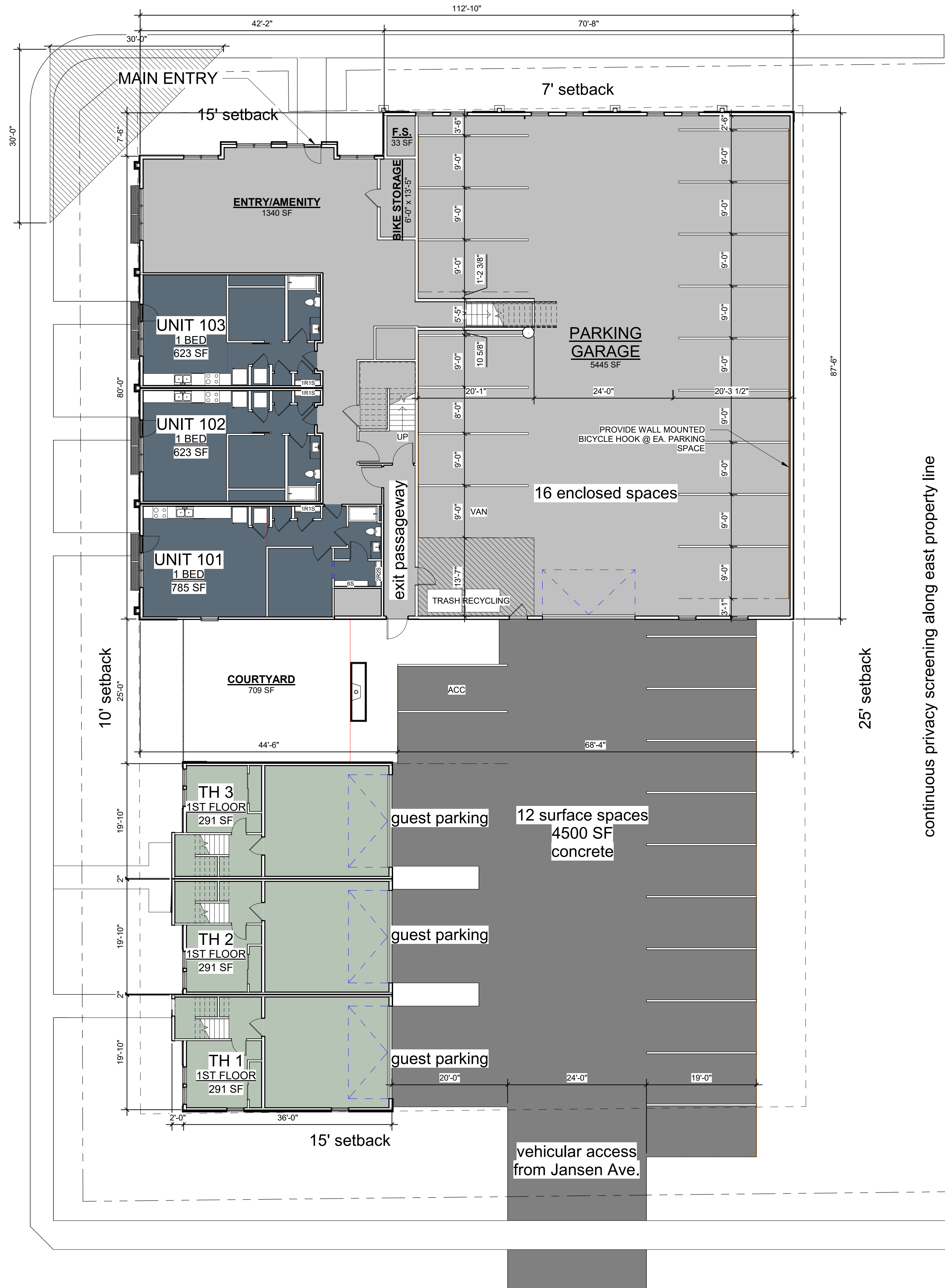
- a. *The proposed project includes 17 residential units 14 of which are apartment residences with the remaining 3 being townhome residences. The anticipated population is 20–30 individuals.*

Land Use by Square Footage		% of total
Residential Multifamily	9,566	33%
Residential Townhomes	2,206	8%
Parking and circulation	5,885	20%
Open Space	11,558	40%
Private Common Area	1,253	4%
Landscaped Area	10,304	35%
Total Site Square Footage	29,216	100%

- b. Chronology of the development: *The proposed development would be built in a single stage with construction beginning in the summer of 2023 and ending in the summer of 2024.*
- c. Restrictive covenants
- i. *The proposed development would include a covenant requiring that the owner not charge for parking for any of the residential tenants in order to make effective use of the off-street parking spaces provided on site.*
  - ii. *The proposed development would include a covenant requiring the builder to construct a sidewalk in the public right-of-way from the intersection of Belair Ave and Jansen Ave across the site vehicle entrance as shown in the civil site plan attached. Being outside of the lot boundary, the sidewalk would be turned over to the City of White Bear Lake for maintenance following construction.*
- d. Zoning classification and necessary decisions for implementation: *As part of the proposed PUD, rezoning is required to align with the Future Land Use Plan designation of Neighborhood Mixed Use. The existing zoning classification that most closely meets that intent is Medium Density Residential, R-6. Within the R-6 zoning rules, variances are required for front and side yard setbacks. Encroachments on the setbacks are an intentional design feature that allows the development to more closely align with the intent of a Neighborhood Mixed Use development.*
- e. Statement of Changes

- i. *Apartment residences: In order to facilitate a site plan that allowed two parking spaces per unit, the apartment building had to be reconfigured to eliminate the turn to the west within the structured parking. In order to achieve that three stories of apartments were arranged beside the structured parking with a dormered third story. Overall this eliminated one residential unit and added two parking spaces to achieve the White Bear Lake parking standard of two off-street spaces per unit. The resulting configuration also maintains the requirement to have one enclosed off street parking space per unit. The new configuration also allows the ground floor units to be accessible without stairs creating the opportunity for an older demographic or handicapped residents to reside in the ground floor units. Additionally, the overall height of the apartment structure was reduced by roughly 5' and no longer exceeds the 35' height maximum for Medium Density Residential Zoning.*
- ii. *Townhome residences: In order to take advantage of the existing contours of the lot which included a high point on the southwest portion of the site, the townhome units were reconfigured to a three-story tuckunder garage concept rather than the previous two-story plus gable concept. This allows for two tandem parking spaces at the driveway of each unit. While these off-street parking spaces are not counted in the overall development parking ratio they do provide additional relief for visitor or resident parking for the townhome units.*
- iii. *Sidewalk connection to Jansen Ave: In order to help facilitate pedestrian traffic from the nearby residential neighborhood to Bellaire Ave across the project vehicle entrance, the proposed plan is showing a sidewalk connection that extends from the northeast corner of Jansen Ave and Bellaire Ave across the project driveway apron with a pedestrian ramp into the residential street.*

Bellaire Ave



- 9- 1 bed units
- 1- 1 bed + den unit
- 4- 2 bed units
- 3- 3 bed rowhouses

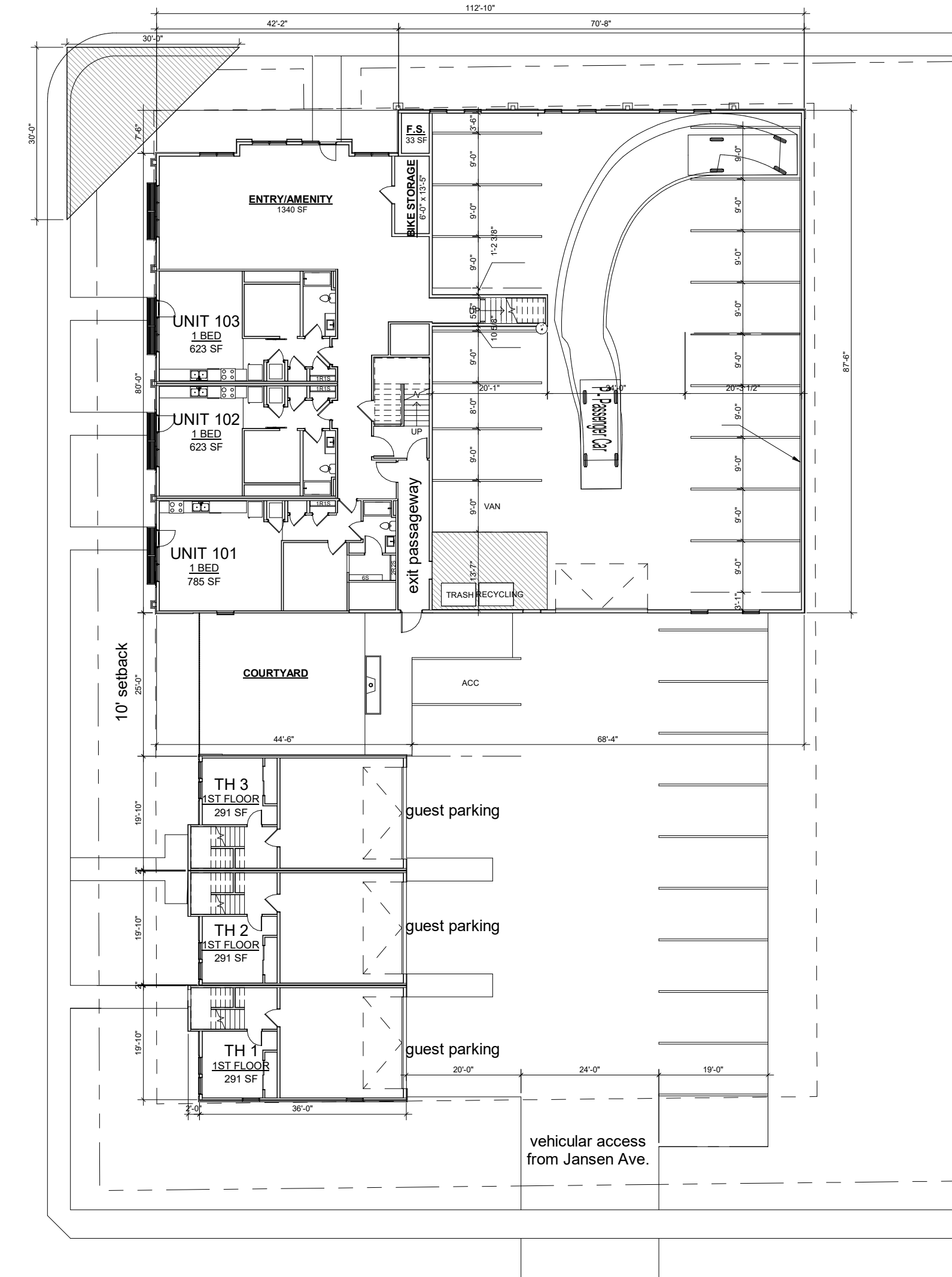
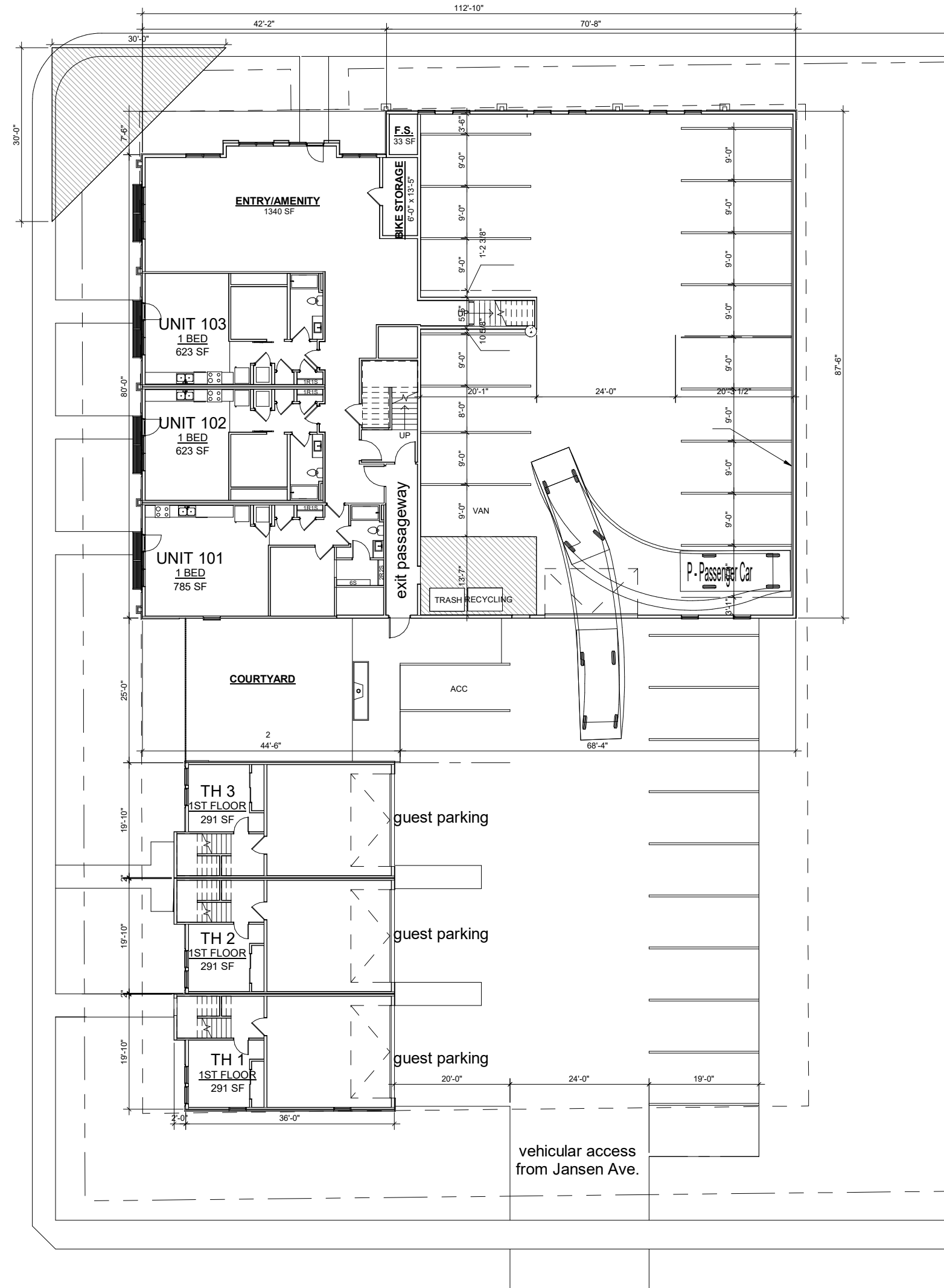
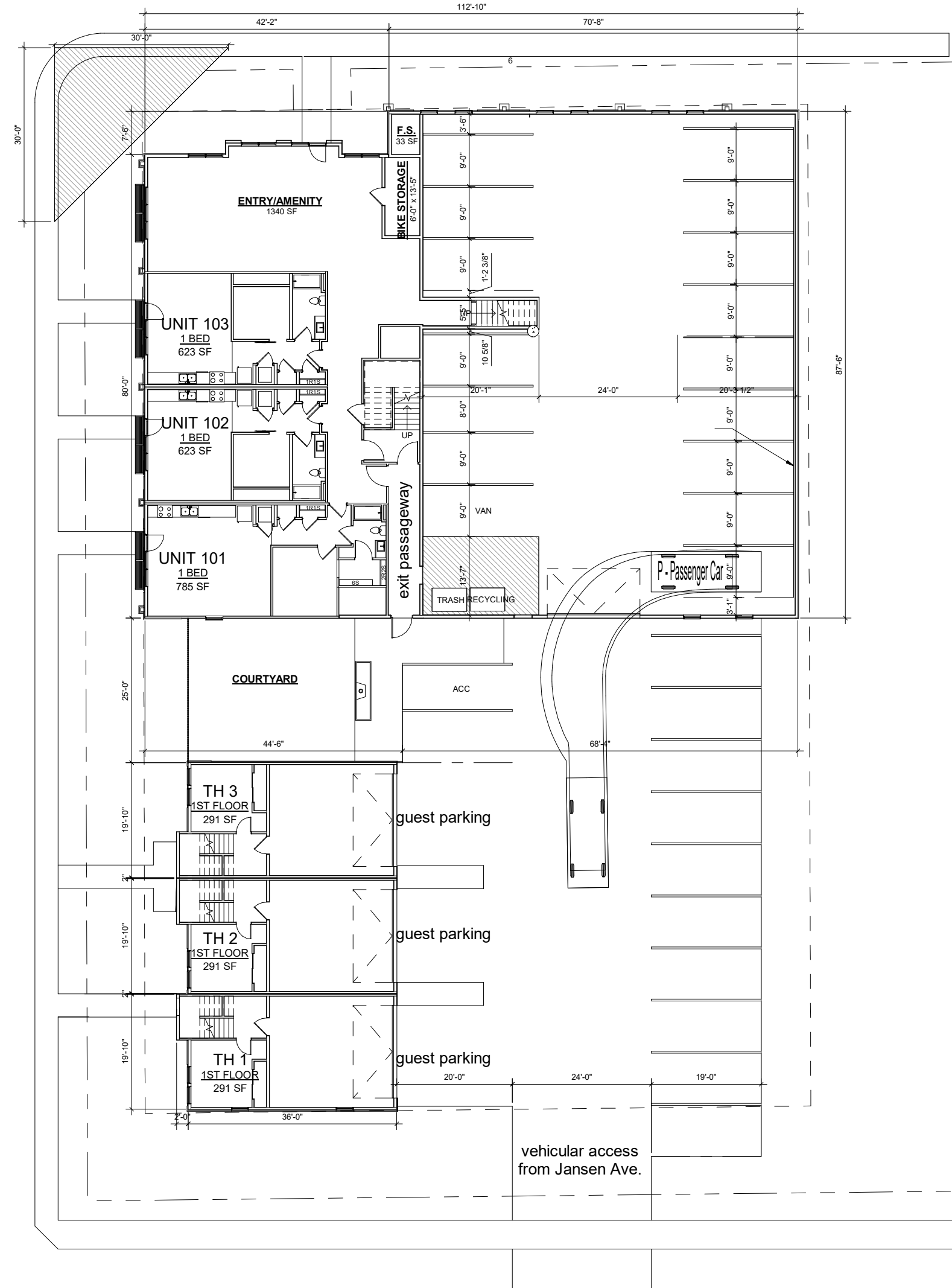
27 total bedrooms, 17 total units

- 29,155 SF site area
- 11,805 SF building footprints combined
- 709 SF common open space (courtyard)
- 1,432 SF enclosed common shared amenity area
- 5,957 SF surface parking and access
- 12 surface spaces
- 22 enclosed spaces
- 34 spaces total

continuous privacy screening along east property line

PRELIMINARY- NOT FOR CONSTRUCTION

**1** ARCH SITE PLAN  
SCALE: 3/32" = 1'-0"



**1 TURNING MOVEMENTS**  
SCALE: 1" = 20'-0"

PRELIMINARY- NOT FOR CONSTRUCTION

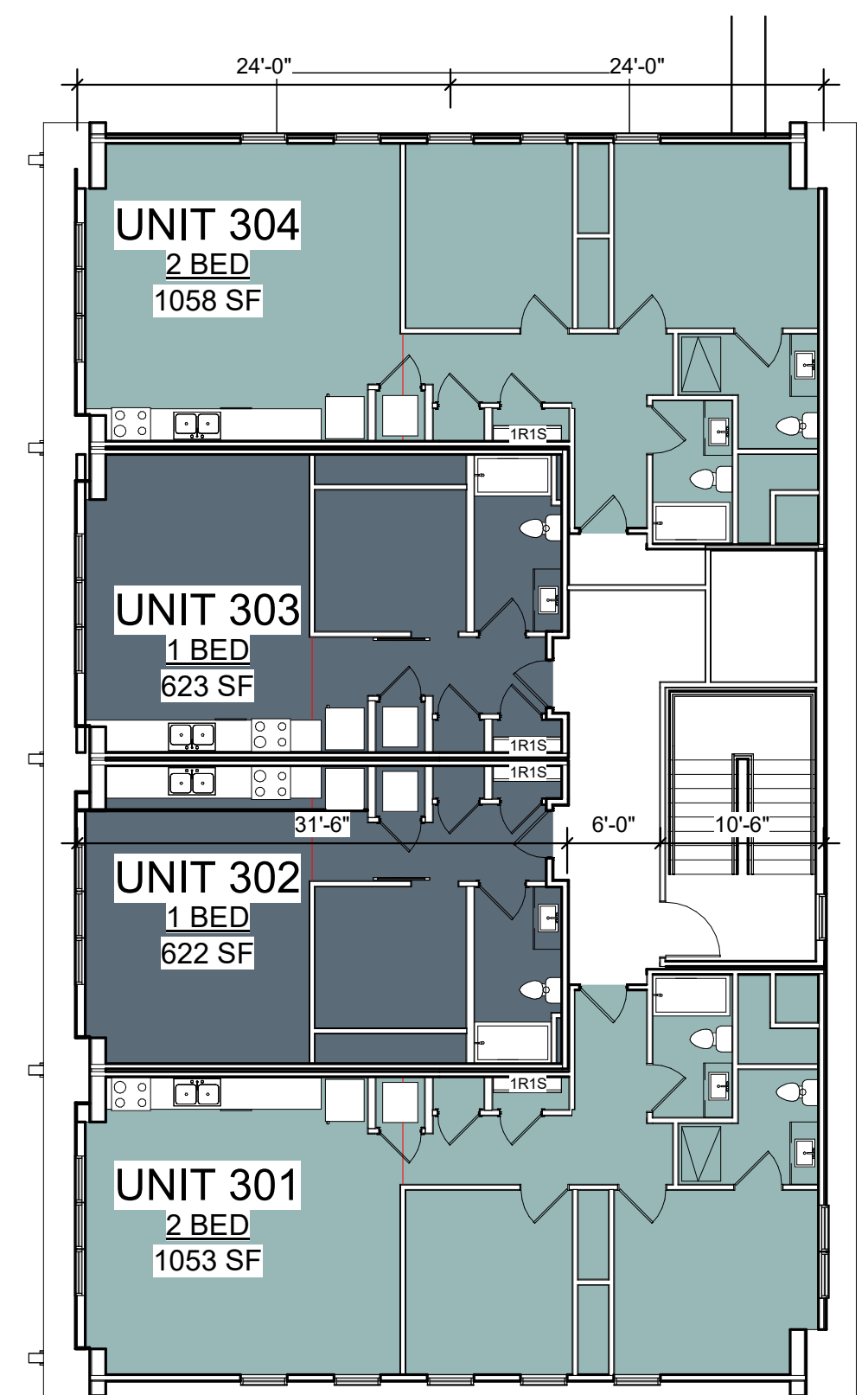
**PROJECT:**  
**Wildwood Apartments and Rowhomes**

2502 County Rd E East  
White Bear Lake, MN

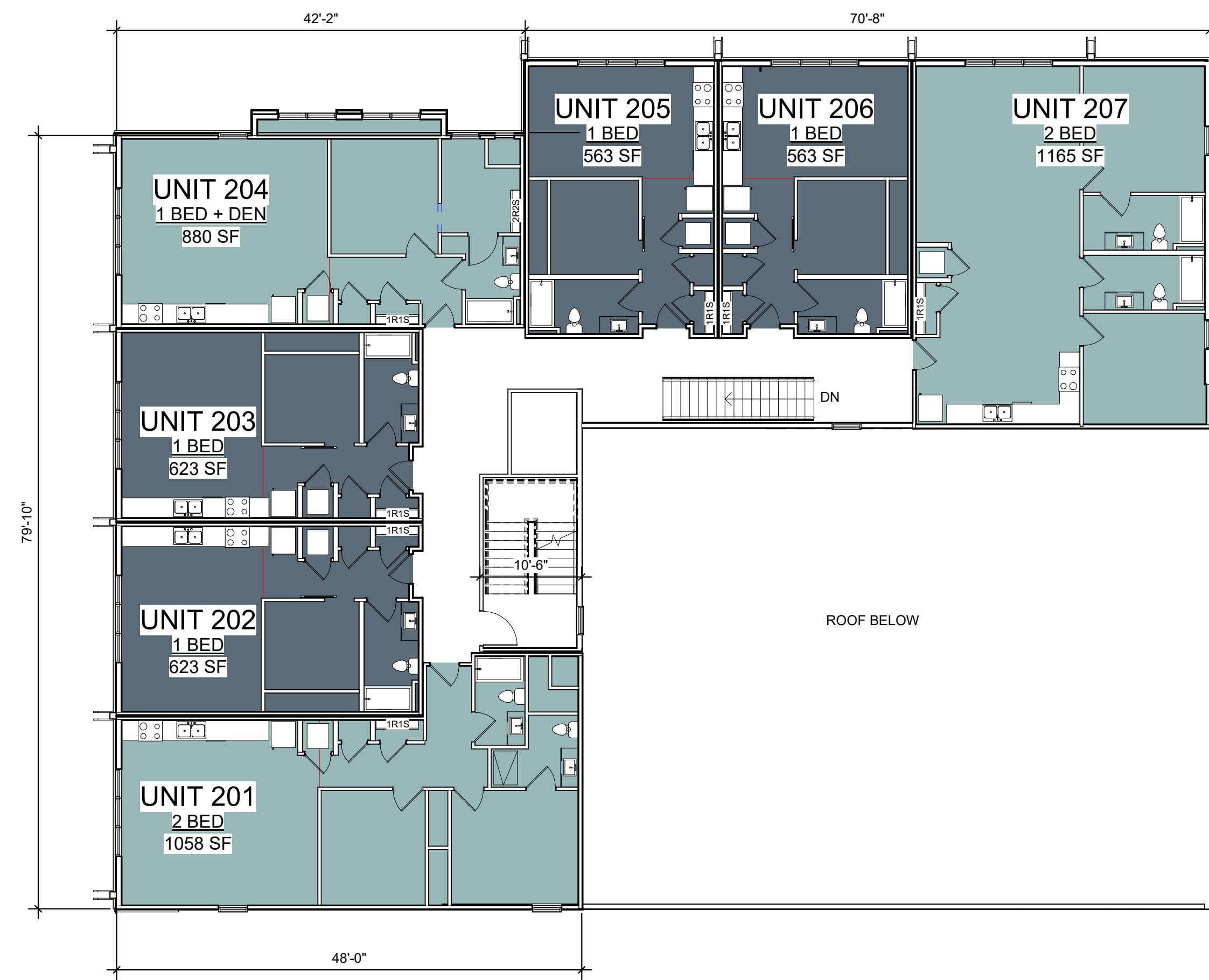
REVISIONS:


04 / 13 / 2023  
PROJECT NO: 00-000  
CONTENTS:  
Turning Movements

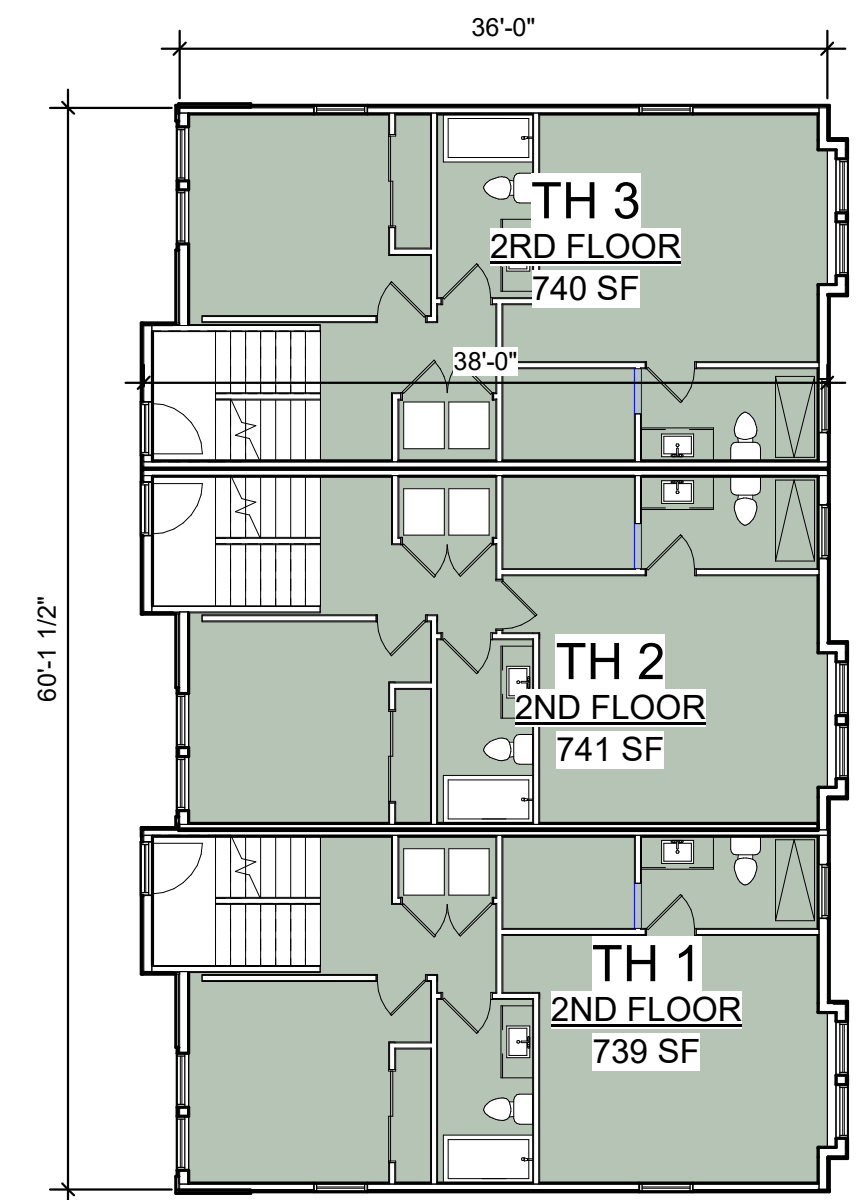
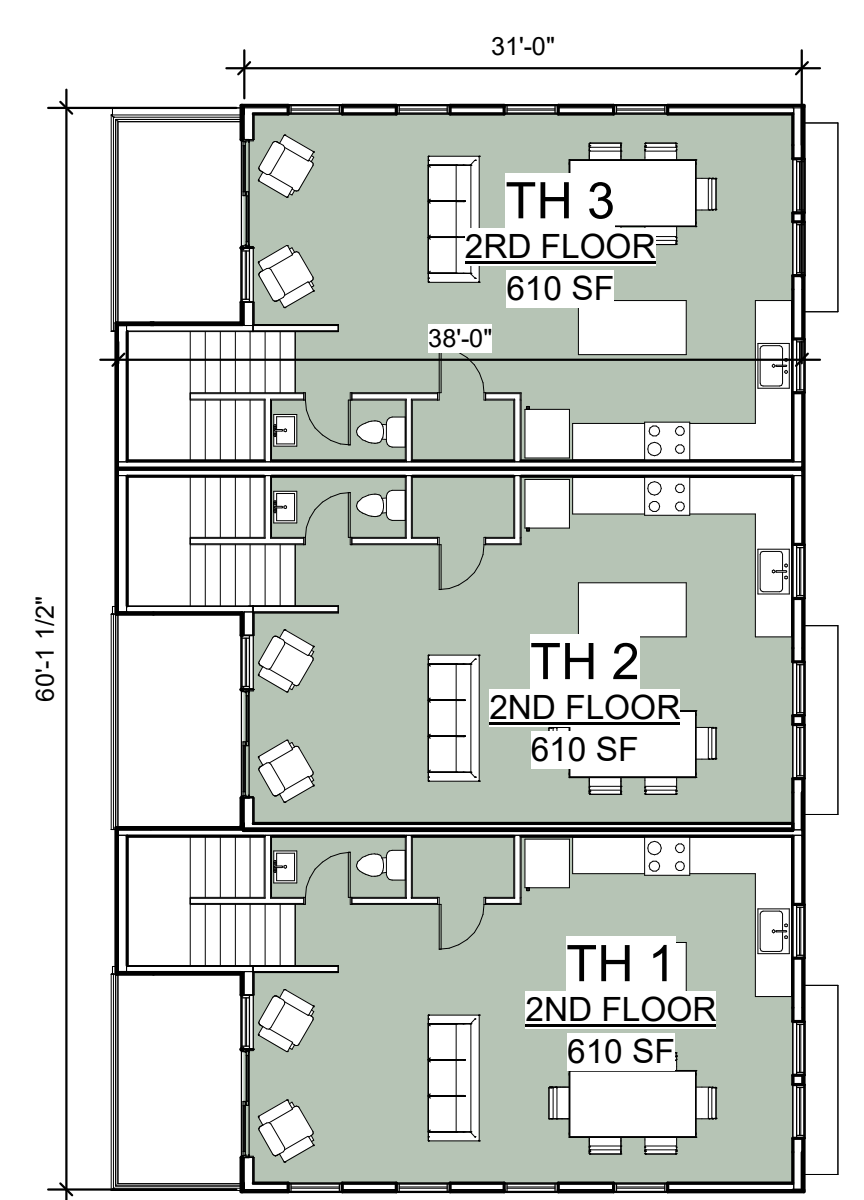
SHEET NO:  
**A101.1**



**2 3RD FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**1 2ND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



PRELIMINARY- NOT FOR CONSTRUCTION

REVISIONS:


04 / 13 / 2023  
PROJECT NO: 00-000  
CONTENTS:  
Floor Plans

**MATERIAL SCHEDULE - TH - NORTH**

Designation	Description	Area	Percentage
B1	Manufactured Stone	77 SF	8%
S3	Fiber Cement Shake Siding - Wood Tone	11 SF	1%
S6	Fiber Cement Board and Batten Siding - Dark	908 SF	91%

**MATERIAL SCHEDULE - APT - WEST**

Designation	Description	Area	Percentage
B1	Manufactured Stone	730 SF	41%
S2	Fiber Cement Lap Siding - Medium	548 SF	31%
S3	Fiber Cement Shake Siding - Wood Tone	284 SF	16%
S4	Fiber Cement Panel Siding	223 SF	12%

**MATERIAL SCHEDULE - TH - WEST**

Designation	Description	Area	Percentage
B1	Manufactured Stone	254 SF	27%
S3	Fiber Cement Shake Siding - Wood Tone	174 SF	19%
S6	Fiber Cement Board and Batten Siding - Dark	507 SF	54%

**MATERIAL SCHEDULE - OVERALL**

Designation	Description	Area	Percentage
B1	Manufactured Stone	2660 SF	18%
S1	Fiber Cement Lap Siding - Light	2290 SF	16%
S2	Fiber Cement Lap Siding - Medium	3393 SF	23%
S3	Fiber Cement Shake Siding - Wood Tone	2012 SF	14%
S4	Fiber Cement Panel Siding	893 SF	6%
S6	Fiber Cement Board and Batten Siding - Dark	3262 SF	22%



**2 NORTH ELEVATION - TOWNHOMES**  
SCALE: 1/8" = 1'-0"

**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**MATERIAL SCHEDULE - TH - SOUTH**

Designation	Description	Area	Percentage
B1	Manufactured Stone	286 SF	29%
S3	Fiber Cement Shake Siding - Wood Tone	12 SF	1%
S6	Fiber Cement Board and Batten Siding - Dark	702 SF	70%

**MATERIAL SCHEDULE - TH - EAST**

Designation	Description	Area	Percentage
B1	Manufactured Stone	21 SF	2%
S3	Fiber Cement Shake Siding - Wood Tone	240 SF	21%
S6	Fiber Cement Board and Batten Siding - Dark	886 SF	77%

**MATERIAL SCHEDULE - APT - EAST**

Designation	Description	Area	Percentage
B1	Manufactured Stone	20 SF	1%
S1	Fiber Cement Lap Siding - Light	1067 SF	46%
S2	Fiber Cement Lap Siding - Medium	747 SF	33%
S3	Fiber Cement Shake Siding - Wood Tone	461 SF	20%



**4 SOUTH ELEVATION - TOWNHOMES**  
SCALE: 1/8" = 1'-0"

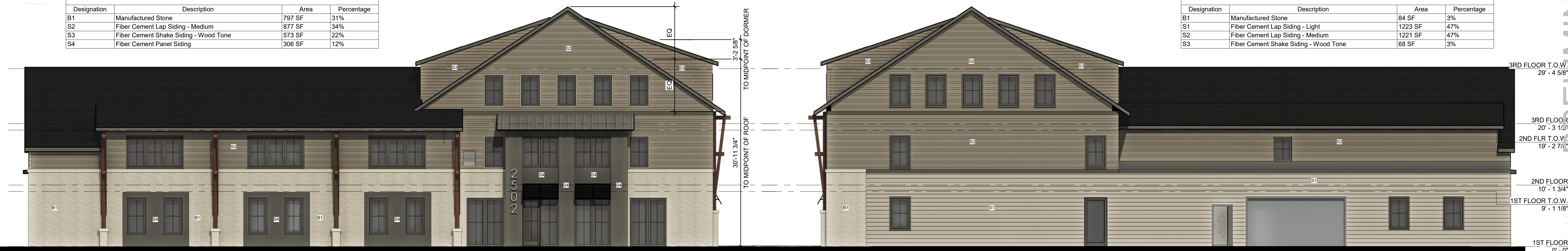
**3 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**MATERIAL SCHEDULE - APT - NORTH**

Designation	Description	Area	Percentage
B1	Manufactured Stone	797 SF	31%
S2	Fiber Cement Lap Siding - Medium	877 SF	34%
S3	Fiber Cement Shake Siding - Wood Tone	573 SF	22%
S4	Fiber Cement Panel Siding	306 SF	12%

**MATERIAL SCHEDULE - APT - SOUTH**

Designation	Description	Area	Percentage
B1	Manufactured Stone	84 SF	3%
S1	Fiber Cement Lap Siding - Light	1223 SF	47%
S2	Fiber Cement Lap Siding - Medium	1221 SF	47%
S3	Fiber Cement Shake Siding - Wood Tone	68 SF	3%



**6 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**5 SOUTH ELEVATION - APARTMENT BUILDING**  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT:

REVISIONS:

04 / 13 / 2023

PROJECT NO: 00-000

CONTENTS:  
Elevations

SHEET NO:

**A201**



**1 WEST ELEVATION - GLAZING**  
SCALE: 1/8" = 1'-0"

TOTAL STREET FACING EXT. WALL = 6,764 SF  
TOTAL GLAZING = 1,824 SF  
TOTAL PERCENTAGE OF GLAZING = 27%



**2 SOUTH ELEVATION - TOWNHOMES - GLAZING**  
SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION - GLAZING**  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT:

REVISIONS:

04 / 13 / 2023

PROJECT NO: 00-000

CONTENTS:  
Elevations - Glazing  
Percentages

SHEET NO:

**A202**





1 VIEW FROM NW  
SCALE:

PRELIMINARY - NOT FOR CONSTRUCTION

**ELEMENT**  
DESIGN - BUILD

PROJECT:  
**Wildwood Apartments and Rowhomes**

2502 County Rd E East  
White Bear Lake, MN

REVISIONS:

04 / 13 / 2023

PROJECT NO: 00-000

CONTENTS:  
Exterior Views

SHEET NO:  
**A203**



**1** VIEW FROM SW  
SCALE:

PRELIMINARY- NOT FOR CONSTRUCTION

**PROJECT:** Wildwood Apartments and Rowhomes

2502 County Rd E East  
White Bear Lake, MN

REVISIONS:

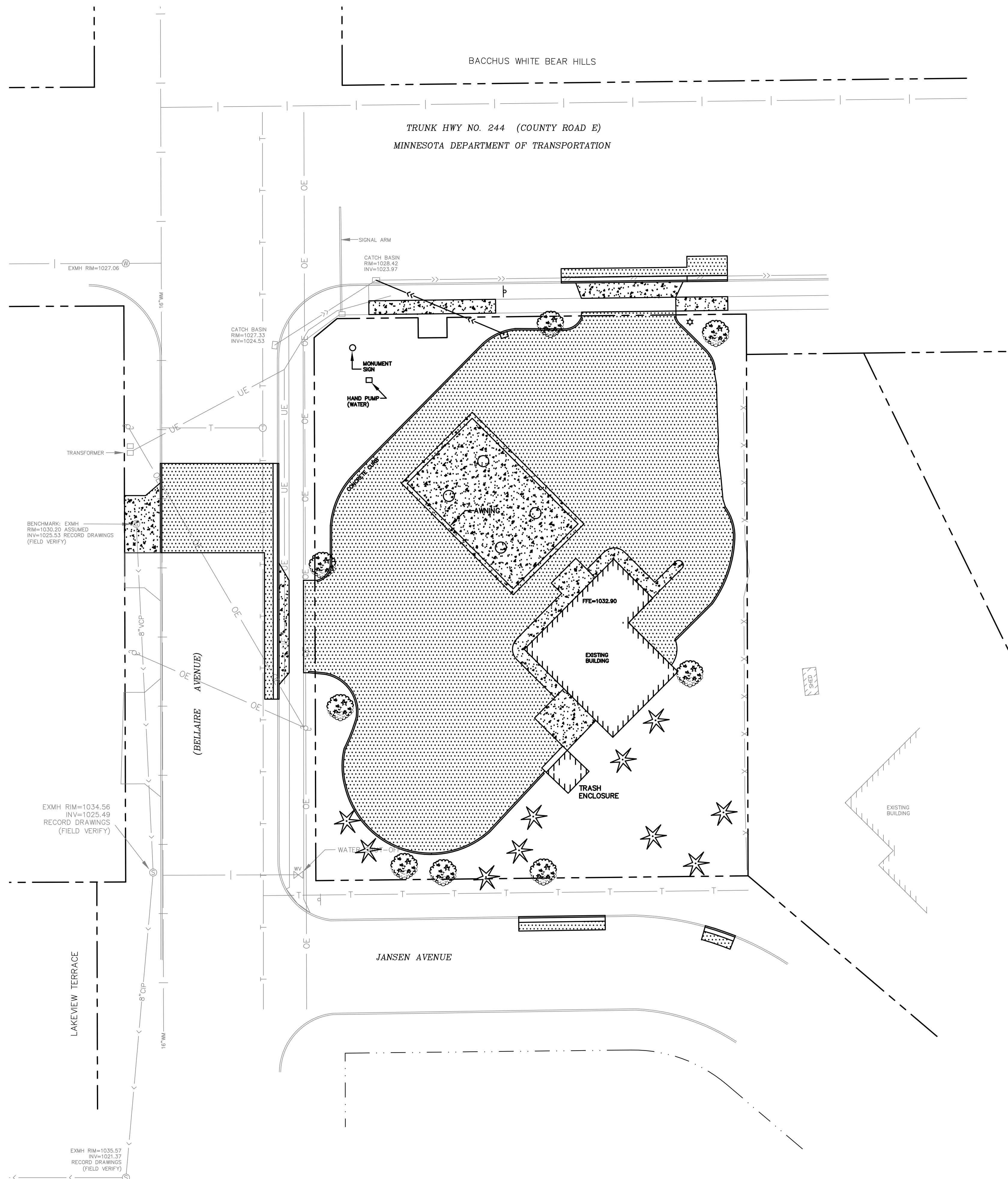
△	
△	

04 / 13 / 2023

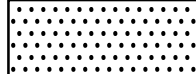

PROJECT NO: 00-000

CONTENTS:  
Exterior Views

SHEET NO:  
**A204**



**SYMBOL LEGEND**

-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

**KEY NOTES**

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION

Client:

Project Title:

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Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Rev.	Date	Description

Project #: 12236008.000  
 Drawn By: JTM  
 Checked By: MJW  
 Issue Date: 03.31.23  
 Sheet Title:

**DEMOLITION PLAN**

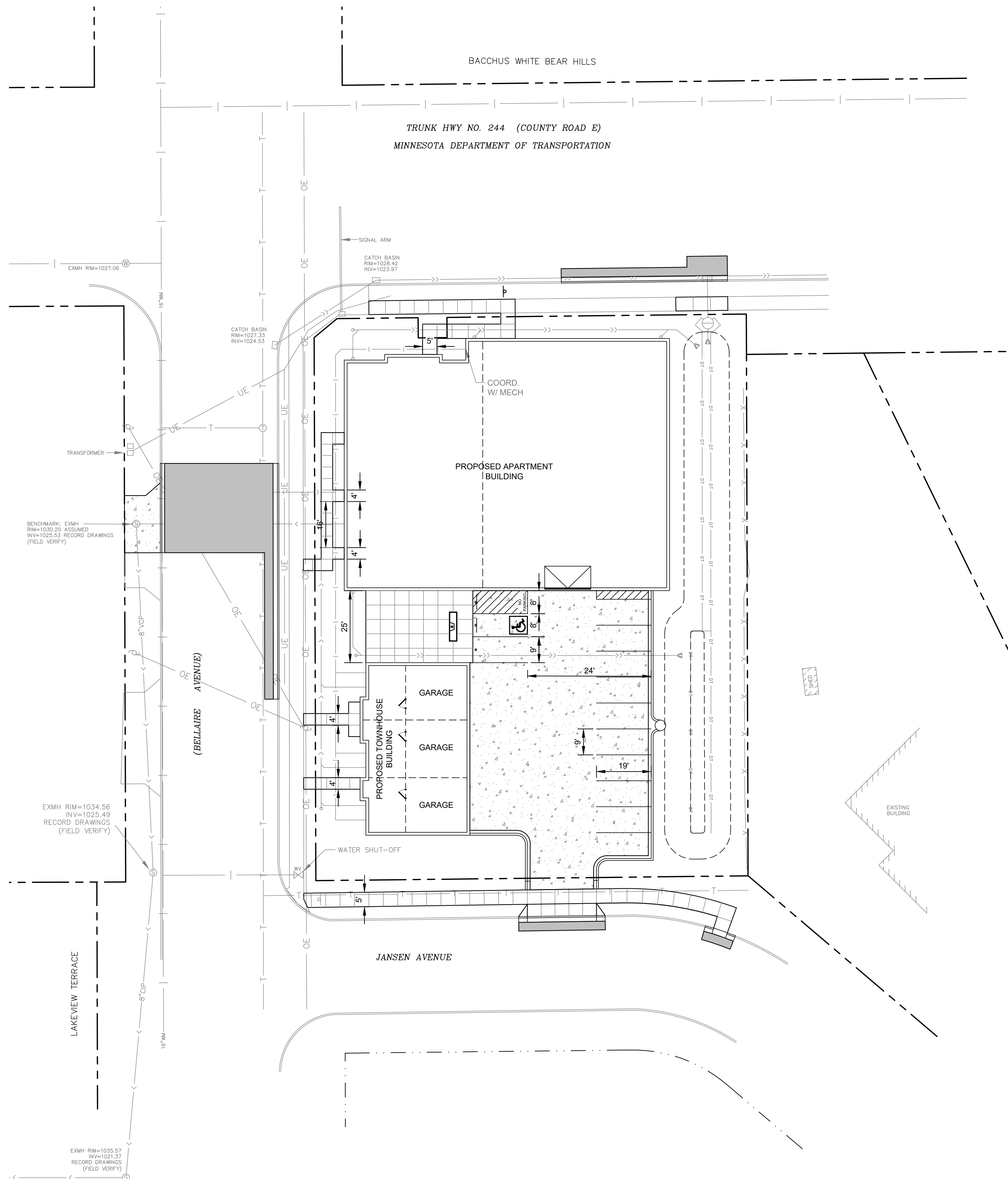
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**C100**

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 3524 Labore Road  
 White Bear Lake, MN 55110  
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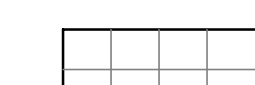
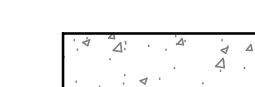
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**ELEMENT DESIGN-BUILD**  
 1110 RAYMOND AVENUE, UNIT 3  
 ST. PAUL, MN 55108

**COUNTY ROAD E APARTMENTS**  
 2502 CO RD E EAST  
 WHITE BEAR LAKE, MN 55110


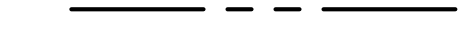

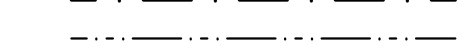


**SYMBOL LEGEND**

-  MATCH EXISTING PAVEMENT THICKNESS SEE DETAIL
-  NEW LIGHT-DUTY CONCRETE PAVEMENT SEE DETAIL
-  NEW HEAVY-DUTY CONCRETE PAVEMENT SEE DETAIL

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SIGNIFY LIGHT-DUTY CONCRETE PAVEMENT. ACTUAL JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

**GENERAL**

-  PROPERTY LINE
-  EASEMENT LINE
-  RIGHT-OF-WAY LINE
-  SETBACK LINE

**KEY NOTES**

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WHITE BEAR LAKE, MN 55110

Project Title:

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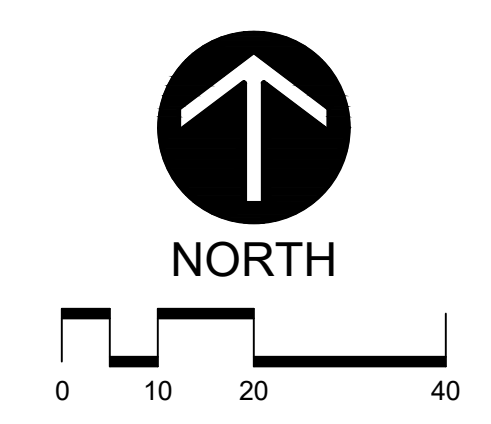
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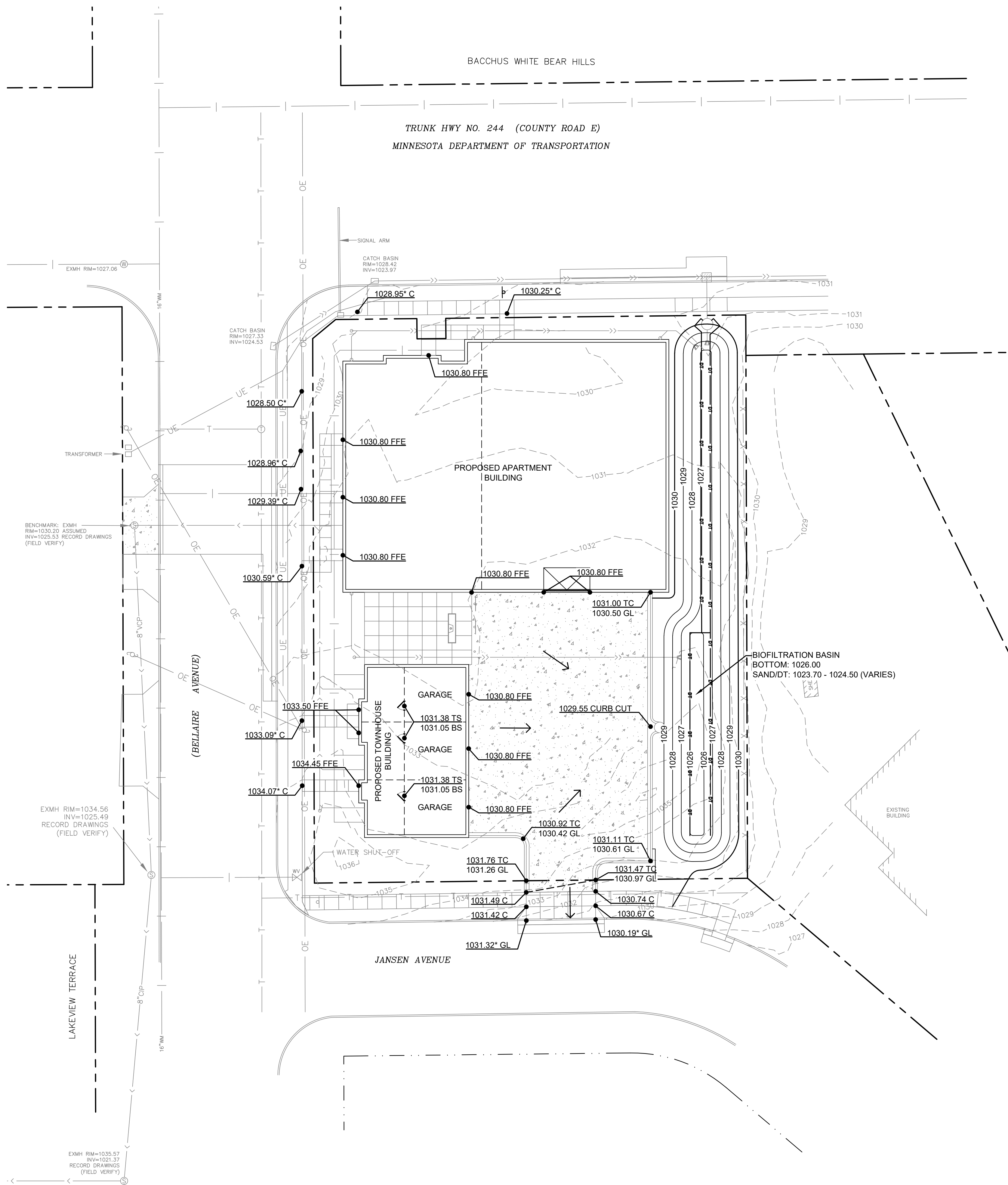
Rev.	Date	Description

Project #: 12236008.000  
Drawn By: JTM  
Checked By: MJW  
Issue Date: 03.31.23  
Sheet Title:

PAVING PLAN

Sheet:  
**C200**





**SYMBOL LEGEND**

- 950 EXISTING CONTOURS
  - 950 PROPOSED CONTOURS - MAJOR INTERVAL
  - 949 PROPOSED CONTOURS - MINOR INTERVAL
  - GRADE BREAK LINE
  - 2.0% GRADE SLOPE
  - SILT FENCE
  - RIP-RAP / ROCK CONST. ENTRANCE
  - INLET PROTECTION
  - CONCRETE WASHOUT STATION
- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
  - GL - GUTTER LINE
  - GO - GUTTER OUT
  - B - BITUMINOUS
  - C - CONCRETE
  - EO - EMERGENCY OVERFLOW
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL (F/G)
  - (\*) - EXISTING TO BE VERIFIED

**GRADING NOTES**

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. All disturbed areas to receive X" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

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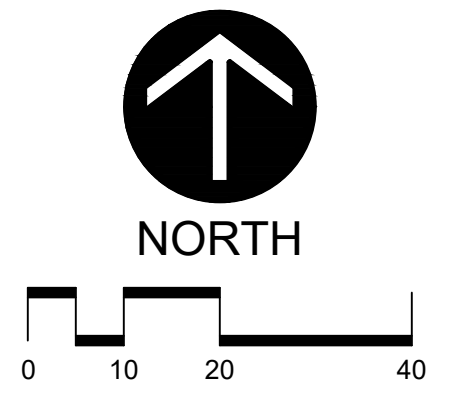
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Rev.	Date	Description

Project #: 12236008.000  
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**GRADING PLAN**


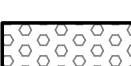
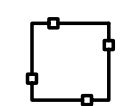
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BACCHUS WHITE BEAR HILLS

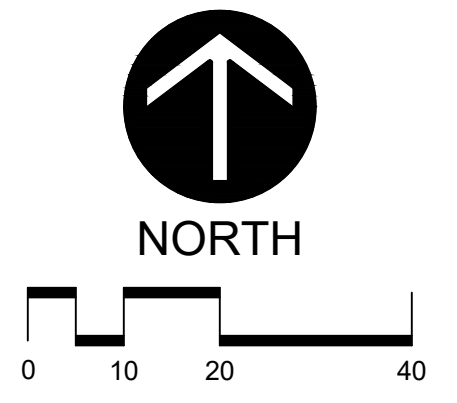
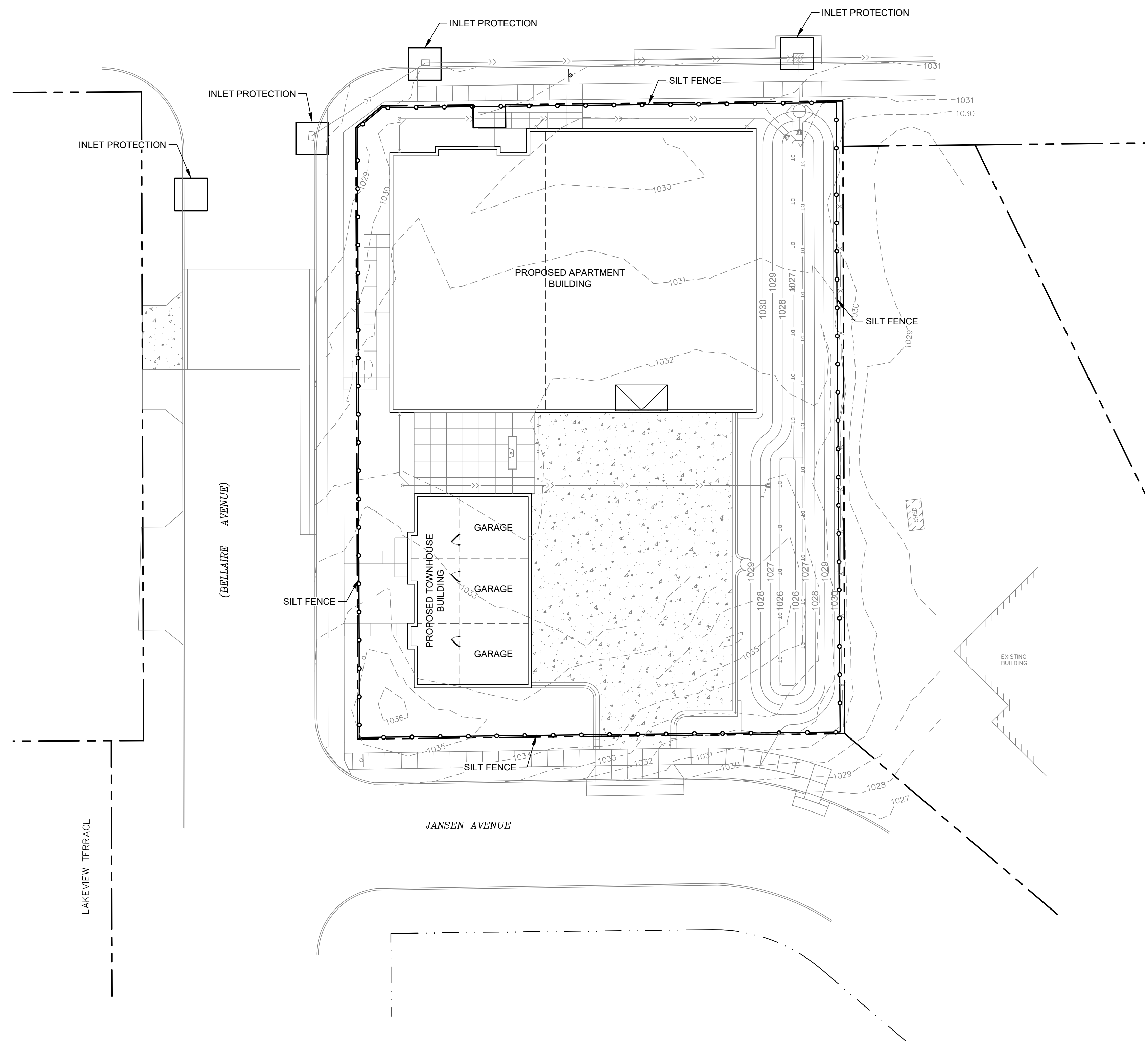
TRUNK HWY NO. 244 (COUNTY ROAD E)  
MINNESOTA DEPARTMENT OF TRANSPORTATION

**SYMBOL LEGEND**

-  SILT FENCE
-  RIP-RAP / ROCK CONST. ENTRANCE  
(TO BE FIELD-LOCATED BY CONTRACTOR)
-  INLET PROTECTION

**EROSION CONTROL NOTES**

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.



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**ELEMENT DESIGN-BUILD**  
1110 RAYMOND AVENUE, UNIT 3  
ST. PAUL, MN 55108

**COUNTY ROAD E APARTMENTS**  
2502 CO RD E EAST  
WHITE BEAR LAKE, MN 55110

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Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Rev.	Date	Description

Project #: 12236008.000  
Drawn By: JTM  
Checked By: MJW  
Issue Date: 03.31.23  
Sheet Title:

**EROSION CONTROL PLAN**

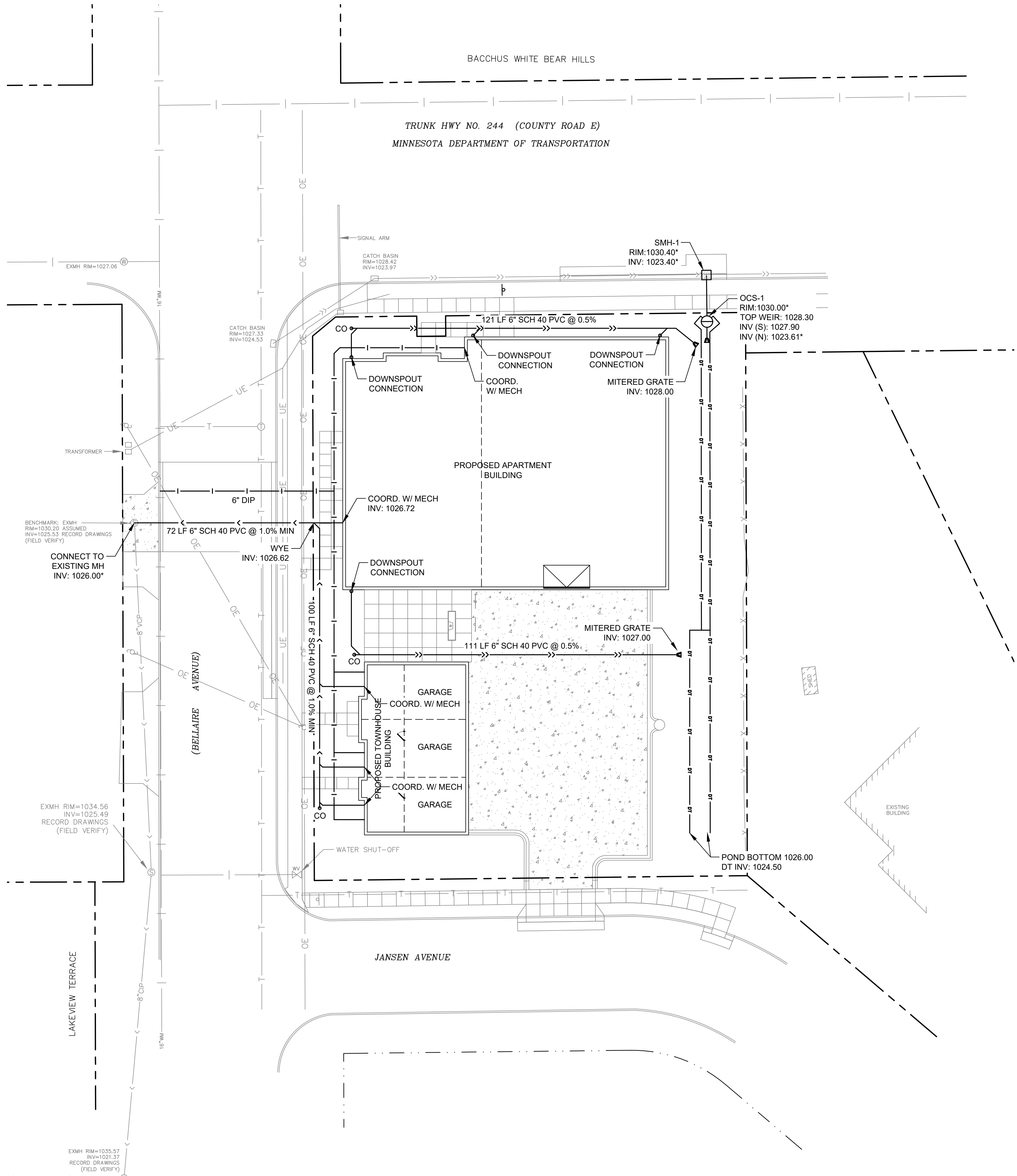
Sheet: **C400**

**SYMBOL LEGEND**

○	STORM MANHOLE	—— CTV ——	CABLE UNDERGROUND LINE
○	CATCH BASIN	—— OE —— OE ——	ELECTRIC OVERHEAD LINE
□	CURB INLET	—— UE —— UE ——	ELECTRIC UNDERGROUND LINE
▲	FLARED END	—— FO ——	FIBER OPTIC UNDERGROUND LINE
○	SANITARY MANHOLE	—— GAS —— GAS —— GAS ——	NATURAL GAS UNDERGROUND LINE
⊕	HYDRANT	—— S —— S —— S ——	SANITARY SEWER PIPE
⊗	GATE VALVE & BOX	—— T —— T —— T ——	STORM SEWER PIPE
⊗	WATER SHUTOFF	—— W —— W —— W ——	TELEPHONE UNDERGROUND LINE
☀	LIGHT POLE	—— BT ——	WATERMAIN PIPE
			DRAINTILE PIPE

**UTILITY NOTES**

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
- All RCP pipe shown on the plans shall be MN/DOT class 3.
- Maintain a minimum of 7 1/2" of cover over all water lines and sanitary sewer lines. Where 7 1/2" of cover is not provided, install 2" rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5' use 4" of insulation.
- Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
- All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
- See Project Specifications for bedding requirements.
- Pressure test and disinfect all new watermains in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
- A structure adjustment shall include removing and salvaging the existing casting assembly, removing existing concrete rings to the precast section. Install new rings and salvaged casting to proposed grades, cleaning casting flange by mechanical means to insure a sound surface and install an external chimney seal from casting to precast section. Chimney seals shall be Infi-Shield Uni-Band or an approved equal.



PRELIMINARY NOT FOR CONSTRUCTION

Client: Larson Engineering, Inc. Project Title: COUNTY ROAD E APARTMENTS

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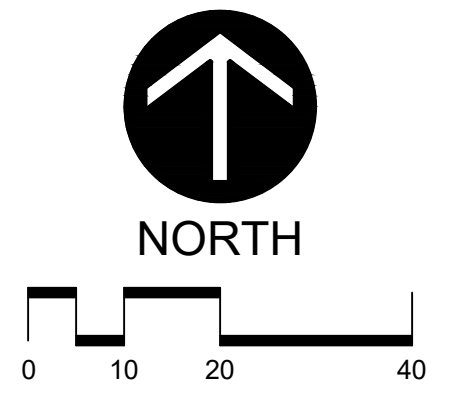
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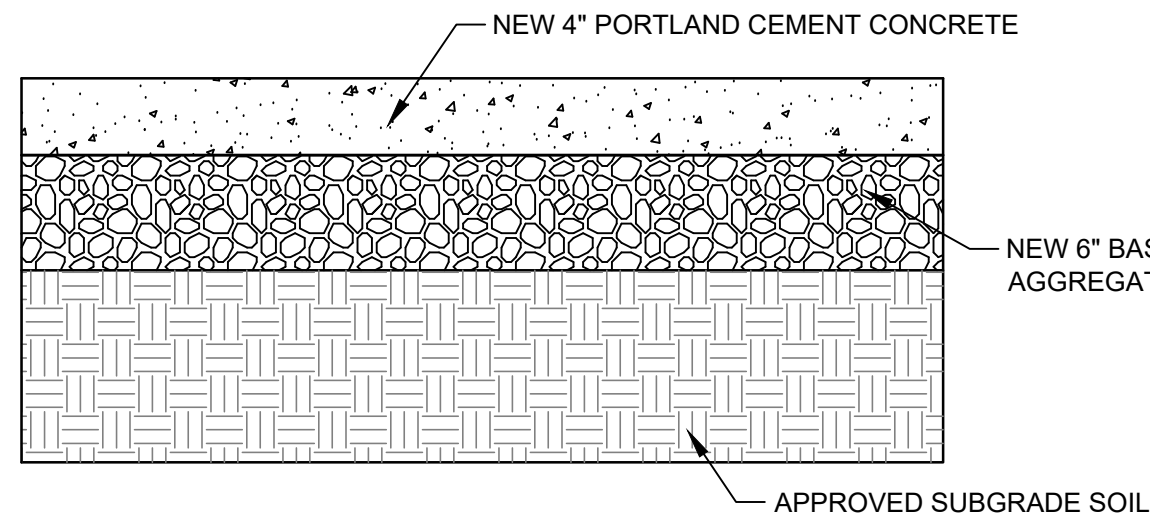
Rev.	Date	Description

Project #: 12236008.000  
 Drawn By: JTM  
 Checked By: MJW  
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 Sheet Title:

UTILITY PLAN

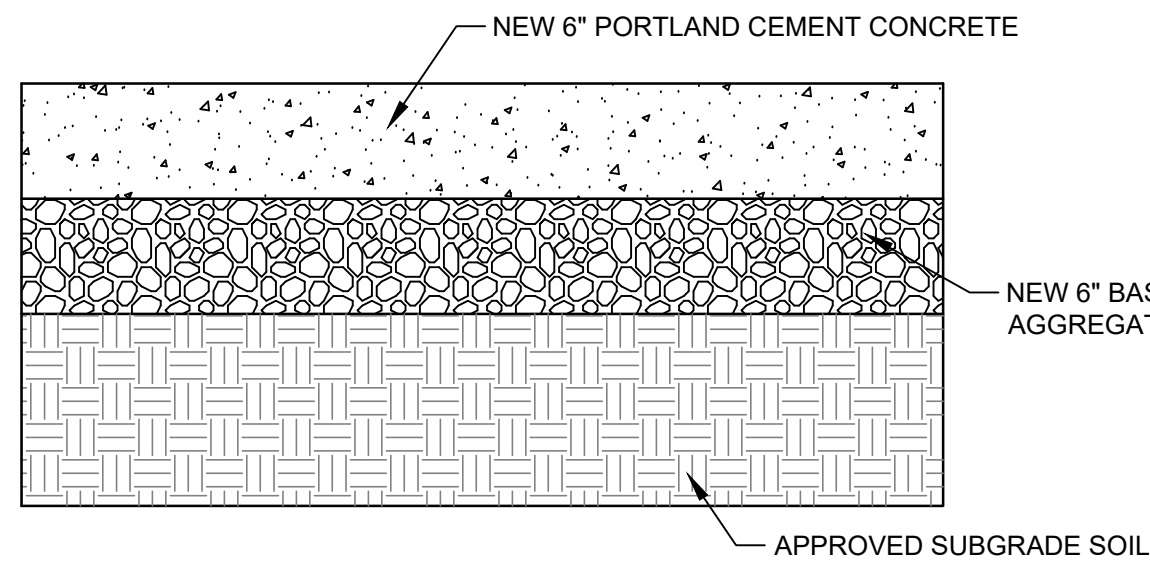
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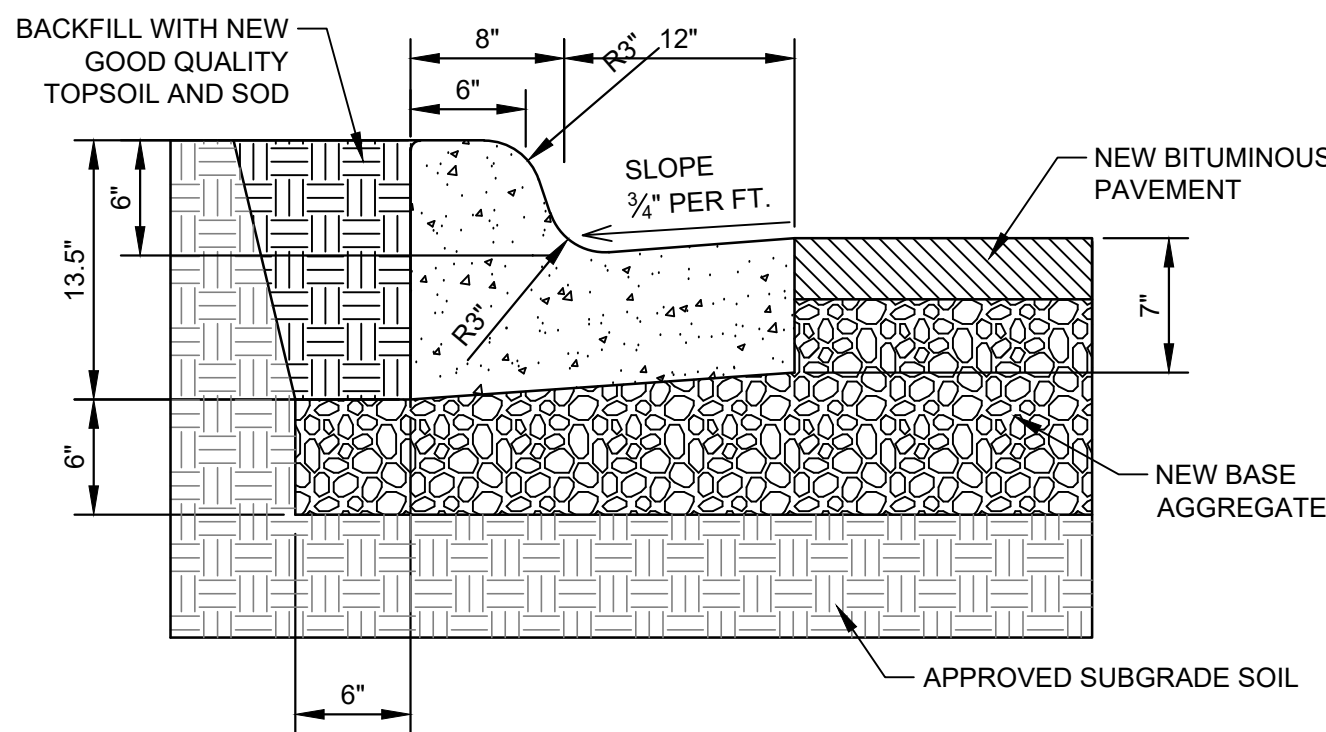
**LIGHT-DUTY CONCRETE CONSTRUCTION DETAIL**

NOT TO SCALE



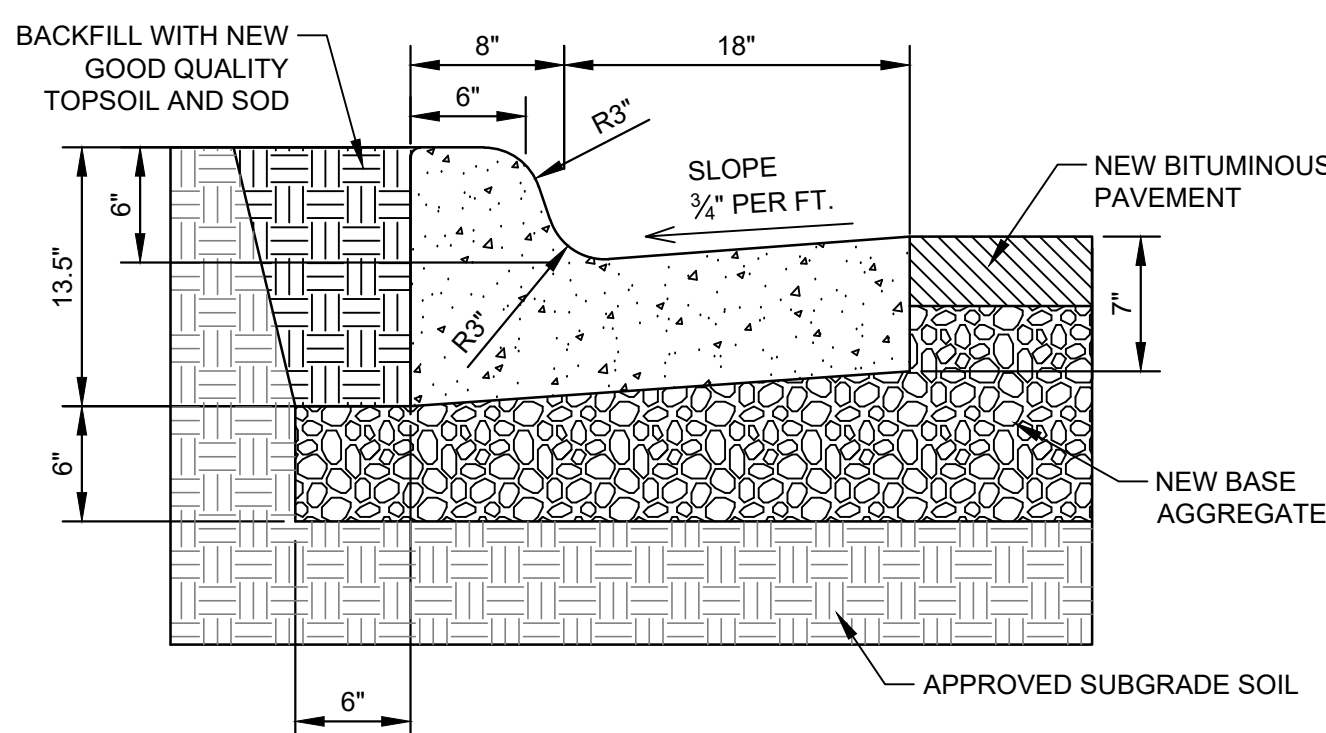
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NOT TO SCALE



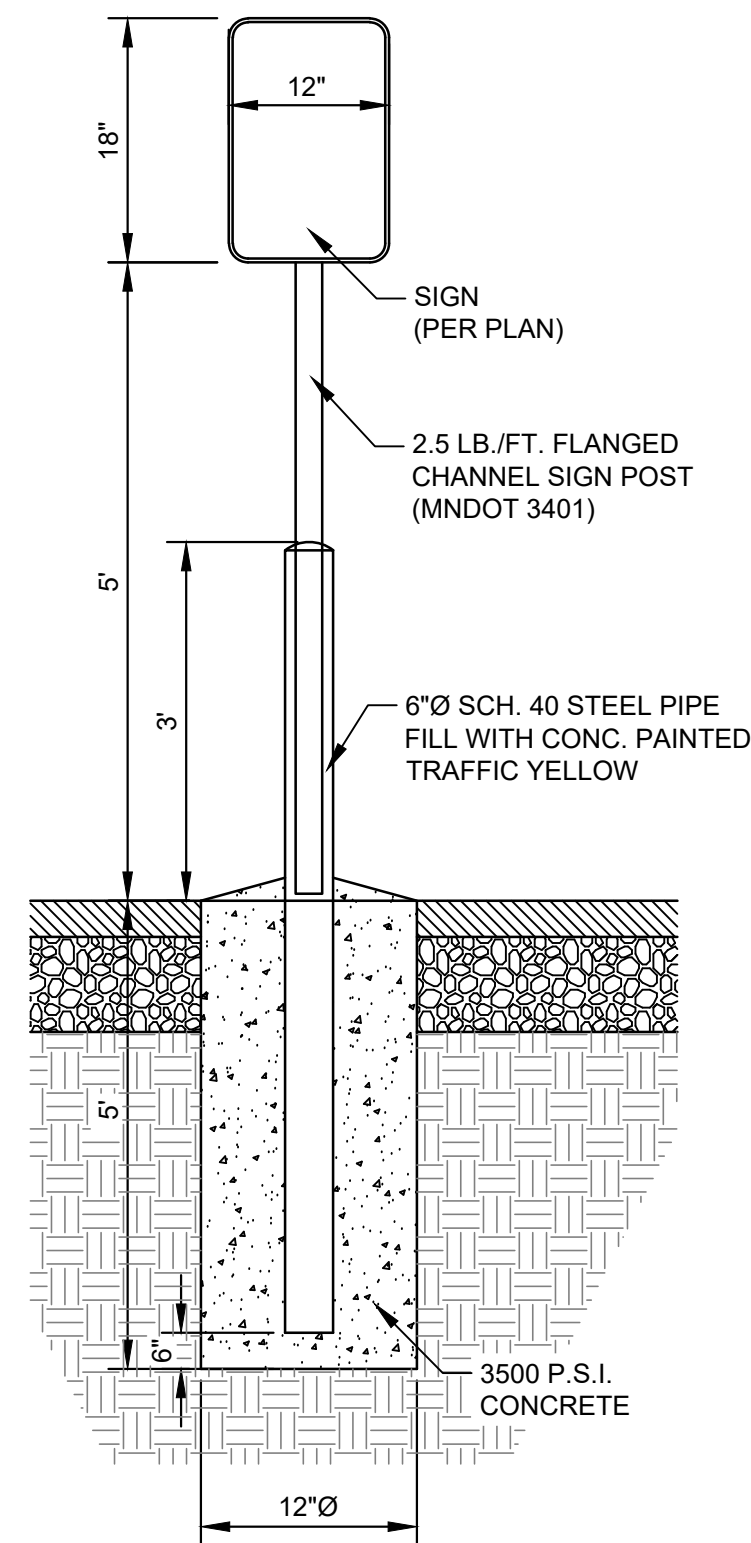
**B612 CONCRETE CURB & GUTTER DETAIL**

NOT TO SCALE



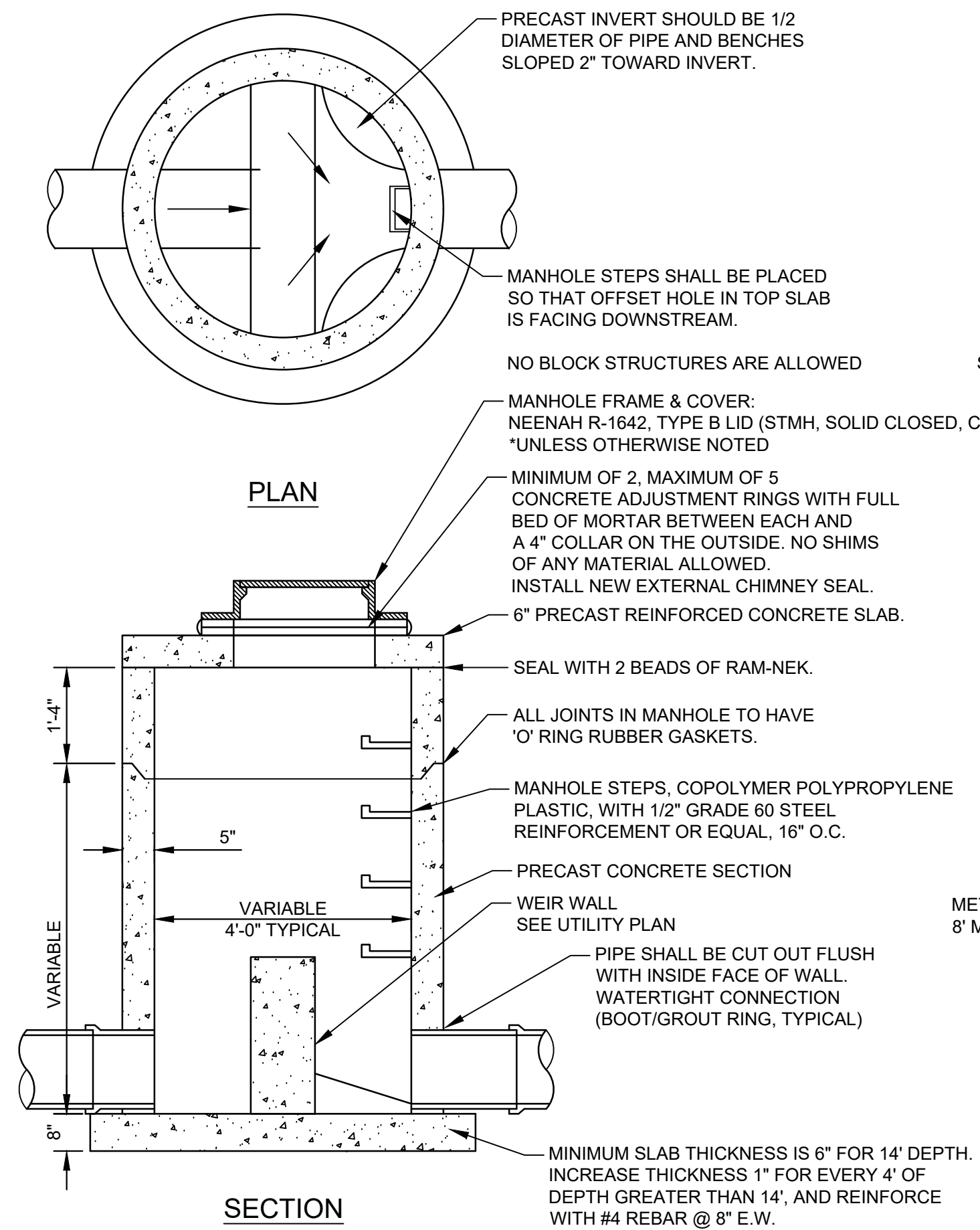
**B618 CONCRETE CURB & GUTTER DETAIL**

NOT TO SCALE



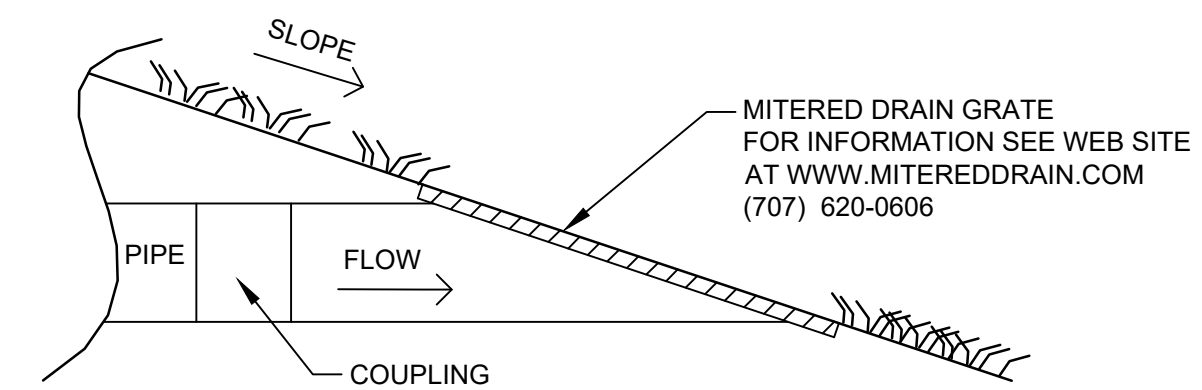
**ACCESSIBLE PARKING SIGN AND POST DETAIL**

NOT TO SCALE



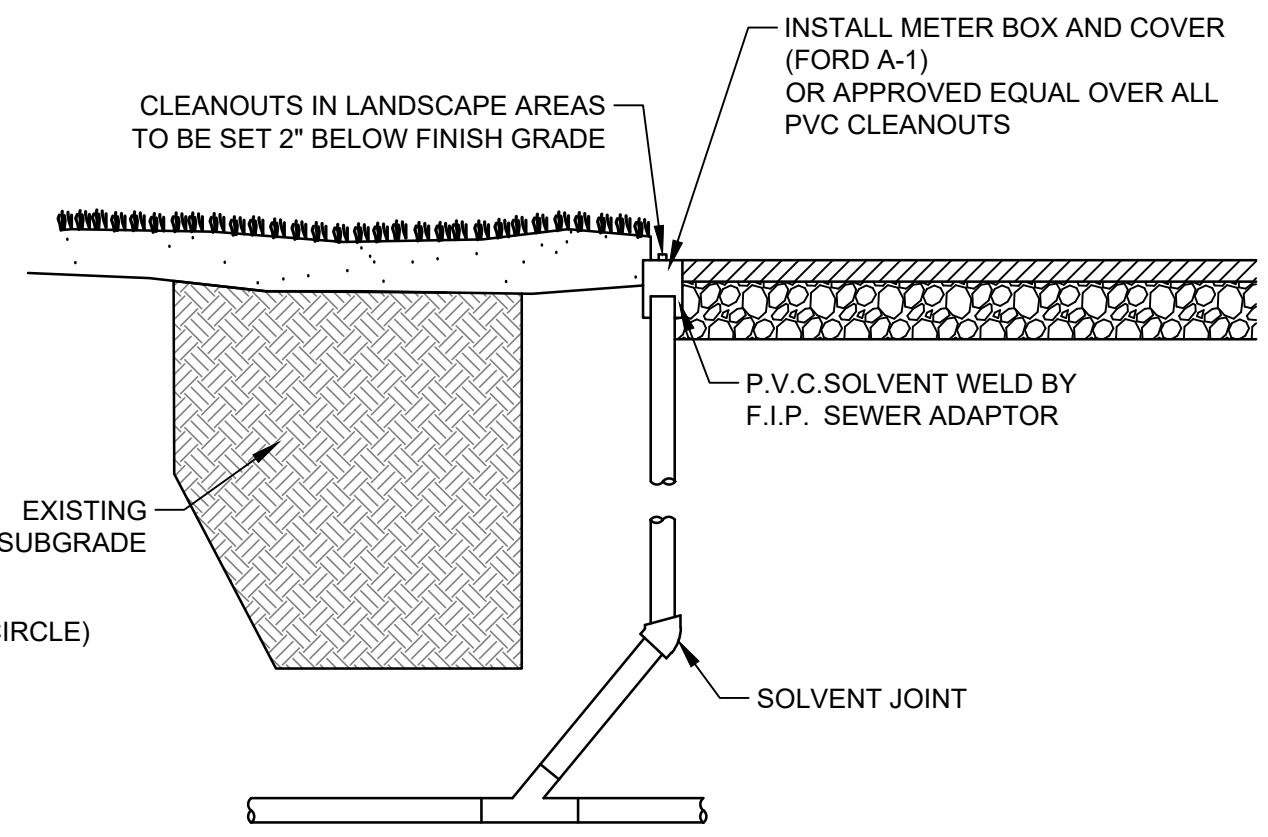
**OUTLET CONTROL STRUCTURE MANHOLE DETAIL**

NOT TO SCALE



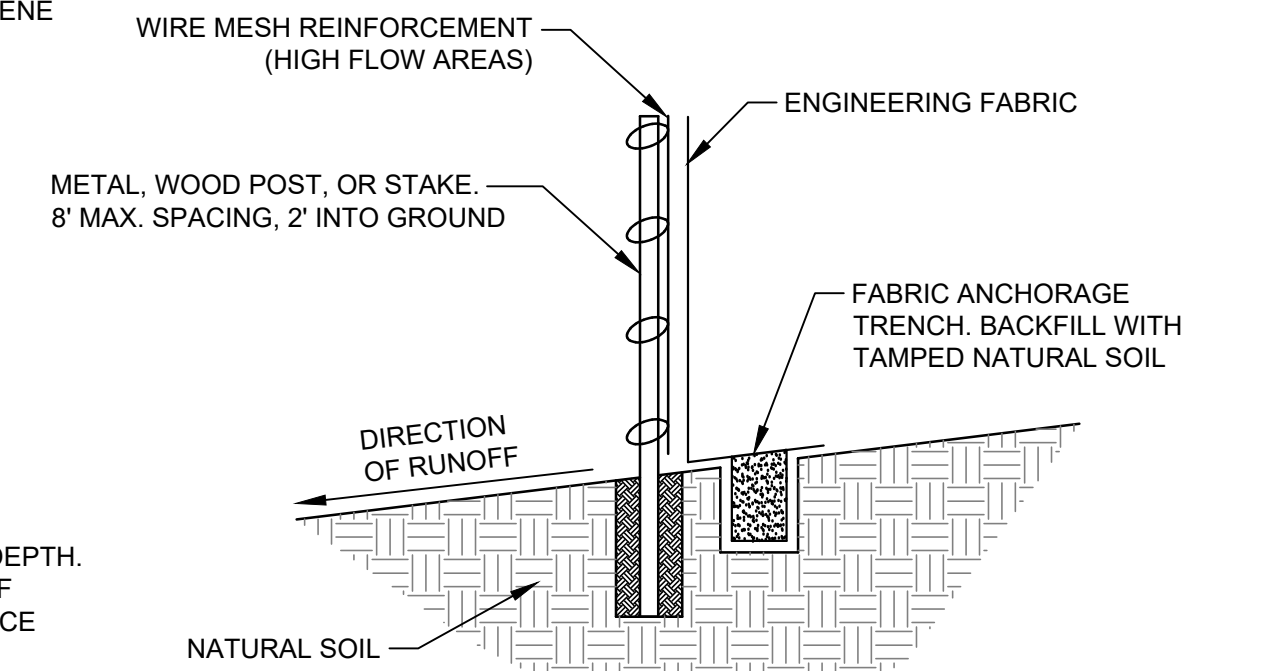
**MITERED END GRATE DETAIL**

NOT TO SCALE



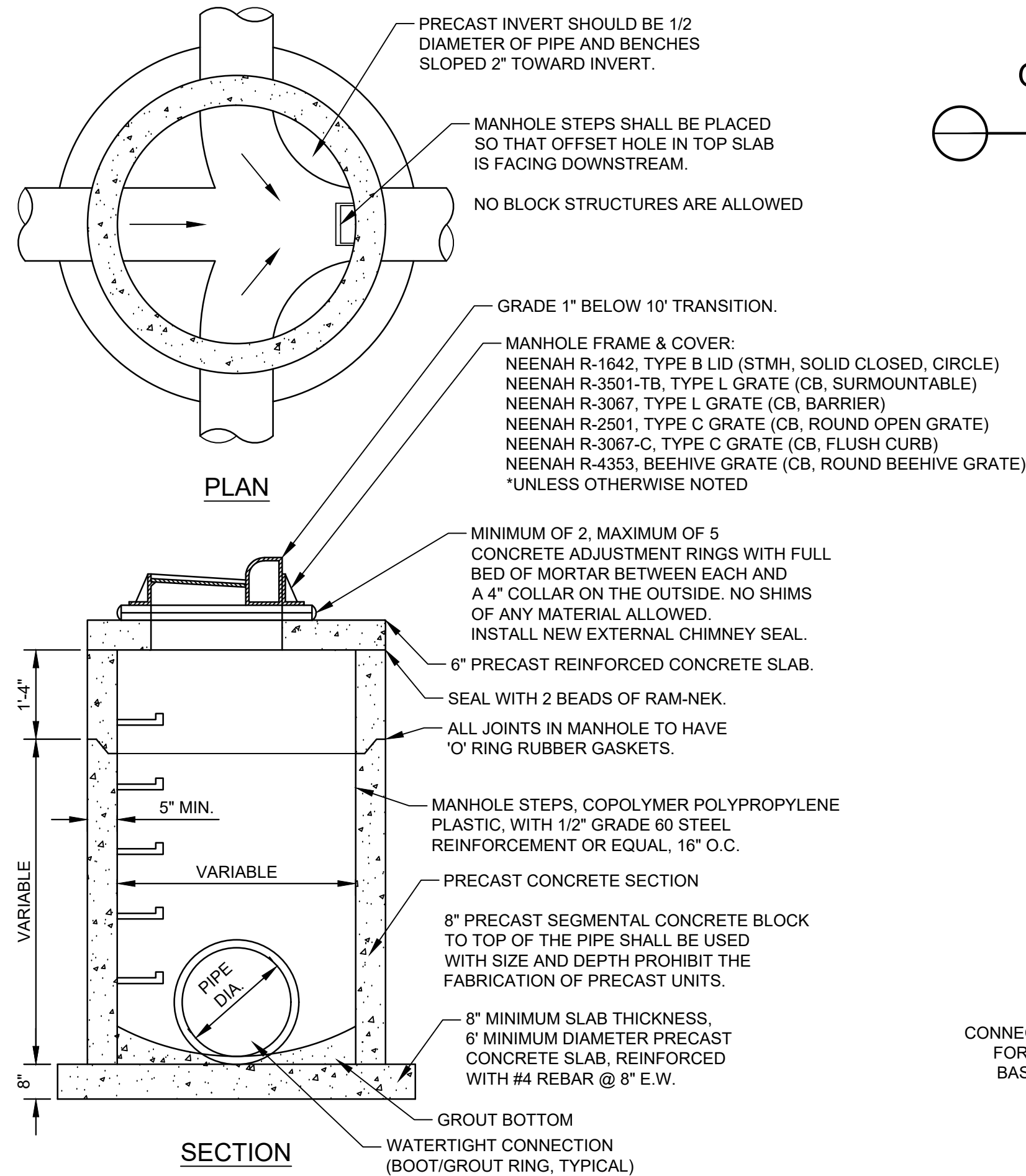
**SANITARY SEWER CLEANOUT DETAIL**

NOT TO SCALE



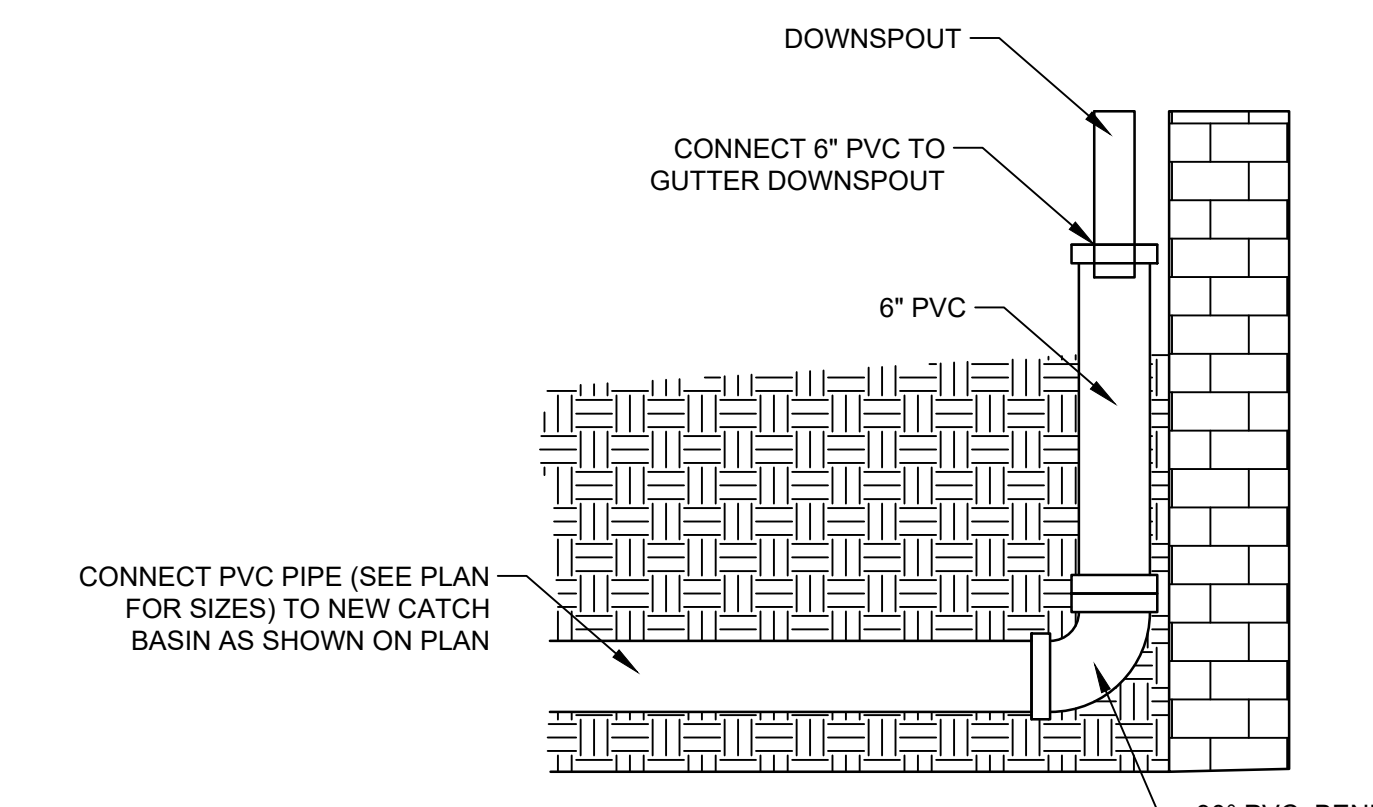
**SILT FENCE INSTALLATION DETAIL**

NOT TO SCALE



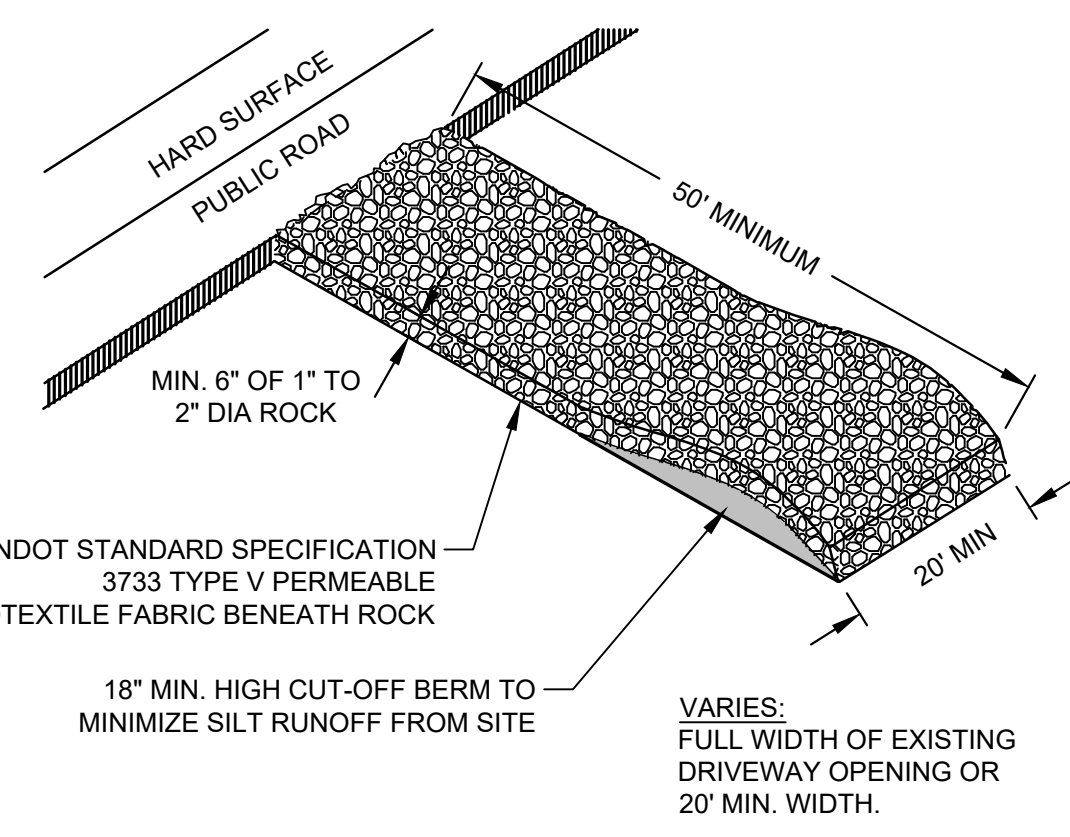
**CATCH BASIN MANHOLE DETAIL**

NOT TO SCALE



**ROOF DRAIN CONNECTION DETAIL (TURF)**

NOT TO SCALE



**ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE

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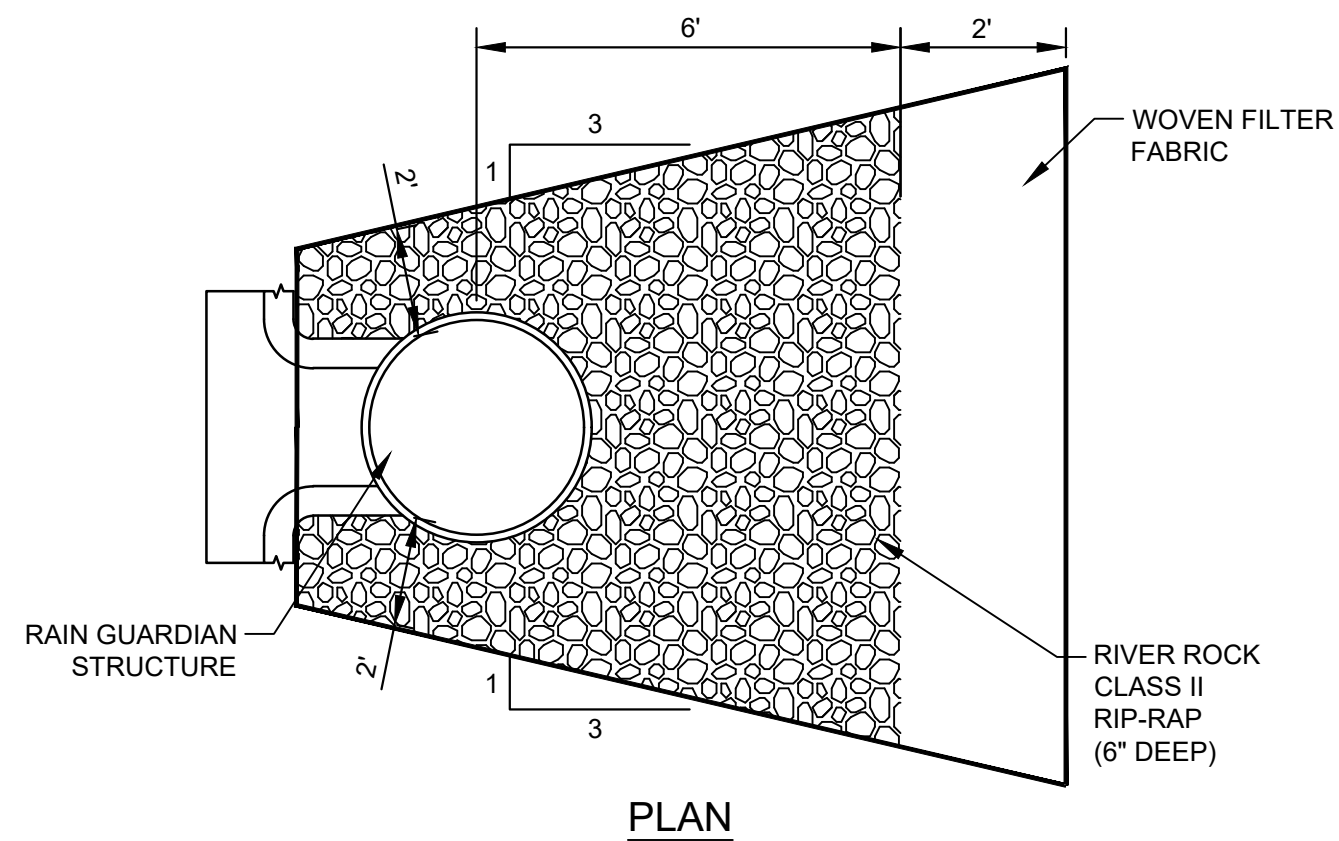
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Project #: 12236008.000  
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 Checked By: MJW  
 Issue Date: 03.31.23  
 Sheet Title:

DETAILS  
 Sheet: **C600**

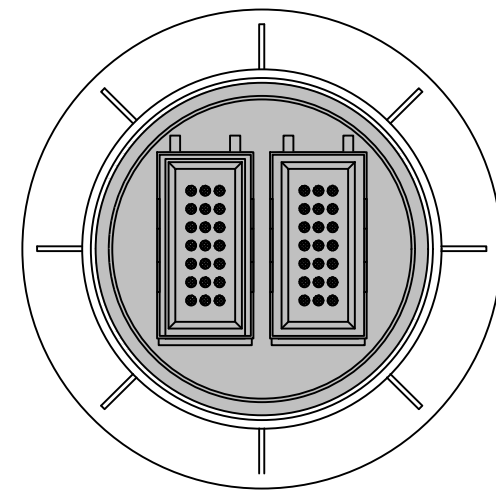




NOTE:  
500X MIRAFI FABRIC OR EQUAL

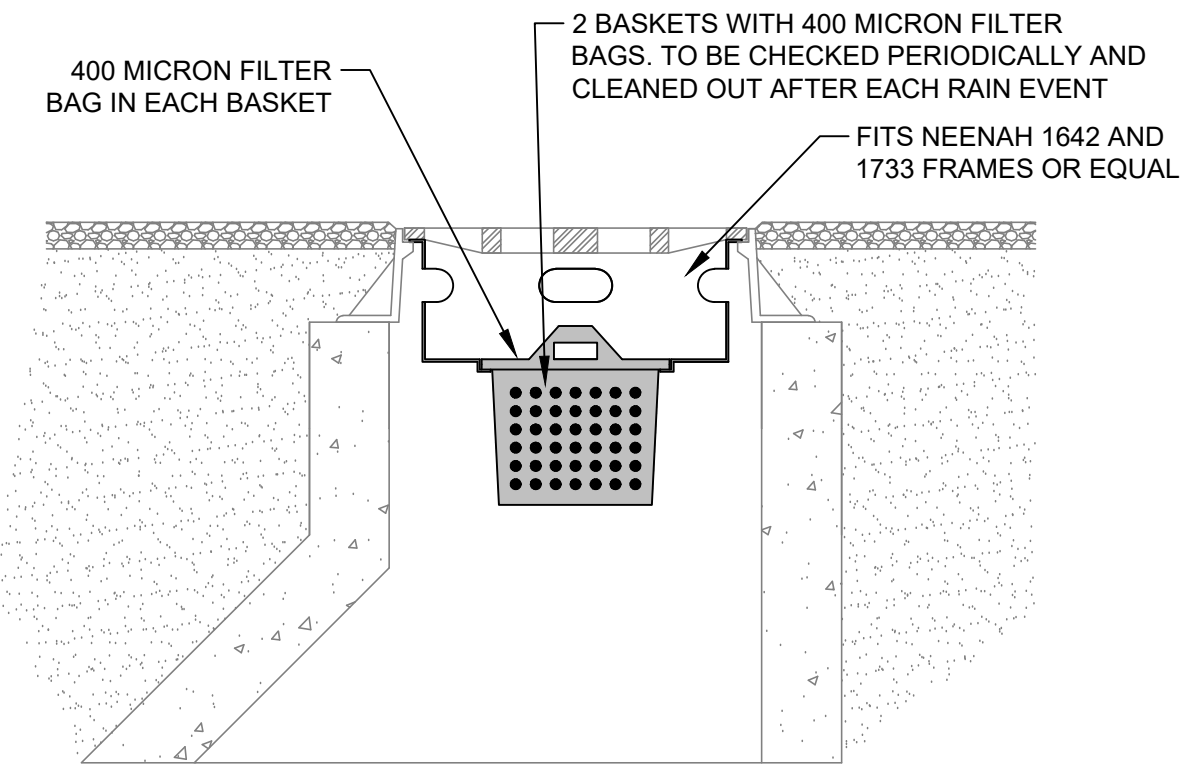
**RAIN GUARDAIN WITH RIP-RAP DETAIL**

NOT TO SCALE



FILTER AREA	5.65 FT <sup>2</sup>
OVERFLOW AREA	0.42 FT <sup>2</sup>
MAXIMUM OVERFLOW RATE (@ 7" HEAD)	1.99 CFS
MAXIMUM OVERFLOW RATE (@ 13" HEAD)	2.79 CFS
BASKET WEIGHT (EMPTY)	1 LB
BASKET WEIGHT (FULL-APPROX.)	45 LBS

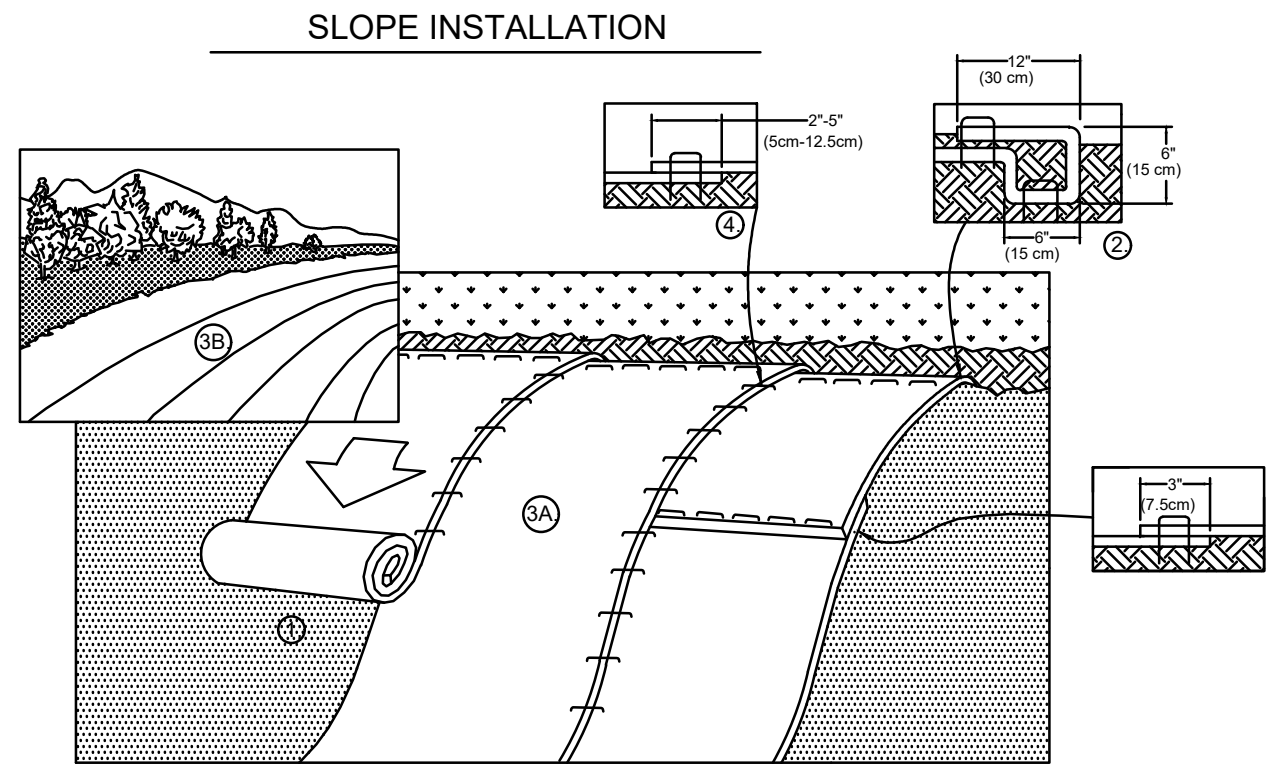
**PLAN**



**PROFILE**

**INFRSAFE INLET PROTECTION DEVICE (OR EQUAL)**

NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
3. ROLL THE RECP's (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.  
NOTE:  
\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.



**NORTH AMERICAN GREEN**  
EROSION CONTROL Products  
Guaranteed SOLUTIONS

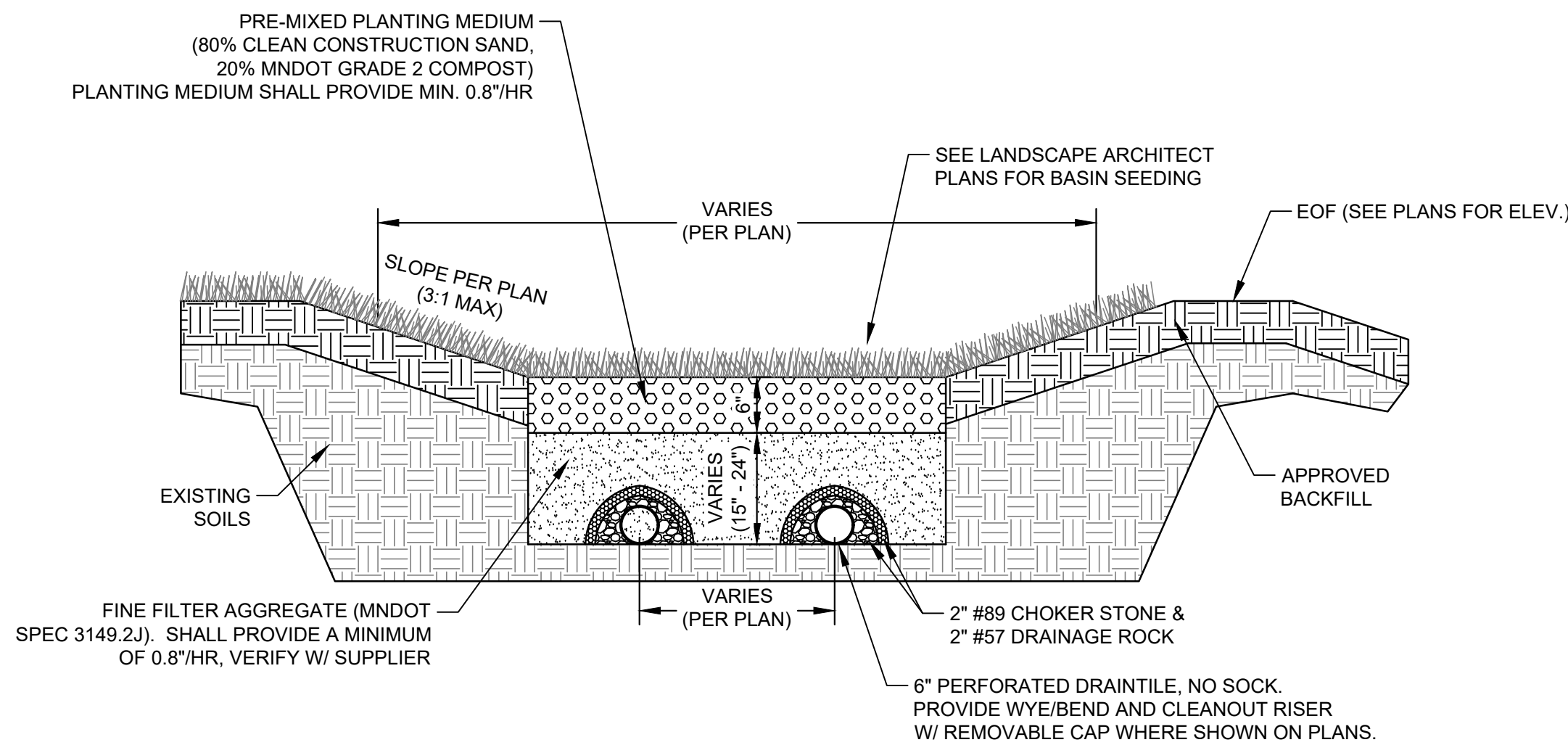
**Category 4 Erosion Control Blanket:**  
North American Green S150 erosion control blanket or approved equal.

<b>Top Net</b> Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.	<b>Bottom Net</b> Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.
<b>Straw Fiber</b> 0.50 LBS/YD <sup>2</sup> (0.27 KG/M <sup>2</sup> )	<b>Thread</b> Photodegradable

**Staples/Anchors:**  
The type of anchors used to secure the blanket to the ground shall be Steel wire 11 Gauge 1" wide x 8" long.

**EROSION CONTROL BLANKET**

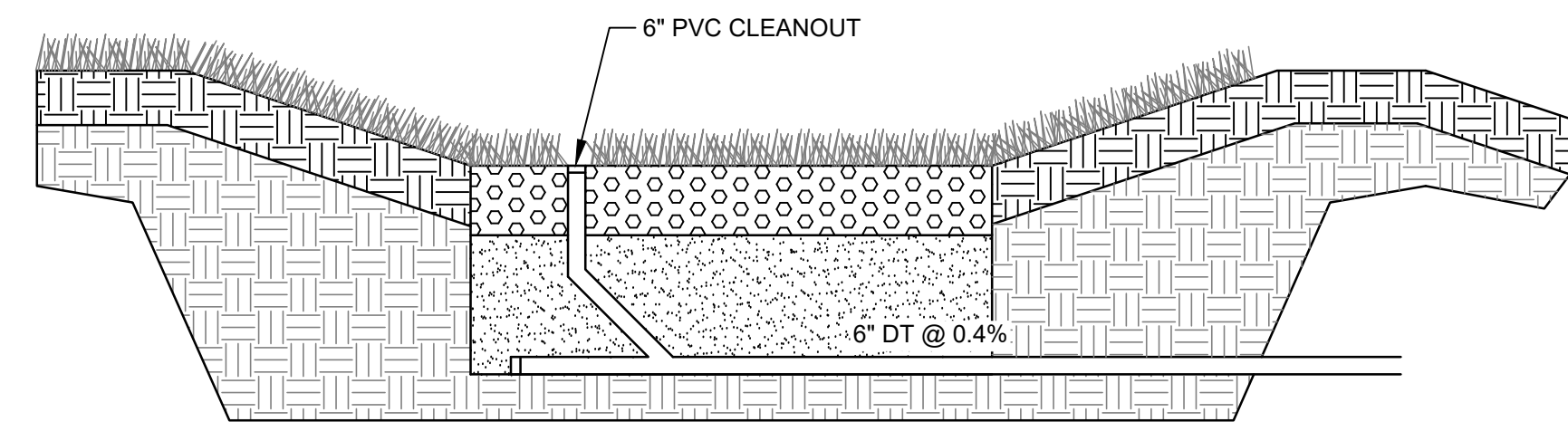
NOT TO SCALE



- NOTES:
1. SOILS WITHIN FILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.

**FILTRATION BASIN CROSS SECTION**

NOT TO SCALE



PRELIMINARY NOT FOR CONSTRUCTION

**Larson Engineering, Inc.**  
3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
www.larsonengr.com

**ELEMENT DESIGN-BUILD**  
1110 RAYMOND AVENUE, UNIT 3  
ST. PAUL, MN 55108

**COUNTY ROAD E APARTMENTS**  
2502 CO RD E EAST  
WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Date: \_\_\_\_\_ Lic. No.: \_\_\_\_\_

Rev.	Date	Description

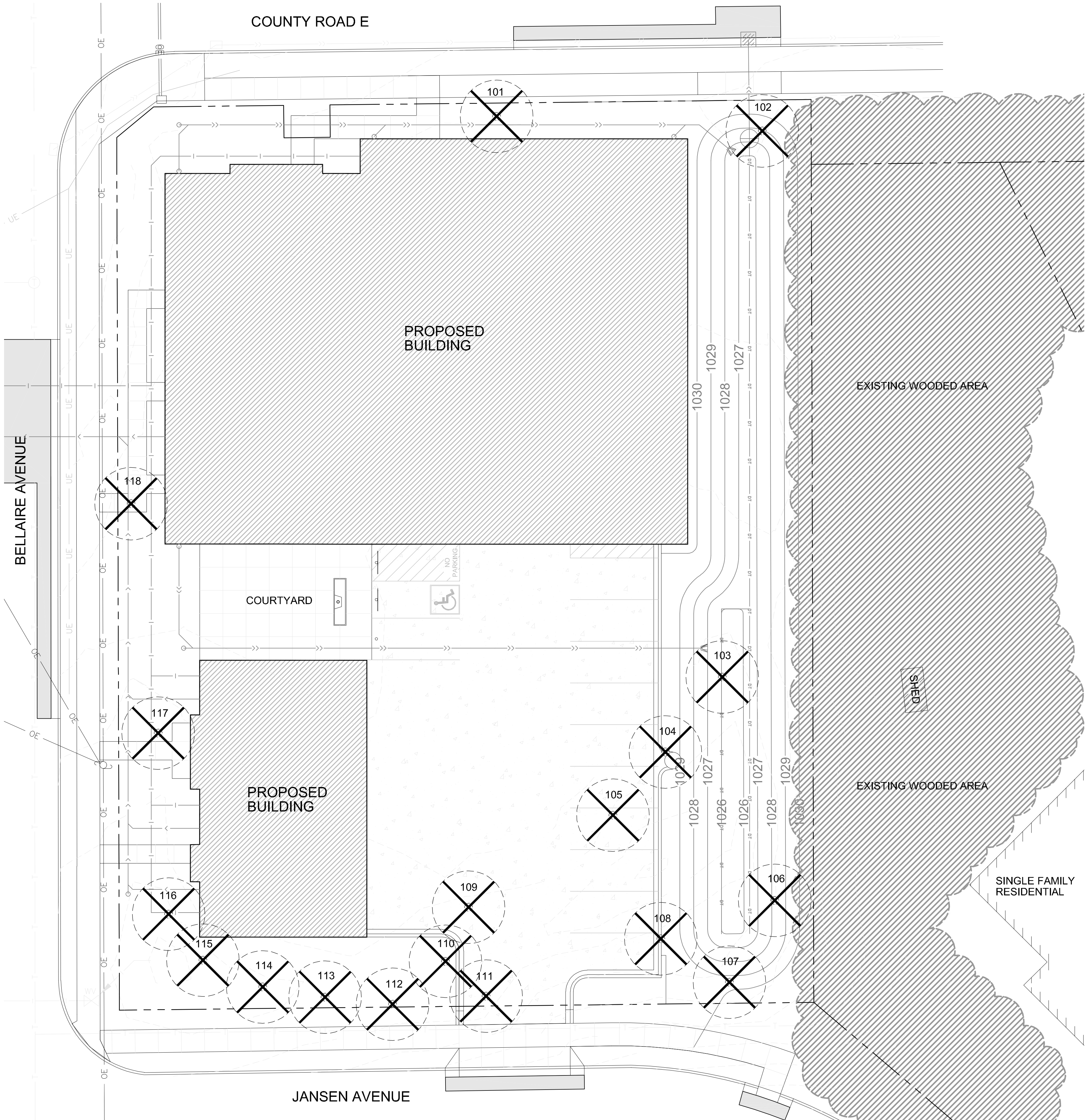
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Drawn By: JTM  
Checked By: MJW  
Issue Date: 03.31.23  
Sheet Title:

**DETAILS**

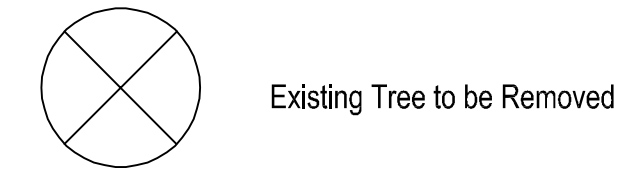
Sheet: **C601**



COUNTY ROAD E



**Legend:**



Existing Tree to be Removed



**CALYX**  
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 Landscape Architecture | Planning  
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 Internet: www.calyxdesigngroup.com

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**DESIGN-BUILD**  
 1110 RAYMOND AVENUE, UNIT 3  
 ST. PAUL, MN 55108

**COUNTY ROAD E. EAST**  
**APARTMENTS**  
 WHITE BEAR LAKE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.

**PRELIMINARY**

Benjamin Hartberg, PLA  
 Date: XX-XX-XXXX Lic. No. 48084

Rev.	Date	Description

Project #: XXXXXXXX  
 Drawn By: HL  
 Checked By: BH  
 Issue Date: 03.31.2023  
 Sheet Title:

**TREE PRESERVATION PLAN**

Sheet:

**L000**

**Municipal Tree Mitigation Requirements:**

Total Significant Tree Inches On-Site (B):	230
Total Premium Inches Removed (A1):	230
Total Secondary Inches Removed (A2):	0
Total Premium Replacement Inches Required (D)*:	306
Total Secondary Replacement Inches Required (D)**:	0
Total Replacement Inches Required:	306
Non-Significant Inches to Remain Credit:	0
Bldv Tree Credit***:	0
Total Replacement Inches Owed:	306
Total Replacement Inches Shown:	50
New Overstory Trees Proposed: 14	
New Ornamental Trees Proposed: 10	
Remaining Tree Inches Owed:	256

\* (A1/B) x C1 x A1 = D (230/230) x 1.33 x 230 = 306  
 \*\* (A2/B) x C2 x A2 = D (0/230) x 266 x 0 = 0

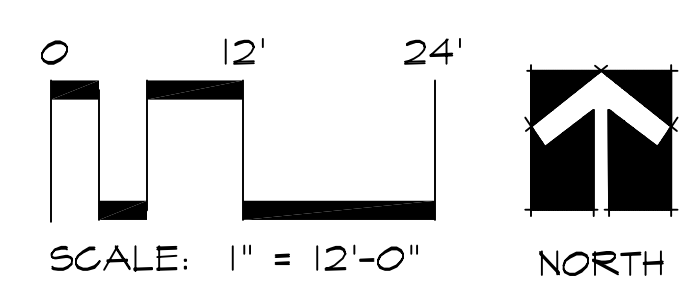
A1 = Total caliper inches of significant premium trees lost as a result of land alteration  
 A2 = Total caliper inches of significant secondary trees lost as a result of land alteration  
 B = Total caliper inches of significant trees situated on the land  
 C1 = Tree replacement constant, premium tree (1.33)  
 C2 = Tree replacement constant, secondary tree (266)  
 D = Replacement Trees (number of caliper inches)

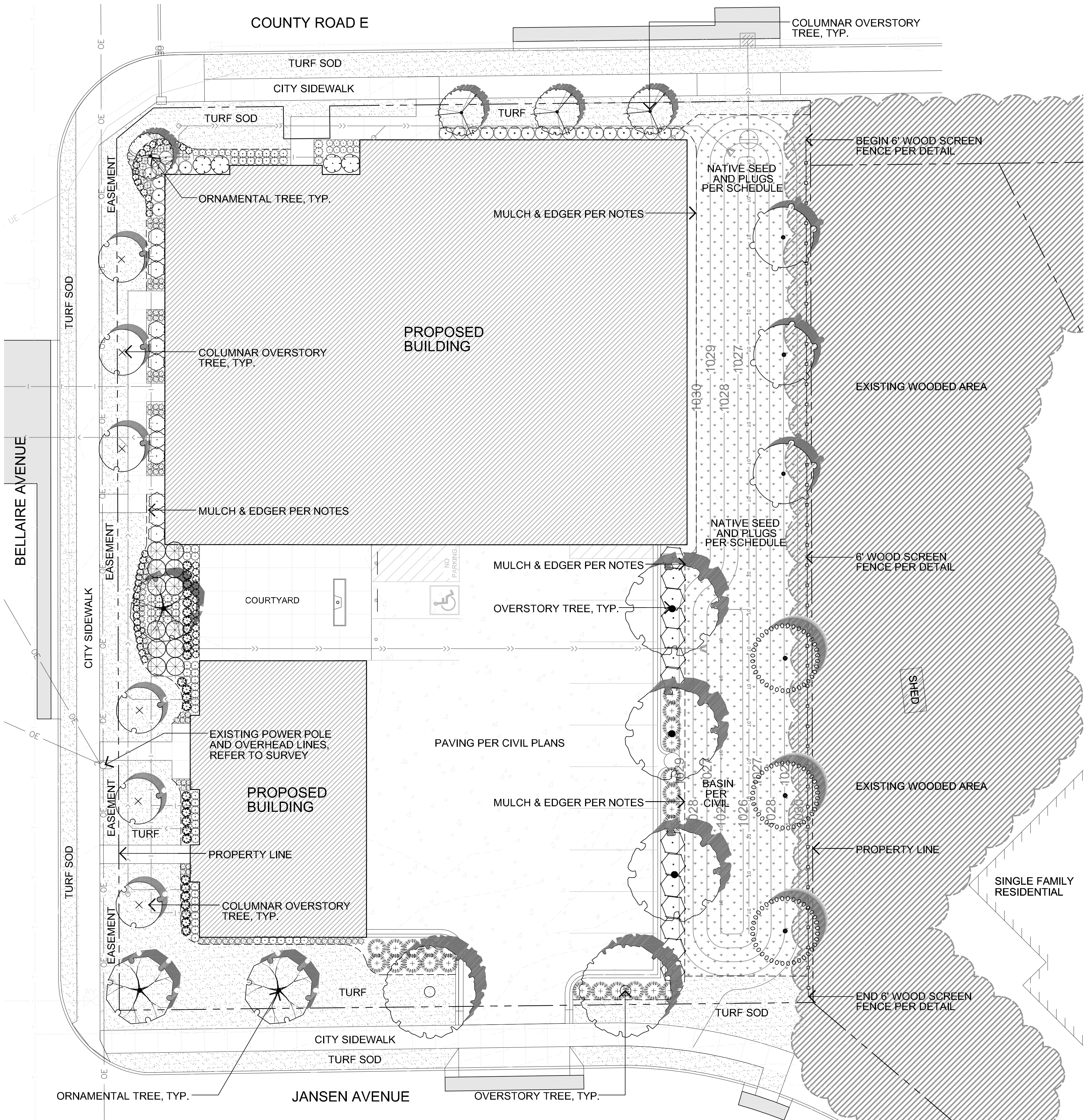
\*\*\*Boulevard Tree Credit: Trees in the grassy area within the ROW next to the street may be counted towards the preservation calculation at a rate of half. 359 Bldv inches / 2 = 179.5 inch credits

Note: Replacement inches that cannot be planted on site may be paid into the Arbor Day planting fund at the rate of \$100 per caliper inch

Point	Type	Inches	Significant?	Classification	Remove?
101	ELM	18	Y	Premium	Y
102	ELM	18	Y	Premium	Y
103	ELM	12	Y	Premium	Y
104	PINE	10	Y	Premium	Y
105	PINE	10	Y	Premium	Y
106	PINE	10	Y	Premium	Y
107	PINE	10	Y	Premium	Y
108	PINE	10	Y	Premium	Y
109	PINE	12	Y	Premium	Y
110	PINE	8	Y	Premium	Y
111	OAK	18	Y	Premium	Y
112	PINE	10	Y	Premium	Y
113	OAK	12	Y	Premium	Y
114	OAK	28	Y	Premium	Y
115	PINE	10	Y	Premium	Y
116	PINE	10	Y	Premium	Y
117	ELM	12	Y	Premium	Y
118	ELM	12	Y	Premium	Y

Summary	Inches
Total Significant Tree Inches On-Site	230
Total Premium Tree Inches Removed	230
Total Secondary Tree Inches Removed	0
Total Premium Replacement Inches	305.90
Total Secondary Replacement Inches	0.00
Total Replacement Inches	305.90
Total Non-Significant Inches to Remain as credit	0
Total Bldv Inches	0
Total Inch Credits from Bldv Trees	0.00
<b>Total Replacement Inches Owed</b>	<b>305.90</b>





**Legend:**

- Proposed Turf Sod
- Existing Wooded Area
- Edger per Landscape Notes

ALL PROPOSED TREES TO BE PLANTED 10' MINIMUM FROM UTILITIES

**City of White Bear Lake Landscape Requirements:**

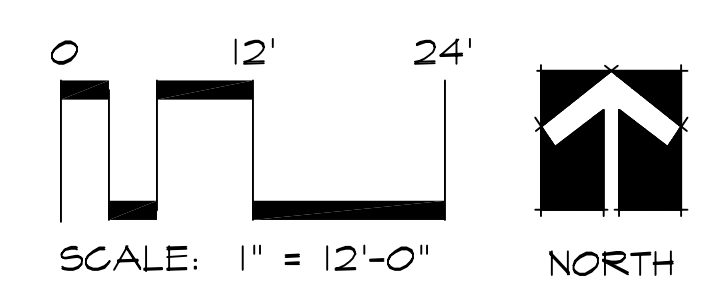
Site Data  
 Landscaped Parking Lot Perimeter: 130 LF

**Parking Lot Screening**  
 All open off-street parking areas of (5) or more spaces shall be screened from abutting property and views from the public right-of-way.

- (1) 2.5" caliper tree per 25 LF of landscaped parking lot perimeter  
 Calculation: 130 / 25 = (5) 2.5" caliper trees
- (1) 18" shrub per 3 LF of landscaped parking lot perimeter  
 Calculation: 130 / 3 = (43) 18" shrubs

**PLANT SCHEDULE**

OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	BF	Betula platyphylla 'Fargo' TM	Dakota Pinnacle White Birch	2.5" Cal.	B&B	6	Single Stem
	Gd	Gleditsia triacanthos Inermis 'Draves' TM	Street Keeper Honey Locust	2.5" Cal.	B&B	3	
	PE	Populus tremula 'Erecta'	Columnar Swedish Aspen	2.5" Cal.	B&B	3	
	TS	Tilia americana 'Sentry'	Sentry Linden	2.5" Cal.	B&B	2	
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AR	Alnus incana rugosa	Speckled Alder	1.5" Cal.	B&B	3	
	AM2	Amelanchier canadensis	Canadian Serviceberry	1.5" Cal.	B&B	3	
	CT	Crataegus x mordenensis 'Toba'	Toba Hawthorn	1.5" Cal.	B&B	1	
	MP	Malus x 'Prairiefire'	Prairiefire Crab Apple	1.5" Cal.	B&B	3	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Cr	Cornus alba 'Regnzam'	Red Gnome Dogwood	5 gal.	Pot	4	
	DI	Diervilla lonicera	Dwarf Bush Honeysuckle	3 gal.	Pot	27	
	Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	12	
	Jf	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	Pot	24	
	Ra	Ribes alpinum	Alpine Currant	5 gal.	Pot	14	
	Tt2	Thuja occidentalis 'Techny Globe'	Techny Globe Arborvitae	5 gal.	Pot	12	
	Wr	Weigela florida 'Rumba'	Rumba Weigela	2 gal.	Pot	28	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Hp	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	1 gal.	Pot	16	
	PI	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	Pot	13	
	Pe3	Phlox subulata 'Emerald Blue'	Emerald Blue Creeping Phlox	1 gal.	Pot	51	
	Rg2	Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	87	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	69	



**CALYX**  
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**ELEMENT**  
**DESIGN-BUILD**  
 1110 RAYMOND AVENUE, UNIT 3  
 ST. PAUL, MN 55108

**COUNTY ROAD E. EAST**  
**APARTMENTS**  
 WHITE BEAR LAKE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.

**PRELIMINARY**  
 Benjamin Hartberg, PLA  
 Date: XX-XX-XXXX Lic. No. 48084

Rev.	Date	Description

Project #: XXXXXXX  
 Drawn By: HL  
 Checked By: BH  
 Issue Date: 03.31.2023  
 Sheet Title:

**LANDSCAPE PLAN**

Sheet:  
**L100**

LANDSCAPE LAYOUT PLAN:

## Landscape Notes and Requirements:

1. Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural Western Red Cedar mulch for trees outside of a plant bed. Install per tree planting detail. Do not place mulch against tree trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.

11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed plant material for the duration of the warranty period. Landscape contractor is responsible for coordinating lawn mowing hand-off with the Owner after the first mowing. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to weed control, plant pruning, fertilization and disease/pest control beyond the first year of maintenance. See Note #22.
13. Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.

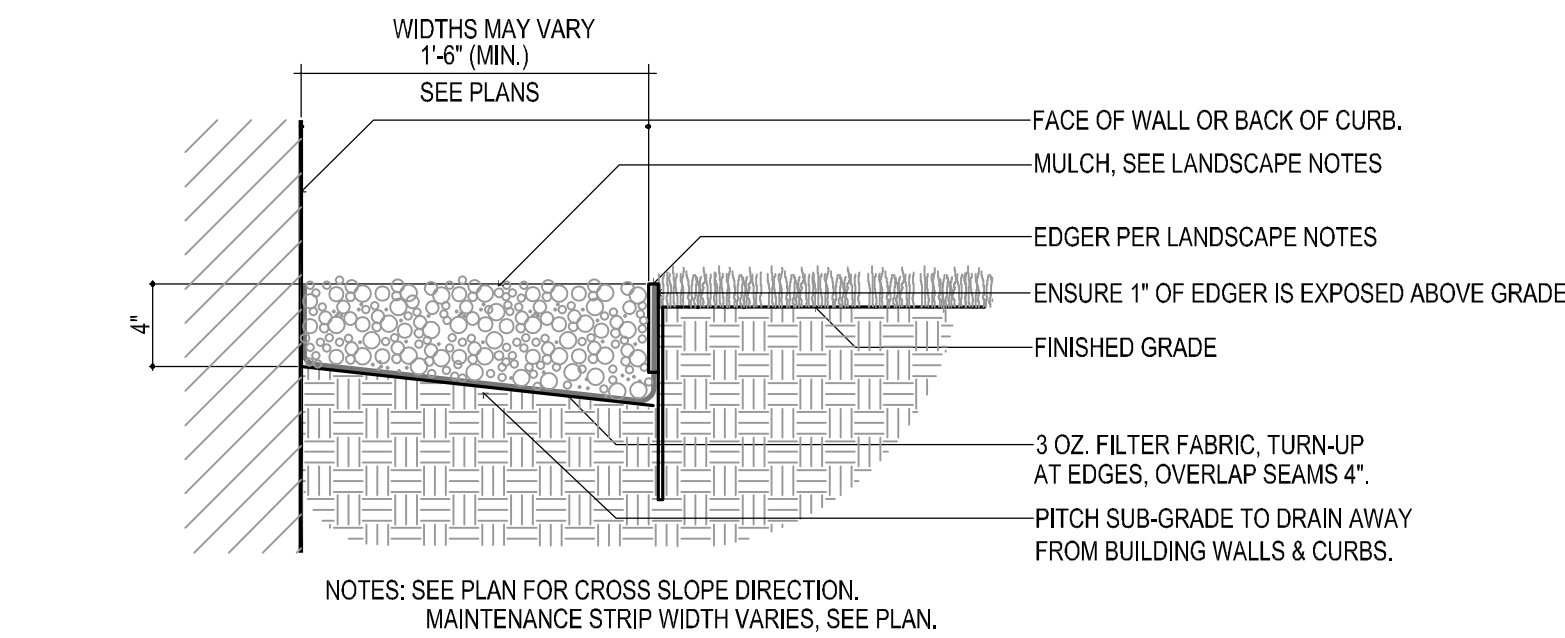
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. Irrigation: The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree and turf planting areas. Use commercial grade irrigation equipment and provide cut-sheets and provide (3) copies of the proposed layout plan to the Civil Engineer for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valve locations with the architect and general contractor. Irrigation contractor to verify if a deduct meter is required and include in bid. Include (1) fall shut-down and (1) spring start-up in bid.

18. All edger shall be professional grade black steel edger, 1/8" thickness. Anchor every 18" on-center (minimum). Submit sample.
19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
20. Rock mulch areas shall be 3/4" inch dia. local clean dark trap rock over weed mat. Install per detail. Submit mulch sample for approval.
21. All planting and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
22. Turf Sodding shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Sod installation to include one year of maintenance in the bid price, which includes fertilization and weed control 3 times - (2) applications in the first growing season and (1) application the following spring. Also, include mechanical plug aeration, which is to occur (1) time the spring following turf sod installation, including snow storage areas. An acceptable stand of turf is lush, full, and weed-free. See specifications for additional information and contractor mowing requirement.

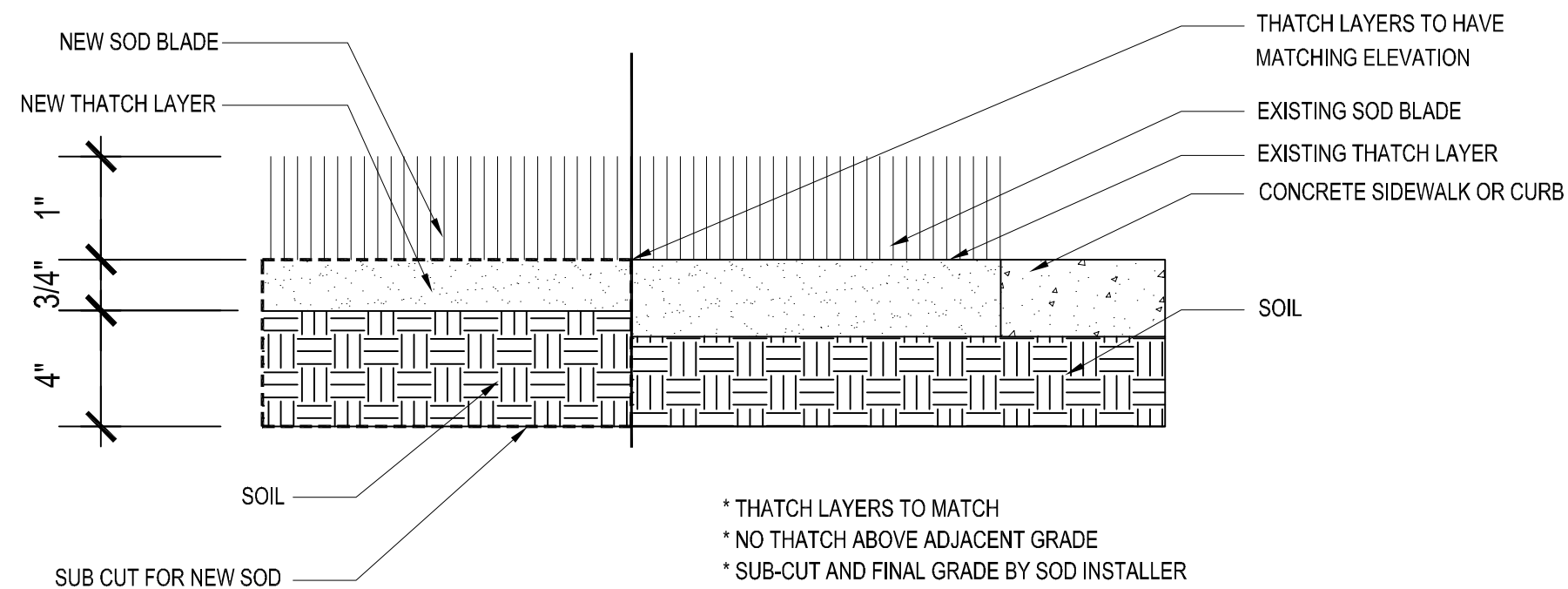
23. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
24. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
25. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
26. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
27. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
28. See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.

29. Topsoil Requirements: All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of imported top soil, areas designated for shrubs, trees, and perennials shall have no less than 12" of imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
30. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
31. Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.

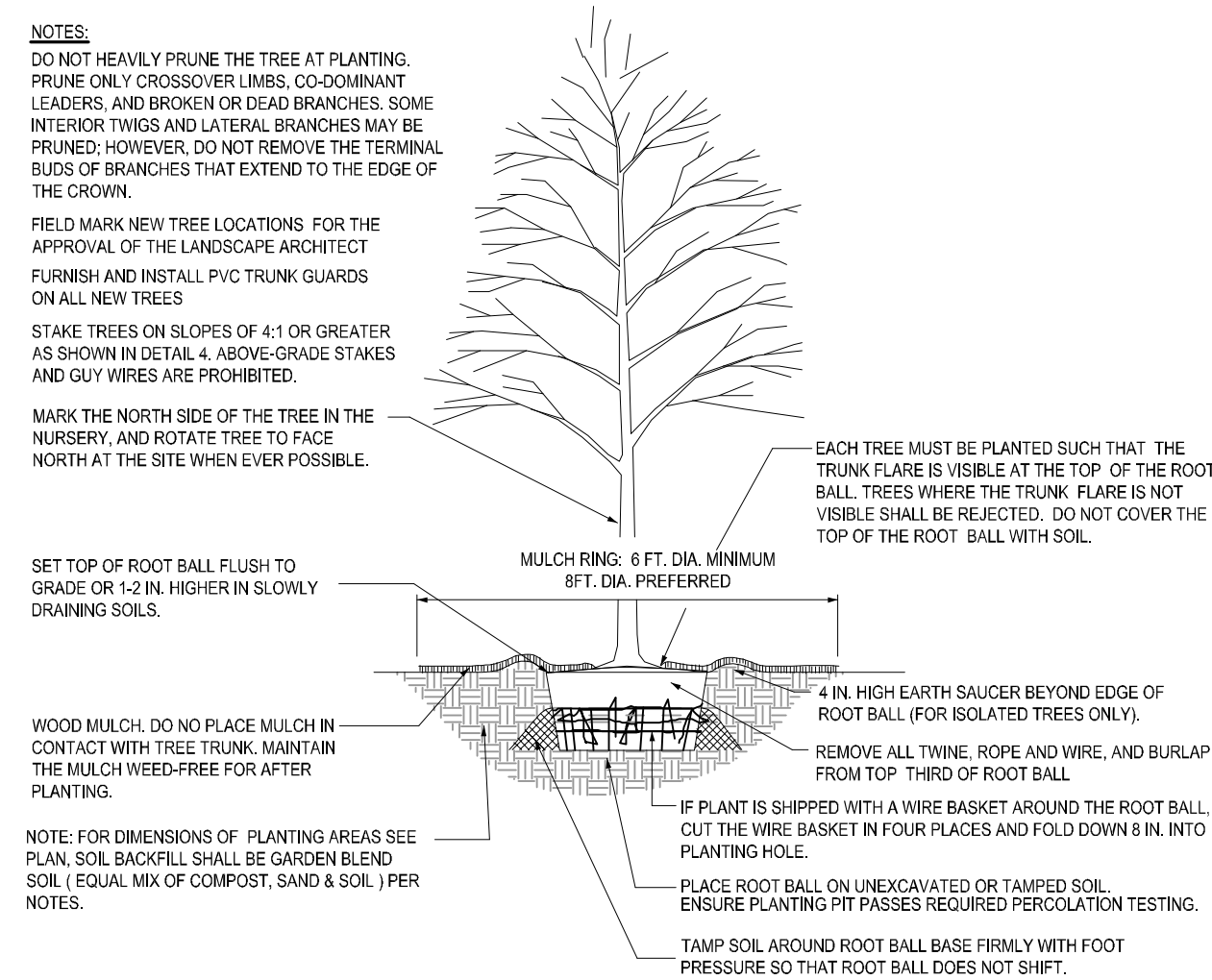
32. Landscape contractor shall apply granular Preen pre-emergent herbicide in all wood mulch areas immediately following installation and again the following spring.



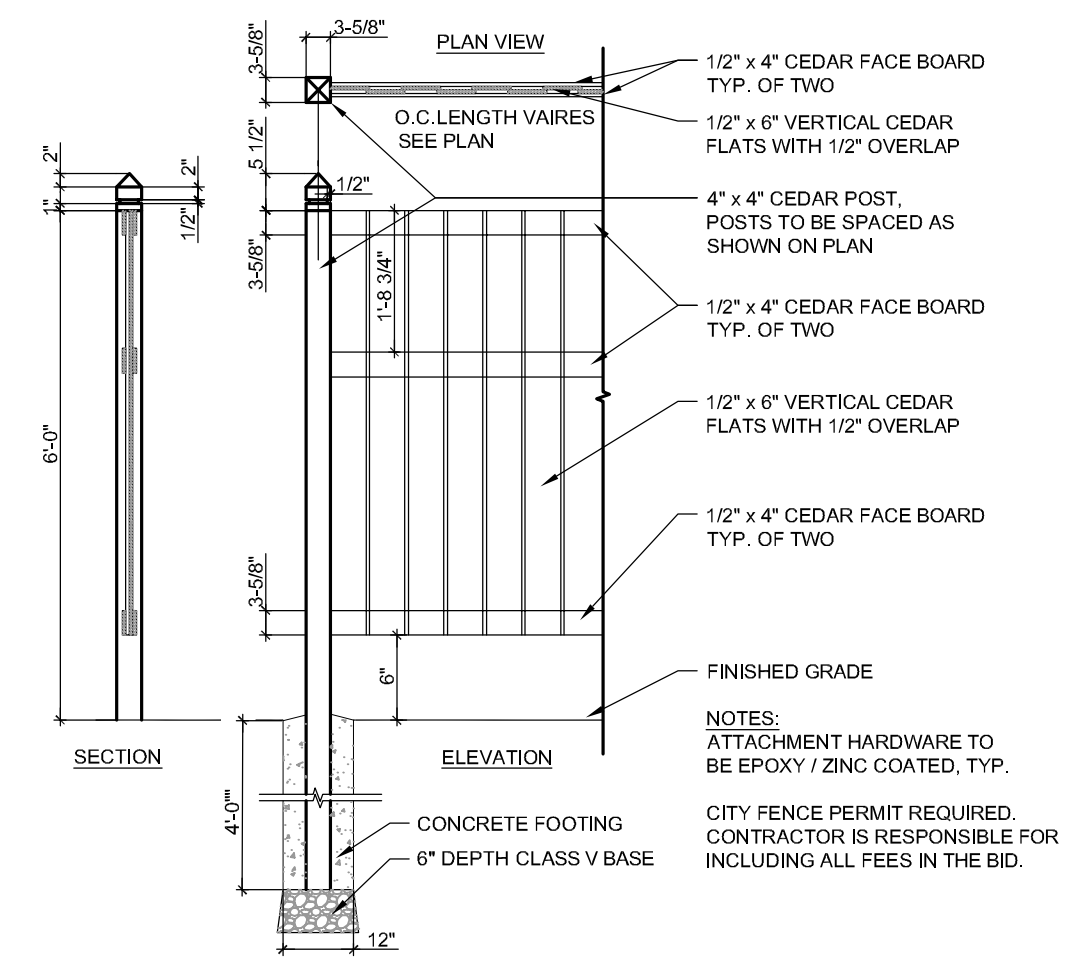
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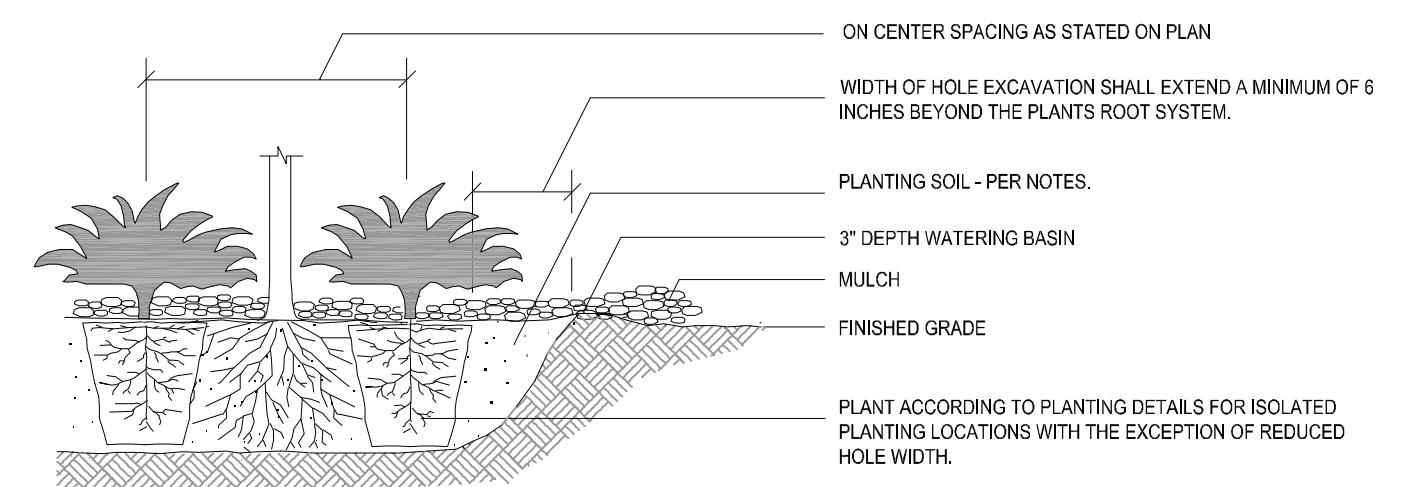
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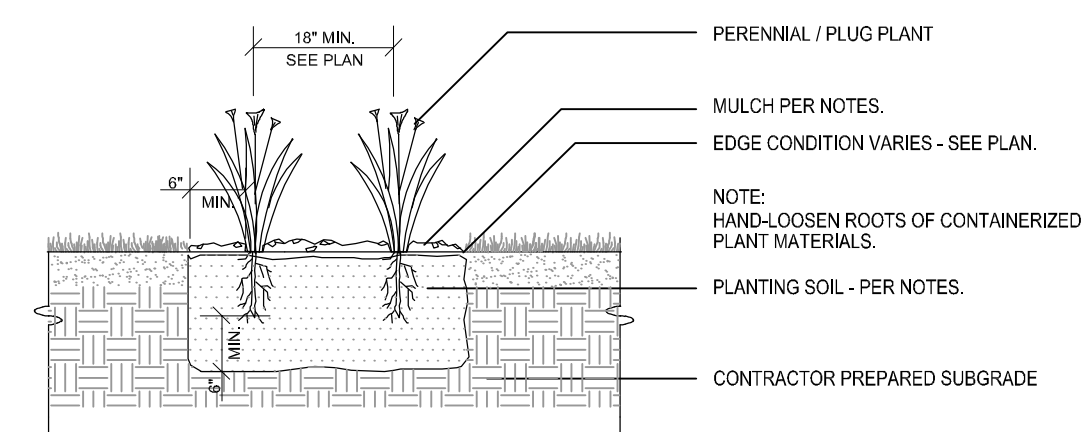
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NOT TO SCALE



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NOT TO SCALE



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NOT TO SCALE

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ST. PAUL, MN 55108

Client:

**COUNTY ROAD E. EAST**  
**APARTMENTS**  
WHITE BEAR LAKE, MN

Project Title:

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**PRELIMINARY**

Benjamin Hartberg, PLA  
Date: XX-XX-XXXX Lic. No.:48084

Rev.	Date	Description

Project #: XXXXXXX  
Drawn By: HL  
Checked By: BH  
Issue Date: 03.31.2023  
Sheet Title:

LANDSCAPE DETAILS

Sheet:

**L200**



# CERTIFICATE OF SURVEY

BACCHUS WHITE BEAR HILLS

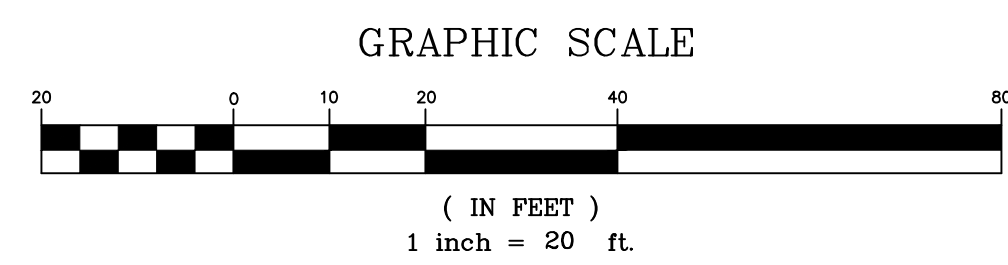
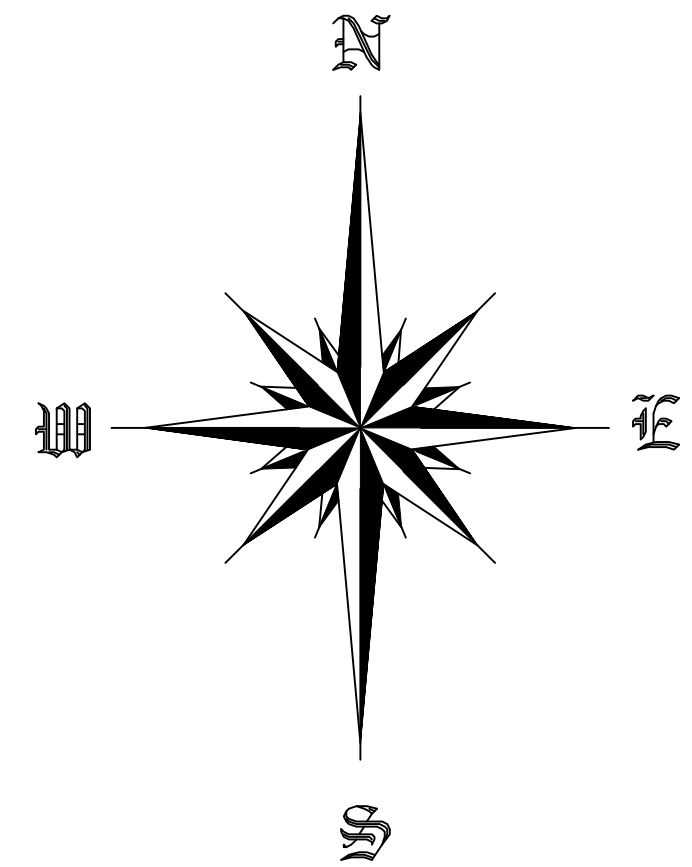
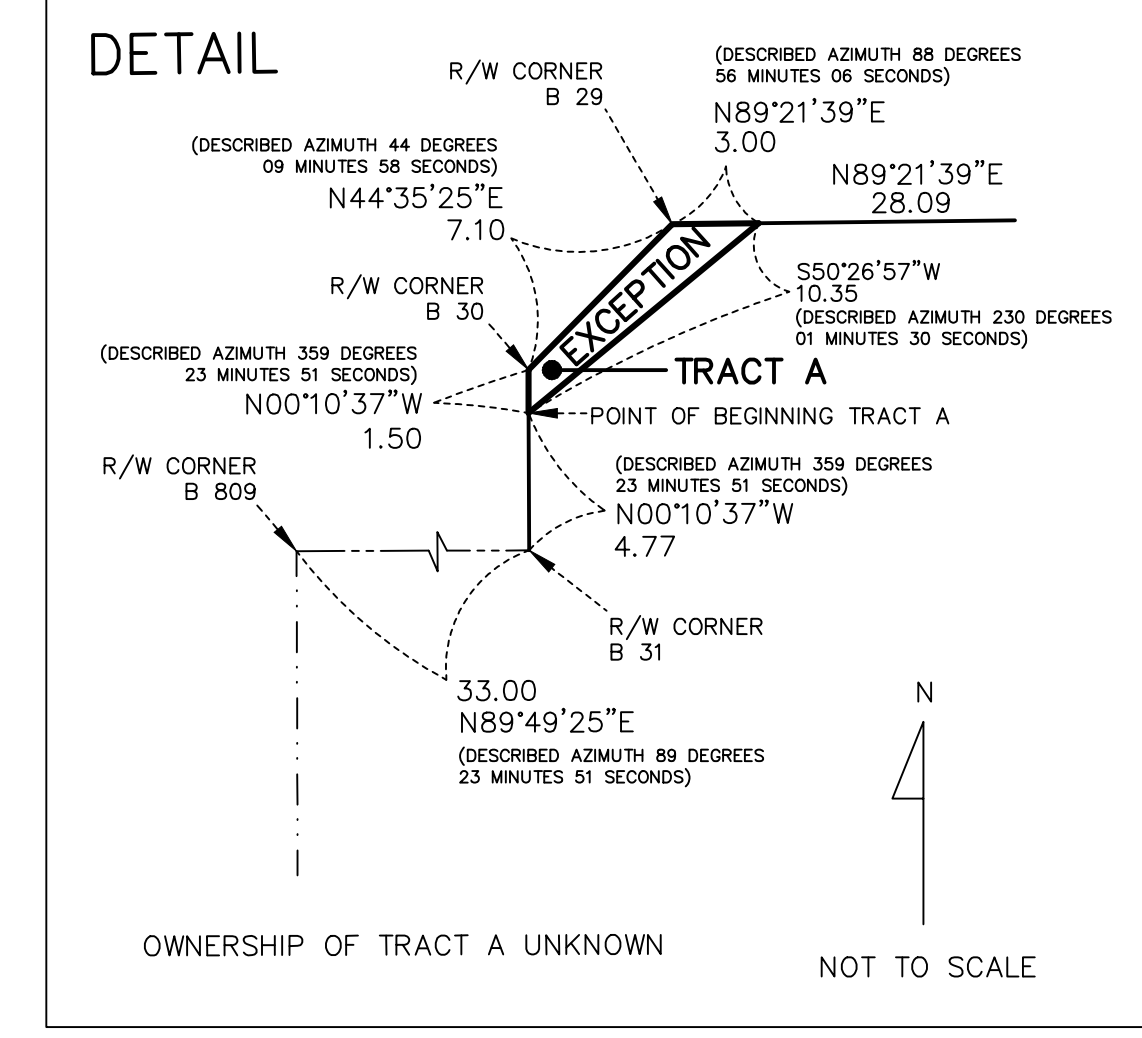
TRUNK HWY NO. 244 (COUNTY ROAD E)  
MINNESOTA DEPARTMENT OF TRANSPORTATION

## Legal Description: (Warranty Deed)

The West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 North, Range 22 West,

EXCEPT that part of the West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 North, Range 22 West, Ramsey, Minnesota, described as follows:

From the center of said Section 36, run Northerly along the North and South Quarter Line of said Section 36 on an azimuth of 359 degrees 23 minutes 51 seconds (azimuth oriented to Minnesota State Plane Coordinate System) for 2577.02 feet to Right of Way Boundary Corner B 809 as shown on Minnesota Department of Right of Way Plat No. 62-9 as the same is on file and of record in the office of the County Recorder in and for said county; thence on an azimuth of 89 degrees 23 minutes 51 seconds along the boundary of said plat for 33 feet to Right of Way Boundary corner B 31, thence on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 4.77 feet to the point of beginning of Tract A to be described; thence continue on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 1.50 feet to Right of Way Boundary Corner B 30; thence on an azimuth of 44 degrees 09 minutes 58 seconds along the boundary of said plat for 7.10 feet to Right of Way Boundary Corner B 29; thence on an azimuth of 88 degrees 56 minutes 06 seconds along the boundary of said plat for 3 feet; thence on an azimuth of 230 degrees 01 minutes 30 seconds for 10.35 feet to the point of beginning.



LEGEND	
	DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16464 OR AS NOTED.
	DENOTES IRON MONUMENT FOUND SIZE, TYPE, & RLS AS NOTED.
	DENOTES EXISTING SPOT ELEVATION
	DENOTES EXISTING GRADE CONTOUR
	DENOTES OVERHEAD UTILITY WIRE
	DENOTES SANITARY SEWER
	DENOTES STORM SEWER
	DENOTES UNDERGROUND WATER LINE
	DENOTES UNDERGROUND ELECTRIC UTILITY LINE
	DENOTES UNDERGROUND GAS LINE
	DENOTES UNDERGROUND TELEPHONE LINE
	DENOTES CHAIN LINK FENCE
	DENOTES WOOD FENCE
	DENOTES SIGN
	DENOTES WATER VALVE
	DENOTES UTILITY POLE
	DENOTES LIGHT POLE
	DENOTES CATCH BASIN
	DENOTES GAS SERVICE
	DENOTES ELECTRIC METER
	DENOTES ELECTRIC MANHOLE
	DENOTES UTILITY HAND HOLE
	DENOTES STORM SEWER MANHOLE
	DENOTES SANITARY SEWER MANHOLE
	DENOTES CONCRETE SURFACE

TOTAL LOT AREA: 42,642 SQ. FT. OR 0.98 ACRES  
AREA LESS R/W: 29,156 SQ. FT. OR 0.67 ACRES  
BASIS OF BEARINGS: RAMSEY COUNTY COORDINATES NAD83 (1986)

CENTER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 22 WEST, RAMSEY COUNTY, CAST IRON MONUMENT

NW 1/4  
SEC. 36  
T. 30N  
R. 22W

C.S.A.H. NO. 70  
(BELLAIRE AVENUE)  
N00°10'37"W  
233.01

JANSEN AVENUE  
S89°21'39"W  
183.01

2502 COUNTY ROAD E, WHITE BEAR LAKE

Client: Matthew Heimann Element Design-Build 2502 County Road E White Bear Lake, MN 55110	Design by: RP	Original date: 12-9-22	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  Jonathan L. Faraci Date 12-9-22 Minnesota Reg. No. 16464
Drawn by: RP/SF	Revisions: 1-12-23	Page title: CERTIFICATE OF SURVEY	
LAKE AND LAND SURVEYING, INC. SURVEYING/CIVIL ENGINEERING 1900 COUNTY POINT, SUITE 975 ST PAUL, MN 55120 PHONE (651) 776-6211 E-MAIL: JONFARACI@HOTMAIL.COM	Survey book No.	S.A.P. number: 2022.416	Sheet number 1 of 1

DUE TO WINTER CONDITIONS AT THE TIME OF SURVEY WORK PERFORMED, SOME GRAPHICS MAY DIFFER FROM WHAT IS IN THE FIELD.

UTILITY INFORMATION IS DERIVED FROM CITY RECORD DRAWINGS, GOPHER STATE ONE CALL, MNDOT CONSTRUCTION PLAN FOR T.H. 244, DATED 2/19/1986, AND FIELD OBSERVATIONS.

SANITARY SEWER SERVICE LOCATION CANNOT BE DETERMINED FROM CITY RECORD DRAWINGS

**From:** [Ashton Miller](#)  
**To:** [Jason Lindahl](#)  
**Subject:** FW: Case No. 23-13-PUD (2502 Co. Rd E)  
**Date:** Wednesday, April 19, 2023 11:00:20 AM

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**From:** Larry/Judy Behm <jandlbehm@q.com>  
**Sent:** Wednesday, April 19, 2023 10:57 AM  
**To:** Ashton Miller <amiller@whitebearlake.org>  
**Subject:** Case No. 23-13-PUD (2502 Co. Rd E)

Why would you approve this project in this space and cram it in a small space and right next to a road a very busy road. How about some consideration for the neighborhood. Yes something should be there but NOT THIS, Entirely different if it was a spacious location which it is not, all the parking which we all know will be a lot of it on Bellaire Avenue people in apartment units always park on streets especially with this SMALL SPACE THEY WILL HAVE. Also kids in the units playing right next to the street which we all know they will. What is really maddening is at one of your meeting when a Council Member made the comment he is ashamed of us not wanting it well put it in his neighborhood, we are ASHAMED of him for saying what he said and not caring for the neighborhood. Also when it comes to parking visitors will also be parking on Bellaire we all know that and so does the developer which he does not care. We all hope they will reconsider and not build these units here Again yes you need to have something there but please not this we do not want it in our neighborhood, put it where it will fit better. We are not the only ones who do not want please think of the neighborhood and know what a mess and problems it will cause. WE ARE CONCERNED HOME OWNERS AND DO NOT WANT IT IN THIS AREA.

Larry& Judy Behm  
3511 Bellaire Ave.  
White Bear Lake, Mn 55110



**From:** [Ashton Miller](#)  
**To:** [Jason Lindahl](#)  
**Subject:** FW: County road E  
**Date:** Tuesday, April 18, 2023 11:14:37 AM

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-----Original Message-----

From: Colleen Chermak <colleensc@hotmail.com>  
Sent: Tuesday, April 18, 2023 11:10 AM  
To: Ashton Miller <amiller@whitebearlake.org>  
Subject: County road E

My concern about these apartments will be the parking. Isn't Bellaire plowed soon after snowfall. Where are these people going to park their cars then?

It doesn't seem realistic that they will have "guest" parking when finding space for tenants alone will be a challenge.

Are we going to have cars parked up and down our street like the apartments on Bellaire closer to the lake?

I think housing should be built but they are trying to cram too many people in a small area. Just won't end up well.

Colleen Chermak  
3549 Bellaire

**From:** [Ashton Miller](#)  
**To:** [Jason Lindahl](#)  
**Subject:** FW: Development proposal for 2502 County Road E  
**Date:** Thursday, April 20, 2023 10:41:33 AM

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**From:** Bill Kolesar <[bill@us-print.biz](mailto:bill@us-print.biz)>  
**Sent:** Thursday, April 20, 2023 10:40 AM  
**To:** Ashton Miller <[amiller@whitebearlake.org](mailto:amiller@whitebearlake.org)>  
**Subject:** Development proposal for 2502 County Road E

Dear White Bear Lake Planning Commission,

We are writing you with our concerns regarding the proposed development at 2502 County Road E. Several years ago a similar plan, that included high density (what you call medium density) residential development on all four corners of the Bellaire Avenue, County Road E intersection, was turned down. The reasons were the same as those for this development. 17 living units are being packed into a very small space. One of the main concerns for the previous proposal was the lack of set back near the intersection, which causes a safety concern for both pedestrians and vehicles. There is an elementary school one block to the north and you have students crossing that intersection. There are 34 parking spaces total, two for each unit, however 3 of those 34 are designated for guests. Because of the density of this proposal, we're predicting that there will be on street parking associated with the proposed development on Jansen and Glen Oaks Avenue. We also didn't see any accommodation for dumpsters or trash containers. It's also our concern that if this proposal is accepted and implements that the two vacant lots on the north side of County Road E will be developed in the same way leading to far more traffic and congestion. Why can't we have a small business in each of the three remaining vacant corner lots rather than a behemoth apartment/townhouse proposal? Please take into consideration your fellow White Bear Lake residential homeowners and not the non-elected Metropolitan Council. Thank you.

**Roberta and Bill Kolesar**  
3505 Glen Oaks Avenue  
White Bear Lake, MN 55110  
651-779-3670 651-777-2800  
[bill@us-print.biz](mailto:bill@us-print.biz)



## City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



April 7, 2023

Element Design – Build LLC  
1110 Raymond Ave Apt 3  
St. Paul, MN 55108

Dear Element Design - Build:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 2502 County Road E East have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison  
Assistant Fire Chief / Fire Marshal  
651-762-4842

Encl.



# City of White Bear Lake Fire Department

4701 Highway 61 N.  
White Bear Lake, Minnesota 55110  
651-429-8568 | [www.whitebearlake.org](http://www.whitebearlake.org)



## General Comments

1. All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes into the parking lot. Drive lanes shall be a minimum of 20 feet.
2. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. A fire sprinkler system shall be installed in all structures compliant with provisions of 2016 NFPA Standards, Installation of Sprinkler Systems. A city permit is required **prior** to initiation of work. The fire sprinkler controls locations shall be approved prior to design.
5. Fire Department sprinkler connection location to be **approved** prior to installation.
6. A fire alarm system shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. A city permit required **prior** to initiation of work.
7. The sprinkler system shall be properly monitored by a qualified monitoring company.
8. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
9. Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
10. Open flames and grills are prohibited on balconies or with 15 feet of the structure.

## Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 13R, 13D 2016 edition



**City of White Bear Lake**  
Engineering Department

# MEMORANDUM

**To:** Jason Lindahl, Community Development Director  
**From:** Nathan Christensen, P.E., Assistant City Engineer  
Connie Taillon, P.E., Environmental Specialist/Water Resources Engineer  
**Date:** April 17, 2023  
**Subject:** **County Road E Apartments Engineering Review Comments**

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The Engineering Department reviewed the stormwater calculations dated April 10, 2023 and received April 10, 2023; Civil plan sheets (C100, C200, C300, C400, C500, C600, C601, C602) and Landscape plan sheets (L000, L100, L200, L300) dated March 31, 2023 and received April 5, 2023 for the above referenced project and have the following comments:

**Note**

A) As per the City's Engineering Design Standards for Stormwater Management, runoff and water quality impacts must be managed. The project proposes to construct a biofiltration basin to meet stormwater runoff requirements. The stormwater calculations submitted by the applicant demonstrate that stormwater runoff rate on the proposed site will be reduced to less than the existing condition rate for the 2-, 10-, and 100-yr design storm events. The biofiltration basin will meet the City's water quality treatment requirements for removal of sediment and nutrients from stormwater prior to discharging off of the site. The existing site was constructed at a time when water quality treatment requirements either did not exist or were minimal; therefore, the stormwater management proposed for this project is a considerable improvement over the existing conditions.

In general, the site meets or exceeds the City's stormwater management requirements. Minor stormwater related comments are included in this memo that will need to be addressed prior to issuance of a building permit.

B) The City has had multiple complaints about water pressure in this area over the years. Please be aware that a 3 story building may need additional plumbing components in order to furnish the units with City water.

**The following outstanding items must be addressed prior to issuance of a Building Permit**

**General**

- 1) Contact the MPCA to determine if any environmental assessments need to be completed for this site due to its previous use as a gas station. Please provide the MPCA response for our records and the environmental assessment for review if available.
- 2) In recent years, the MPCA performed a volatile organic compound (VOC) vapor intrusion investigation near this intersection. Contact the MPCA to determine if the vapor intrusion investigation is complete and to make them aware of this development project. Provide their response to the investigation and their recommendation of this development, based on the findings of the investigation, for our records. Please contact Connie Taillon at the City if you have any initial questions prior to contacting the MPCA. Her contact information can be found at the end of this memo.
- 3) The PUD Development Stage narrative states that stormwater runoff from the property will end up in Peppertree Pond. While the Civil plans show that the majority of the existing and proposed site outlets to the County Road E storm sewer system that flows to the east, it is not clear where this storm sewer ultimately discharges. Please provide a storm sewer map from Ramsey County that shows where the storm sewer system outlets.
- 4) Permits may be required from Ramsey-Washington Metro Watershed District, Ramsey County, and the MPCA. Submit a copy of each permit for our records or provide documentation from each agency that a permit is not required.
- 5) Submit a snow storage/removal plan for review.

**Stormwater Calculations**

- 6) For proposed pond 1P, should device #3 be the bottom elevation of the pond (1026)? Please clarify.

**Demolition Plan (C100)**

- 7) Please disconnect the existing water service at the watermain by turning off the corporation stop and removing a few feet of the service.
- 8) It appears that the existing wood fence along the east side of the property will be removed. If this is the case please label on the plan. Please clarify ownership of this fence. If the fence belongs to 3578 Glen Oaks Avenue show how the fence will be protected from damage.

**Paving Plan (C200)**

- 9) Bellaire Avenue and Jansen Avenue pavements are less than 5 years old. Any pavement disturbance shall be restored to the full width of the street from curb to curb.
- 10) The match existing pavement thickness note in the symbol legend references a detail. Please add a detail to the corresponding sheet.

11) All joints in new concrete sidewalk shall be sawcut, not tooled. Please add a note to the plan sheet.

### **Grading Plan (C300)**

12) Include the 100-year elevation of the biofiltration basin on the plan.

13) Label the overland emergency overflow location and elevation of the biofiltration basin.

14) Include spot elevations for the patio on the plan.

15) Add that topsoil is not allowed in the bottom of the biofiltration basin to note 4.

### **Erosion Control Plan (C400)**

16) Please identify the proposed construction entrance location on the plan.

### **Utility Plan (C500)**

17) The size and material of the proposed water service is labeled in the street. Please label the service if the size or material changes. Please clarify if the entire service will be 6 inch DIP.

18) How will the proposed water service connect to the watermain (ex. Wet tap)? Please add a gate valve and corresponding note to the plan sheet for this connection.

19) Ramsey County approval will be required for the proposed storm sewer connection on County Road E (see comment 4).

### **Details (C600)**

20) Add elevations for the pipe inverts, weir, and top of casting to the outlet control structure detail.

21) Please provide an air gap between the downspout and pipe connection.

### **Details (C601)**

22) Biofiltration basin cross section: is filter fabric needed to keep existing soils from mixing with the fine filter aggregate?

23) Biofiltration basin cross section: label the elevation of the bottom of the basin.

### **Landscape Plan (L100)**

24) Please consider native tree species for some of the over story trees.

### **Landscape Plan (L200)**

25) Note 17 identifies an Irrigation Plan Layout. Please submit the layout to the City for review when available.

26) Add a note on the plan that irrigation is not allowed in the biofiltration basin.

27) Add a note on the plan that topsoil is not allowed in the bottom of the biofiltration basin.

**Landscape Plan (L300)**

28) Add a note to the Irrigation Performance Requirements that irrigation is not allowed in the biofiltration basin.

29) Many of the live plug species proposed for the biofiltration basin prefer consistently wet conditions; however, the basin will dry out between rain events. Please clarify.

30) Please consider using more forb species in the biofiltration basin.

31) A drier seed mix should be specified for the upper side slopes of the biofiltration basin.

**The following items must be addressed prior to the release of the letter of credit**

- i) An as-built record drawing is required for this project. A list of record drawing requirements will be provided as part of the building permit review.

**The following items must be addressed prior to issuance of a Certificate of Occupancy**

- ii) A Stormwater Operations and Maintenance Agreement (SOMA) is required for this project. A SOMA template will be provided as part of the building permit review.

**While the following items are not required for issuance of a permit, we would like to take this opportunity to raise these points:**

- a) It is highly recommended that an individual familiar with the stormwater design be on site while the biofiltration basin is being constructed to ensure that the basin is constructed per plan.
- b) To ensure the success of the native seeding, we highly recommend contracting with a native plant restoration company to install and maintain the native seed areas for the three-year establishment period. After the three-year establishment period, we encourage the owner to continue to contract with the company for yearly maintenance of the prairie to control invasive plants and other weeds.
- c) Consider installing conduit at this time for future electric vehicle charging stations.
- d) Consider additional space to accommodate future food scraps recycling.
- e) Consider mostly native trees and plants (less water, higher resiliency, wildlife habitat) and/or pollinator plantings.



**Note**

For the next plan review submittal, please provide the following:

- A response to each review comment in this memo
- Revised stormwater calculations
- Revised plans

**Contact Information**

For questions contact Nate Christensen at: 651-762-4812 or [nchristensen@whitebearlake.org](mailto:nchristensen@whitebearlake.org)  
or Connie Taillon at: 651-429-8587 or [ctaillon@whitebearlake.org](mailto:ctaillon@whitebearlake.org)



**City of White Bear Lake**  
Engineering Department

# MEMORANDUM

**To:** Planning Commission  
Jason Lindahl, Community Development Director

**From:** Paul Kauppi, Public Works Director / City Engineer

**Date:** April 13, 2023

**Subject:** **Downtown Mobility and Parking Study Steering Committee**

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The Mayor is requesting that a member of the Planning Commission be selected to serve on a Steering Committee for the Downtown Mobility and Parking Study. Committee members will provide input, review concepts, and help shape the future of our downtown area. The committee is anticipated to be active between May 2023 and January 2024, and will convene monthly, or as needed. Meetings will be held in the evenings as determined by the Committee.

Please let me know the member who is selected to serve on the committee and their contact information. It is requested that this selection take place at your April meeting so that we can begin the process in May. Let me know if you or your committee have any questions regarding the committee or process.