



**AGENDA
PLANNING COMMISSION OF THE
CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, JUNE 26, 2023
7:00 P.M. IN THE CITY HALL COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

2. APPROVAL OF AGENDA

3. APPROVAL OF THE MINUTES

- A. Minutes of the Planning Commission meeting on May 22, 2023

4. PUBLIC HEARING

- A. **Case No. 23-21-PUD & Z & P:** A request by **Element Design Build** for both general and development stage approval of a Planned Unit Development, per code section 1301.070, a rezoning from B-3: Auto-Oriented Business to R-5: Single-Family – Two-Family Medium Density Residential, per section 1301.040, and Preliminary and Final Plat approval, per sections 1401.020 and 1401.030, in order to construct 9 townhomes on the property located at 2502 County Road E.
- B. **Case No. 23-17-PUD & Z & P:** A request by **Brian Wings** for both general and development stage approval of a Planned Unit Development, per code section 1301.070, a rezoning from B-2: Limited Business to R-B: Residential Business, per section 1301.040, and Preliminary and Final Plat approval, per sections 1401.020 and 1401.030, in order to construct a 14 unit nursing home on the property located at 2687 County Road D.
- C. **Case No. 23-19-CUP:** A request by **Brett and Samantha Kvam** for a conditional use permit, per code section 1302.125 in order to establish an accessory dwelling unit (ADU) in the home at the property located at 4008 White Bear Avenue.
- D. **Case No. 23-20-V:** A request by **Midwest Exteriors LLC MN** for a variance from the four foot maximum height allowed for a fence in the front yard, per code section 1302.030, subd.6.4 in order to construct a six foot fence around the entire property located at 3944 Hoffman Road.

5. DISCUSSION ITEMS

- A. City Council Meeting Overview

6. ADJOURNMENT

Next Regular City Council Meeting July 11, 2023
Next Regular Planning Commission Meeting July 31, 2023



**PLANNING COMMISSION MEETING
OF THE CITY OF WHITE BEAR LAKE, MINNESOTA
MONDAY, MAY 22, 2023
7:00 P.M. IN THE COUNCIL CHAMBERS**

1. CALL TO ORDER AND ATTENDANCE

MEMBERS PRESENT: Mike Amundsen, Ken Baltzer, Erich Reinhardt, Andrea West
MEMBERS ABSENT: Jim Berry, Pam Enz, Mark Lynch
STAFF PRESENT: Jason Lindahl, Community Development Director; Ashton Miller, City Planner
OTHERS PRESENT: Dean Hansen, Louise Daniels, Kris Daniels, Emily Cox

2. APPROVAL OF AGENDA

It was moved by Member **Baltzer** and seconded by Member **Reinhardt** to approve the agenda as presented.

Motion carried, 4:0.

3. APPROVAL OF THE MINUTES

A. Minutes of April 24, 2023

It was moved by Member **West** and seconded by Member **Baltzer** to approve the minutes of March 27, 2023.

Motion carried, 4:0.

4. CASE ITEMS

A. Case No. 23-15-V: A request by Bunker Investments LLC for a seven foot variance from the 25 foot setback required along a side abutting a public right-of-way, per code section 1303.060 Subd.5.c.2 in order to construct a single family home 18 feet from the eastern lot line at the property located at 18XX Clarence Street.

Ashton Miller, City Planner discussed the case. Staff recommended approval of the case as proposed.

Member Amundsen opened the public hearing.

Dean Hansen, one of the owners for Bunker Investments, explained that he is agreeable

to have the 10 feet easement located entirely on his property, but did mention he believes the neighbor appeared to be willing to locate part of it on his property. He noted that if the 10 foot easement were to be located entirely on his property, the overhang of the house would encroach into the easement and that they would not be able to move the house any further to the east.

Member Amundsen closed the public hearing.

It was moved by Member **Reinhardt** to recommend approval of Case No. 23-15-V, seconded by Member **Baltzer**.

Motion carried 4:0.

5. DISCUSSION ITEMS

- A. **Case No. 23-16-LS:** A request by Cox Contracting for a minor subdivision, per code section 1407.030, in order to split one lot into two at the property located at 2241 8th Street.

Miller discussed the case. Staff recommended approval of the case as proposed.

Member West asked for clarification on the configuration of the lot split. Miller responded that the applicant split the lot so that one lot meets the minimum lot size for a single unit dwelling and one lot meets the minimum requirements for a two unit dwelling, while also maximizing the buildable area.

Member Baltzer noted that there can be a lot of on street parking on 8th St. Emily Cox, an owner of Cox Contracting, added she knows that is a part of living in the downtown area and that they intend to have off street parking for the units.

It was moved by Member **Baltzer** to recommend approval of Case No. 23-16-LS, seconded by Member **West**.

Motion carried, 4:0.

- B. **Case No. 23-18-C:** A request by Scooter's Coffee for a concept plan review, per code section 1301.100, for a proposed stand-alone drive-thru coffee shop at the property located at 1350 highway 96.

Miller discussed the case.

Member Amundsen invited the public to provide comments on the proposal.

Kris Daniels, the applicant, explained that he likes the proposed site for his business and

the prospect of locating a Scooter's Coffee in White Bear Lake.

Member Amundsen asked if Scooter's Coffee requires all Scooter's Coffee locations to look uniform. Daniels answered he believes they do want them to look somewhat uniform but that there is probably some degree of flexibility.

Member Amundsen asked about storm water and if they have they been in talks with the owner of the site about a different orientation to address storm water issues. Daniels answered that he hasn't yet, but that he has had internal conversations about it.

Member Baltzer explained that he wasn't sure that this site is a good location for the proposed coffee shop. He added that traffic flow on Highway 96 is not great.

Member West explained that she has similar concerns. She added that she is concerned about locating the building on top of the sewer line in the case of necessary repairs. She added that there may be concerns about access to other utilities. She explained that she is hopeful there is another location option for the building.

Member Reinhardt explained that he likes the design of the building. He explained that the issues raised about the location may also have an impact on the business, noting that if people don't believe they can easily exit the parking lot onto Highway 96, they are not going to want to patronize the business. He added that he believes they may be able to find another spot in White Bear Lake that could work for them.

Daniels added that they like being near a high traffic area but understand the concerns brought up about it.

Lindahl explained that Daniels has been in communication with City staff since the fall about bringing a Scooter's Coffee to the City. Staff had discussed with Daniels that if he could find a location in the right zone, then he could go through the Conditional Use Permit process, but because the proposed site would have multiple buildings on the lot the PUD process is required, which is a more discretionary process for the City. Staff believes that generally, this business could be a good infill project in the City, even at this site, but there are some challenges with the current selected location. Lindahl added that the Engineering department did some preliminary storm water management review, although at this stage the applicant does not need those plans.

Member Reinhardt asked about the process for reviewing traffic, and the possibility of adding a traffic light to the intersection. Miller responded that Highway 96 is a Ramsey County road, which would require the County's involvement. Lindahl added that the City's Engineering department would connect with the County's Engineering department to determine the traffic needs and whether a light would be needed at the intersection.

C. City Council Meeting Overview

Lindahl provided an overview of the May 9th City Council Meeting. Lindahl explained that the Council approved the lot split and variances for the Shady Lane property. City Council also approved the City to enter into negotiations with Bolton and Menk Consultants to work with the City on the zoning code update. The next steps would be for the Council to set up an advisory group to guide that process. The City Council also considered the redevelopment proposal for the County Rd E and Bellaire site. The motion to approve the proposal failed, so the City Attorney recommended staff come back with a resolution for denial. Lindahl added that since City Council, the applicant has decided to withdraw that application and resubmit a new proposal. Lindahl explained that they will likely submit to rezone the lot to R-5 with the intent to develop townhomes. The applicant will still need to go through a PUD and they will need to subdivide the property.

Member West asked what the height restrictions are for townhomes. Lindahl responded that the height restriction is 35 feet in all residential districts and 36 feet in the commercial zone.

Member Amundsen asked if the contract will be in place for the zoning code update by the next planning commission meeting. Lindahl explained that he hopes the contract will be finalized within the next 30 days and then officially starting the process in August or September.

6. ADJOURNMENT

There being no further business before the Commission, it was moved by Member **Baltzer**, seconded by Member **West** to adjourn the meeting at 7:49 p.m.



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: Planning Commission
FROM: Jason Lindahl AICP, Community Development Director
DATE: June 26, 2023
SUBJECT: 2502 County Road E Rezoning and Planned Unit Development - Case No. 23-21-RZ PUD & P

SUMMARY

The applicant, Element Design-Build, requests rezoning, both General and Develop Stage planned unit development (PUD) and subdivision approvals to redevelop the vacant commercial site located at 2502 County Road E. The proposal would redevelop this vacant gas station site into 9 for sale, 2.5-story townhome units. The proposal was recently redesigned from 10 to 9 units after Ramsey County required the developer to dedicate 12' of land along County Road E as additional right-of-way. As designed, the project includes two separate townhome buildings, an outdoor courtyard, a standalone community room, stormwater management area, and surface lot guest parking. Based on the findings detailed in this report, staff recommends approval of the rezoning, PUD and subdivision applications.

GENERAL INFORMATION

Applicant/Owner: Ryan McKilligan, Element Design-Build

Existing Land Use / Zoning: Vacant Commercial Gas Station/B-3, Auto Oriented Business

Surrounding Land Use /Zoning: North and West - Commercial, South & East - Low Density Residential/
North – B-3, Auto Oriented Business, West – B-2, Limited Business, South & East – R-5, Single Family Residential

Comprehensive Plan: North and West - Neighborhood Mixed Use, South & East - Low Density Residential

Lot Size & Width: Current Zoning - B-3, Auto Oriented Business: None & 100'
Requested Zoning – R-5, Single Family – Two Family Medium Density Residential: 5,000 Sq. Ft./Unit & 100'

60-Day Deadline: July 14, 2023. Extended by the City to August 14, 2023

BACKGROUND INFORMATION

Site Description. The subject property is 0.67-acre (approximately 29,185 square feet) in size and

located at 2502 County Road E which is in the southeast quadrant of the County Road E and Bellaire Avenue intersection. Building permit data shows the subject property has been used as a gas station since approximately 1971 with the existing gas station building constructed in 1985. City records indicate water service to the property ended 13 years ago in December of 2009 and the fuel tanks were removed from the site in 2016. The city has no other records indicating an authorized use of the property since 2009.

Prior Submittal. In April and May of 2023, the City reviewed a prior submittal from the applicant which include a 14-unit apartment building and 3-unit townhome building. While the Planning Commission vote 7-0 to recommend the City Council approve this request, ultimately the City Council did not support the proposal. As a result, the applicant decided to withdraw that application and resubmit the 9-unit townhome proposal detailed above. The site plan for the previous application can be viewed in the April Planning Commission meeting packet by [clicking here](#).

- **Planning Commission Public Hearing** – The Planning Commission held a public hearing to review the previous proposal on April 24, 2023. The Commission voted 7-0 to recommend the City Council approve this request. Minutes from this meeting can be reviewed on the city’s website by [clicking here](#).
- **City Council Review and Consideration** – The City Council reviewed the previous proposal on May 9, 2023. Both minutes and the video recording from this meeting can be reviewed on the city’s website by [clicking here](#).

Concept Plan Review. Prior to submittal of the formal applications above, the property owner went through the city’s concept plan review process. The concept plan review process does not result in any approvals. Rather, the applicant requests feedback from neighbors, the Planning Commission and the City Council on the proposals so they can work toward preparing a future, formal application. The concept plan review process schedule and minutes from those meetings are summarized below.

- **Neighborhood Meeting** – The applicant held their neighborhood meeting on February 2, 2023 at Redeemer Lutheran Church, 3770 Bellaire Avenue. The applicant’s summary of their neighborhood meeting can be reviewed as an attachment to the February 27th Planning Commission Agenda Packet by [clicking here](#).
- **Planning Commission Review and Comment** – The Planning Commission reviewed this item during their February 27, 2023 regular meeting. Generally, the Planning Commission expressed support for the concept proposal. Minutes from this meeting can be reviewed on the city’s website by [clicking here](#).
- **City Council Review and Comment** – The City Council reviewed this item during their March 14, 2023 regular meeting. Four of the five City Councilmembers and the Mayor expressed general support for the proposal while one Councilmember stated they opposed the concept plan. Both minutes and the video recording from this meeting can be reviewed on the city’s website by [clicking here](#).

Current Redevelopment Proposal. The applicant proposes to redevelop the vacant commercial (gas station) use into 9 for-sale, 2.5-story townhome units. The 9 units would be located in 2 separate buildings, one with 4 units fronting on County Road E and one with 5 units facing Bellaire Avenue. The

site also includes an outdoor courtyard amenity space located near the County Road E and Bellaire Avenue intersection, a standalone community room, stormwater management area and 8 surface lot guest parking spaces. More detail on the applicant's overall vision for their project can be found in the attached project narrative.

In response to the comments provided during the concept plan review process and previous application, the applicant made the following revisions to their plans:

- Unit Count: The total number of units has been reduced from 17 (14 apartments and 3 townhomes) to 9 townhome units.
- Ownership: The units will now be for sale with a projected price of \$425,000 to \$475,000.
- Parking: Each of the 9 townhomes will have its own 2 stall attached garage and the site will have 8 surface lot guest stalls. This creates a parking ratio of 2.8 stalls/unit and exceeds the 2 stalls/unit requirement one of which must be enclosed.
- Building Height: The townhome will be 2.5-story or 31' 9" in total height. This is below the 35' maximum height limit of the proposed R-5 District and neighboring R-3 District.
- Stormwater: The stormwater management area has been redesigned to fit within the southeast corner of the site. This design will not only manage the site's stormwater but it will also serve as a buffer to the adjacent neighborhood.
- Sidewalk connection to Jansen Ave: This revised 9-unit townhome design still includes a sidewalk connection from the northeast corner of Jansen and Bellaire Avenues across the project driveway apron with a pedestrian ramp into the residential street.
- Exterior: Exterior selections have been refined to create a high level of architectural quality and more closely align with the neighborhood and city character.
- Landscaping: The updated landscape plan includes significant native trees and vegetative cover to create privacy around the parking area and on all sides of the property.

Neighborhood Meeting. The applicant held a neighborhood meeting for their revised 9-unit rowhouse proposal on June 15, 2023 at Redeemer Lutheran Church, 3770 Bellaire Avenue just north of the subject property (see attached invitation). According to the applicant's sign-in sheet, 10 people attended the meeting. City staff were also in attendance to monitor the meeting and answer any procedural questions. Ryan McKilligan presented the updated plans and took questions and comments from those in attendance which included concerns about the number of units, ownership, setbacks, stormwater and height. Some in attendance voiced support for the revised parking, change from rental to ownership and bringing in new investment and residents to the neighborhood.

Community Comment. Under state law and the City's zoning regulations, the requested applications require a public hearing. Accordingly, the City published notice of this requests and the public hearing in the White Bear Press and mailed notice directly to all property owners within at least 350 feet of the subject property. In an effort to help ensure notification continuity, the notification distance was extended to approximately 1,100 feet. That notice directed all interest parties to send questions or comments to the Planning Department by mail, phone or email or to attend the public hearing before the Planning Commission where they could learn about the request, ask questions and provide feedback. In addition, both the city and the applicant created project specific websites that included the applicant's

plans and narrative, information on the city's review process and how to provide comment, and history on the previous apartment proposal and prior concept plan review process.

As of the writing of this report, the city had received no comments or questions regarding these applications. Staff will provide an update on any comments that may be received during the Planning Commission public hearing.

ANALYSIS

Rezoning. The procedure and criteria used to evaluate zoning amendment applications (either text changes or rezoning of individual properties) are found in City Code Section 1301.040 – Amendments. Review of this type of application is considered a legislative action. When considering legislative actions, cities have discretion to set the public policy or development standards they decide are appropriate for their community. This section of the City Code details six criteria for the city to weigh when considering a rezoning application. These criteria and staff's findings for each are provided below.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding. The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Neighborhood Mixed Use. According to the Comprehensive Plan, the Neighborhood Mixed Use designation is intended to be for commercial retail or service businesses and offices serving the local community, and medium to high-density housing. This district should lean towards residential with an expectation of 75 percent residential but at least 50 percent of development being residential in nature, and recognizing that some sites may be appropriate at 100% residential. Stacked multi-family housing and courtyard apartments will be the predominant use, with townhomes and villas used where appropriate in transitional areas abutting surrounding residential neighborhoods. The applicant's revised development proposal now includes 9, 2.5-story townhome units and is consistent with the use and building types allowed in the Neighborhood Mixed Use future land use category of the 2040 Comprehensive Plan.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding. The proposal townhome development will be compatible with surrounding present and future land uses. The surrounding existing land uses are commercial to the north and west and residential uses to the south and east. Similarly, the Future Land Use Map in the 2040 Comprehensive Plan guides parcels to the north and west as Neighborhood Mixed Use with the properties to the south and east remaining Low Density Residential.

The applicant's development proposal falls just under the density standards of the Neighborhood Mixed Use future land use category. The Neighborhood Mixed Use category allows a density range between 16 and 34 dwelling units per acre. Under this standard, the 0.67-acre subject property is allotted between 10 and 22 total units ($0.67 \times 16 = 10$ units and $0.67 \times 34 = 22$ units) and has a median density (the value in the middle of a range of numbers) of 16 units per acre. While the 9

proposed townhome units falls just under the 10-unit density floor, staff find the revise proposal compatible with the surrounding residential neighborhood.

3. The proposed use conforms with all performance standards contained herein.

Finding. This application proposes to rezone the subject property from B-3, Auto Oriented Business to R-5, Single Family – Two Family Medium Density Residential. Staff finds the proposed development meets or exceeds the zoning standards for the R-5 district with the exception of the street facing setbacks along County Road E, Bellaire Avenue and Jansen Avenue. These deviations were intentional to comply with the goals and policies of the Neighborhood Mixed Use future land use category of the 2040 Comprehensive Plan and to provide a larger buffer and better transition with the existing residential neighborhood to the south and east. The applicant requests deviations from these setback requirements through the associated planned unit development (PUD) application (see analysis below). The proposed development meets or exceeds the remaining R-6 district zoning standards as demonstrated through the analysis below.

Use. The applicant’s plans conform with the allowable uses in the R-5 district. This district allows single family, two family, 3 or 4-plexes, or townhome units. The applicant’s proposal includes 9, 2.5-story townhomes which are consistent with the uses allowed in the R-5 district.

Height. The maximum height in the R-5 district is 35 feet and is measured from the average grade of the ground to the top of a flat roof or the mid-point of a pitched roof. Based on feedback from the concept plan review process, the applicant redesigned the roof from a flat to a pitched design and reduced the height of the proposed building to comply with the 35-foot height limitation. The project now includes 2.5-story townhomes with pitched roofs that have a total height of 31’ 9”.

Setback. The table below compares the setbacks for each of the proposed townhome buildings.

25-2 County Road E Concept Plan Setback Analysis					
Setback	Standard	Co. Rd. E Townhomes		Bellaire Avenue Townhouse	
		Proposed	Deviation	Proposed	Deviation
Front (Co. Rd. E)	30’	10’	-20’	62’	+37
Side (Bellaire Ave.)	30’*	55’	+25’	15’	-15
Side (Interior)	15’	15’	Complies	96’	+81’
Rear (Jansen Ave.)	30’*	133’	+108	25’	-5’

**Street facing side or rear yards require a minimum 30’ setback for townhomes*

The 4-unit building along County Road E meets or exceeds the setback requirements along Bellaire Avenue, Jansen Avenue and the interior side yard but proposes a 15’ deviation along County Road E. By comparison, the 5-unit building along Bellaire Avenue meets or exceeds the setback requirements along County Road E and the interior side yard but proposes a 15’ deviation along Bellaire Avenue and a 5’ deviation along Jansen Avenue. It should be noted that the project redesign from 10 to 9 units resulted in an increase in the overall separation from County Road E because of the additional 12’ of right-of-way and an increase in the setback along Jansen Avenue

from 15 to 25 feet.

According to the applicant, this design was intended to meet the goals and policies of the Neighborhood Mixed Use future land use category in the 2040 Comprehensive plan but more importantly to focus the most intense use of the site along County Road E and Bellaire Avenue and provide the greatest possible transition and setback on the sides of the property that abuts the existing residential neighborhood to the south and east. Staff finds this design acceptable under the proposed planned unit development (PUD).

It should also be noted that each unit will include a front street facing balcony. These balconies are designed to be partially recessed from the front of each unit but will encroach 2' into the 10' County Road E setback and the 15' Bellaire Avenue setback. Generally, the zoning ordinance permits this type of encroachment provided the balcony does not encroach more than 5' into the required setback. Staff also finds this design acceptable under the proposed planned unit development (PUD).

Parking. The City's residential off-street parking standards require two stalls per unit, one of which must be enclosed. Based on feedback from the concept plan review process and previous application, the applicant has reduced the number of units and redesigned the site to fully meet these standards.

The redesigned site now includes a total of 9 townhome units which would require 18 total off-street parking stalls 9 of which would be required to be enclosed. The current proposal includes a 2 stall enclosed garage for each unit exceeding the city's minimum parking requirement. In addition, the site includes 8 surface guest parking stalls. In total, the site provides 2.8 stalls/unit.

Trash & Utility Screening. Trash and recycling will be stored inside the individual units. With townhome units, individual exterior air conditioning units are not required to be screened.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding. The proposed residential use will not tend to or actually depreciate the area in which it is proposed. The applicant's proposal will make a significant financial investment in what has historically been a vacant property. This investment will bring additional residents, spending and physical improvements to the area.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding. The Engineering Department reviewed and provided comments in their attached memo dated June 15, 2023. This memo reviewed the 10-unit version of the applicant's plans. The Engineering Department is in the process of updating their review memo to reflect the revised 9-unit plan but estimates there should not be significant changes in their review or recommendations. Overall, the proposed use can be accommodated with existing and planned improvements to public services.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding. Traffic generation by the proposed use will be within capabilities of streets serving the property. Generally, the 9-unit townhome development should generate significantly less traffic than the former commercial gas station use.

Subdivision. The applicant requests preliminary and final plat approvals for Wildwood Rowhomes Addition. Subdivision review is considered a quasi-judicial action. As such, the City is acting as a judge to determine if the regulations within the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance are being followed. Generally, if the application meets these requirements, the subdivision application should be approved. The City also has the authority to add conditions to an approval that are directly related to the application.

Standards for reviewing subdivision requests are outlined in Section 1401 of the City Code. This section of the Code details a two-step preliminary and final plat process for land subdivision. The Planning Commission reviews the preliminary plat (attached) while the City Council reviews and acts on the final plat. Based on the finding below, staff recommends approval of the preliminary and final plats.

Zoning. This application proposes to rezone the subject property from B-3, Auto Oriented Business to R-5, Single Family – Two Family Medium Density Residential. As a result, the proposed development will be reviewed against the goals, policies and performance standards in the Neighborhood Mixed Use future land use category and the proposed R-5 zoning district.

Subdivision Design. The Wildwood Rowhomes plat seeks to subdivide the 0.67-acre subject property into 9 individual townhome lots and two outlots. The individual townhome lots are 42' deep and 20' (interior) or 22' (exterior) wide. These lots meet the 20' minimum lot frontage requirement but are smaller than the 5,000 square minimum lot size for townhomes in the R-5 district. This lot design is acceptable under the overall PUD as the proposed townhome use type and density are consistent with the goals and policies of the Neighborhood Mixed Use Future Land Use category which serves as the primary guide for redevelopment applications.

The proposed outlots include Outlot A which covers the common areas, stormwater management area and access driveway while Outlot B covers the land which contains the existing carwash building. The applicant plans to rehabilitate the existing carwash building into a community room amenity space of the townhome residents.

Streets & Access. While the proposed subdivision will not create any new streets, Ramsey County did review the plat and will require the developer to dedicate a 12' strip of land along the entire County Road E right-of-way frontage. This requirement from Ramsey County required the applicant to redesign their proposal from 10 to 9 townhome units.

As with the applicant's previous proposals, access to the 9-unit townhome proposal will come from Jansen Avenue on the south side of the development. The proposed access is generally centered on the southern property line to balance separation from either property line and provide adequate

vehicle stacking space at the Jansen and Bellaire Avenues.

Utilities. The Engineering Department reviewed and provided comments in their attached memo dated June 15, 2023. This memo reviewed the 10-unit version of the applicant's plans prior to the applicant learning that Ramsey County will require an additional 12' of right-of-way for County Road E. This change caused the applicant to redesign the project from 10 to 9 units. The Engineering Department is in the process of updating their review memo to reflect the revised 9-unit plan but estimates there should not be significant changes in their review or recommendations as it relates to utility services.

Easements. The Engineering Department has reviewed the plat and recommended Outlot A, which covers the access driveway and common areas, include a drainage and utility easement. The applicant has included this easement on the preliminary plat.

Park Dedication. With any subdivision, the city has the ability to collect park dedication in the form of land and/or a fee-in-lieu. According to the City Fee Schedule, townhome subdivision shall pay a park dedication fee of \$1,000/unit. With 9 proposed units, a condition of preliminary plat approval will require the applicant pay a park dedication fee of \$9,000 prior to issuance of a building permit.

Stormwater Management. The Engineering Department reviewed and provided comments in their attached memo dated June 15, 2023. This memo reviewed the 10-unit version of the applicant's plans prior to the applicant learning that Ramsey County will require an additional 12' of right-of-way for County Road E. This change caused the applicant to redesign the project from 10 to 9 units. The Engineering Department is in the process of updating their review memo to reflect the revised 9-unit plan but estimates there should not be significant changes in their review or recommendations as it relates to stormwater management. Generally, the Engineering Department found the applicant's stormwater management plan will improve the existing conditions on site and meet the City's Engineering Design Standards for Stormwater Management.

Planned Unit Development. The purpose of a planned unit development (PUD) is to allow flexibility from traditional development standards in return for a higher quality development. Typically, the city looks for a developer to exceed other zoning standards, building code requirements or Comprehensive Plan goals. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals.

In this case, a PUD is necessary to allow decreased setback along the street sides of the subject property and reduced minimum lot sizes for the townhomes. In exchange for these deviations, the applicant designed the site to maximize the setback from the adjacent neighborhood to the south and east, will rehabilitate the carwash portion of the existing gas station building into a community room amenity space, will include an enhanced outdoor courtyard amenity space at the corner of County Road E and Bellaire Avenue, and will provide enhanced landscaping, buffering and screening throughout the site. In addition, the applicant has agreed to revise their landscaping plan to the extent practical to include native trees and plants to reduce the need for water through irrigation. Based on the overall site design and development enhancements, staff finds the overall project design acceptable under the planned unit development application.

Engineering Review. The Engineering Department reviewed and provided comments in their attached memo dated June 15, 2023. This memo reviewed the 10-unit version of the applicant's plans prior to the applicant learning that Ramsey County will require an additional 12' of right-of-way for County Road E. This change caused the applicant to redesign the project from 10 to 9 units. The Engineering Department is in the process of updating their review memo to reflect the revised 9-unit plan but estimates there should not be significant changes in their review or recommendations. Staff recommends a condition of approval require the applicant to comply with all requirements of the Engineering department.

Fire Department Review. The Fire Department reviewed and provided comments in their attached memo dated June 21, 2023. This memo has been updated to reflect the revised 9-unit design. Staff recommends a condition of approval require the applicant to comply with all requirements of the Fire department.

RECOMMENDATION

Staff recommends approval of the requested rezoning from B-3, Auto Oriented Business to R-5, Single Family – Two Family Medium Density Residential, Preliminary Plat and Planned Unit Development based on the findings made in this report, summarized below and detailed in the attached resolution.

Findings:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposed use conforms with all applicable performance standards for townhomes in the R-5 District with the exceptions of street facing setbacks which are acceptable under the associated planned unit development application.
4. The proposed use will not tend to or actually depreciate the area in which it is proposed.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.
7. The preliminary plat confirms with all applicable subdivision standards with the exception of the townhome minimum lot size which is acceptable under the associated planned unit development application.
8. The applicant's overall site design creates a higher quality development that could not be achieved without the deviations allowed through the planned unit development.

Conditions:

1. Rezoning of the property to R-5, Single Family – Two Family Medium Density Residential
2. Approval of the associated preliminary and final plats
3. Execution of a Planned Unit Development Agreement in a form acceptable to the City Attorney.
4. Issuance of a building permit.
5. Conformance with all requirements of the Engineering, Fire and Building Departments.

6. Conformance with all requirements of Ramsey County including but not limited to dedication of 12' of additional right-of-way along County Road E.
7. Conformance with all requirement of the Ramsey Washington Metro Watershed District.
8. The applicant shall enter into a Stormwater Operations and Maintenance Agreement for the on-site stormwater management feature.
9. Payment of all applicable development fees including park dedication, SAC and WAC.
10. Revise the landscape plan to the extent practical to include native trees and plants so as to reduce the need for irrigation water.
11. The applicant shall extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
12. Prior to the release of the letter of credit, the applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
13. Prior to the release of the letter of credit, all exterior improvements must be installed and all landscaping must have survived at least one full growing season.
14. Prior to the release of the letter of credit, the applicant shall provide proof of having recorded the Planned Unit Development Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

Attachments:

Rezoning Ordinance
Preliminary Plat Resolution
PUD Resolution
Zoning Location Map
Neighborhood Meeting Invitation
Neighborhood Meeting Sign-In Sheet
Neighborhood Meeting Minutes
Applicant's Narrative
Plans & Elevations
Fire Department Memo
Engineering Department Memo

ORDINANCE NO. _____

AN ORDINANCE REZONING THE PROPERTY AT 2502 COUNTY ROAD D WITH PID 36-302-21-20-027 FROM B-3, AUTO ORIENTED BUSINESS TO R-5, SINGLE FAMILY – TWO FAMILY MEDIUM DENSITY RESIDENTIAL, SUBJECT TO CONDITIONS

THE COUNCIL OF THE CITY OF WHITE BEAT LAKE DOES HEREBY ORDAINS:

SECTION I. That the present zoning classification of B-3, Auto Oriented Business, upon the following described premises is hereby repealed, and in lieu thereof, said premises is hereby rezoned to R-5, Single Family – Two Family Medium Density Residential.

The legal description of the property to be rezoned is as follows:

PID – 363022120027. The West 183 feet of the North 233 feet of the Northwest Quarter of the Northwest Quarter of Section 36, Township 30 (North). Range 22 (West), EXCEPT Parcel 73, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, MN

SECTION II. This Ordinance shall become effective upon its passage, after second reading and publication.

First Reading:	July 11, 2023
Second Reading:	July 25, 2023
Final Publication:	
Codified:	

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

RESOLUTION NO. _____

**RESOLUTION APPROVING THE WILDWOOD ROWHOMES ADDITION
PRELIMINARY PLAT WITHIN THE CITY OF WHITE BEAR LAKE**

WHEREAS, a proposal has been submitted by Element Design-Build to the City Council requesting preliminary plat approval in accordance with the Subdivision Code at the following site:

LOCATION: 2502 County Road E

EXISTING LEGAL DESCRIPTION: PID – 363022120027. The West 183 feet of the North 233 feet of the Northwest Quarter of the Northwest Quarter of Section 36, Township 30 (North). Range 22 (West), EXCEPT Parcel 73, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, MN

PROPOSED LEGAL DESCRIPTION: Wildwood Rowhomes Addition, Ramsey County, Minnesota

WHEREAS, the applicant seeks preliminary plat approval under Section 1401 of the City Code to subdivide the property in the existing legal description above into Wildwood Rowhomes Addition, Ramsey County, Minnesota for the purpose of constructing a total of 9 townhomes units in two separate 2.5-story buildings; and

NOW, THEREFORE, BE IT RESOLVED by the City of White Bear Lake that the City Council finds that preliminary abides by the intent of the city's ordinances, codes, and the Comprehensive Plan, and that the developer has petitioned for or will construct all necessary improvements required by the Code; and

FURTHER, BE IT RESOLVED by the City Council of the City of White Bear Lake accepts and adopts the following findings:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The preliminary plat confirms with all applicable subdivision standards with the exception of the townhome minimum lot size which is acceptable under the associated planned unit development application.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.

FURTHER, BE IT RESOLVED by the City Council of the City of White Bear Lake accepts and

approves the preliminary plat subject to the following conditions:

1. Approval associated rezoning application rezoning the property from B-3, Auto Oriented Business to R-5, Single Family – Two Family Medium Density Residential.
2. Approval of the associated Planned Unit Application. The applicant shall also enter into a Planned Unit Development Agreement in a form acceptable to the City Attorney.
3. The hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the city with a final approved reproducible mylar copy of the plat.
4. Per 1402.020, Subd.6.c, within one year, the applicant must supply to the city planning and engineering staff a final plat (consistent with the approved preliminary plat) to be approved by the City Council or the subdivision shall become null and void. If the final plat varies significantly from the preliminary plat, Planning Commission review and comment will be required.
5. Within 100 days after final approval by the City Council, the applicant must record said documents with the County Land Records Office or Registrar of Deeds or the subdivision shall become null and void.
6. No construction permits may be issued for improvements on these properties prior to approval and signing of the final plat document.
7. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners. The plat shall indicate that all monuments have been set or will be set within one year after recording, or sooner as specified by the approving local government unit. A financial guarantee may be required for the placement of monuments.
8. The applicant shall provide title work and adhere to the City Attorney's plat opinion.
9. The applicant shall reimburse the city for all costs incurred in the review and processing of the application.
10. The applicant shall pay all applicable development fees.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Ryan McKilligan, Element Design-Build

Date

RESOLUTION NO.

**RESOLUTION GRANTING GENERAL AND DEVELOPMENT STAGE
PLANNED UNIT DEVELOPMENT (PUD) APPROVALS FOR THE PROPERTY LOCATED AT
2502 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (23-21-PUD) has been submitted by Element Design Build, to the City Council requesting approval of both General and Development Stage Planned Unit Development (PUD) approvals from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 2502 County Road E; and

LEGAL DESCRIPTION: PID – 363022120027. The West 183 feet of the North 233 feet of the Northwest Quarter of the Northwest Quarter of Section 36, Township 30 (North). Range 22 (West), EXCEPT Parcel 73, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, MN

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: General & Development Stage approvals of a Planned Unit Development, per Code Section 1301.070, in order to construct a total of nine, 2.5-story townhouse units; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 26, 2023; and

WHEREAS, the City Council has considered the advice and recommendations of both the Planning Commission and staff regarding the effect of the proposed PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposed use conforms with all applicable performance standards for townhomes in the R-5 District with the exceptions of street facing setbacks which are acceptable under the associated planned unit development application.
4. The proposed use will not tend to or actually depreciate the area in which it is proposed.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.

RESOLUTION NO.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the PUD Development Stage Plan, subject to the following conditions:

1. Rezoning of the property to R-5, Single Family – Two Family Medium Density Residential
2. Approval of the associated preliminary and final plats
3. Execution of a Planned Unit Development Agreement in a form acceptable to the City Attorney.
4. Issuance of a building permit.
5. Conformance with all requirements of the Engineering, Fire and Building Departments.
6. Conformance with all requirements of Ramsey County including but not limited to dedication of 12' of additional right-of-way along County Road E.
7. Conformance with all requirement of the Ramsey Washington Metro Watershed District.
8. The applicant shall enter into a Stormwater Operations and Maintenance Agreement for the on-site stormwater management feature.
9. Payment of all applicable development fees including park dedication, SAC and WAC.
10. Revise the landscape plan to the extent practical to include native trees and plants so as to reduce the need for irrigation water.
11. The applicant shall extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
12. Prior to the release of the letter of credit, the applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
13. Prior to the release of the letter of credit, all exterior improvements must be installed and all landscaping must have survived at least one full growing season.
14. Prior to the release of the letter of credit, the applicant shall provide proof of having recorded the Planned Unit Development Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

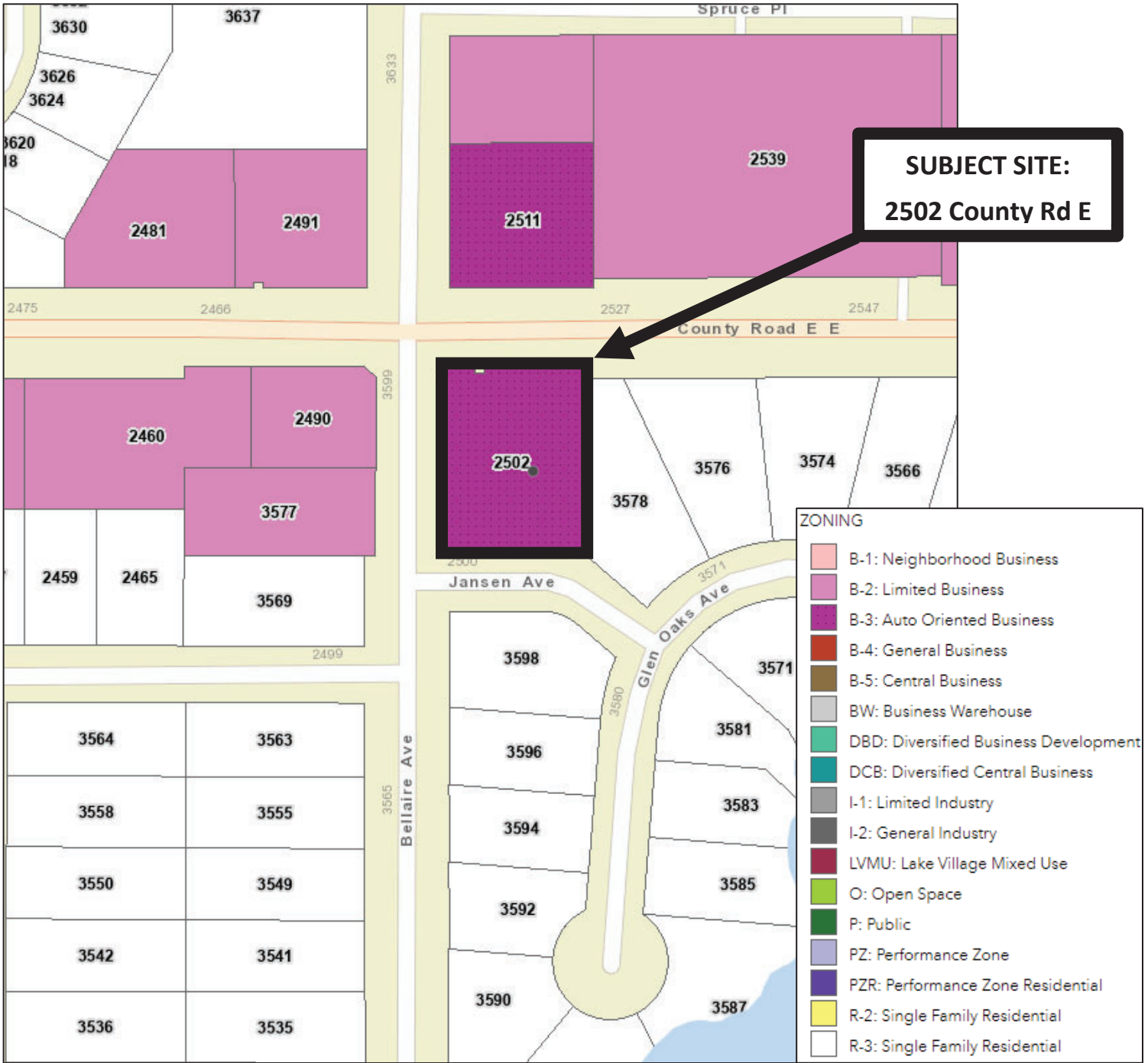
RESOLUTION NO.


Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



 <p>City of White Bear Lake Planning & Zoning 651-429-8561</p>	<p>CASE NO. : <u>23-21-PUD & Z & P</u></p>
	<p>CASE NAME : <u>2502 Co Rd E Townhomes</u></p>
	<p>DATE : <u>6-26-2023</u></p>

Neighborhood Meeting Invitation

June 15 at 7:00 p.m., Redeemer Lutheran Church, 3770 Bellaire Avenue

Dear Neighbor:

My name is Ryan McKilligan and I represent Element Design-Build. Our company has applied to the City of White Bear Lake for land use approvals to redevelopment a property near you located at 2502 County Road E. A site map and brief description of our concept proposal is attached.

We would like to invite you to a neighborhood meeting where we will share our plans, answers questions, and listen to your feedback. The meeting will take place on June 15, 2023 at 7 p.m. at Redeemer Lutheran Church, 3770 Bellaire Ave, White Bear Lake, MN 55110. If this meeting time isn't convenient, you can also review and provide comments on our plans through our website www.2502e.com.

As part of the land use application process, the City of White Bear Lake must also review and approve our plans. It is our understanding that the White Bear Lake Planning Commission will review our applications and make a recommendation to the City Council on June 26, 2023. City Council review requires a two-step process with review of our application on July 11, 2023 and a second meeting with a vote on our applications scheduled for July 25, 2023. All three of these meetings will take places in the Council Chambers at White Bear Lake City Hall, 4701 Highway 61 starting at 7:00 p.m. More information about these meetings can be found on the City of White Bear Lake's website (www.whitebearlake.org).

If you would like to speak with someone from our company regarding our applications, or if you would like to request any documentation regarding our plans, please reach out directly to me.

Sincerely,

Ryan McKilligan
Lead Project Manager
Element Design-Build
612-208-2551

2502 County Rd E - Neighborhood Meeting

15 Jun 2023

Name	Address	Phone	Email
Joe Parcarich	3517 Bellair Ave	612-978-7604	jparcarich@aol.com
Ann Kovacs	3585 Glen Oaks	651-261-4753	amkovacs@gmail.com
Jason Lindahl	City of WISL	651-4129-8562	j.lindahl@whitebearlake.org
Chris/Jen Greene	3587 Glen Oaks	612-258-2624	

2502 Conroy Rd E - Neighborhood Meeting

15 Jun 2023

Name	Address	Email	Phone
Dennis McKilligan	5630 Hwy 19 Ames IA	dmcKilligan30@gmail.com	612-537-0406
Karen McKilligan	"	"	515-291-8067
Jan Johnson	2481 E 6th Rd E		651-402-2057

2502 County Rd E - Neighborhood Meeting
15 Jun 2023

Name	Address	Email	Phone
Steven FREUND	3563 Bellarmine	zardoz@ outlook.com	651-324-1262
AL RIVARD Tracy Shimek	3590 CARM OAKS AVE	ALREB@ LIVE.COM	651-278-0777
Tracy Shimek	4701 Hwy 61	tshimek@ whitebear lake.org	651 762 4838

6/15/2023 2502 County Rd E Neighborhood Meeting

Introduction

- Jason Lindahl welcomed everyone and explained the process
- Mentioned upcoming public hearings and procedures
- Planning commission makes a recommendation, city council will review twice

Applicant Presentation

- Ryan McKilligan introduced the project
- Kevin Edberg stated at the council meeting that it was in the neighbors' interest to do an all-townhome project
- Respecting that preference and proposing a 10 unit townhome development
- R-5 zoning proposed- does not allow apartments as R-6 does
- Rendering is conceptual and doesn't show all landscaping
- 6 unit building along Bellaire, 4 unit building along County Rd E with a courtyard amenity in between
- Main areas of feedback have been: Density, parking, height, and stormwater
- Density- 10 units, minimum density for this land use designation and property size. Previous was 18 units and 17 units.
- Parking- 2.8 off street parking stalls per unit, previous concepts had around 1.8
- Stormwater- Similar concept to previous, different shape and configuration of swale. Same filtration and capacity.
- Curb cut off Jansen, include sidewalk to connect to neighborhood
- Noted location of eight surface parking spaces, two enclosed per unit, and 15' setbacks on all sides.
- Much larger sight triangle
- Described concept of saving car wash portion of existing building and renovating that into amenity space
- Landscape plan- generous trees and planting, over time tying into existing neighborhood's mature trees and established planting
- Conceptual unit plans- garage/office on 1st floor, kitchen/dining/living and a balcony facing the street on 2nd, and two bedrooms on 3rd with two bathrooms.
- Rendering from SE- missing landscaping

-Spoke to the value of the iterative process and neighborhood input, that we think this is the best solution yet, and remains economically viable.

Community Feedback

-Resident asked if a 4-6 unit project would be viable and profitable? Ryan explained the challenges of infill development and that there are real risks and soft costs. Desire to establish vibrance at the corner that is better achieved at 10 units than 4-6. Resident voiced that he supports something being developed there, just feels it is too much square footage. Further described repurposing the car wash bay to a community room.

-AI asked if it was going to be for sale or rent. Ryan stated the intent is for-sale, and described some details of a Common Interest Community (CIC) or association.

-AI likes that the parking is more straight-in in configuration. Asked how wide and deep the garages are- Henry stated units are 20' wide and the garages are the full width, and around 20' deep. AI asked about building height, Henry described grading and that the average grade to average roof height is between 32' and 33'. AI asked about overflowing of stormwater detention, Ryan described that the system is designed for a 100 year rain event, if that is exceeded, the overflow relief is toward County Road E.

-Ryan mentioned the option to check the website 2502e.com for updates.

-Resident asked if any variances were required for the project. Ryan stated that setback variances will be requested to be 15' rather than 25', which is intentional to activate the street and Henry stated it moves the buildings farther away from the existing neighborhood. Resident asked if any density variances were needed as she thought R-5 was lower density. Ryan explained that a rezoning looks at the future land use plan, and that the Neighborhood Mixed Use designation allows 16-34 du/acre and that translates to 10-22 du for this site.

-Resident asked about a 6-unit project again and his opinion that would be profitable. Ryan described that he feels that 10 units is the best for building a community feel and we feel this is the best approach. Resident stated that he supports the project at a smaller scale, but was frustrated by comments from Planning Commission and City Council about reducing property values. Jason mentioned that is a valid perspective but the context has changed from for-rent to for-sale.

-Resident voiced support for people coming into the community and being "bought in"

-AI asked about power line and tree conflicts, Ryan mentioned desire to bury power line but probably difficult with many companies using that infrastructure. Trees are columnar trees to avoid conflict with power lines.

-AI asked about maintenance of stormwater filtration system. Ryan explained that stormwater facilities are covenanted with the county and will be inspected or maintained.

-Resident asked about watershed district, Ryan explained it will meet watershed district and city requirements for stormwater management.

Here no other comments the meeting ended at 7:45 PM.

Planned Unit Development – Development Stage

2502 County Rd E

Since beginning work on the redevelopment plan for 2502 County Rd E, community input from neighbors, business owners, and city officials has been robust and informative. The rational and honest feedback from all stakeholders has gone a long way in beginning to understand how a redevelopment at the intersection of Bellaire and County Rd E would fit into the neighborhood today and into the future. White Bear Lake is a town with deep rooted history and long-term residents that appreciate its character and don't want that to be overcome by the spread of development from the Twin Cities. There is also a desire for connection to a more natural time and place. Sustainability and natural landscaping are a priority for White Bear Lake citizens which creates a conflict with the auto-oriented reality of the area. To that end a redevelopment plan needs to address the automobile infrastructure while preserving the ability to feel a connection with White Bear Lake itself which originally drew people to the area. Since the Noyes Cottage was built in 1879 people have gravitated to White Bear Lake as a respite from the commercial weight of the Twin Cities, and the charm and slower pace of the town is still unmistakably felt when walking along Lake Avenue. The goal of the development then becomes to make it possible for new residents to feel the same lake-oriented community charm while ensuring that the experience for existing residents is not hindered or altered by new growth. The design and planning of the following PUD application seeks to continue and add to the special character of White Bear Lake while addressing the existing geographic challenges the location poses.

Interaction with local context

The context of 2502 County Rd E is unique in that it sits next to a busy intersection of County Rd E and Bellaire Ave but also borders a single-family residential neighborhood. Given the noise and traffic level of the abutting streets, it would be impossible to make low density housing feel comfortable in that context. So, as in my neighborhood situations such as this, commercial spaces are planned for the street corners where surrounded by single family residences. The second unique challenge with 2502 County Rd E, however, is that despite it being situated in a quality neighborhood, the lack of redevelopment as a commercial property in the last decade has proven its inability to economically support new construction commercial uses. So, when considering a rezoning or new use, the Future Land Use Plan for White Bear Lake is the most appropriate place to start. There, guidance for the property for future development is Neighborhood Mixed Use. This classification calls for an elevated level of density at each of the four corners of County Rd E and Bellaire Ave. Density guidance for Neighborhood Mixed Use for the 2502 County Rd E site is between 10 and 22 units with up to 100% of the space being dedicated to residential. The proposed development includes 9 rowhome residences.

In order to achieve the charm and character of White Bear Lake in a redevelopment while attempting to meet the intent of the Future Land Use Plan, intentional variations from strict provisions of the zoning code have are planned. The City of White Bear Lake's PUD process is the procedural process to evaluate such variations. The following are outcomes the city's PUD process is intended to encouraged and a summary of how the proposed development addresses those areas:

A) Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and siting of structures and by the conservation and more efficient use of land in such developments;

The proposed development offers a chance for younger members of the community and families to find a home in White Bear Lake. By making use of parts of the existing structure to create a unique amenity and letting each rowhome address the street in a walkable way, the project delivery a new style of living that supports further development at the Bellaire and County Rd E intersection while still reflecting the residential character of the neighborhood.

B) Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects and engineers;

The architecture and landscaping of the proposed project go above and beyond the typical multifamily structures typically found in Twin Cities suburbs. The shingle-style exterior along with robust and thoughtfully planned landscaping and site layout aim to align with the special character of White Bear lake.

C) The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion;

Careful planning on the project has allowed for all stormwater to be treated through natural soil filtering or cleanly routed to public stormwater connections. The basin on the east and southeast areas of the project will maximize the amount of rainwater that can be naturally infiltrated into groundwater while sand filtering excess water before leaving the site. The proposed plan would be a major improvement to the quality of storm runoff leaving the site relative to the gas station that currently exists.

D) An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments;

The 2502 County Rd E site is an opportunity to utilize existing city infrastructure efficiently including, stormwater, sanitary sewer, water, and city services.

E) A development pattern in harmony with the objectives of the White Bear Lake Comprehensive Plan. (Ref. Ord. 10-1-1061, 1/12/10);

The proposed development is well aligned with the Future Land Use Plan Neighborhood Mixed Use designation and achieves its intent in terms of density and

function as it relates to creating more vibrance and foot traffic that supports local businesses near the intersection.

F) A mix of land uses made compatible through careful oversight. (Ref. Ord. 10-1-1061, 1/12/10);

It is important to consider how the proposed development interacts with the other uses at the County Rd E and Bellaire intersection. With an existing coffee shop at the southeast corner, adding walkable patrons will support the business and be a significant step towards a vibrant intersection with varied uses.

Parking

By far the most common and significant feedback regarding plans for the proposed development was that parking would be a major concern. Cars crowding streets and large concrete slabs of parking are not commensurate with the residential nature of the neighborhood nor the relaxed, residential character of the area. For that reason it is important to address the appropriate number of parking spaces, the management of those parking spaces, and the way they are shielded by the site context to reduce their impact on the surrounding area. The initial parking concept included roughly 1.8 parking spaces per unit and involved management practices that were arguably difficult to enforce in the long-term. The second proposed development included 2 parking spaces per unit with greater than 1 enclosed parking space per unit. The current proposal includes 2 enclosed parking spaces per unit plus an additional 8 surface parking spaces bringing the total parking ratio to 2.9 spaces per unit. In addition to the number of off-street parking spaces, the attached landscaping plan provides significant tree plantings and vegetation to the south and east of the property to shield parking and vehicle circulation from the neighborhood context to the southeast. The community feedback on parking was clear, and the proposed development addresses parking from all available angles and creates the best parking scenario available short of extreme measures that would not be commensurate with the neighborhood context and character of White Bear Lake.

Building Height and Neighborhood Transition

The second most common and significant feedback in the planning process was to find a way to blend the proposed development into the neighborhood context and create a connection to nature and preserve nearby natural features. Building height was a major concern, and it became clear that any development on the site should have a residential feel. At 32' the proposed structure height is within the requirements of the proposed zoning standard as well as the height requirements of the surrounding single-family zoning areas. Furthermore, the grading plan includes grades that drop the foundation slightly into the ground to give the units a residential, walkable feel while reducing the perception of height as much as possible.

Sustainability and Connection to Natural Features

Another common theme of feedback on the project included sustainability considerations and incorporation of natural features. As it stands, the blighted gas station is a significant departure from both environmental sustainability and natural appearance. The proposed development looks to address that problem by improving the stormwater management of the site and the addition of significant landscaping features that will enhance the natural beauty of the property immediately and into the future as trees mature.

Any development on the property including the existing gas station will create stormwater runoff that will end up in Peppertree pond. The clayey nature of the soils prevent significant infiltration, and all nearby stormwater connections are routed to the east and eventually back to the south into Peppertree pond. For that reason it is extremely important that any stormwater runoff either be cleanly routed to the stormwater system or naturally filtered. The proposed development routes nearly all of its stormwater to the vegetated stormwater basin on the east setback of the property where stormwater volume is contained and must pass through sand filters before leaving the site. The remaining stormwater is routed to the landscaped areas to the west and north of the residential buildings or diverted directly to the city's stormwater system.

Conclusion

As mentioned in previous presentations to Planning Commission and City Council, it is our belief that more, not less, input and involvement with the community results in better design and development. Over the last eight months our team has sat to talk with community members and business owners. Team members have knocked on doors in the nearby residential neighborhood. Neighbors did not always answer, but many did and their input has been informative and helped to understand the context of White Bear Lake and the County Rd E and Bellaire Ave intersection. The concept review process has also contributed significantly to the understanding of the city's intent for the intersection and the concerns that must be addressed to reach a development plan that creates long-term community benefit. All of the conversations have helped to understand the historical and geographic context of the site. The County Rd E and Bellaire Ave intersection is a focal point for a wide variety of stakeholders and there are as many ideas for how to redevelop it as there are community members. Our team believes the proposed plan will make the special character of White Bear Lake available to a variety of new residents while respecting the existing community members and will create a long-term benefit to the neighborhood as a whole for years to come. We greatly appreciate your consideration of our proposed development for 2502 County Rd E.

1. General Information

- a. Landowner's name and address and interest in the subject property
 - i. Waypoints Equity Investments LLC (Co-owner)
2770 Arapahoe Road
Lafayette, CO 80026
 - ii. Element Design-Build LLC (Co-owner)
1110 Raymond Ave Apt #3
Saint Paul, MN 55108
- b. Applicant's name and address: *Same as owner*
- c. Professional consultants contributing to the PUD plan
 - i. Architect: Henry Elgersma
Element Design-Build LLC
1153 16th Ave SE
Minneapolis, MN 55414
 - ii. Civil Engineer: Matt Woodruff
Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
 - iii. Environmental: Brian Englert
A3E Environmental
3030 Warrenville Rd. Suite 418
Lisle, IL 60532
 - iv. Surveyor: Jonathan Faraci
Lake & Land Surveying, Inc.
1200 Centre Pointe Curve, Suite 375
Mendota Heights, MN 55120
 - v. Landscape architect: Ben Hartberg
Calyx Design Group
475 Cleveland Ave North Suite 101A
Saint Paul, MN 55104
 - vi. Surveyor: Jon Faraci
Lake and Land Surveying
1200 Centre Pointe Curve, Suite 375
Mendota Heights, MN 55120
 - vii. Geotechnical: Jeff Casmer
Braun Intertec Corporation
11001 Hampshire Avenue S
Minneapolis, MN 55438

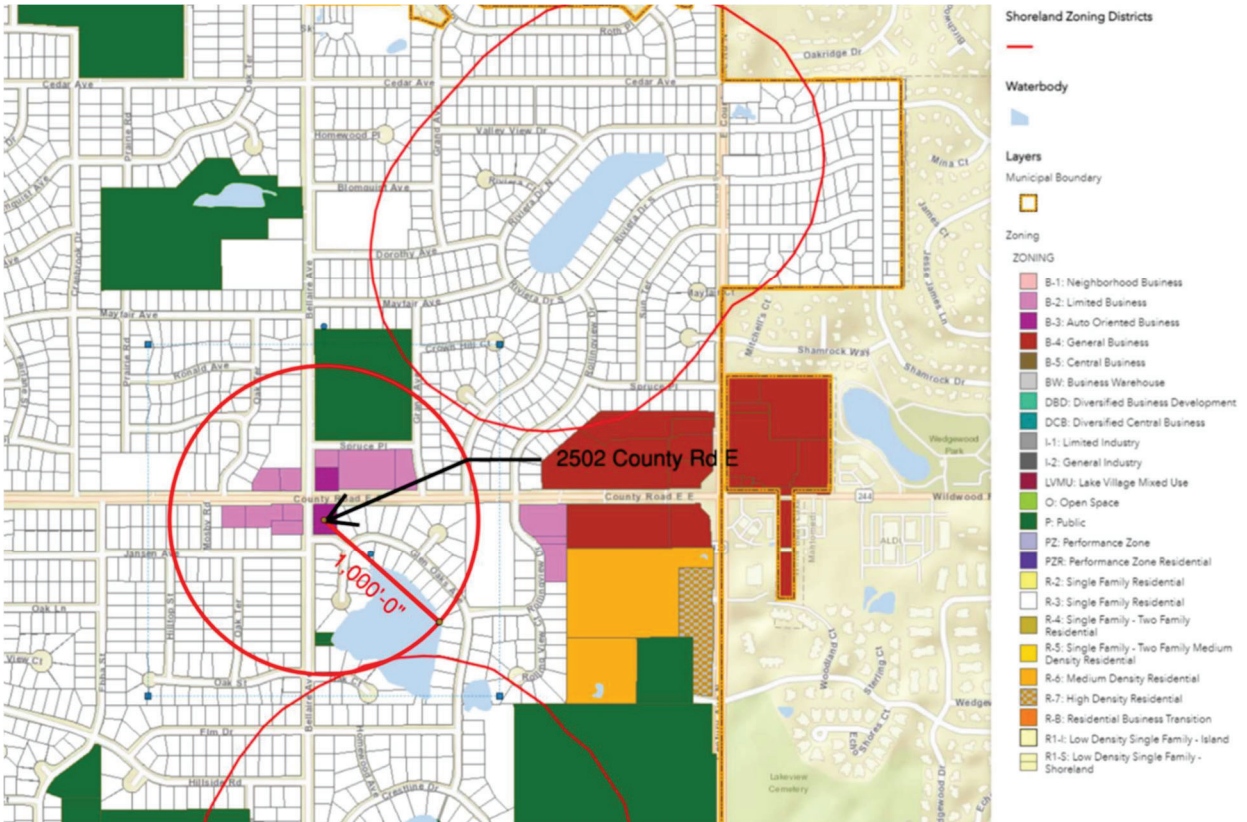
2. Present Status

- a. Address and legal description of the property
 - i. Address: 2502 County Rd E
 - ii. Legal description:

The West 183 Feet of North 233 feet of the Northwest Quart of the Northeast Quarter of Section 36, Township 30, Range 22. EXCEPT that part of the West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 North, Range 22 West, Ramsey County, Minnesota, described as follows: From the center of said Section 36, run Northerly along the North and South Quarter line of said Section 36 on an azimuth of 359 degrees 23 minutes and 51 seconds (azimuth oriented to Minnesota State Plan Coordinated System) for 2577.02 feet to Right of Way Boundary Corner B 809 as shown on Minnesota Department of Right of Way Plat No. 62-9 as the same is on file and of record in the office of the County Recorder in and for said county; thence on Corner B 31, thence on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 4.77 feet to the point of beginning of Tract A to be described; thence continue on an azimuth of 359 degrees 23 minutes 51 seconds along the boundary of said plat for 1.50 feet to Right of Way Boundary Corner B 29; thence on an azimuth of 88 degrees 56 minutes 06 seconds along the boundary of said plat for 3 feet; thence on an azimuth of 230 degrees 01 minutes 30 seconds for 0.35 feet to the point of beginning.

- b. The existing zoning classification and present use of the subject property and all lands within 1,000 feet of the subject property:

The existing zoning classification is B3: Auto Oriented Business. Other properties within 1000' of the property include R-3 Single Family residential, P: Public, and B-2: Limited Business. Present use of the





property is a gas station which is a permitted use for auto-oriented business.

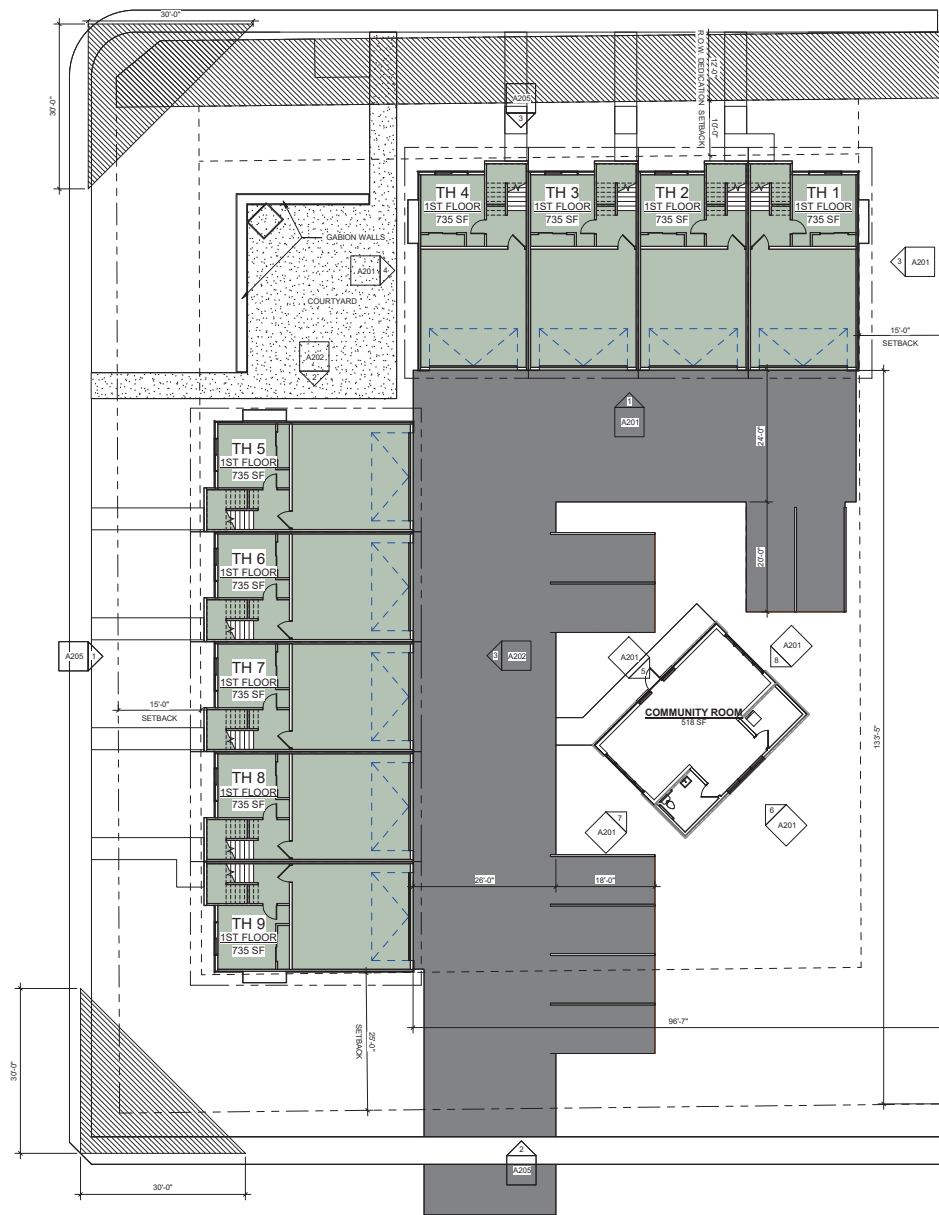
3. Project Description

- a. The proposed project includes 9 residential units, all of which being townhome residences. The anticipated population is 20–30 individuals.

Land Use by Square Footage		% of total
Residential Townhomes	7,350	25%
Parking and circulation	6,280	22%
Open Space	15,525	53%
Private Common Area	1,627	6%
Landscaped Area	13,898	48%
Total Site Square Footage	29,155	100%

- b. Chronology of the development: *The proposed development would be built in a single stage with construction beginning in the fall of 2023 and ending in the summer of 2024.*
- c. Restrictive covenants
 - i. The proposed development would include a covenant requiring the builder to construct a sidewalk in the public right-of-way from the intersection of Belair Ave and Jansen Ave across the site vehicle entrance as shown in the civil site plan attached. Being outside of the lot boundary, the sidewalk would be turned over to the City of White Bear Lake for maintenance following construction.
 - ii. The proposed development would grant an easement to the City of White Bear Lake allowing for maintenance of the private sewer and water submain services.
- d. Zoning classification and necessary decisions for implementation: *As part of the proposed PUD, rezoning is required to align with the Future Land Use Plan designation of Neighborhood Mixed Use. The existing zoning classification that most closely meets that intent is Medium Density Residential, R-5. Within the R-5 zoning rules, variances are required for front and side yard setbacks. Encroachments on the setbacks are an intentional design feature that allows the development to more closely align with the intent of a Neighborhood Mixed Use development.*
- e. Statement of Changes

- i. Apartment residences have been eliminated in favor of a townhome only concept.
- ii. Townhome residences: there are now 9 rowhomes instead of the previous three with 5 being laid out along Bellaire Ave and 4 along County Rd E. The design and materials are largely similar to the rowhomes from the previous concept.
- iii. Common areas: In an attempt to make use of what currently existed on site, the new layout creates an opportunity to remodel the existing car wash into an amenity feature for future guests. At the intersection of Bellaire and County Rd E, a landscaped amenity will include gabion walls and an outdoor courtyard that will make efficient use of the outside corner between the two sets of rowhomes and also be an attractive feature to passersby of the corner.



9- 3 bed rowhouses

27 total bedrooms, 9 total units

29,155 SF site area

6,615 SF building footprints combined

1,085 SF common open space (courtyard)

730 SF enclosed common shared amenity area

6,542 SF surface parking and access

8 surface spaces

18 enclosed spaces

26 spaces total

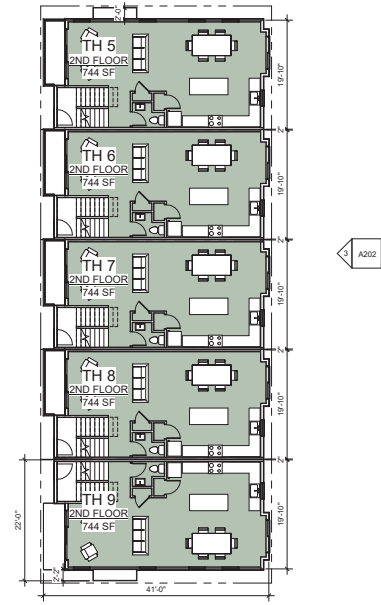
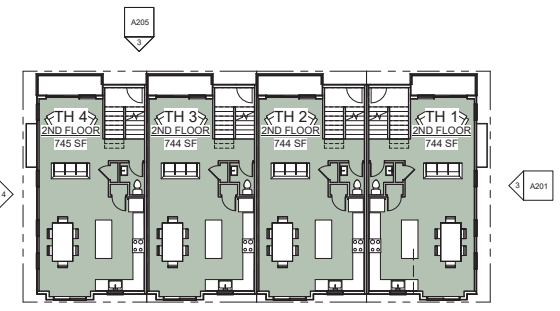
PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

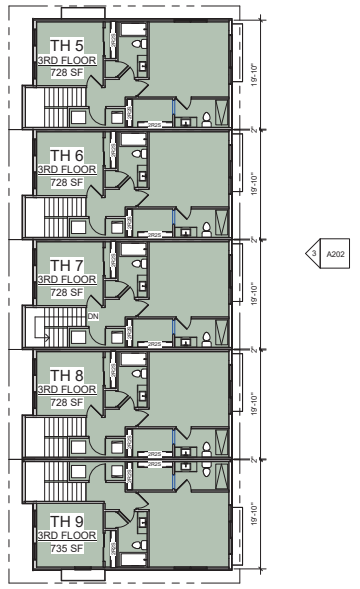
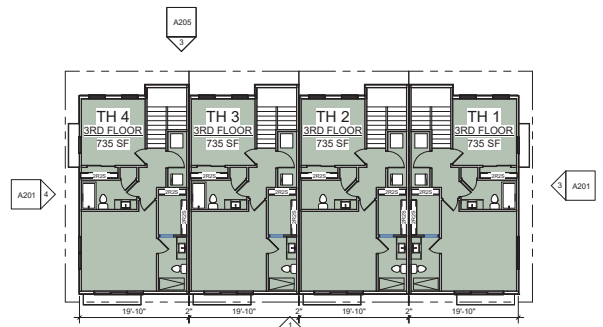
PROJECT: Wildwood Rowhomes
2502 County Rd E East
White Bear Lake, MN

REVISIONS:	_____
△	_____
△	_____
06 / 19 / 2023	
PROJECT NO:	00-000
CONTENTS:	Floor Plans

SHEET NO: **A102**



1 2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 3RD FLOOR PLAN
SCALE: 3/32" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT: Wildwood Rowhomes
2502 County Rd E East
White Bear Lake, MN

REVISIONS:

06 / 19 / 2023

PROJECT NO: 00-000

CONTENTS:
Elevations - Building 1,
Community Room

SHEET NO:
A201

MATERIAL SCHEDULE - OVERALL

Designation	Description	Area	Percentage
B1	Manufactured Stone	2314 SF	14%
B2	Brick - Modular - Painted	1466 SF	8%
S1	Fiber Cement Lap Siding - Medium	3663 SF	23%
S2	Fiber Cement Shake Siding - Dark	1856 SF	11%
S3	Fiber Cement Board and Batten Siding - Dark	5632 SF	33%
S4	Fiber Cement Shake Siding - Wood Tone	1955 SF	12%



2 NORTH ELEVATION - BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - NORTH

Designation	Description	Area	Percentage
B1	Manufactured Stone	153 SF	9%
S1	Fiber Cement Lap Siding - Medium	1269 SF	17%
S2	Fiber Cement Shake Siding - Dark	207 SF	13%



3 EAST ELEVATION - BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - EAST

Designation	Description	Area	Percentage
B1	Manufactured Stone	184 SF	19%
S1	Fiber Cement Lap Siding - Medium	522 SF	53%
S2	Fiber Cement Shake Siding - Dark	259 SF	28%



1 SOUTH ELEVATION - BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - SOUTH

Designation	Description	Area	Percentage
B1	Manufactured Stone	33 SF	2%
S1	Fiber Cement Lap Siding - Medium	1277 SF	71%
S2	Fiber Cement Shake Siding - Dark	492 SF	27%



4 WEST ELEVATION - BUILDING 1
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - WEST

Designation	Description	Area	Percentage
B1	Manufactured Stone	183 SF	19%
S1	Fiber Cement Lap Siding - Medium	506 SF	53%
S2	Fiber Cement Shake Siding - Dark	272 SF	28%



5 NW ELEVATION - COMMUNITY ROOM
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - AMENITY - NW

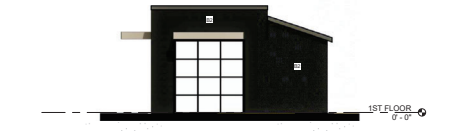
Designation	Description	Area	Percentage
B2	Brick - Modular - Painted	331 SF	100%



6 SE ELEVATION - COMMUNITY ROOM
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - AMENITY - SE

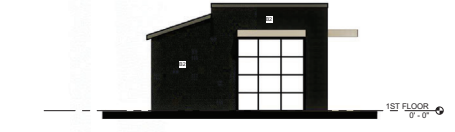
Designation	Description	Area	Percentage
B2	Brick - Modular - Painted	263 SF	100%



7 SW ELEVATION - COMMUNITY ROOM
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - AMENITY - SW

Designation	Description	Area	Percentage
B2	Brick - Modular - Painted	218 SF	100%



8 NE ELEVATION - COMMUNITY ROOM
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - AMENITY - NE

Designation	Description	Area	Percentage
B2	Brick - Modular - Painted	215 SF	100%

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT: Wildwood Rowhomes
2502 County Rd E East
White Bear Lake, MN

06 / 19 / 2023

PROJECT NO: 00-000

CONTENTS:
Elevations - Building 2

SHEET NO:

A202

MATERIAL SCHEDULE - OVERALL

Designation	Description	Area	Percentage
B1	Manufactured Stone	2314 SF	14%
B2	Brck - Modular - Painted	1466 SF	8%
S1	Fiber Cement Lap Siding - Medium	3663 SF	23%
S2	Fiber Cement Shake Siding - Dark	1856 SF	11%
S3	Fiber Cement Board and Batten Siding - Dark	5632 SF	33%
S4	Fiber Cement Shake Siding - Wood Tone	1955 SF	12%



1 WEST ELEVATION - BUILDING 2
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - WEST

Designation	Description	Area	Percentage
B1	Manufactured Stone	186 SF	8%
S3	Fiber Cement Board and Batten Siding - Dark	1617 SF	79%
S4	Fiber Cement Shake Siding - Wood Tone	239 SF	12%



3 EAST ELEVATION - BUILDING 2
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - EAST

Designation	Description	Area	Percentage
B1	Manufactured Stone	33 SF	2%
S3	Fiber Cement Board and Batten Siding - Dark	1164 SF	72%
S4	Fiber Cement Shake Siding - Wood Tone	552 SF	25%



2 NORTH ELEVATION - BUILDING 2
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - NORTH

Designation	Description	Area	Percentage
B1	Manufactured Stone	175 SF	15%
S3	Fiber Cement Board and Batten Siding - Dark	501 SF	33%
S4	Fiber Cement Shake Siding - Wood Tone	272 SF	29%



4 SOUTH ELEVATION - BUILDING 2
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE - TH - SOUTH

Designation	Description	Area	Percentage
B1	Manufactured Stone	174 SF	18%
S3	Fiber Cement Board and Batten Siding - Dark	603 SF	57%
S4	Fiber Cement Shake Siding - Wood Tone	272 SF	29%



PRELIMINARY - NOT FOR CONSTRUCTION

ELEMENT
DESIGN - BUILD

PROJECT: **Wildwood Rowhomes**
2502 County Rd E East
White Bear Lake, MN

REVISIONS:

06 / 19 / 2023

PROJECT NO: 00-000
CONTENTS:
Exterior Views

SHEET NO:
A203



PRELIMINARY - NOT FOR CONSTRUCTION

ELEMENT
DESIGN - BUILD

PROJECT: **Wildwood Rowhomes**
2502 County Rd E East
White Bear Lake, MN

REVISIONS:
△
△

06 / 19 / 2023

PROJECT NO: 00-000
CONTENTS:
Exterior Views

SHEET NO:
A204

PRELIMINARY PLAT: WILDWOOD ROWHOMES

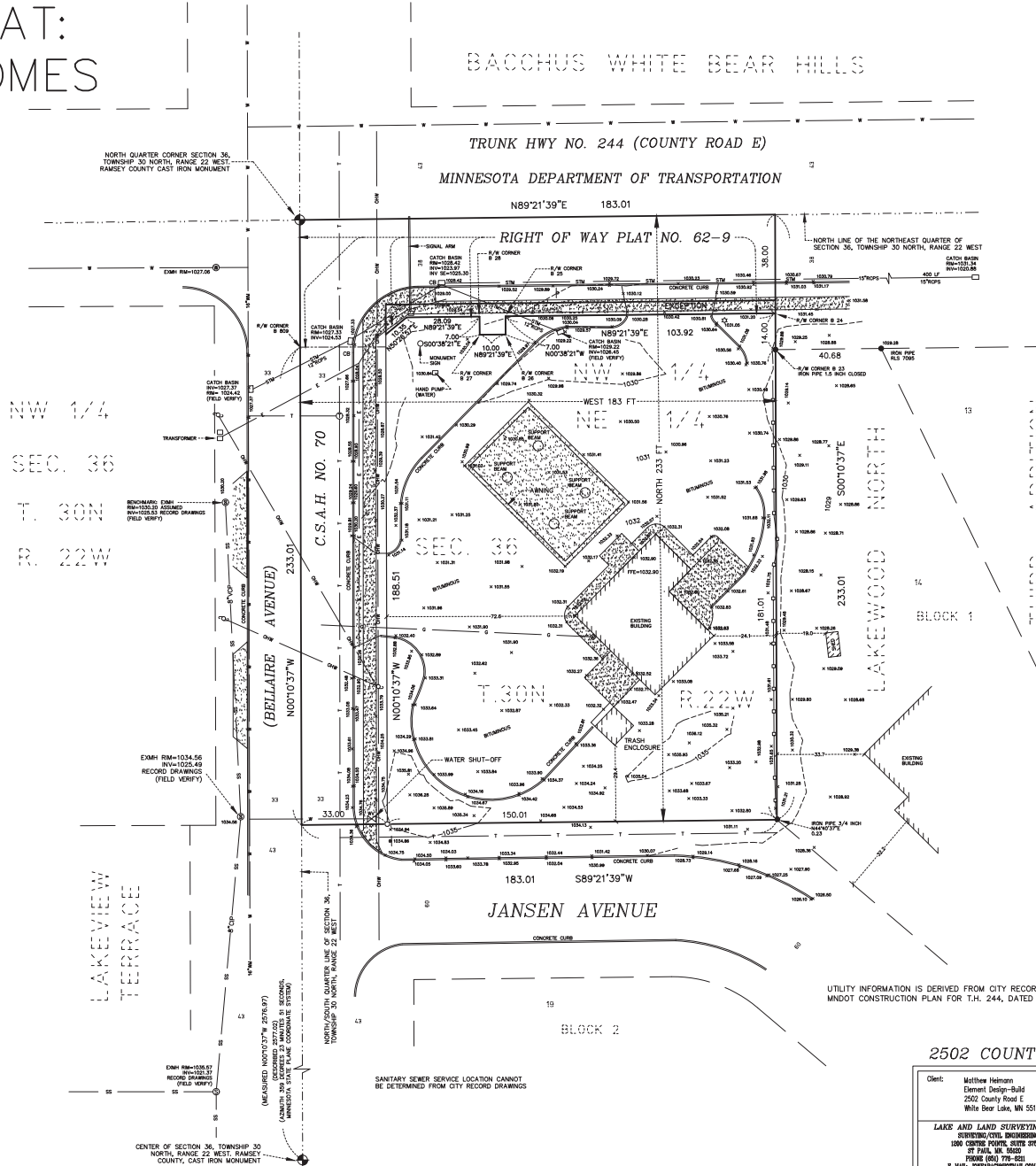
BACCHUS WHITE BEAR HILLS

TRUNK HWY NO. 244 (COUNTY ROAD E)
MINNESOTA DEPARTMENT OF TRANSPORTATION

RIGHT OF WAY PLAT NO. 62-9

Legal Description:

The West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 (North), Range 22 (West), EXCEPT Parcel 32, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, Minnesota.

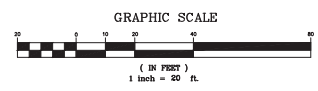
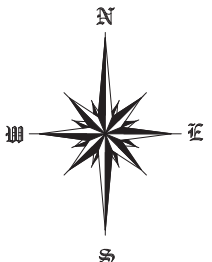


DUE TO WINTER CONDITIONS AT THE TIME OF SURVEY WORK PERFORMED, SOME GRAPHICS MAY DIFFER FROM WHAT IS IN THE FIELD.

UTILITY INFORMATION IS DERIVED FROM CITY RECORD DRAWINGS, GOPHER STATE ONE CALL, MNDOT CONSTRUCTION PLAN FOR T.H. 244, DATED 2/19/1986, AND FIELD OBSERVATIONS.

2502 COUNTY ROAD E, WHITE BEAR LAKE

Client:	Matthew Heinman Diamond Design-Build 2502 County Road E White Bear Lake, MN 55110	Design by:	RP	Original date:	12-9-22	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Drawn by:	RP/E	Revisors:	1-12-23	Date of Field Work:	12-9-22	
Survey book No.:		S.A.P. number:	2022.416	Page title:	CERTIFICATE OF SURVEY	Minnesota Stat. Sec. 169A.01
LAKE AND LAND SURVEYING, INC. SURVEYING/CIVIL ENGINEERING 1000 COUNTY ROAD, SUITE 370 ST PAUL, MN 55108 PHONE (651) 778-0201 E-MAIL: JORDAN@LAKELANDSURV.COM		Sheet number 1 of 3				



- LEGEND**
- DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16484 OR AS NOTED.
 - DENOTES IRON MONUMENT FOUND SIZE, TYPE, & RLS AS NOTED.
 - DENOTES EXISTING SPOT ELEVATION
 - DENOTES EXISTING GRADE CONTOUR
 - DENOTES OVERHEAD UTILITY WIRE
 - DENOTES SANITARY SEWER
 - DENOTES STORM SEWER
 - DENOTES UNDERGROUND WATER LINE
 - DENOTES UNDERGROUND ELECTRIC UTILITY LINE
 - DENOTES UNDERGROUND GAS LINE
 - DENOTES UNDERGROUND TELEPHONE LINE
 - DENOTES CHAIN LINK FENCE
 - DENOTES WOOD FENCE
 - DENOTES SIGN
 - ⊕ DENOTES WATER VALVE
 - ⊕ DENOTES UTILITY POLE
 - ⊕ DENOTES LIGHT POLE
 - ⊕ DENOTES CATCH BASIN
 - ⊕ DENOTES GAS SERVICE
 - ⊕ DENOTES ELECTRIC METER
 - ⊕ DENOTES ELECTRIC MANHOLE
 - ⊕ DENOTES UTILITY HAND HOLE
 - ⊕ DENOTES STORM SEWER MANHOLE
 - ⊕ DENOTES SANITARY SEWER MANHOLE
 - ⊕ DENOTES CONCRETE SURFACE

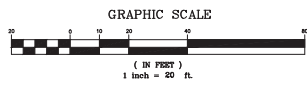
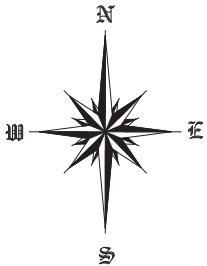
TOTAL LOT AREA: 42,642 SQ. FT. OR 0.98 ACRES
AREA LESS R/W: 29,156 SQ. FT. OR 0.67 ACRES
BASIS OF BEARINGS: RAMSEY COUNTY COORDINATES NAD83 (1988)

CENTER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 22, WEST, RAMSEY COUNTY, CAST IRON MONUMENT

SANITARY SEWER SERVICE LOCATION CANNOT BE DETERMINED FROM CITY RECORD DRAWINGS

PRELIMINARY PLAT: WILDWOOD ROWHOMES

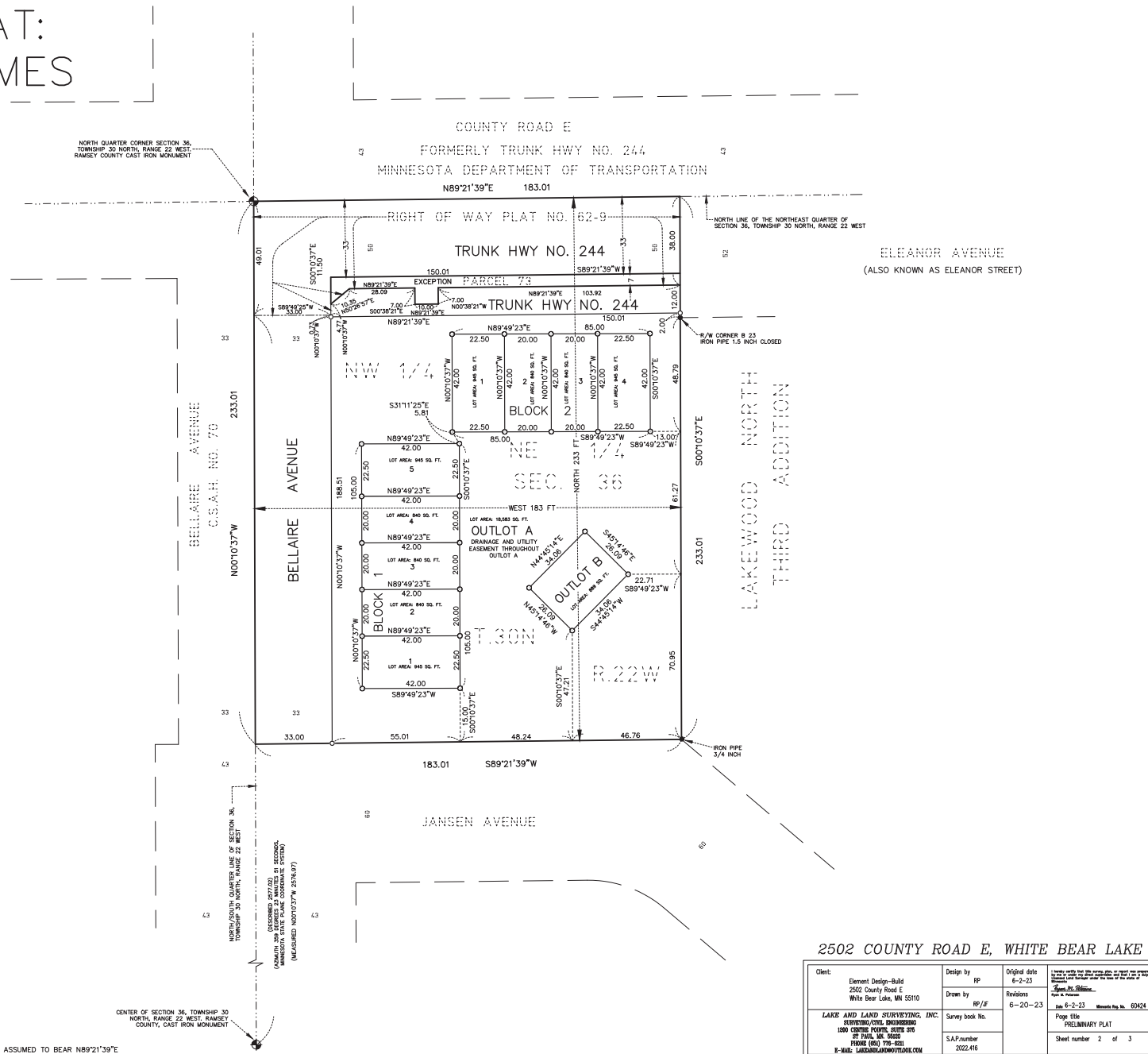
Legal Description: (Warranty Deed)
The West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 (North), Range 22 (West), EXCEPT Parcel 23, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, Minnesota.



LEGEND

- ⊕ DENOTES RAMSEY COUNTY SECTION MONUMENT FOUND, TYPE AS NOTED
- DENOTES 14 INCH X 5/8 INCH REBAR MONUMENT SET AND CAPPED RLS 60424
- DENOTES IRON MONUMENT FOUND, SIZE, TYPE, AND RLS AS NOTED

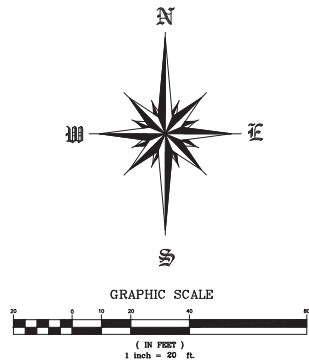
BASIS OF BEARING: THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 22 WEST IS ASSUMED TO BEAR N89°21'39"E



2502 COUNTY ROAD E, WHITE BEAR LAKE			
Client:	Element Design-Build 2502 County Road E White Bear Lake, MN 55110	Design by:	RP 6-2-23
Drawn by:	RP/E	Original date:	6-2-23
Survey book No.:		Revisits:	6-20-23
S.A.P. number:	2022.416	Sheet number:	2 of 3
LAKE AND LAND SURVEYING, INC. SURVEYING/CIVIL ENGINEERING 1500 CENTER POINT, SUITE 310 ST PAUL, MN 55109 PHONE (651) 776-4261 E-MAIL: LAKEANDLAND@OUTLOOK.COM			Project Title: PRELIMINARY PLAT

PRELIMINARY PLAT: WILDWOOD ROWHOMES

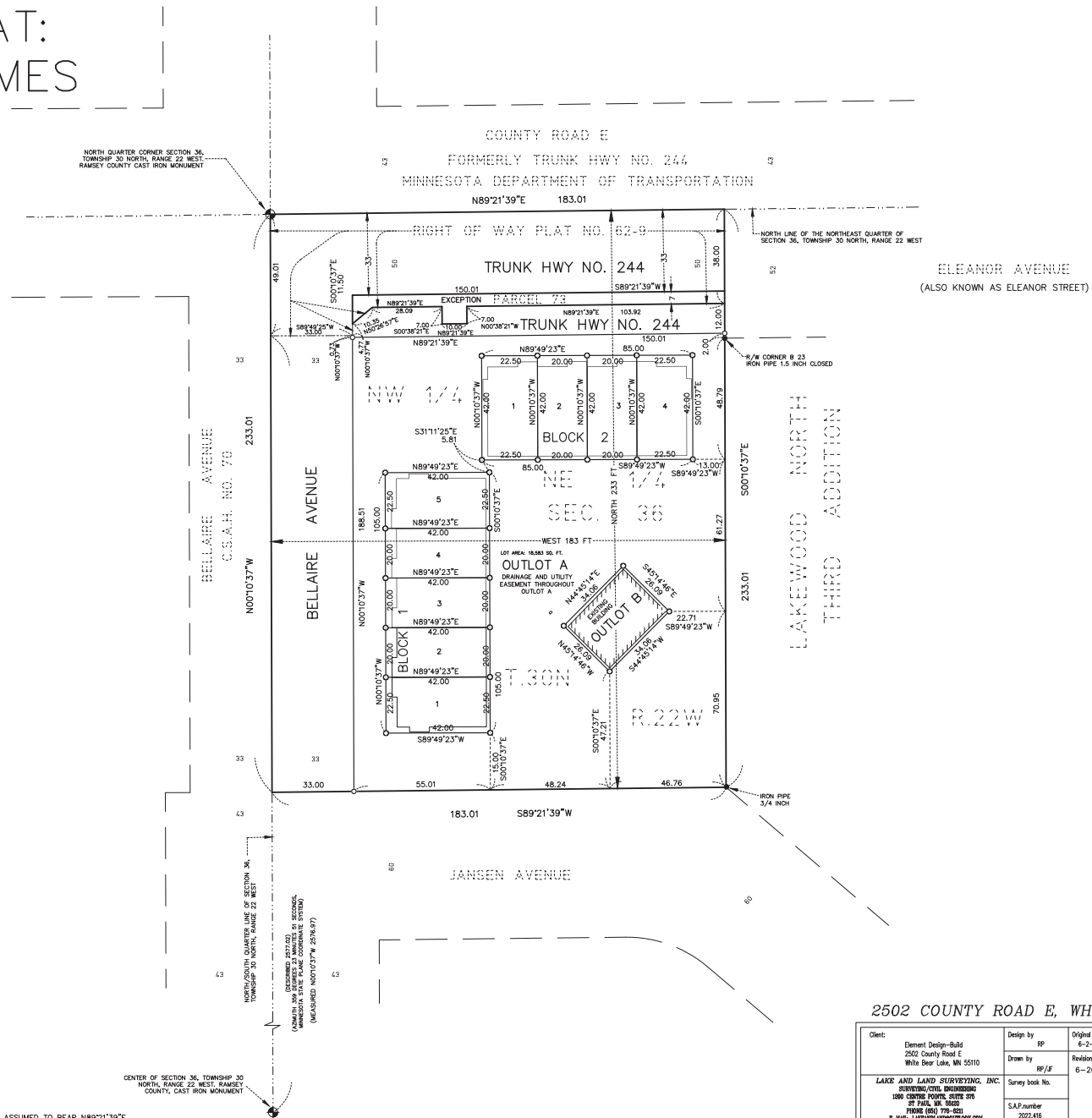
Legal Description: (Warranty Deed)
The West 183 feet of the North 233 feet of the Northwest Quarter of the Northeast Quarter of Section 36, Township 30 (North), Range 22 (West), EXCEPT Parcel 23, RIGHT OF WAY PLAT NO. 62-9, Ramsey County, Minnesota.



LEGEND

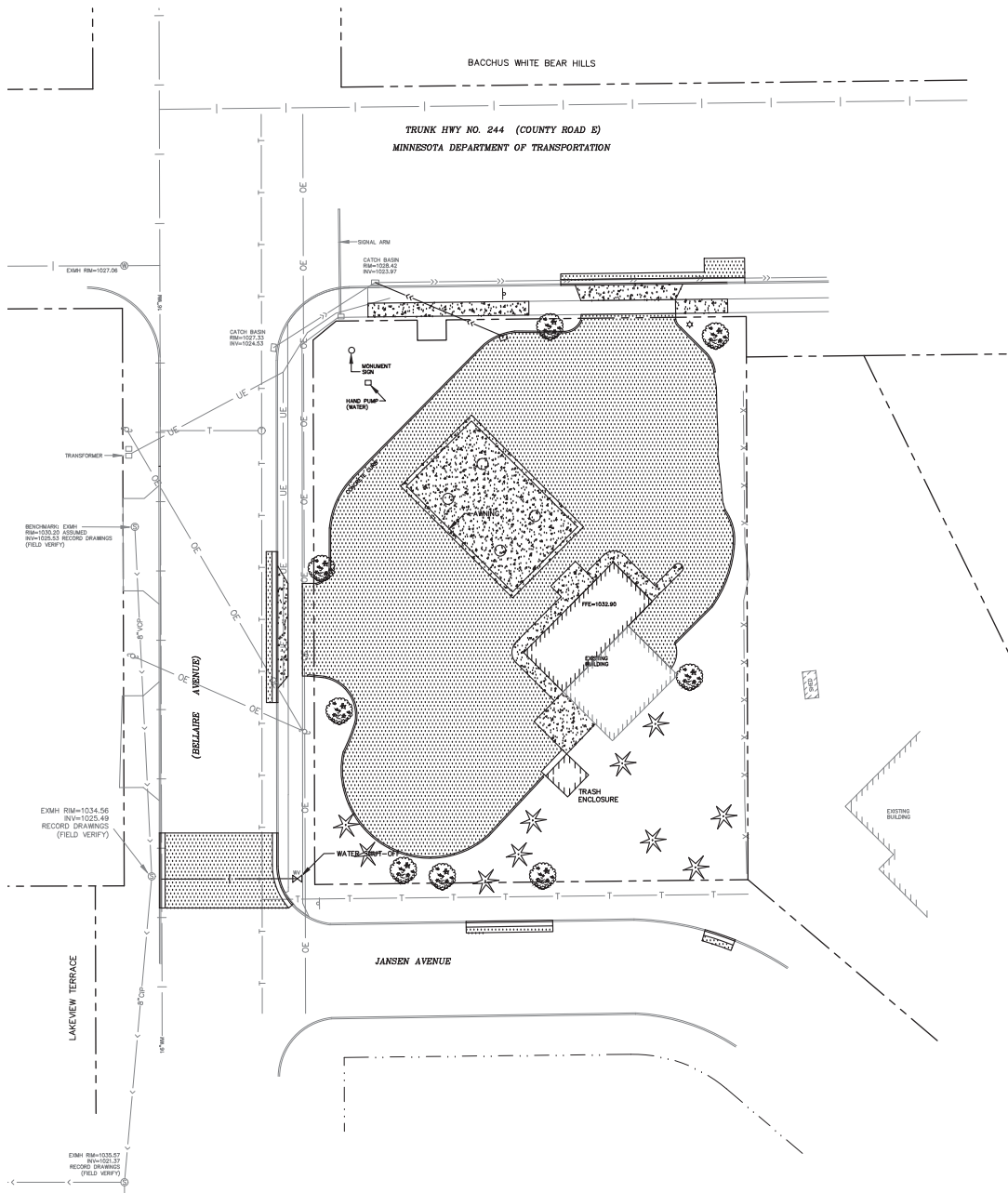
- ⊕ DENOTES RAMSEY COUNTY SECTION MONUMENT FOUND, TYPE AS NOTED
- DENOTES 14 INCH X 5/8 INCH REBAR MONUMENT SET AND CAPPED RLS 60424
- DENOTES IRON MONUMENT FOUND, SIZE, TYPE, AND RLS AS NOTED

BASIS OF BEARING: THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 22 WEST IS ASSUMED TO BEAR N89°21'39"E



2502 COUNTY ROAD E, WHITE BEAR LAKE

Client: Element Design-Build 2502 County Road E White Bear Lake, MN 55110	Design by: RP	Original date: 6-2-23	Survey by: RP/JE
Drawn by: RP/JE	Finalists: 6-20-23	Revised: 6-2-23	Sheet number: 3 of 3
LAKE AND LAND SURVEYING, INC. SURVEYING/CIVIL ENGINEERING 1500 CENTRE POINT, SUITE 310 ST PAUL, MN 55109 PHONE (651) 776-4261 E-MAIL: LAKEANDLAND@OUTLOOK.COM	Survey book No. S.A.P. number 2022.416	Project title: PRELIMINARY PLAT	Minnesota Reg. No. 60424



BACCHUS WHITE BEAR HILLS

TRUNK HWY NO. 244 (COUNTY ROAD 83)
MINNESOTA DEPARTMENT OF TRANSPORTATION

EXMH RIM=1027.06

SIGNAL ARM
CATCH BASIN
RIM=1028.42
RIM=1023.97

CATCH BASIN
RIM=1027.33
RIM=1024.53

MONUMENT
WELL PUMP
(WATER)

BENCHMARK EBM
RIM=1026.80 ASSUMED
RIM=1025.57 RECORD DRAWINGS
(FIELD VERIFY)

EXMH RIM=1034.56
RIM=1025.49
RECORD DRAWINGS
(FIELD VERIFY)



EBM RIM=1030.57
RIM=1027.33
RECORD DRAWINGS
(FIELD VERIFY)

(BELLAIRE AVENUE)

JANSEN AVENUE

EXISTING BUILDING

SYMBOL LEGEND

-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

KEY NOTES

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
3524 Labore Road
St. Paul, MN 55110
651.481.8129 (F) 651.481.1201
www.larsonengr.com

ELEMENT DESIGN-BUILD
1110 RAYMOND AVENUE, UNIT 3
ST. PAUL, MN 55108

WILDWOOD ROWHOMES
2502 CO RD E EAST
WHITE BEAR LAKE, MN 55110

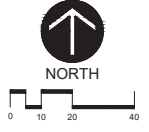
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

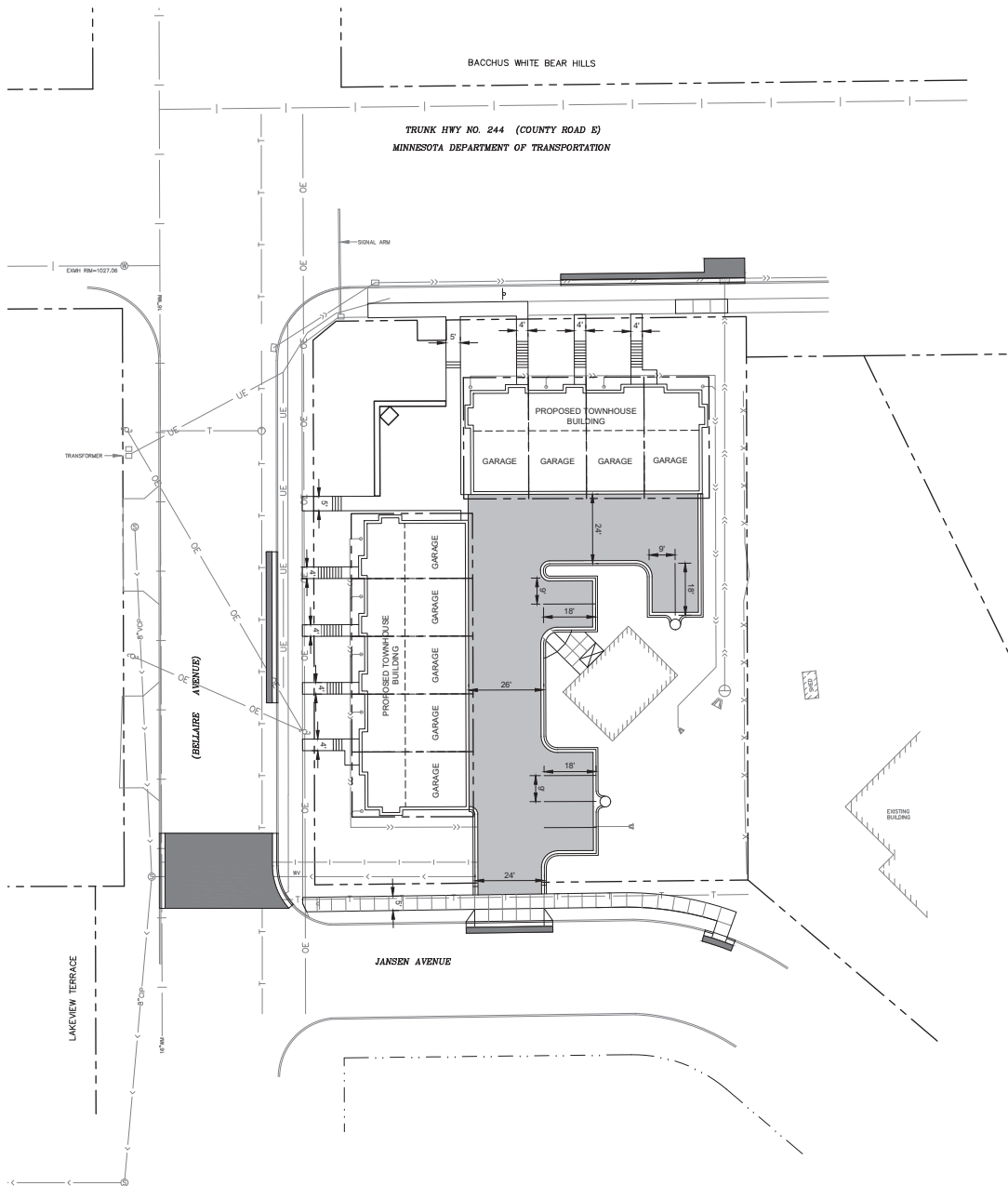
Date: _____ Lic. No.: _____

Rev.	Date	Description

Project #: 12236008.000
Drawn By: TJR
Checked By: MJW
Issue Date: 06.20.23

Sheet Title:
DEMOLITION PLAN
Sheet:
C100





SYMBOL LEGEND

- MATCH EXISTING PAVEMENT THICKNESS SEE DETAIL
- MATCH EXISTING STREET PAVEMENT SECTION
- NEW LIGHT-DUTY CONCRETE PAVEMENT SEE DETAIL
- NEW HEAVY-DUTY CONCRETE PAVEMENT SEE DETAIL

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SIGNIFY LIGHT-DUTY CONCRETE PAVEMENT. ACTUAL JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

GENERAL

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

KEY NOTES

Larson Engineering, Inc.
 3524 Labore Road, MN 55110
 651.481.9129 / (763) 481.9201
 www.larsonengr.com

ELEMENT DESIGN-BUILD
 1110 RAYMOND AVENUE, UNIT 3
 ST. PAUL, MN 55108

WILDWOOD ROWHOMES
 2502 CO RD E EAST
 WHITE BEAR LAKE, MN 55110

PRELIMINARY NOT FOR CONSTRUCTION

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

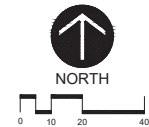
Date: _____ Lic. No.: _____

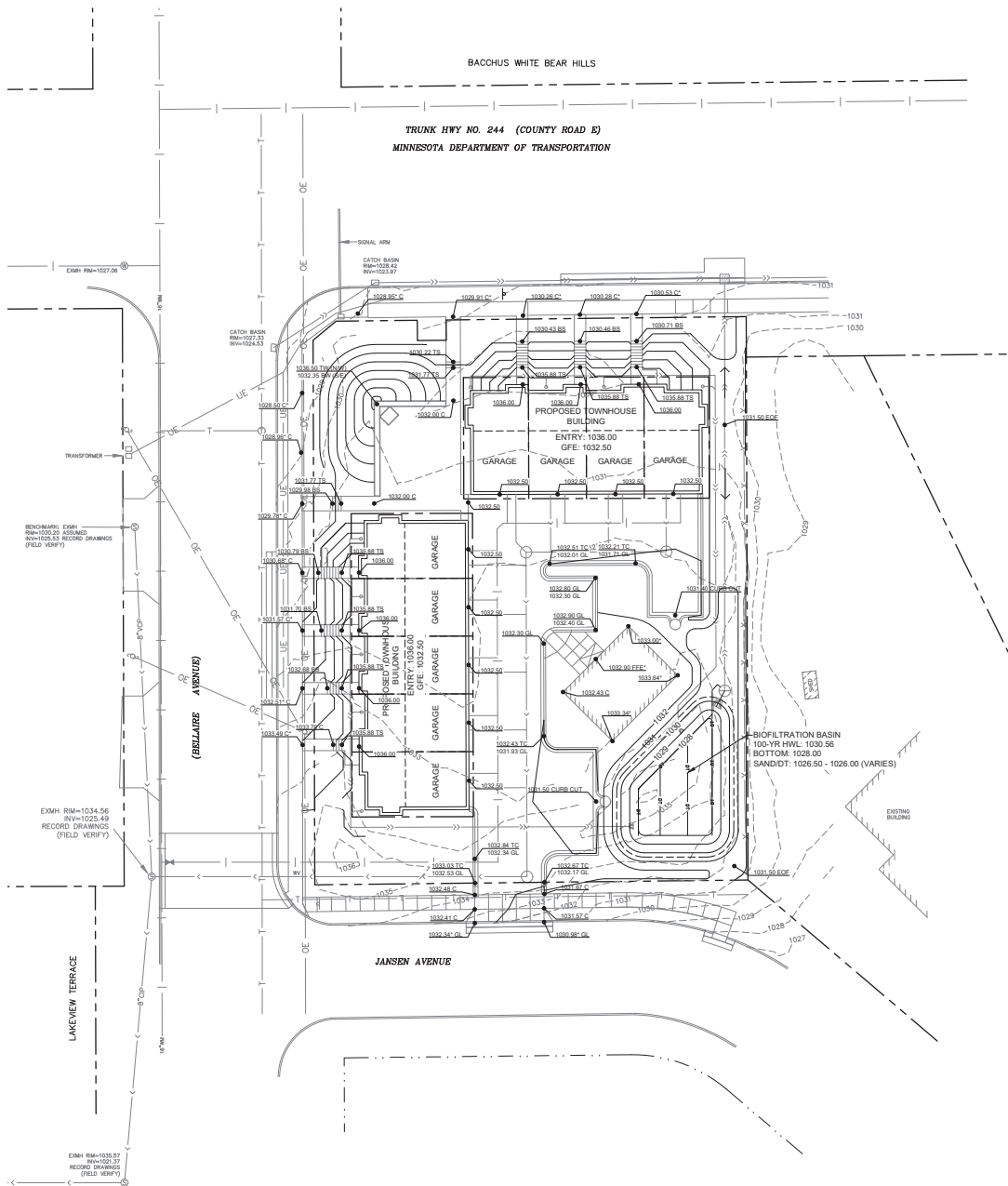
Rev.	Date	Description

Project #: 12236008.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 06.20.23
 Sheet Title:

PAVING PLAN

Sheet: **C200**





SYMBOL LEGEND

- 950 --- EXISTING CONTOURS
 - 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
 - 949 --- PROPOSED CONTOURS - MINOR INTERVAL
 - --- GRADE BREAK LINE
 - --- GRADE SLOPE
 - ← --- SILT FENCE
 - [Pattern] RIP-RAP / ROCK CONST. ENTRANCE
 - [Symbol] INLET PROTECTION
 - [Symbol] CONCRETE WASHOUT STATION
 - [Symbol] 950.00 TC
949.50 GL
- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
 - GL - GUTTER LINE
 - GO - GUTTER OUT
 - B - BITUMINOUS
 - C - CONCRETE
 - EO - EMERGENCY OVERFLOW
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (FIG)
 - (*) - EXISTING TO BE VERIFIED

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. All disturbed areas to receive "X" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

Larson Engineering, Inc.
 3524 Labore Road
 White Bear Lake, MN 55110
 651.481.9129 (F) 651.481.1201
 www.larsonengr.com

ELEMENT DESIGN-BUILD
 1110 RAYMOND AVENUE, UNIT 3
 ST. PAUL, MN 55108

WILDWOOD ROWHOMES
 2502 CO RD E EAST
 WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

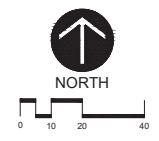
Date: _____ Lic. No.: _____

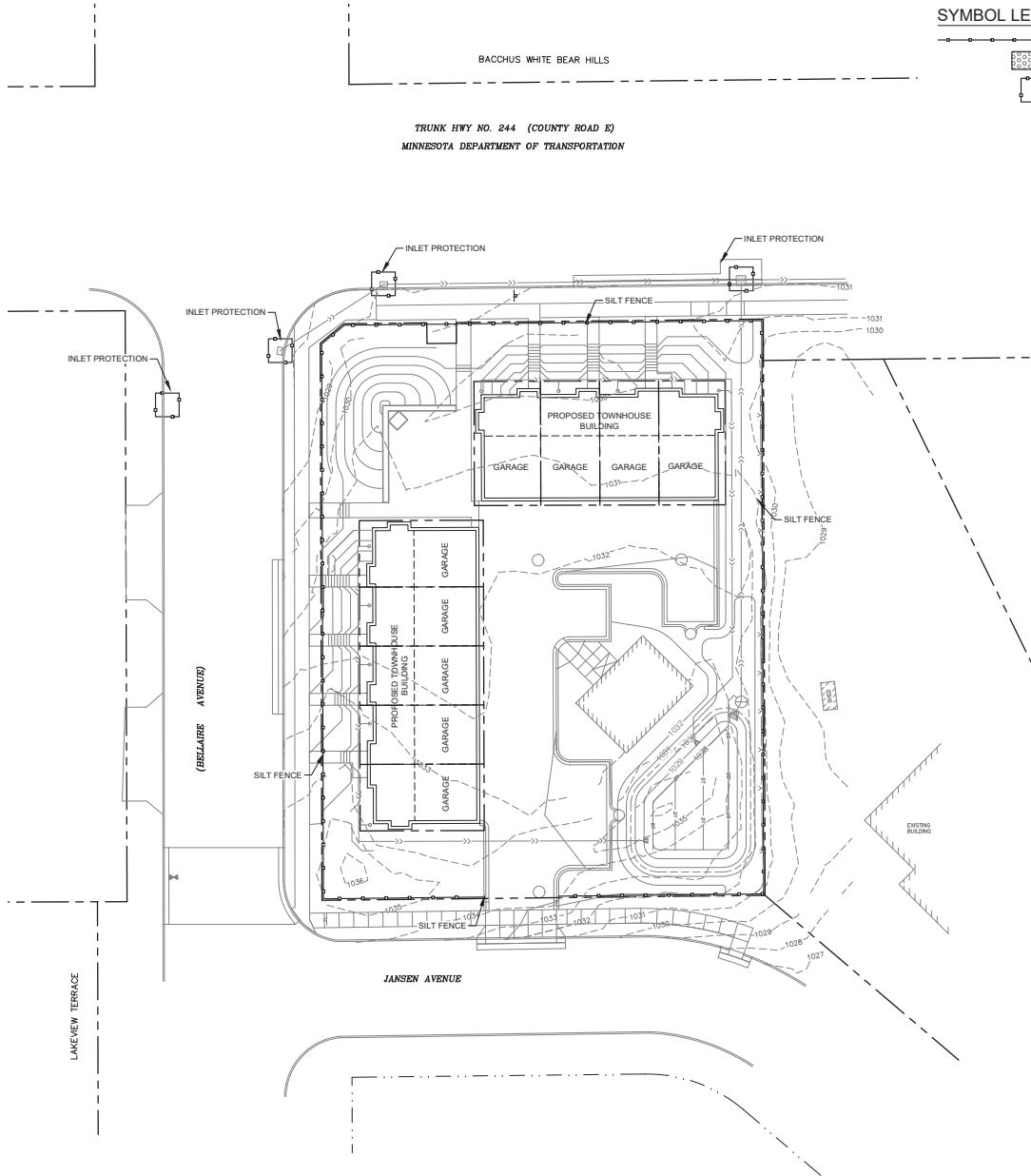
Rev.	Date	Description

Project #: 12236008.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 06.20.23
 Sheet Title:

GRADING PLAN

Sheet:
C300



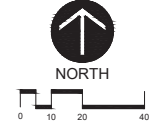


SYMBOL LEGEND



EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6'. The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 linear feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be completed within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All rip-rap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.



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 WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

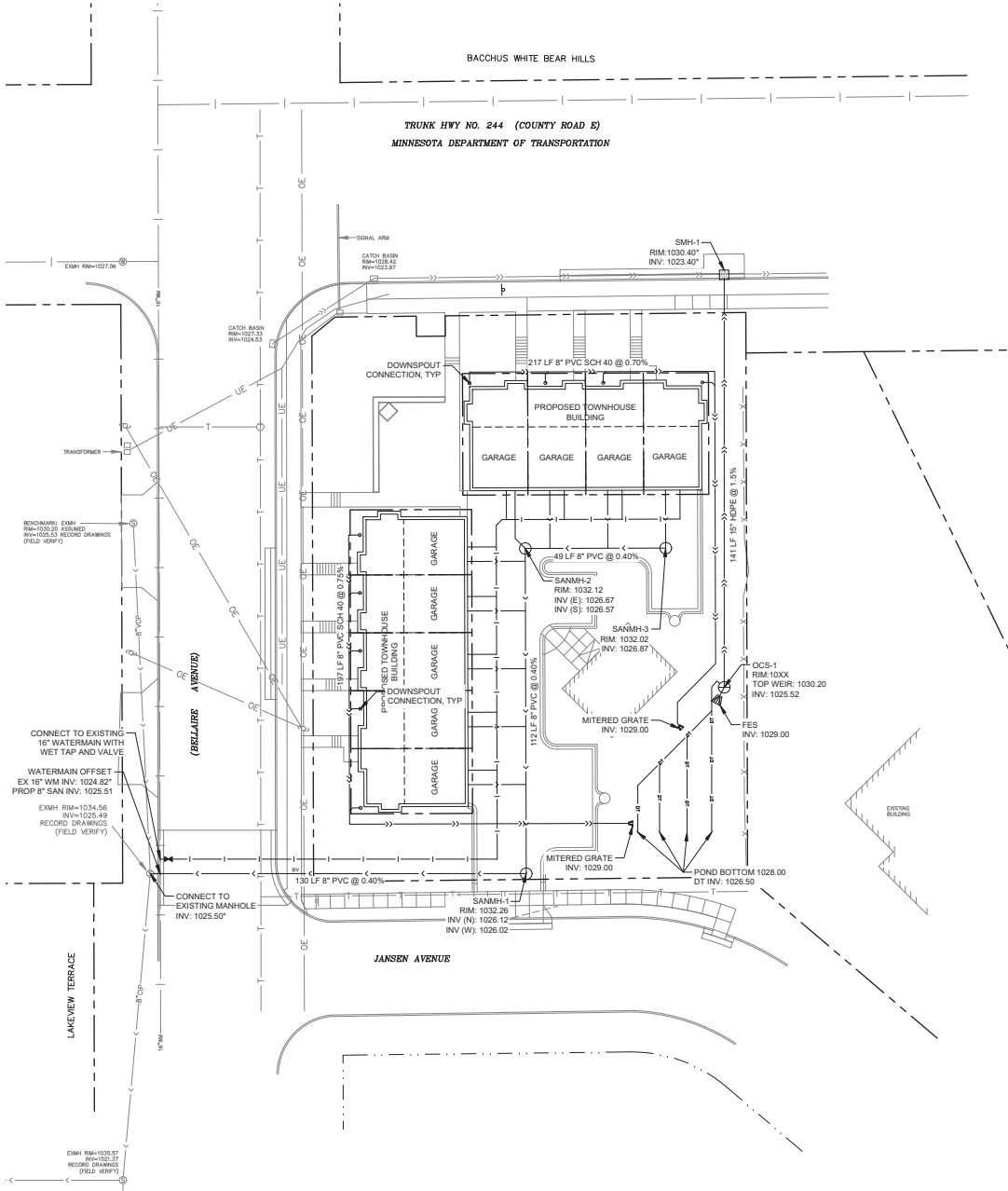
Date: _____ Lic. No.: _____

Rev.	Date	Description

Project #: 12236008.000
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 06.20.23

Sheet Title:
EROSION CONTROL PLAN

Sheet:
C400



SYMBOL LEGEND

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▤ FLARED END
- SANITARY MANHOLE
- HYDRANT
- ⊕ GATE VALVE & BOX
- ⊕ WATER SHUTOFF
- ⊕ LIGHT POLE
- CTV —
- OE — OE — OE —
- UE — UE — UE —
- FO —
- GAS — GAS — GAS —
- S — S — S —
- T — T — T —
- W — W — W —
- DT — DT — DT —
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRANTILE PIPE

UTILITY NOTES

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
6. HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
7. All RCP pipe shown on the plans shall be MNDOT class 3.
8. Maintain a minimum of 7 1/2' of cover over all water lines and sanitary sewer lines. Where 7 1/2' of cover is not provided, install 2" rigid polystyrene insulation (MNDOT 3780) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5' use 4" of insulation.
9. Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
10. All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
11. See Project Specifications for bedding requirements.
12. Pressure test and disinfect all new watermains in accordance with state and local requirements.
13. Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 20', and class 52 D.I.P. for depths of 20' or more.
14. A structure adjustment shall include removing and salvaging the existing casting assembly, removing existing concrete rings to the precast section. Install new rings and salvaged casting to proposed grades, cleaning casting flange by mechanical means to insure a sound surface and install an external chimney seal from casting to precast section. Chimney seals shall be Infi-Shield Uni-Band or an approved equal.

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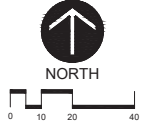
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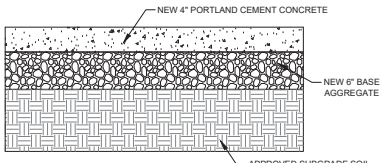
Rev.	Date	Description

Project #: 12236008.000
 Drawn By: TJR
 Checked By: MJW
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 Sheet Title:

UTILITY PLAN

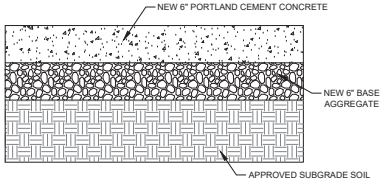
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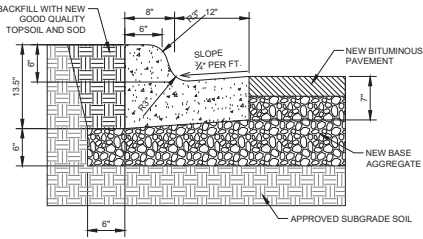
LIGHT-DUTY CONCRETE CONSTRUCTION DETAIL

NOT TO SCALE



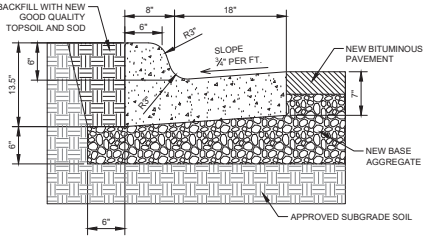
HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL

NOT TO SCALE



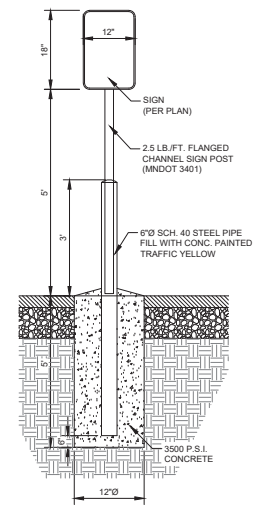
B612 CONCRETE CURB & GUTTER DETAIL

NOT TO SCALE



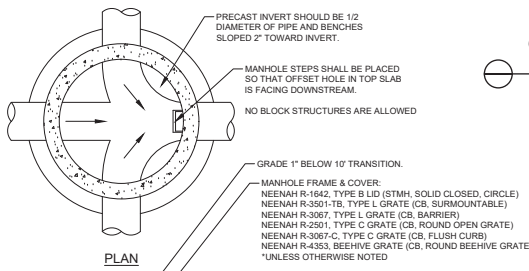
B618 CONCRETE CURB & GUTTER DETAIL

NOT TO SCALE



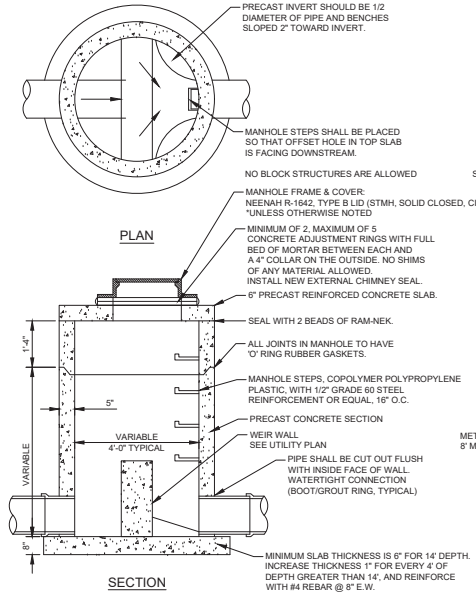
ACCESSIBLE PARKING SIGN AND POST DETAIL

NOT TO SCALE



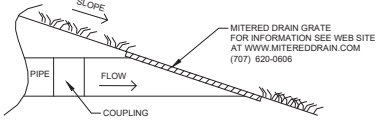
CATCH BASIN MANHOLE DETAIL

NOT TO SCALE



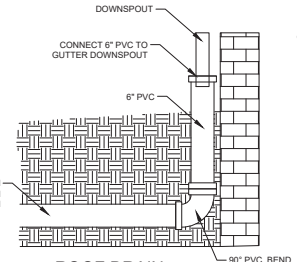
OUTLET CONTROL STRUCTURE MANHOLE DETAIL

NOT TO SCALE



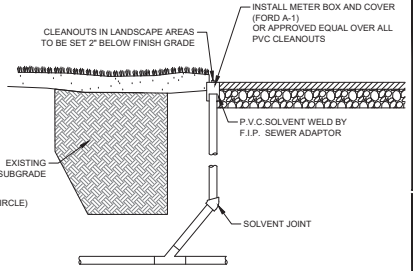
MITERED END GRATE DETAIL

NOT TO SCALE



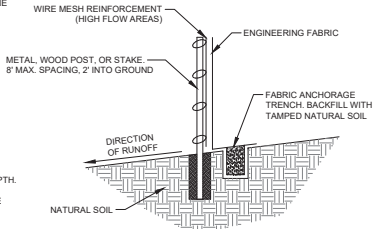
ROOF DRAIN CONNECTION DETAIL (TURF)

NOT TO SCALE



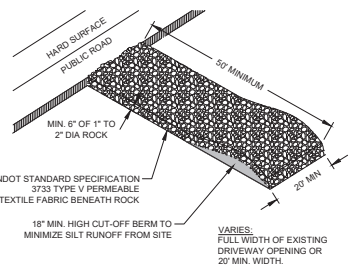
SANITARY SEWER CLEANOUT DETAIL

NOT TO SCALE



SILT FENCE INSTALLATION DETAIL

NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE

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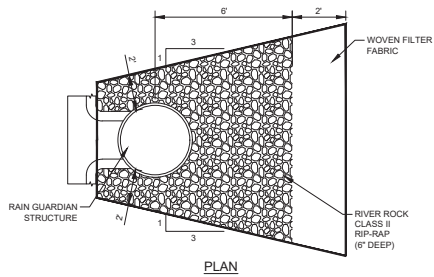
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Project #: 12336008.000
 Drawn By: TJR
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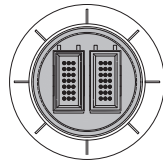
DETAILS
 Sheet: **C600**



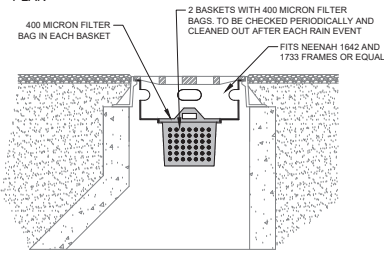
NOTE:
500X MIRAFI FABRIC OR EQUAL

RAIN GUARDAIN WITH RIP-RAP DETAIL

NOT TO SCALE



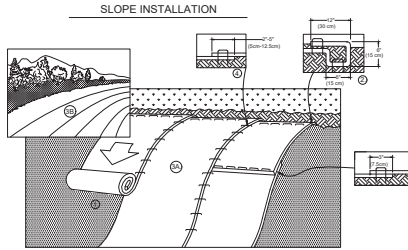
FILTER AREA	5.65 FT ²
OVERFLOW AREA	0.42 FT ²
MAXIMUM OVERTFLOW RATE (@ 7" HEAD)	1.99 CFS
MAXIMUM OVERTFLOW RATE (@ 13" HEAD)	2.79 CFS
BASKET WEIGHT (EMPTY)	1 LB
BASKET WEIGHT (FULL-APPROX.)	45 LBS



PROFILE

INFRASAFE INLET PROTECTION DEVICE (OR EQUAL)

NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELLO-SEED DO NOT SEED PREPARED AREA. CELLO-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECPs TYPE.
5. CONSECUTIVE RECPs SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECPs WIDTH.
NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.

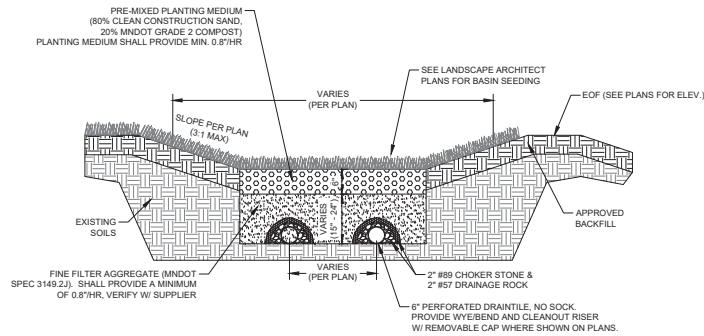
Category 4 Erosion Control Blanket:
North American Green S350 erosion control blanket or approved equal.

Top Net Polypropylene 1.5 lb/1,000 ft ² (0.73 kg/100 m ²) approx. wt.	Bottom Net Polypropylene 1.5 lb/1,000 ft ² (0.73 kg/100 m ²) approx. wt.
Straw Fiber 0.50 LBS/YD ² (0.27 KG/M ²)	Thread Photodegradable

Staples/Anchors:
The type of anchors used to secure the blanket to the ground shall be Steel wire 1 Gauge 1" wide x 6" long.

EROSION CONTROL BLANKET

NOT TO SCALE



NOTES:

1. SOILS WITH FILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.

FILTRATION BASIN CROSS SECTION

NOT TO SCALE

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Project Title:

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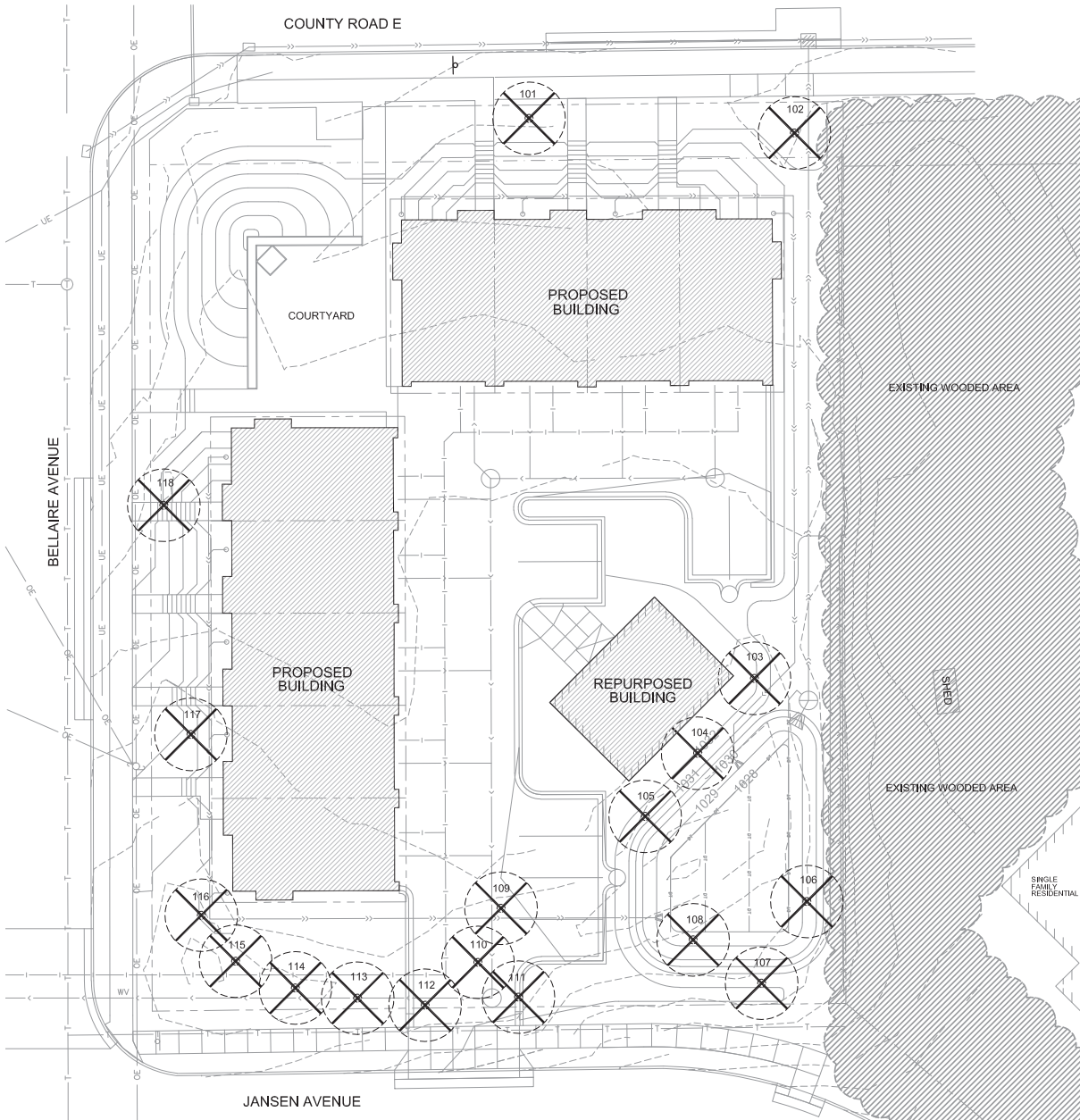
Rev.	Date	Description

Project #: 12336008.000
Drawn By: TJR
Checked By: MJW
Issue Date: 06.20.23
Sheet Title:

DETAILS

Sheet:

C601



TREE PRESERVATION PLAN:

Legend:



Municipal Tree Mitigation Requirements:

Total Significant Tree Inches On-Site (B):	230
Total Premium Inches Removed (A1):	230
Total Secondary Inches Removed (A2):	0
Total Premium Replacement Inches Required (D)*:	306
Total Secondary Replacement Inches Required (D)**:	0
Total Replacement Inches Required:	306
Non-Significant Inches to Remain Credit:	0
Blvd Tree Credits***:	306
Total Replacement Inches Owed:	306
Total Replacement Inches Shown:	50
New Observatory Trees Proposed: 14	
New Ornamental Trees Proposed: 10	
Remaining Tree Inches Owed:	256

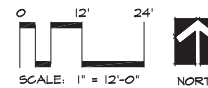
* (A1/B) x C1 x A1 = D
 ** (A2/B) x C2 x A2 = D
 (230/230) x 1.33 x 230 = 306
 (0/230) x 2.66 x 0 = 0

A1 = Total caliper inches of significant premium trees lost as a result of land alteration
 A2 = Total caliper inches of significant secondary trees lost as a result of land alteration
 B = Total caliper inches of significant trees situated on the land
 C1 = Tree replacement constant, premium tree (1.33)
 C2 = Tree replacement constant, secondary tree (2.66)
 D = Replacement Trees (number of caliper inches)

***Blvd/Tree Credit: Trees in the grassy area within the ROW next to the street may be counted towards the preservation calculation at a rate of half. 359 Blvd inches / 2 = 179.5 inch credits
 Note: Replacement inches that cannot be planted on site may be paid into the Arber Day planting fund at the rate of \$100 per caliper inch

Point #	Type	Inches	Significant?	Classification	Remove?
101	ELM	18	Y	Premium	Y
102	ELM	18	Y	Premium	Y
103	ELM	12	Y	Premium	Y
104	PINE	10	Y	Premium	Y
105	PINE	10	Y	Premium	Y
106	PINE	10	Y	Premium	Y
107	PINE	10	Y	Premium	Y
108	PINE	10	Y	Premium	Y
109	PINE	12	Y	Premium	Y
110	PINE	8	Y	Premium	Y
111	OAK	18	Y	Premium	Y
112	PINE	10	Y	Premium	Y
113	OAK	12	Y	Premium	Y
114	OAK	28	Y	Premium	Y
115	PINE	10	Y	Premium	Y
116	PINE	10	Y	Premium	Y
117	ELM	12	Y	Premium	Y
118	ELM	12	Y	Premium	Y

Summary	Inches
Total Significant Tree Inches On-Site	230
Total Premium Tree Inches Removed	230
Total Secondary Tree Inches Removed	0
Total Premium Replacement Inches	306.00
Total Secondary Replacement Inches	0.00
Total Replacement Inches	306.00
Total Non-Significant Inches to Remain as credit	0
Total Blvd Inches	0
Total Inch Credits from Blvd Trees	0.00
Total Replacement Inches Owed	306.00



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 DESIGN GROUP
 Landscape Architecture | Planning
 472 Campbell Avenue N, Suite 101A
 Minneapolis, MN 55412
 Telephone: 612.338.0018
 Website: www.calyxdesigngroup.com

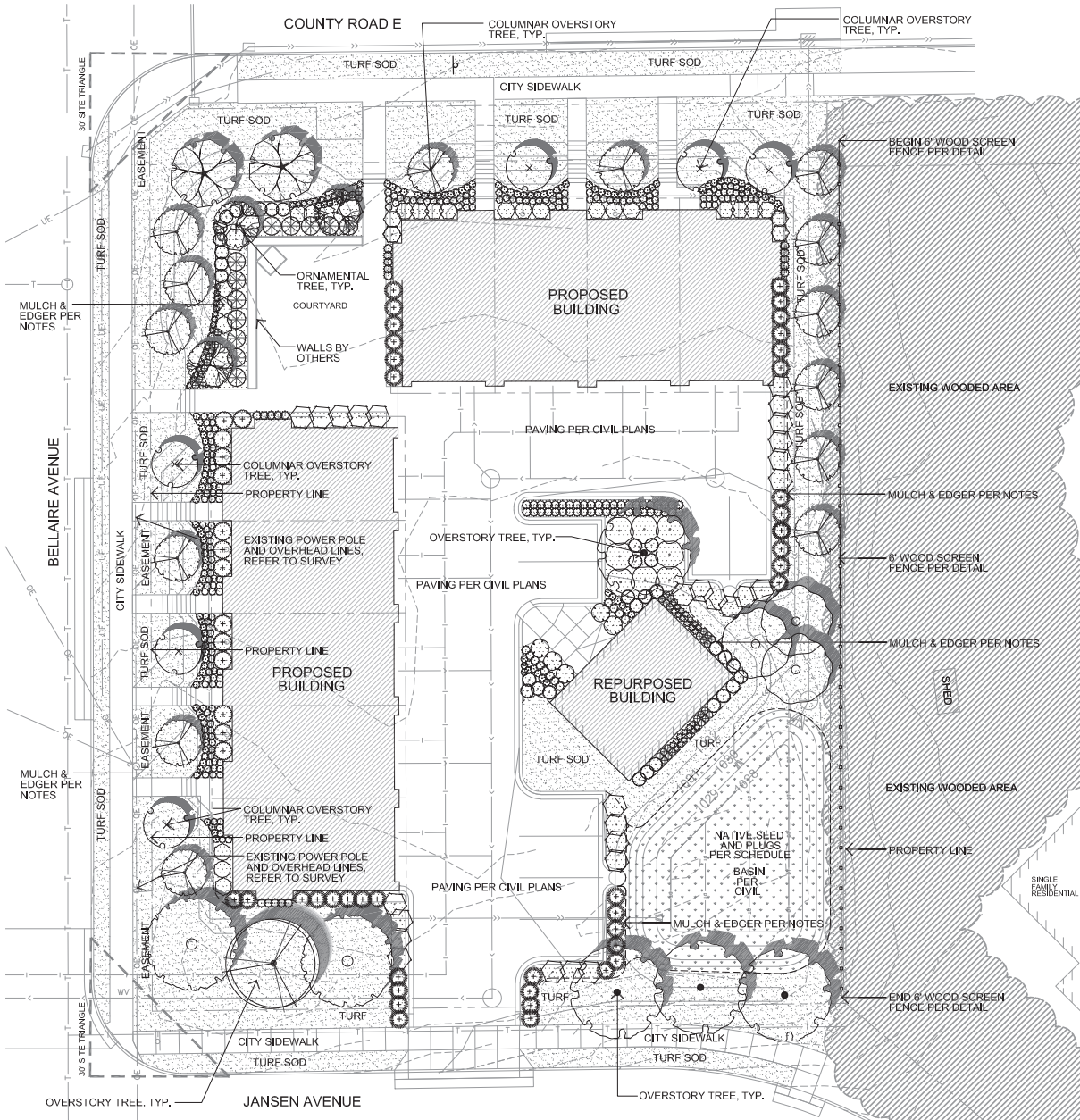
Client:
ELEMENT
 DESIGN-BUILD
 1110 RAYMOND AVENUE, UNIT 3
 ST. PAUL, MN 55108

Project Title:
WILDWOOD
ROWHOMES
 2502 CO RD E EAST
 WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.
PRELIMINARY
 Benjamin Hartberg, PLA
 Date: XX-XXXX-XXXX L.L. No. 98892

Rev.	Date	Description

Project #: 12236008.000
 Drawn By: HL
 Checked By: BH
 Issue Date: 06.21.2023
 Sheet Title:
TREE
PRESERVATION
PLAN
 Sheet:
L000



Legend:

- Proposed Turf Sod
- Existing Wooded Area
- Edger per Landscape Notes

ALL PROPOSED TREES TO BE PLANTED 10' MINIMUM FROM UTILITIES

City of White Bear Lake Landscape Requirements:

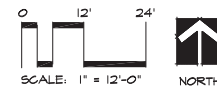
Site Data
 Landscaped Parking Lot Perimeter: 95 LF*
 *views from abutting property and public right-of-way

Parking Lot Screening
 All open off-street parking areas of (5) or more spaces shall be screened from abutting property and views from the public right-of-way.

- (1) 2.5" caliper tree per 25 LF of landscaped parking lot perimeter
 Calculation: 95 / 25 = (4) 2.5" caliper trees
- (1) 18" shrub per 3 LF of landscaped parking lot perimeter
 Calculation: 95 / 3 = (32) 18" shrubs

PLANT SCHEDULE

OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	A3	Acer x freemanii 'Senna'	Senna Glen Maple	2.5" Cal.	B&B	1	
	BF	Betula papyrifera 'Fargo' TM	Dakota Pinnacle White Birch	2.5" Cal.	B&B	6	Single Stem
	G4	Gleditsia triacanthos inermis 'Dread TM'	Street Keeper Honey Locust	2.5" Cal.	B&B	4	
	PE	Populus tremula 'Erecta'	Columnar Swedish Aspen	2.5" Cal.	B&B	14	
	OC	Quercus	Clifton Spike Oak	2.5" Cal.	B&B	3	
	TS	Tilia americana 'Sentry'	Sentry Linden	2.5" Cal.	B&B	2	
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	CT	Crataegus x mordenensis 'Toba'	Toba Hawthorn	1.5" Cal.	B&B	3	
	MP	Malus x 'Prairie'	Prairie Crab Apple	1.5" Cal.	B&B	2	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Am	Aronia melanocarpa 'Morton' TM	Ironquill Beauty Black Chokeberry	5 gal.	Pot	14	
	Cr	Cornus alba 'Rognem'	Red Gnome Dogwood	5 gal.	Pot	5	
	Di	Dierisla ionkana	Dwarf Bush Honeysuckle	3 gal.	Pot	33	
	H1	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	28	
	JF	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	Pot	41	
	Rg	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	Pot	8	
	Ra	Ribes alpinum	Alpine Currant	5 gal.	Pot	33	
	T2	Thuja occidentalis 'Tachyn Globe'	Tachyn Globe Arborvitae	5 gal.	Pot	12	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Am3	Alum x 'Millenium'	Millenium Ornamental Chiko	1 gal.	Pot	88	
	Hp	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	1 gal.	Pot	82	
	P1	Perovskia atrispiralis 'Little Spike'	Little Spike Russian Sage	1 gal.	Pot	38	
	P2	Phlox subulata 'Emerald Blue'	Emerald Blue Creeping Phlox	1 gal.	Pot	126	
	R2	Rutbeckia fulgida 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	56	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ck	Calamagrostis x acediflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	76	



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WILDWOOD
ROWHOMES
 2502 CO RD E EAST
 WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.
 Benjamin Hartberg, P.L.A.
 Date: XX-XXXX-XXXX L.L. No. 48898

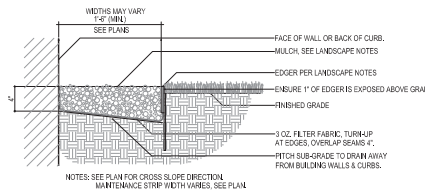
Rev.	Date	Description

Project No: 12236006.000
 Drawn By: HL
 Checked By: BH
 Issue Date: 06.21.2023
 Sheet Title:
LANDSCAPE PLAN
 Sheet:
L100

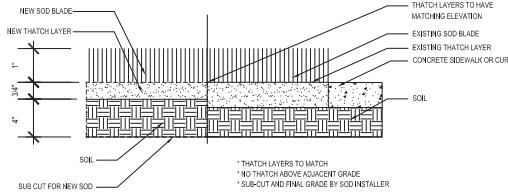
LANDSCAPE LAYOUT PLAN:

Landscape Notes and Requirements:

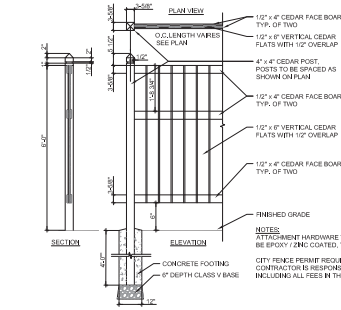
- Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural Western Red Cedar mulch for trees outside of a plant bed. Install per tree planting detail. Split trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed plant material for the duration of the warranty period. Landscape contractor is responsible for coordinating lawn mowing hand-off with the Owner after the first mowing. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to weed control, plant pruning, fertilization and disease/pest control beyond the first year of maintenance. See Note #22.
- Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation: The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all trees and turf planting areas. Use commercial grade irrigation equipment and provide cut-sheets and provide (3) copies of the proposed layout plan to the Civil Engineer for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valve locations with the architect and general contractor. Irrigation contractor to verify if a deduct meter is required and include in bid. Include (1) fall shut-down and (1) spring start-up in bid.
- All edger shall be professional grade black steel edger, 1/8" thickness. Anchor every 18" on-center (minimum). Submit sample.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Rock mulch areas shall be 3/4" inch dia. local clean dark trap rock over weed mat. Install per detail. Submit mulch sample for approval.
- All planting and sodded areas shall be prepared prior to installation activities with a hairy power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
- Turf Sodding shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Sod Installation to include one year of maintenance in the bid price, which includes fertilization and weed control (3 times - (2) applications in the first growing season and (1) application the following spring. Also, include mechanical plug aeration, which is to occur (1) time the spring following turf sod installation, including snow storage areas. An acceptable stand of turf is lush, full, and weed-free. See specifications for additional information and contractor mowing requirement.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- See Site and CMI plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
- Topsoil Requirements: All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of Imported top soil, areas designated for shrubs, trees, and perennials shall have no less than 12" of Imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1.4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neoreichthid family including acorantipid, clathrapid, limnodynadid, nitelnyppim, nitelapodid, nitelapodid and nitelapodocum.
- Landscape contractor shall apply granular Preen pre-emergent herbicide in all wood mulch areas immediately following installation and again the following spring.



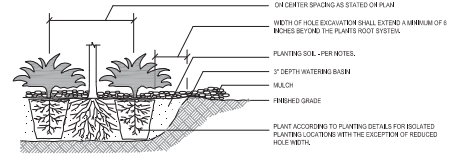
1 MULCH & EDGER DETAIL
L200 NOT TO SCALE



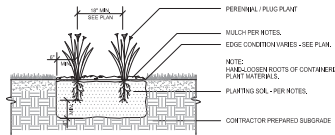
2 NEW SOD TO EXISTING SOD DETAIL
L200 NOT TO SCALE



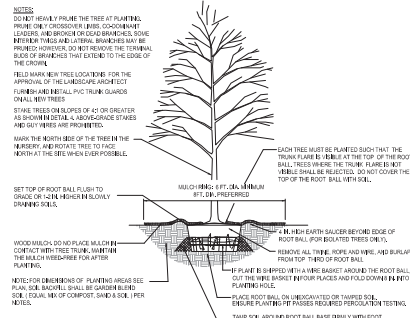
4 6'-0" WOOD PRIVACY FENCE
L200 NOT TO SCALE



5 TYP. SHRUB PLANTING - SECTION
L200 NOT TO SCALE



6 TYP. PERENNIAL PLANTING - SECTION
L200 NOT TO SCALE



3 DECIDUOUS TREE PLANTING - SECTION
L200 NOT TO SCALE

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PRELIMINARY
Benjamin Hartberg, P.L.A.
Date: XX-XX-XXXX L.C. No. 98892

Rev.	Date	Description

Project #: 12236008.000
Drawn By: HL
Checked By: BH
Issue Date: 06.21.2023
Sheet Title:

LANDSCAPE DETAILS
Sheet:
L200

NATIVE SEED MIX:

Seed in Basin areas: (unless otherwise noted on civil plans), shall be: MinDOT #33-261 seed mixture, drilled into the prepared planting medium (per civil engineer's detail) layer at 80 lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications. Include live plugs per the additional schedule below.

33-261 Stormwater South & West					
Common Name	Scientific Name	Rate (lb/acre)	Rate (kg/ha)	% of Mix (by weight)	Seeds/ sq ft
big bluestem	<i>Andropogon gerardii</i>	2.00	2.24	0.72%	7.35
fringed bromegrass	<i>Bromus ciliatus</i>	2.00	2.24	0.72%	8.10
Virginia wild rye	<i>Elymus virginicus</i>	1.50	1.68	0.54%	2.31
fowl bluegrass	<i>Poa palustris</i>	1.06	1.19	0.36%	50.70
slender wheatgrass	<i>Elymus trachycaulus</i>	1.00	1.12	0.36%	2.53
wheatgrass	<i>Panicum virgatum</i>	0.38	0.43	0.13%	1.53
prairie cordgrass	<i>Spartina pectinata</i>	0.38	0.43	0.13%	0.91
Indian grass	<i>Sorghastrum nutans</i>	0.12	0.13	0.04%	0.55
bluejoint	<i>Calamagrostis canadensis</i>	0.08	0.07	0.02%	6.40
Grasses Subtotal		8.50	9.53	24.29%	80.78
swell-fruited sedge	<i>Carex stricta</i>	0.25	0.28	0.71%	3.10
dark green bulrush	<i>Scirpus atrovirens</i>	0.19	0.21	0.54%	31.70
woolgrass	<i>Scirpus cyperinus</i>	0.06	0.07	0.18%	39.00
Sedges & Rushes Subtotal		0.50	0.56	1.43%	73.80
golden alexander	<i>Zizia aurea</i>	0.20	0.22	0.56%	0.79
autumn sneezeweed	<i>Helenium autumnale</i>	0.13	0.15	0.36%	5.97
marsh milkweed	<i>Asclepias incarnata</i>	0.11	0.12	0.32%	0.20
leafy beggartick	<i>Bidens frondosa</i>	0.11	0.12	0.31%	0.20
Canada anemone	<i>Anemone canadensis</i>	0.07	0.08	0.19%	0.20
obedient plant	<i>Physostegia virginiana</i>	0.07	0.08	0.21%	0.30
tall coneflower	<i>Rudbeckia laciniata</i>	0.07	0.08	0.21%	0.37
Symphyotrichum		0.07	0.08	0.19%	1.56
New England aster	<i>novae-angliae</i>	0.07	0.08	0.19%	1.56
flat-topped aster	<i>Doellingeria umbellata</i>	0.06	0.07	0.17%	1.50
spotted Joe eye weed	<i>Eutrochium maculatum</i>	0.06	0.07	0.18%	2.19
blue vervain	<i>Verbena hastata</i>	0.05	0.06	0.15%	1.85
Forbs Subtotal		1.00	1.12	2.85%	15.13
Oats	<i>Avena sativa</i>	25.00	28.02	71.43%	11.14
Cover Crop Subtotal		25.00	28.02	71.43%	11.14
Total		35.00	39.23	100.00%	180.85

Purpose: Stormwater pond edges, temporarily flooded dry ponds, and temporarily flooded ditch bottoms.

Planting Area: Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. MinDOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8.

Basin Area: Live Plug Schedule:

Plug Species	Scientific Name	Common Name	Size	Root
24" CM-Groene	<i>Bahiaflexis brachyotris</i>	Stout Bahiagrass	FLAT	PLUG
	<i>Chlorogaster canadensis</i>	Blue Joint Grass	FLAT	PLUG
		Wooley Sedge	FLAT	PLUG
		Belted Sedge	FLAT	PLUG
		Rock Sedge	FLAT	PLUG
		Belted Rock Sedge	FLAT	PLUG
		Lake Sedge	FLAT	PLUG
		Twined Sedge	FLAT	PLUG
		Common Rush	FLAT	PLUG
		Green Bahiagrass	FLAT	PLUG
		Woolgrass	FLAT	PLUG
		Cool Grass	FLAT	PLUG
			FLAT	PLUG

* Contractor is to evenly distribute the allocated amount of plugs/plugs throughout the basin areas located within the site accordingly.

NATIVE SEED MIX REQUIRED MAINTENANCE - 3 YRS:

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

- Year 1 Establishment (spring seeding):**
- 1) Prepare site - Late April - May
 - 2) Seed - May 1 - June 1
- Maintenance:**
- 1) Mow (6-8 inches) - every 30 days after planting until September 30.
 - 2) Weed Control - mowing should help control annual weeds. Spot spray trisiles, etc.

- Establishment (fall seeding):**
- 1) Prepare site - Late August - early September
 - 2) Seed - late September to freeze-up
- Maintenance (following season):**
- 1) Mow (6-8 inches) - once in May, June, and July
 - 2) Weed Control - mowing should keep annual weeds down. Spot spray trisiles, etc.

- Evaluation:**
- 1) Cover crop growing within 2 weeks of planting (except dormant plantings).
 - 2) Seedlings spaced 1-6 inches apart in drill rows.
 - 3) Native grass seedlings may only be 4-6 inches tall.
 - 4) If there is a flush of growth from foxtail etc., mow as necessary.

- Year 2 Maintenance:**
- 1) Mow (6-8 inches) one time between June 1 - August 15 before weeds set seed.
 - 2) Weed Control - mowing should keep annual weeds down. Spot spray trisiles, etc.
 - 3) Some sites may not require much maintenance the second year.
- Evaluation:**
- 1) Cover crop will be gone unless winter wheat was used in a fall planting.
 - 2) Grasses forming clumps 1-6 inches apart in drill rows, but still short.
 - 3) Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
 - 4) If there is a flush of growth from foxtail etc., mow site.

- Year 3 Maintenance:**
- 1) Mow only if necessary.
 - 2) Weed Control - Spot spray trisiles, etc.
 - 3) Sites usually do not require much maintenance the third year.
- Evaluation:**
- 1) Planting should begin looking like a prairie - tall grasses, flowers, etc.

- Long-term Maintenance:**
- 1) Weed Control - Spot spray trisiles, etc.
 - 2) Burning (3-5 year rotation) alternate spring and fall if possible.
 - 3) Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
 - 4) Burning two years in a row will really "clean up" rough-looking sites.

NATIVE SEEDING INSTALLATION METHOD:

- Drop Seeding onto Tilled Sites**
- This is the "standard" method for seeding on prepared sites such as those on construction projects.
- a) **Site Preparation:** The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
 - b) **Fertilizer:** Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre.
 - c) **Seed Installations:** Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Bibb-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
 - d) **Seeding Rates:** Rates are specified in the mixture tabulation for the specified mix.
 - e) **Packing:** If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
 - f) **Mulch:** Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

Note: Heavy equipment is not allowed in the infiltration basins to keep soils from getting compacted. If any compaction occurs due to seeding operations, the soils must be uncompacted.

Irrigation Performance Requirements:

1. IRRIGATION SYSTEM SHOULD AVERAGE 40+ PSI AT THE BASE OF ALL SPRINKLER HEADS. NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE PRESSURE DIFFERS.
2. IRRIGATION CONTRACTOR TO PREPARE FULL IRRIGATION LAYOUT PLANS FOR LANDSCAPE ARCHITECT'S REVIEW, LAYOUT WORK AS ACCURATELY AS POSSIBLE. THE CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO THE LOCATION AND SPACING AS NECESSARY TO ACCOMMODATE ACTUAL FIELD CONDITIONS. HEAD LOCATIONS SHALL BE FLAGGED AND REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. COORDINATE SLEEVING AND IRRIGATION PIPE / HEAD / INTERNAL PLUMBING INSTALLATION WITH THE WORK OF OTHERS.
4. ALL MATERIALS SHALL BE INSTALLED AS DETAILED ON DRAWINGS, HOWEVER, IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS ISSUED BY THE MANUFACTURER. ALL SUCH LITERATURE MUST BE SUBMITTED 48 HOURS PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.)
5. CHECK AND VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
6. LATERAL PIPING TO BE A MINIMUM OF 12 INCHES DEEP AND MAINLINES A MINIMUM OF 18 INCHES DEEP.
7. ALL MAIN LINE PIPING AND LATERAL PIPE OF 1-1/2" AND LARGER SHALL BE PVC (SDR 26 / CLASS 150). ALL OTHER LATERAL PIPE OF 1-1/4" AND SMALLER MAY BE POLYETHYLENE.
8. ALL TEES AND ELBOWS SHALL BE PVC (100 PSI), INCLUDE THRUST BLOCKING AT TEE AND ELBOW JOINTS.
9. ALL SPRINKLERS SHALL BE AS NOTED ON DETAIL & SPECIFICATION.
10. ADJUST HEADS FOR GRADE, AS NECESSARY, AFTER TURF GRASS HAS BEEN ESTABLISHED AND ALL SETTLEMENT AT HEADS HAS OCCURRED.
11. ALL AUTOMATIC CONTROLLERS, FILTERS, BACKFLOW PREVENTERS AND HOSE BIBS SHALL BE SET PLUMB. SPRINKLER HEAD FILTERS, QUICK COUPLER VALVES AND ALL VALVES WITH STEMS SHALL BE SET PERPENDICULAR TO FINISHED GRADE.
12. CONTROL VALVE WIRES, INCLUDING THE GROUND WIRE, SHALL BE #12 GAUGE U.FULL, APPROVED DIRECT BURIAL UNDERGROUND CONNECTIONS SHALL BE MADE WITH 3-WIRE CONNECTORS (DBV) OR APPROVED EQUAL.
13. TRACER-WIRE IS TO BE PLACED OVER ALL MAIN AND LATERAL LINES.
14. PLACE ALL VALVES IN APPROVED VALVE BOXES.
15. USE TEFLON TAPE ON ALL THREADED JOINTS.
16. BRAND EACH VALVE BOX WITH 2" HIGH LETTERING SHOWING ZONE NUMBER AND CONTROLLER LETTER (EXAMPLE 'A3'). THIS STAMP IS TO MATCH THE ZONE SHOWN ON THE PLAN UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
17. CONDUCT PERFORMANCE TEST IN THE PRESENCE OF OWNER AND LANDSCAPE ARCHITECT FOLLOWING COMPLETION OF SYSTEM INSTALLATION.
18. CONDUCT AND DEMONSTRATE WINTERIZATION AND SPRING START-UP PROCESS TO OWNER IN THE FALL OF COMPLETION.
19. LANDSCAPE ARCHITECT SHALL BE NOTIFIED TO VERIFY TRENCH DEPTHS BEFORE BACKFILLING.
20. IRRIGATION CONTRACTOR TO COORDINATE MECHANICAL ROOM WATER CONNECTION POINT WITH MECHANICAL ENGINEER AND PLUMBING CONTRACTOR.
21. AFTER INSTALLATION OF DRIP IRRIGATION PIPE IS COMPLETE AND PRIOR TO SODDING OR MULCH INSTALLATION, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO REVIEW THE INSTALLATION OF THE DRIP IRRIGATION SYSTEM.
22. LANDSCAPE CONTRACTOR TO ADJUST HEADS IN THE FIELD TO ENSURE WATER DOES NOT SPRAY THE BUILDING FACE OR PAVED AREAS.
23. COORDINATE LOCATION OF ROOFTOP-MOUNTED ATMOSPHERIC MOISTURE (RAIN) SENSOR WITH OWNER AND ARCHITECT.
24. COORDINATE LOCATION OF SLEEVING UNDER PAVED AREAS WITH GENERAL CONTRACTOR, EARTHWORK, AND PAVING SUB-CONTRACTORS.
25. SUBMIT LAYOUT PLAN AND PRODUCT DATA TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
26. IRRIGATION BID SHALL INCLUDE (1) FALL SHUT-DOWN AND (1) SPRING START-UP.
27. THIS PROJECT WILL USE HUNTER COMMERCIAL IRRIGATION PRODUCTS.
28. PROVIDE THE OWNER WITH MANUFACTURER'S INSTRUCTION MANUAL FOR CONTROLLER, POST IRRIGATION ZONE LAYOUT MAP AT 8"X10" NEXT TO THE CONTROLLER FOR REFERENCE.
29. PROVIDE THE OWNER WITH AN AS-BUILT PLAN (PAPER AND CAD .DWG) UPON COMPLETION OF INSTALLATION.

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Client:
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1110 RAYMOND AVENUE, UNIT 3
ST. PAUL, MN 55108

Project Title:
WILDWOOD
ROWHOMES
2502 CO RD E EAST
WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.
PRELIMINARY
Benjamin Hartberg, P.L.A.
Date: XX-XXX-XXXX L.R. No. 48898

Rev.	Date	Description

Project #: 12236008.000
Drawn By: HL
Checked By: BH
Issue Date: 06.21.2023
Sheet Title:

LANDSCAPE DETAILS

Sheet:
L300



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



June 21, 2023

Element Design – Build LLC
1110 Raymond Ave Apt 3
St. Paul, MN 55108

Dear Element Design - Build:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 2502 County Road E East have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison
Assistant Fire Chief / Fire Marshal
651-762-4842

Encl.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
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General Comments

1. Drive Lanes
All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes into the parking lot. Drive lanes shall be a minimum of 20 feet.
2. Address numbers
Shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Key Box
Install an approved emergency lock box for Fire Department emergency access to building depending on fire sprinkler design. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. Fire Sprinkler System
A fire sprinkler system shall be installed in all structures compliant with provisions of 2016 NFPA Standards, Installation of Sprinkler Systems. A city permit is required prior to initiation of work. The fire sprinkler controls locations shall be approved prior to design.
5. Fire Alarm System
Depending on fire sprinkler design a fire alarm system may be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. A city permit required prior to initiation of work.
6. Finishes
Provide information concerning combustible interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
7. Gas Appliances
Open flames and grills are prohibited on balconies or with 15 feet of the structure. Any community natural gas features shall have a timer and emergency stop control.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 13R, 13D 2016 edition



City of White Bear Lake
Engineering Department

MEMORANDUM

To: Jason Lindahl, Community Development Director
From: Nate Christensen, P.E., Assistant City Engineer
Connie Taillon, P.E., Environmental Specialist/Water Resources Engineer
Date: June 15, 2023
Subject: **Wildwood Rowhomes Engineering Review Comments**

The Engineering Department reviewed the stormwater calculations dated June 7, 2023 and Civil plan sheets (C100, C200, C300, C400, C500, C600, C601, C602) dated June 8, 2023; and Landscape plan sheets (L100, L200, L300) dated 9, 2023, and received June 8, 2023 for the above referenced project.

Findings:

Description

The project is located in the southeast corner of County Road E and Bellaire Avenue in White Bear Lake. The existing site is a vacant gas station consisting of primarily pavement and building. The perimeter of the property is grass. The project proposes to construct two row home buildings (a total of 10 units), parking lot, concrete patio and walkways, and an associated stormwater management facility. A portion of the existing building will be renovated into a community room. Based on the stormwater calculations, the proposed development will result in a decrease in impervious surfaces from 19,220 square feet to 16,725 square feet, and disturb 29,227 square feet (0.67 acres).

Stormwater

Existing Conditions: The majority of stormwater runoff from the existing site drains untreated to the north and into the County Road E storm sewer. This storm sewer flows to the east and south to Peppertree Pond, a DNR public water wetland. A small portion of the existing site (~12.9%) drains untreated to the south into the City storm sewer which also outlets to Peppertree Pond.

Proposed Conditions: The proposed site will maintain similar drainage patterns as existing, with the majority of the site draining to the north and a smaller portion of the site (~3.1%) draining to the south. Runoff rate and water quality impacts from the site will be managed per the City's Engineering Design Standards for Stormwater Management dated May 12, 2015. The project proposes to construct a biofiltration basin to meet stormwater rate and water quality requirements.

- *Stormwater rate:* Per the City's requirements, proposed peak runoff rates shall not exceed existing rates. The stormwater calculations submitted by the applicant demonstrate that the

stormwater runoff rate to County Road E and offsite to the south are less than existing rates for the 2-, 10-, and 100-year storm events and 100-year, 10 day snowmelt condition.

- *Stormwater runoff treatment:* Per the City's requirements, a volume equivalent to 1.1- inches of stormwater runoff over all new and reconstructed impervious surface areas must be treated for removal of sediment and nutrients from stormwater prior to discharging off the site. Due to the presence of poor draining soils, onsite infiltration is not a feasible treatment option; therefore a biofiltration basin is proposed. The proposed biofiltration basin is designed to meet the City's stormwater runoff treatment requirements. A total volume of 2,662 cubic feet of runoff from impervious surfaces is required to be treated, with 2,725 cubic feet of treatment being provided. Rain Guardian Turrets are proposed for pretreatment of parking lot runoff prior to discharge into the biofiltration basin.

Freeboard

Per the Geotechnical Evaluation Report, groundwater was not observed at the maximum soil boring depths of 24.5 feet, 21 feet, and 11 feet; therefore, the at grade low floor elevation of the proposed buildings meet groundwater freeboard requirements.

Erosion Control

Proposed erosion control methods include silt fence, rock construction entrance, inlet protection, erosion control blanket, and riprap.

Floodplain

The site is not in a regulatory floodplain.

Shoreland Overlay District

The site is not within the Shoreland Overlay District.

Documenting Maintenance Obligations

Applicant must execute a Stormwater Operations and Maintenance Agreement (SOMA) with the City for the maintenance of the stormwater management facility to ensure proper functioning.

Note

- A) In general, the site meets or exceeds the City's stormwater management requirements. Minor stormwater related comments are included in this memo that will need to be addressed prior to issuance of a building permit.
- B) The City has had multiple complaints about water pressure in this area over the years. Please be aware that 3 story buildings may need additional plumbing components in order to furnish the units with City water.

Engineering Comments:

General

- 1) Contact the MPCA to determine if any environmental assessments need to be completed for this site due to its previous use as a gas station. Please provide the MPCA response for our records and the environmental assessment for review if available.
- 2) In recent years, the MPCA performed a volatile organic compound (VOC) vapor intrusion investigation near this intersection. Contact the MPCA to determine if the vapor intrusion investigation is complete and to make them aware of this development project. Provide their response to the investigation and their recommendation of this development, based on the findings of the investigation, for our records. Please contact Connie Taillon at the City if you have any initial questions prior to contacting the MPCA. Her contact information can be found at the end of this memo.
- 3) Permits may be required from Ramsey-Washington Metro Watershed District, Ramsey County, and the MPCA. Submit a copy of each permit for our records or provide documentation from each agency that a permit is not required.
- 4) Show the location of snow storage on the appropriate plan sheet(s) or submit a snow storage/removal plan for review.
- 5) For all civil plan sheets, show the existing catch basin on the west side of Bellaire and the storm sewer pipe from this catch basin to the existing catch basin on the east side of Bellaire at County Road E.

Stormwater Calculations

- 6) For proposed pond 1P devise #4, should the invert for Exfiltration be the bottom elevation of the pond (1028)? Please clarify.
- 7) For proposed pond 1P devise #3, please clarify what is meant by '6" Vert' and why it is multiplied by 2.
- 8) Is it feasible to route runoff from the proposed courtyard in the NW corner of the site to the biofiltration basin?

Demolition Plan (C100)

- 9) The existing water service shall be disconnected at the watermain by turning off the corporation stop and removing a few feet of the service. Please add this to the plan.
- 10) It appears that the existing wood fence along the east side of the property will be removed. If this is the case please label on the plan. Please clarify ownership of this fence. If the fence belongs to 3578 Glen Oaks Avenue show how the fence will be protected from damage.
- 11) Label all removals on the plan (buildings, storm sewer, trees, fence, etc.)

Paving Plan (C200)

- 12) Bellaire Avenue and Jansen Avenue pavements are less than 5 years old. Any pavement disturbance shall be restored to the full width of the street from curb to curb.
- 13) The match existing pavement thickness note in the symbol legend references a detail. Please add a detail to the corresponding sheet.
- 14) All joints in new concrete sidewalk shall be sawcut, not tooled. Please add a note to the plan sheet.
- 15) Label each type of curb and gutter on this plan (B618, B624, tip-out, etc.).

Grading Plan (C300)

- 16) Include spot elevations for the patio on the plan.
- 17) Add to note 4 that topsoil is not allowed in the bottom of the biofiltration basin.
- 18) Show more detailed grading along the eastern edge of the property to ensure that runoff from the site will be directed to the EOFs and not onto the adjacent property.
- 19) The model shows a grade break for the access drive at the property line. Include additional spot elevations along the gutterline on both sides of the access drive to the north.
- 20) It appears that a tip-out curb should be proposed from the grade break of the west edge of the access drive to where it terminates at the proposed garage. Please clarify.
- 21) Label the elevation of the dashed line around the biofiltration basin.

Utility Plan (C500)

- 22) Please label the size and material of the proposed water main and services.
- 23) Please label the above water service as "private". Please label all Water, Sanitary, and Storm utilities as "private" until the connection at the public main.
- 24) Add cleanouts to the biofiltration basin drintile.
- 25) Add a callout to OCS1 that the drintile must enter the structure downstream of the weir.
- 26) The top of weir is modeled at an elevation of 1030.1. Revise the OCS1 'top weir' callout to be consistent with the model.
- 27) A watermain offset will not be approved until the elevation of the existing watermain on Bellaire Avenue is field verified at the proposed wet tap location. Please field verify the depth of the existing watermain to determine if an offset is necessary.

28) Ramsey County approval will be required for the proposed storm sewer connection on County Road E (see comment 3).

Details (C600)

29) Add elevations for the pipe inverts, weir, and rim to the outlet control structure detail, and show the direction of flow and the location where the draintile enters the structure.

30) Please provide an air gap between the downspout and pipe connection if external to the building.

31) There is existing B624 curb on Bellaire Avenue and County Road E. Please provide a B624 concrete curb and gutter detail in addition to the other curb details.

32) If tip-out curb will be used (see comment 20) include a detail on this sheet.

Details (C601)

33) Biofiltration basin cross section: is filter fabric needed to keep existing soils from mixing with the fine filter aggregate?

34) Biofiltration basin cross section: label the elevation of the bottom of the basin and all soil media layers.

Landscape Plan (L100)

35) Please consider the true native species for the over story trees, and some of the shrubs and perennials.

36) Even though the sanitary and watermain on this site will be private, we would recommend not planting trees on top of the proposed utilities.

Landscape Plan (L200)

37) Note 17 identifies an Irrigation Plan Layout. Please submit the layout to the City for review when available.

38) Add a note on the plan that irrigation is not allowed in the biofiltration basin.

39) Add a note on the plan that topsoil is not allowed in the bottom of the biofiltration basin.

Landscape Plan (L300)

40) Add a note to the Irrigation Performance Requirements that irrigation is not allowed in the biofiltration basin.

41) Many of the live plug species proposed for the biofiltration basin prefer consistently wet conditions; however, the basin will dry out between rain events. Please clarify.

42) Please consider using more forb species in the biofiltration basin.

43) A drier seed mix should be specified for the upper side slopes of the biofiltration basin.

The following items must be addressed prior to the release of the letter of credit

- i) An as-built record drawing is required for this project. A list of record drawing requirements will be provided as part of the building permit review process.

The following items must be addressed prior to issuance of a Certificate of Occupancy

- ii) A Stormwater Operations and Maintenance Agreement (SOMA) is required for this project. A SOMA template will be provided as part of the building permit review process.

While the following items are not required for issuance of a permit, we would like to take this opportunity to raise these points:

- a) It is highly recommended that an individual familiar with the stormwater design be on site while the biofiltration basin is being constructed to ensure that the basin is constructed per plan.
- b) To ensure the success of the native seeding, we highly recommend contracting with a native plant restoration company to install and maintain the native seed areas for the three-year establishment period. After the three-year establishment period, we encourage the owner to continue to contract with the company for yearly maintenance of the prairie to control invasive plants and other weeds.
- c) Consider installing conduit and other infrastructure at this time for future electric vehicle charging stations.
- d) Consider mostly native trees and plants (less water, higher resiliency, wildlife habitat).

Note

For the next plan review submittal, please provide the following:

- A response to each review comment in this memo
- Revised stormwater calculations
- Revised design plans

Contact Information

For questions contact Nate Christensen at: 651-762-4812 or nchristensen@whitebearlake.org or Connie Taillon at: 651-429-8587 or ctailon@whitebearlake.org



City of White Bear Lake
Community Development Department

MEMORANDUM

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: June 26, 2023
SUBJECT: 2687 County Road D Planned Unit Development, Rezoning and Preliminary/Final Plat Case No. 23-17-PUD, Z & P

SUMMARY

The applicant, Brian Winges of Dignisuites, is requesting preliminary and final plat to split the property located at 2687 County Road D into two lots, a rezoning of the southern lot from B-2: Limited Business to R-B: Residential Business Transition, and a planned unit development (PUD) for a 14 bed nursing home. Based on the findings made in this report, staff finds that the standards for plats laid out in City Code chapter 1401, zoning amendments laid out in City Code section 1301.040 and the standards for PUDs laid out in section 1301.070 have been satisfied and recommends approval of the request.

GENERAL INFORMATION

Applicant/Owner: Brian Winges / Paul Bruggeman

Existing Land Use / Zoning: Vacant / B-2: Limited Business

Surrounding Land Use / Zoning: North: Vacant / R-6: Medium Density Residential
 South: Vacant / B-2: Limited Business
 East: Office Condos / B-2: Limited Business
 West: Apartment / R-6: Medium Density Residential

Comprehensive Plan: Commercial

Lot Size & Width: Current B-2 zoning: None & 100 feet
 Proposed R-B zoning: None & 100 feet

60 Day Review Date: August 1, 2023

BACKGROUND INFORMATION

The subject property is located on both sides of County Road D, west of Century Avenue. As a whole, the property is currently 1.58 acres, or roughly 68,825 square feet. The proposed nursing home will be located on the southern portion of the property, which is 31,857 square feet in size. The property has been split zoned since 1974 when it was first identified on the city's zoning map. The northern portion

was originally zoned R-3: Single Family Residential and the southern portion was zoned LB: Limited Business. The zoning code was amended in 1983 and the LB district was renamed B-2: Limited Business. The northern portion of the lot was rezoned in 2019 to R-6: Medium Density Residential. The southern portion contained a single family home that was demolished in 2019. As part of the request, the applicant is proposing to subdivide the two portions of the lot.

Concept Plan Review Process. Prior to submitting the rezoning and PUD application, the property owner went through the city's concept plan review process. The concept plan review process does not result in any approvals. Rather, the applicant requests feedback from neighbors, the Planning Commission and the City Council on the proposal so they can work toward preparing a future, formal submittal. The concept plan review process schedule and a summary of the comments from those meetings are provided below.

Neighborhood Meeting. The applicant held their neighborhood meeting on March 15, 2023 at Lakewood Place Apartments which is located at 3100 Glen Oaks Avenue just west of the subject property. The only attendee was Councilmember Edberg.

Planning Commission Review & Comment. The Planning Commission reviewed the concept plan during their March 27, 2023 regular meeting. The meeting included a presentation from staff and provided an opportunity for the public to provide comments. Nobody other than the applicant spoke about the project. The Planning Commission expressed general support for the proposal.

City Council Review & Comment. The City Council reviewed the concept plan during their April 11, 2023 regular meeting. Similar to the Planning Commission meeting, it included a presentation from staff as well as an opportunity for the public to provide comments. The applicant offered an overview of the proposal. The City Council also conveyed general support for the proposal.

Community Comment. Under state law and the City's zoning regulations, conditional use permit, rezoning, and plat applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to all property owners within 350 feet. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff has not received any comments from the public. One resident stopped into City Hall to ask for more information, but did not have any comment on the proposal. During the public hearing, staff will provide an update if any public comments are received prior to the Planning Commission meeting.

ANALYSIS

Preliminary & Final Plat. The applicant is requesting preliminary plat approval for Dignisuites of White Bear Lake. Subdivision review is considered a quasi-judicial action. As such, the City is acting as a judge to determine if the regulations within the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance are being followed. Generally, if the application meets these requirements, the subdivision application should be approved. The City also has the authority to add conditions to an approval that are directly related to the application.

Standards for reviewing subdivision requests are outlined in Section 1401 of the City Code. This section of the Code details a two-step preliminary and final plat process for land subdivision. In this case, the applicant is proposing to combine both steps in order to split the lot into two separate parcels. As noted above, the property is divided by County Road D and is split zoned. It also has two land use designations in the 2040 Comprehensive Plan – the north is guided for medium density residential and the south is guided for commercial. The applicant is looking to develop only the southern portion, and because of the uniqueness of the lot, it is logical to subdivide the parcel in two. When reviewing the subdivision request, staff has considered the following:

Lot Size & Width. The northern portion of the lot will remain R-6: Medium Density Residential. The minimum lot size is dependent on the type of housing developed. Single-family homes require 7,200 square feet while multi-family buildings require 3,600 square feet per unit. Lot width also depends on the number of housing units, with single-family requiring a 60 foot width and multi-family requiring 100 feet in width. There is no proposed development on this site at this time, but the lot is 100 feet in width and over 35,000 square feet in size, so could be used for multi-family.

The R-B zoning district requires a minimum of 15,000 square feet for nonresidential uses and 100 feet in width. The proposed lot will be a little under 32,000 square feet and has street frontage of almost 300 feet in width, meeting code requirements.

Access. Although named County Road D, this section of the road is actually a local street, so Ramsey County review is not required. The applicant is proposing one access point from the road to the southern site. The width of the access is proposed to be 24 feet, which is less than the 32 feet allowed for commercial properties. There is approximately 150 feet between the proposed curb cut and that of the abutting property to the east. The minimum required spacing is 40 feet.

Utilities. The Engineering Department has conducted a preliminary review of the proposed utilities and provided comment, memo attached. Generally, sewer and water is available to the site, but new connections will need to be approved by Engineering prior to issuance of a building permit.

Park Dedication. The subdivision code requires park dedication for commercial properties when platted for the first time at a rate of \$3,500 per acre in lieu of land dedication. At 0.73 acres, \$2,555 will be due at the time when a permit is submitted to develop the southern parcel.

Rezoning. The procedure and criteria used to evaluate zoning amendment applications, either text changes or rezoning of individual properties, are found in City Code Section 1301.040 – Amendments. Review of this type of application is considered a legislative action. When considering legislative actions, cities have discretion to set the public policy or development standards they decide are appropriate for their community. This section of the City Code details six criteria for the city to weigh when considering a rezoning application. These criteria and staff's findings for each are provided below.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property as Commercial. According to the Comprehensive Plan, commercial include a wide range of general commercial uses, such as retail, office, automobile-oriented businesses, and personal service establishments. While a nursing home is a residence, it is still a business that has staff coming and going and regular deliveries that make it more commercial in nature. The proposed nursing home meets the use standards of the commercial future land use category.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: The subject property is currently zoned B-2: Limited Business, which does not allow nursing homes as either a permitted or conditional use, which is why the applicant is requesting a rezoning of the property to R-B: Residential-Business Transition. The purpose of the R-B zoning district is to provide for high-density residential uses and for the transition in land use from residential to low intensity business allowing for the intermixing of such uses. There are commercial properties to the east and medium density residential to the north and west, so the rezoning achieves the district's purpose as a transitional area between the two uses.

3. The proposed use conforms with all performance standards contained herein.

Finding: The proposal conforms to the allowable uses in the R-B district. The R-B district permits nursing homes or similar group housing through a conditional use permit provided that:

- I. *Side yards are double the minimum requirements established for this District and are screened in compliance with Section 1302.030, Subd. 7.a of this Code.*

The required setbacks in the R-B zoning district are 30 feet from the front, 15 feet from the side, and 30 feet from the rear. When doubled, a 30 foot setback is required from the side yard. The proposed building meets the front and rear setback, but does not meet the larger side yard setback. This is one deviation being requested as part of the planned unit development.

Section 1302.030, Subd.7.a requires screening from abutting residential, but not on that side considered to be the front. The only adjacent residential is across the street, so screening is not a requirement, however, the applicant is proposing to plant a number of trees, shrubs and perennials along the front of the property for a buffer of the parking lot and aesthetics in front of the building.

- II. *Only the rear yard shall be used for play or recreational areas. Said area shall be fenced and controlled and screened in compliance with Section 1302.030, Subd. 7.a of this Code.*

The rear of the property does not abut residential so Section 1302.030, Subd.7.a does not require additional screening. A small deck is proposed in the rear of the building and seven cedar trees are proposed to screen it from the vacant parcel to the south.

- III. *The site shall be served by an arterial or collector street of sufficient capacity to accommodate traffic which will be generated.*

County Road D is designated as a major collector in the city's 2040 Comprehensive Plan. Collectors are so named because they collect traffic from the neighborhoods and business areas and distribute it to the arterials. County Road D is of sufficient capacity to accommodate the traffic generated from the nursing home.

IV. All state laws and statutes governing such use are strictly adhered to and all required operating permits are secured.

The nursing home will work with the proper state agencies to ensure all licensure is obtained before the business begins operation.

V. Adequate off-street parking is provided in compliance with Section 1302.050 of this Code.

Nursing homes are required to have four parking stalls plus one stall for every three beds. The proposal includes fourteen beds, so nine stalls are required and nine are provided.

VI. One (1) off-street loading space in compliance with Section 1302.060 of this Code is provided.

Section 1302.060 requires a loading area or berth to be a minimum of 55 feet in length and 10 feet in width. The parking lot, as measured from the property line to the edge of the pavement on the south side, is 100 feet deep and is 24 feet in width. This provides enough room for a vehicle to maneuver around another vehicle loading/unloading in front of the building.

Height. The maximum height in the R-B district is 45 feet. The proposed building is one story and 20 feet to the peak of the roof, so is well under what is permitted by code.

Parking Lot / Hard Surface Setback. Parking lots are required to be set back 15 feet from the right-of-way and maintain a five foot setback from any interior lot line. The proposed parking lot meets the required setbacks.

For commercial properties, the code requires all hard surface areas to be no closer than five feet from the building. The intention is to provide space for landscaping. The proposed sidewalk on the west side extends right to the building, so this is the other deviation being requested as part of the PUD request. Landscaping is provided in between the building and the sidewalk along the north to soften the side of the building that faces the street. Given that the facility will be used for elderly residents in need of memory care and assisted living services, staff finds the wider sidewalk is appropriate.

Exterior Materials. The R-B district does not have specific exterior material standards. According to the applicant, exterior materials on the building include cementitious lap siding with a stone veneer along the bottom third of the building and shake siding in the roof gables. The surrounding residential and commercial uses are more dominantly fiber cement siding with a brick or stone base. Staff finds that the architectural design and exterior materials are consistent with the surrounding uses.

Landscaping/Tree Preservation. 10 trees will be removed from the property in relation to the proposal, which based on the tree replacement calculation, will require 51 replacement inches. The applicant is proposing to plant 21 trees for a total of 58.5 inches, exceeding the requirement. Further, 175 shrubs, 145 annuals/perennials, and 99 grasses are proposed throughout the site to provide enhanced landscaping. Native seed mixes are also proposed, which the city greatly encourages.

Stormwater. An underground infiltration system is proposed to be constructed to treat stormwater along with a surface storm basin. The design has not been approved by the Engineering Department yet, but staff encourages the system to be designed to provide enhanced treatment of stormwater.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The proposed use will not tend to or actually depreciate the area in which it proposed. The property has been vacant for several years and the applicant is proposing to invest significantly in order to improve the site. As stated in their narrative, the proposed use will contribute greatly to the city's tax rolls. This investment will also offer new housing options for aging populations and create full and part time jobs.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The Engineering department has reviewed the applicant's plans and provided comments in the attached memo dated June 6, 2023. Overall, the proposed use can be accommodated with existing and planned improvements to public services.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: Traffic generation by the proposed use will be within capabilities of streets serving the property. The applicant anticipates 3 to 4 staff on site at a time and 1 to 3 visitors at any given time, so a low number of trips will be generated from the proposal.

Planned Unit Development. The purpose of a planned unit development (PUD) is to allow flexibility from traditional development standards in return for a higher quality development. Typically, the city looks for a developer to exceed other zoning standards, building code requirements or Comprehensive Plan goals. In exchange for the flexibility offered by the planned unit development, the applicant is expected to detail how they intend to provide a higher quality development or meet other City goals.

In this case, a PUD is necessary to allow decreased setbacks along the interior side yard and a zero foot setback for hard surface from the building. In exchange for the deviations, the applicant designed the site to provide more landscaping throughout the property and higher quality architectural features that make the building look more residential in nature. Staff also encourages the stormwater feature be designed to provide enhanced stormwater treatment, if possible.

Based on the overall site design, staff finds the applicants proposed improvements are acceptable under the overall planned unit development application.

Engineering Review. The Engineering Department has reviewed the applicant's plans and provided comments in the attached memo. The applicant is proposing a storm basin and an underground infiltration system. Revised stormwater calculations were submitted on June 2 and the Engineering Department has not yet reviewed the updates, although generally, the site meets the City's

stormwater management requirements. It is worth noting that the stormwater features have been reviewed by the Valley Branch Watershed District and meet their standards. Approval for that permit occurs on June 22, 2023 at the watershed district's board meeting. Staff recommends a condition of approval requiring the applicant to comply with all requirements of the Engineering Department.

Fire Department Review. The Fire department has reviewed the applicant's plans and provided comments in the attached memo. Staff recommends a condition of approval requiring the applicant to comply with all requirements of the Fire Department.

RECOMMENDATION

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Rezoning of the property to R-B: Residential Business Transition
3. A Planned Unit Development Agreement shall be executed in a form acceptable to the City Attorney.
4. A building permit shall be obtained before any work begins.
5. All signage will be in compliance with city code and applicant will submit for signage permit as needed.
6. The applicant shall provide a Sewer Availability Charge (SAC) and Water Availability Charge (WAC) determination from the Metropolitan Council and pay all applicable fees prior to the issuance of a building permit.
7. The applicant shall obtain permits as necessary from relevant agencies (such as Met Council, Watershed District, Ramsey County) and provide a copy of each to the city.
8. The applicant shall comply with the applicable zoning and building codes and with the Fire Department memo, dated May 1, 2023 and Engineering Department memo, dated June 6, 2023.
9. The applicant shall enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features.
10. The applicant shall extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
11. Prior to the release of the letter of credit, the applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
12. Prior to the release of the letter of credit, all exterior improvements must be installed and all landscaping must have survived at least one full growing season.
13. Prior to the release of the letter of credit, the applicant shall provide proof of having recorded the Planned Unit Development Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

Attachments:

Draft Resolution of Approval – PUD

Draft Resolution of Approval – Plat

Draft Ordinance – Rezoning

Zoning/Location Map

Engineering Memo

Fire Department Memo

Applicant's Narrative and Plans

Preliminary and Final Plat

RESOLUTION NO.

**RESOLUTION GRANTING GENERAL AND DEVELOPMENT STAGE
PLANNED UNIT DEVELOPMENT (PUD) APPROVALS FOR THE PROPERTY LOCATED AT
2687 COUNTY ROAD D, WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (23-17-PUD) has been submitted by Brian Wings to the City Council requesting approval of both General and Development Stage Planned Unit Development (PUD) approvals from the Zoning Code of the City of White Bear Lake for the following location:

LEGAL DESCRIPTION: Lot 1, Block 2 of Dignisuites of White Bear Lake.

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: General & Development Stage approvals of a Planned Unit Development, per Code Section 1301.070, in order to construct a 14 bed nursing home; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 26, 2023; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the PUD Development Stage Plan, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Rezoning of the property to R-B: Residential Business Transition.
3. A Planned Unit Development Agreement shall be executed in a form acceptable to the City Attorney.
4. A building permit shall be obtained before any work begins.

RESOLUTION NO.

5. All signage will be in compliance with city code and applicant will submit for signage permit as needed.
6. The applicant shall provide a Sewer Availability Charge (SAC) and Water Availability Charge (WAC) determination from the Metropolitan Council and pay all applicable fees prior to the issuance of a building permit.
7. The applicant shall obtain permits as necessary from relevant agencies (such as Met Council, Watershed District, Ramsey County) and provide a copy of each to the city.
8. The applicant shall comply with the applicable zoning and building codes and with the Fire Department memo, dated May 1, 2023 and Engineering Department memo, dated June 6, 2023.
9. The applicant shall enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features.
10. The applicant shall extend a letter of credit consisting of 125% of the exterior improvements, which renews automatically every six months. The amount of the letter shall be based on a cost estimate of the exterior improvements, to be approved by the City prior to the issuance of the letter of credit.
11. Prior to the release of the letter of credit, the applicant shall provide an as-built plan that complies with the City's Record Drawing Requirements.
12. Prior to the release of the letter of credit, all exterior improvements must be installed and all landscaping must have survived at least one full growing season.
13. Prior to the release of the letter of credit, the applicant shall provide proof of having recorded the Planned Unit Development Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

RESOLUTION NO.

Applicant's Signature

Date

RESOLUTION NO.

**RESOLUTION GRANTING PRELIMINARY AND FINAL PLAT FOR THE PROPERTY LOCATED AT
2687 COUNTY ROAD D, WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (23-17-P) has been submitted by Brian Wingses to the City Council requesting approval of both Preliminary and Final Plat from the Zoning Code of the City of White Bear Lake for the following location:

EXISTING LEGAL DESCRIPTION: The West 100 feet of the East 663 feet of the South 613 feet of the Southeast Quarter of the Southeast Quarter of Section 36, Township 30, Range 22, Ramsey County, Minnesota and Outlot C, Lakewood Village, Ramsey County, Minnesota.

PROPOSED LEGAL DESCRIPTION: Dignisuites of White Bear Lake.

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: Both Preliminary Plat and Final Plat approval, per Code Section 1402.020, in order to split one property into two; and

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 26, 2023; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed plat upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that, in relation to the PUD, the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal will not depreciate values in the area.
4. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
5. Traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the preliminary and final plat, subject to the following conditions:

1. A hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the city with two final approved reproducible mylar copies of the plat.
2. Per 1402.020, Subd.6.c, within one year, the applicant must supply to the city planning and engineering staff a final plat (consistent with the approved preliminary plan) to be

RESOLUTION NO.

approved by the City Council or the subdivision shall become null and void. If the final plat varies significantly from the preliminary plat, Planning Commission review and comment will be required.

3. Within 100 days after final approval by the City Council, the applicant must record said plat with the County Land Records Office or Registrar of Deeds or the subdivision shall become null and void.
4. No construction permits may be issued to the applicant for improvements on this subdivision site prior to approval and recording of the subdivision's plat and posting of irrevocable letters of credit for public improvements.
5. The park dedication fee must be collected on each new lot within the subdivision at the time that building permits are issued on each lot.
6. The applicant shall agree to re-apportion any pending or actual assessments on the original parcel or lot of record in accordance with the original assessment formula on the newly approved parcels as per the City of White Bear Lake's Finance Office Schedule for Assessment.
7. The developer must dedicate public rights-of-way and utility easements as illustrated on the preliminary plan or as approved by the City Planner and City Engineer.
8. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners. The plat shall indicate that all monuments have been set or will be set within one year after recording, or sooner as specified by the approving local government unit. A financial guarantee may be required for the placement of monuments.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

RESOLUTION NO.

Approval is contingent upon execution and return of this document to the City Planning Office.
I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date

ORDINANCE NO. _____

**AN ORDINANCE REZONING THE PROPERTY AT 2687 COUNTY ROAD D WITH PID
363022440312 FROM B-2, LIMITED BUSINESS TO R-B, RESIDENTIAL BUSINESS TRANSITION**

THE COUNCIL OF THE CITY OF WHITE BEAR LAKE DOES HEREBY ORDAIN:

SECTION I. That the present zoning classification of B-2, Limited Business, upon the following described premises is hereby repealed, and in lieu thereof, said premises is hereby rezoned to R-B, Residential Business Transition.

The legal description of the property to be rezoned is as follows:

Lot 1, Block 2 of Dignisuites of White Bear Lake.

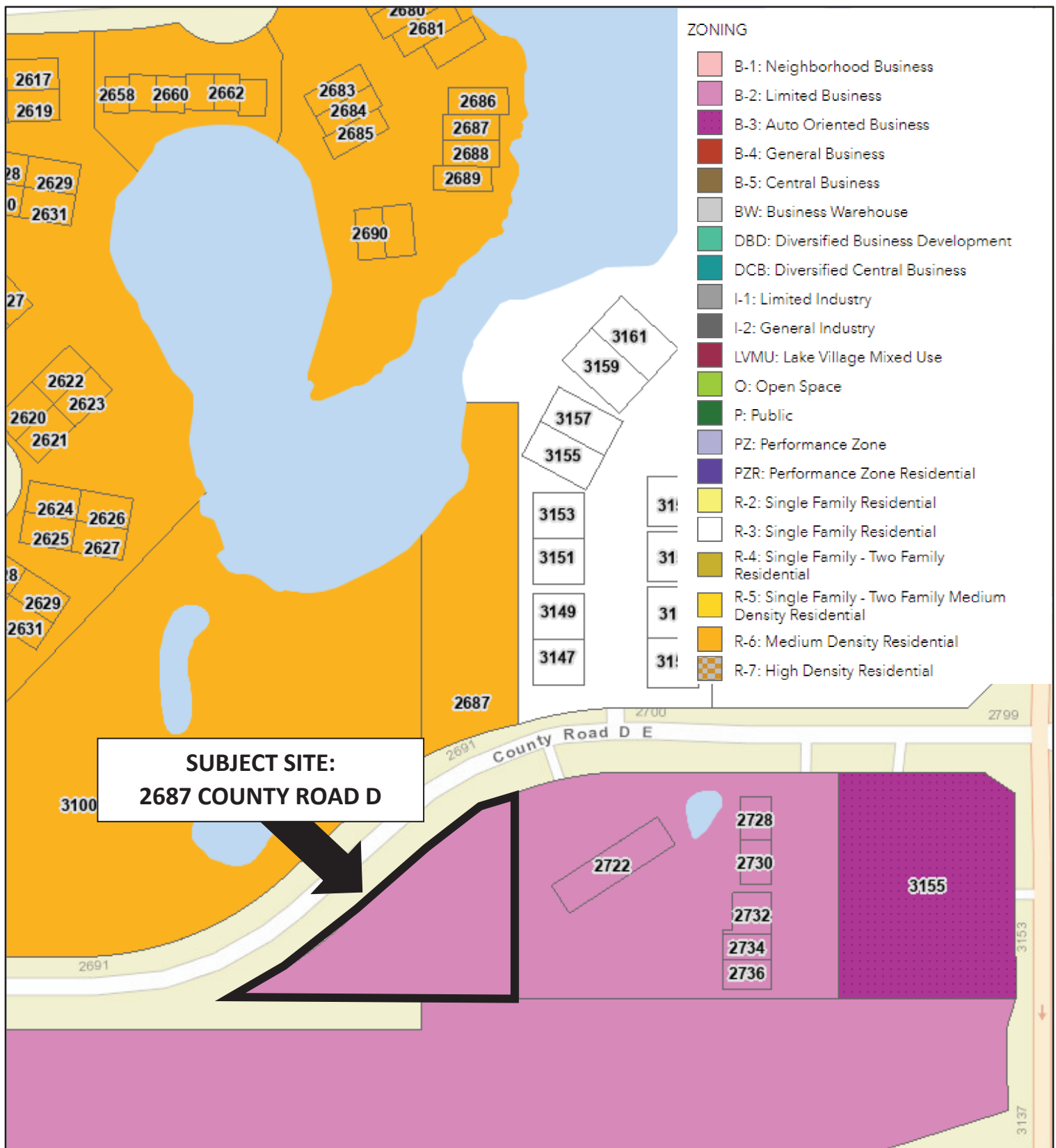
SECTION II. This Ordinance shall become effective upon its passage, after second reading and publication.

First Reading:	July 11, 2023
Second Reading:	July 25, 2023
Final Publication:	
Codified:	

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk



CASE NO. : 23-17-PUD & Z & P

CASE NAME : Dignisuites

DATE : June 26, 2023



City of White Bear Lake
Engineering Department

MEMORANDUM

To: Ashton Miller, City Planner
From: Nate Christensen, P.E., Assistant City Engineer
Connie Taillon, P.E., Environmental Specialist/Water Resources Engineer
Date: June 6, 2023
Subject: **Dignisuites Memory Care of White Bear Lake Engineering Review Comments**

The Engineering Department reviewed the Preliminary Plat dated April 27, 2023; and stormwater calculations and civil plan sheets (C100, C200, C300, C400, C500, C600, C601, and C602) dated June 2, 2023 and received June 2, 2023, for the above referenced project. The following items are outstanding:

General

- 1) Provide at least one soil boring at the location of each proposed infiltration practice to determine the soil types and seasonal high ground water elevation. The infiltration practices shall be designed to provide a minimum of three feet of separation from the seasonal high water table. Please submit the soil boring report for review when available.
- 2) Provide documentation from Metropolitan Council that the stormwater management facilities are allowed to be constructed within their easement.
- 3) Show the snow storage location on the plan.
- 4) Permits may be required from Valley Branch Watershed District and Metropolitan Council. Provide a copy of any permits for our records or provide correspondence from the agency that a permit is not required.

Stormwater Calculations

- 5) Ensure that all proposed infiltration practices inputs are consistent with the civil plans.

Paving and Dimension Plan (C200)

- 6) End the proposed driveway curb at the right of way.
- 7) Street repairs must match the existing pavement and gravel section. The estimated asphalt thickness of County Road D is eight (8) inches. Please add a note to the plan and revise or add a detail on sheet C600.

- 8) An approved traffic control plan and detour route is required prior to work within the right-of-way. If the proposed detour routes traffic to a state or county road, the detour plan will need approval from one or both agencies.

Grading and Erosion Control Plan (C300)

- 9) Include the overland EOF of the underground infiltration system on the plan.
- 10) The callouts for the stormwater practices on this sheet must be consistent with the stormwater model.
- 11) If the pond is being used to meet infiltration/treatment requirements, then rename the basin on this sheet and provide infiltration basin design details.

Utility Plan (C400)

- 12) Raising or lowering the existing watermain is not acceptable. The depth of the existing watermain shall be verified to ensure separation requirements are met prior to approving the final design.
- 13) At the new hydrant location, the plans call out for an 8x6 cross. Please specify why a cross is necessary at the hydrant or revise the plans.
- 14) The old water service shall be terminated at the watermain. Acceptable termination involves turning off the corporation stop and cutting out the old service.
- 15) The proposed catch basin and corresponding storm sewer pipe located on the southeast side of the access drive must be sized to capture and convey the 100-year event. Provide calculations for review.
- 16) Runoff from a portion of the parking lot is flowing offsite untreated. Provide a catch basin along the NE side of the access drive at the property line to capture and convey this runoff to the underground infiltration system.
- 17) The callouts for all stormwater related utilities on this sheet must be consistent with the stormwater model.

Details (C601)

- 18) Include a 4' sump catch basin detail.
- 19) Add invert elevations to the Underground Pipe Infiltration Cross Section detail.

Landscape Plan

- 20) Submit a landscape plan for review that includes the proposed vegetation in the stormwater basin. Please consider naturalizing the southern open area using drought tolerant native trees, shrubs, and forbs.

The following items must be addressed prior to the release of the letter of credit

- i) An as-built record drawing is required for this project. Include an as-built survey of the underground storage system and associated inlet and outlet pipes prior to backfill. A list of record drawing requirements will be provided as part of the building permit review.

The following items must be addressed prior to issuance of a Certificate of Occupancy

- ii) A Stormwater Operations and Maintenance Agreement (SOMA) is required for this project. A SOMA template will be provided after the design plans have been approved.

While the following items are not required for issuance of a permit, we would like to take this opportunity to raise these points:

- a) It is highly recommended that an individual familiar with the stormwater design be on site while the infiltration practices are being constructed to ensure that they are constructed per plan.
- b) Consider installing conduit at this time for future electric vehicle charging stations for employees and guests.
- c) Consider sizing the dumpster enclosure to accommodate future food scraps recycling.
- d) Stormwater efforts that go above and beyond permit requirements are eligible for grant funds from Valley Branch Watershed District. For more information contact Tara Kelly at 651-330-8220 x43 or TKelly@mnwcd.org, or visit:
https://vbwd.org/Grants/best_management_practices_stewardship_grant_program.php

Note

For the next plan review submittal, please provide the following:

- A response to each review comment in this memo
- Revised stormwater calculations
- Revised plans

Contact Information

For questions contact Nate Christensen at: 651-762-4812 or nchristensen@whitebearlake.org or Connie Taillon at: 651- 429-8587 or ctaillon@whitebearlake.org



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



May 1, 2023

Dignisuites RE, LLC
855 Village Center Drive
St. Paul, Minnesota 55127

Dear Dignisuites:

Thank you for submitting documents for Fire Department review. The plans for the above project located at 2687 County Rd D have been evaluated. Please review the comments within this document.

Please let me know if I can assist you further.

Sincerely,

Kurt Frison
Assistant Fire Chief / Fire Marshal
651-762-4842

Encls.



City of White Bear Lake Fire Department

4701 Highway 61 N.
White Bear Lake, Minnesota 55110
651-429-8568 | www.whitebearlake.org



General Comments

1. All roads and drive lane shall meet the White Bear Lake Fire Department requirements for widths and turning radiuses. Provide layout showing White Bear Lake Fire Apparatus turning radius overlay on drive lanes. Drive lanes shall be a minimum of 20 feet in width.
2. Proper sequential address numbers shall be provide for this location. Address number shall be plainly visible from the street fronting the property and shall contrasting color from the background.
3. Install an approved emergency lock box for Fire Department emergency access to building in an **approved location**. Provide keys for emergency access into and throughout the occupancy as required. The White Bear Lake Fire Department will provide instructions for ordering from Knox when requested.
4. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems. A city permit is required **prior** to initiation of work.
5. The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. A city permit is required **prior** to initiation of work.
6. The sprinkler system shall be properly monitored by a qualified monitoring company.
7. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
8. Install compliant exit signage as required by the 2020 MSFC.
9. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
10. Provide information concerning combustibile interior finish materials used for this project. Interior finish materials shall be classified as required by 2020 MSFC as to flame spread and smoke development characteristics. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in 2020 MSFC for the group of proposed occupancy and location of interior finish. Please furnish product specification sheets listing this information.
11. The required fire-resistance rating of rated construction shall be maintained. Openings through rated construction for the passage of wiring, sleeves, conduit, piping, etc. shall



City of White Bear Lake Fire Department

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be protected by repair with approved materials which maintains the rating of the construction damaged, altered, breeched or penetrated.

12. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.
13. All appropriate licensing shall be completed prior to occupancy.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition

DIGNICARE SENIOR CHRONIC CARE
DIGNICARE RE, LLC
855 Village Center Drive
St. Paul, MN 55127

City of White Bear Lake, MN
Date 04/16/2023

PROJECT NAME: DIGNISUITES of WHITE BEAR LAKE

PROPERTY ADDRESS: 2687 County Rd. D
White Bear Lake, Minnesota, 55110

APPLICANT: **WBL DIGNISUITES RE, LLC**
855 Village Center Drive
St. Paul, Minnesota, 55127
Brian R Wings 651-366-2097
Brianwdignicare@gmail.com

DESCRIPTION OF PROPOSED DEVELOPMENT:

DJR Architecture Inc, Built4SaferLiving LLC, and Dignicare Senior Development are proposing to develop a memory care and Chronic Care management community to serve the care needs of the elderly citizens of White Bear Lake and those with elderly family members in need of memory care and assisted living services. The NEWLY DESIGNED building with touch-free clean switch and plumbing technology coupled with prewired remote monitoring and telehealth suites shows careful consideration for today's healthcare environment and realities. The DIGNISUITES Memory Care of WBL community will feature a total of 14 private suites providing memory care services and Chronic care and case management services. The residents will be able to enjoy a home-like atmosphere in a setting that allows them the freedom to participate in many amenities that not only help assist them in their daily care needs but also provide them with a higher quality of life than that offered in a more institutional setting. The memory care residents are provided with their own secured area of the building that has its own separate amenities like a congregate dining room sunroom, activity/craft area and a secure outdoor porch. These residents benefit from a life enrichment program that is specially designed for residents with Alzheimer's and Dementia. At DIGNISUITES Memory Care of White Bear Lake our goal is to provide our residents with the right care at the right time.

Building Description: Total Land Size: .70 Acres
Building Size: 7690 Sq. Ft.
Occupancy: 14 Private Suites
Floor 1: 14 High Care Memory Care Units
Building Height: 1 Story with a pitched roof

PUD APPLICATION:

Parking and Access: Hard Surface Parking (9 stalls, 1 designated handicapped will be designed with dimensions and area in accordance with state law) will provide parking for resident friends and family members along with DIGNISUITES Memory Care and Assisted Living staff. Since none of our residents drive there will not be a significant need for parking.

Analysis currently and forward

The difference between transient building occupants i.e.: those driving and with cars and fixed immobile occupants i.e.: residents

14 residents at any one time (non-driving)
3 to 4 employees
1 to 3 visitors for a total of 4 to 7 transient occupants

Access to the site from Co Rd D . There will be a covered walkway to the entrance of the building which has a small portico which extends from the vestibule entry over the walkway and partially over the sidewalk. The portico will allow for enough clearance to allow for emergency vehicles to pass and thus be able to enter and exit the site freely.

Illumination: Lighting from the installation of outdoor flood or spot lighting and illuminated signs shall be of an intensity that is reasonable for the purpose served and will be appropriately shielded minimizing the effects on the use and enjoyment of adjoining properties.

Architectural Design: The building will combine stone, residential exterior materials, columns, roofline gables, extending porches and entrances to the building. The overall look is themed after a residential building providing a feeling of warmth and comfort for the residents.

REZONING APPLICATION:

Proposed Rezoning: A request to change the zoning from the current COMMERCIAL TO R-B RESIDENTIAL BUSINESS TRANSITION DISTRICT-

The R-B Residential Business Transition district zoning classification allows for nursing homes under which the project would be allowed using a PUD (planned use development) application and permit.

“The purpose of R-B Residential Business transition district zoning classification is to provide for high density residential uses and for the transition in land use from residential to low intensity business allowing for the intermixing of such uses.”

The subject parcel is currently zoned commercial in an area containing both low intensity business and residential land uses.

The subject property and proposed use would best be used in the proposed use as a high-density residential care community in a high residential, low intensity business area .

The proposed rezoning is expected to have a positive impact on the surrounding property and land uses.

We believe this serves well as a transition between the busy roadways, the nearby businesses and the adjacent multifamily Planned Development (PD) and other nearby residential communities. Other properties along Co Rd D have been rezoned so they can take advantage of exposure to traffic along the road. The proposed DigniCare facility can make use of this exposure, and in fact is key to the success of this care model.

The proposed use will make better use of the land as few commercial enterprises can fit on the pad after setbacks, ROW, green space and parking are taken into consideration. Thus, the density-tax base and use per sq ft are maximized while actual stress to city services or surrounding area are minimized. In fact, parking and traffic impacts are far less since the residents do not operate vehicles. Dignicare will also continue to contact and work with White Bear Lake Emergency services in maintaining our shared goal of reducing unnecessary emergency calls and assuring that our staff always has a complete resident chart ready for EMT's when services are needed.

Impact on Property: Access drive, setbacks and drainage will be the major impact of the proposed use but we feel the projects impact will be minimal overall to the surrounding community and enviroment. This work will be determined by the wetland and Geo study currently being completed and anticipated to show no need for further studies. DigniCare will work with staff to assure that buffers , landscaping and drainage plans conform to the requirements set by the watershed district and satisfy the neighbors as well as staff working within the conditions set forth in the PUD.

CONCLUSION:

Thank you for your time to review our proposal. DIGNISUITES Memory Care of WHITE BEAR LAKE will provide great economic benefits to the city and community with 14 memory care suites, 16 plus full and part time jobs with annual payroll of \$550,000 and a significant contribution to the tax rolls for this property and provide services to the residents of the City and surrounding area. The opportunity for the city to provide senior care options in a very demanding market well into the future is a compelling reason to approve this application. DIGNISUITES is also one of the few Senior care providers to continue to work with the state and county Medicaid system to serve low-income residents in addition to private pay-residents. DIGNISUITES will have a Medicaid waiver contract with the county to serve high care clients .

The PUD is designed and intended to accommodate the needs of development for benefit to the community, as DIGNICARE's high level of care, access to hospice and respite will bring.

Great care has been taken to make the building attractive both as a city and neighborhood friendly addition, utilizing high quality finishes like LP smart siding, colored hard shingle in the staggered edge notched panels, smoked glass in the fake dormers, cultured stone accents and wainscoting, an extensive landscape plan with special attention to maintaining the existing buffer between the neighbors and the building.

The project will be designed exceeding the "required" landscaping and other basic requirements of code to upgrade the appearance of the building. The project will work to maintain the required setbacks from the building to lot line in the front and on the sides and back with the staff within the parameters of the PUD. Landscaping is for decorative purposes and can be moved when and if needed but provides a buffer and

ornamental screening to the residential housing on Co Rd D . As well great care is being taken to address the topography to the side and rear property line neighboring the development. Great care is being taken to maintain the maximum density of forestation buffer between the neighboring developments and the new DIGNISUITES Community. Below grade retention for drainage will be used for site drainage to assure the maximum sensitivity to natural wetlands and native grasslands and trees. Great care is being taken to maintain the maximum density of forestation of the remainder of the site despite the minimal needs for parking and efficient use of the site for the construction of the building envelope.

As we work through the grading plan, special attention will be paid to the drainage and excavation plan to assure that the drainage of this site does not disturb any more natural habitat than is necessary.

By granting the PUD, the city is gaining an attractive, tax paying member to the community in an otherwise idle property. The building is a secure building, noise is not an issue, and the neighbors should appreciate a relatively peaceful co-existence with the new project. The project will bring many benefits to the community of White Bear Lake.

Such benefits will include:

- Local Chamber of Commerce Membership
- Meeting room space including use for business, choir practice, piano recitals, girl/boy scouts, book clubs, churches etc.
- Be of host to community events
- Offer wellness clinics
- Charity drop off site for food and clothing
- Partnerships with local daycare centers
- Internship options for nursing students
- Volunteer opportunities
- Promote local businesses.

We look forward to continuing to work with the City of White Bear Lake during the review and approval process for this application. Please contact me with any questions you have on any item as I would be more than happy to discuss it in further detail.

Sincerely,

A handwritten signature in black ink that reads "Brian Wings". The signature is written in a cursive, flowing style.

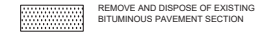
Brian Wings
DigniCare Development



DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demotions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

SYMBOL LEGEND



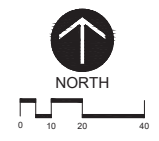
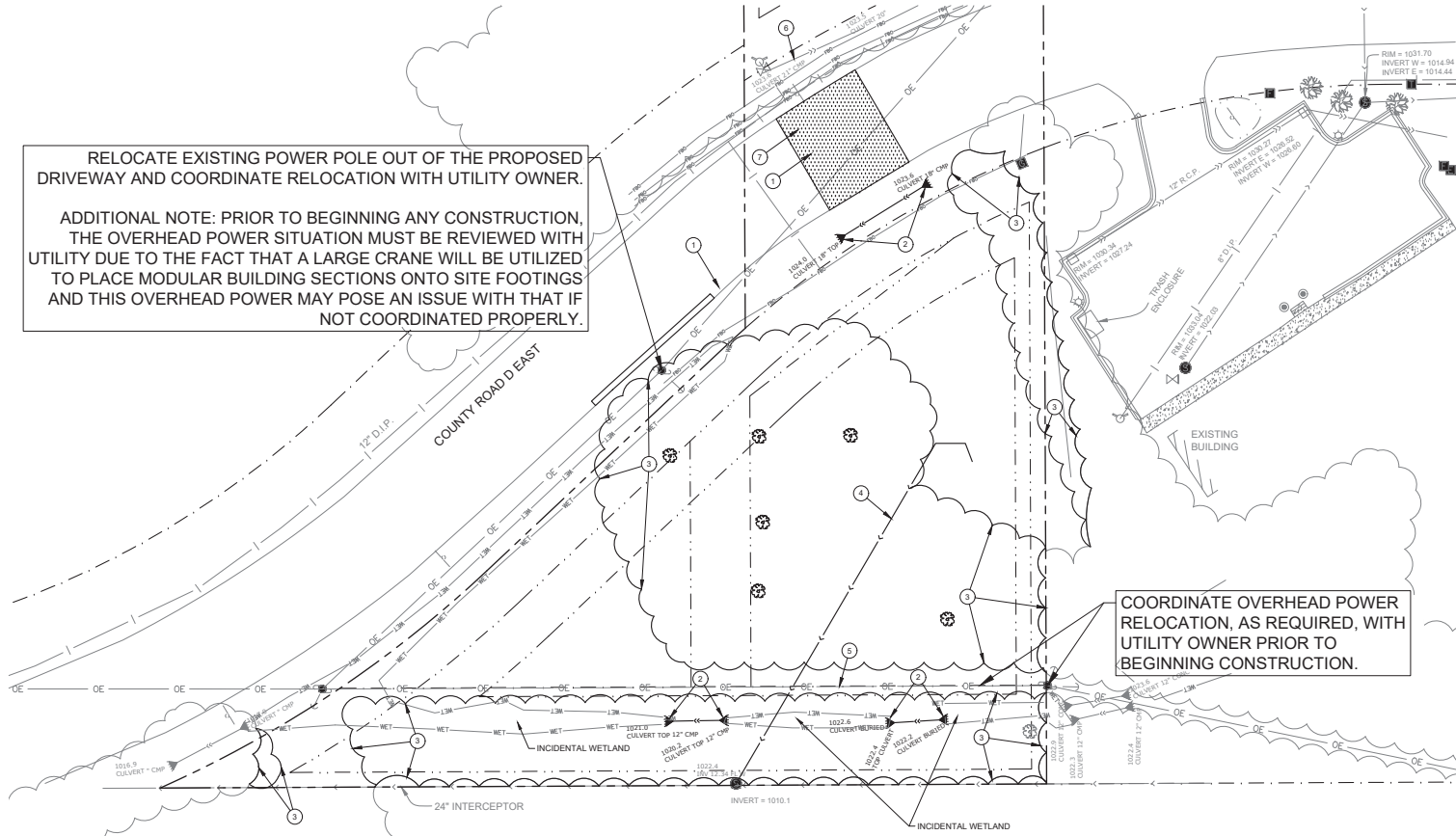
KEY NOTES

- 1 SAWCUT, REMOVE, AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT.
- 2 REMOVE AND DISPOSE OF EXISTING STORM SEWER CULVERT.
- 3 REMOVE AND DISPOSE OF EXISTING TREE, STUMP, AND ROOTS.
- 4 REMOVE AND DISPOSE OF EXISTING SANITARY SEWER, AS NEEDED, FOR THE CONSTRUCTION OF THE NEW BUILDING.
- 5 RELOCATE OVERHEAD ELECTRIC. COORDINATE WITH ELECTRIC COMPANY.
- 6 REMOVE, SALVAGE, AND REPLACE EXISTING CULVERT.
- 7 **BID ALTERNATE #1**
DIRECTIONAL DRILLING (UNDER COUNTY ROAD D EAST) OF NEW SANITARY SEWER AND NEW WATERMAIN.
DEMOLITION OF BITUMINOUS PAVEMENT **NOT NEEDED**.

RELOCATE EXISTING POWER POLE OUT OF THE PROPOSED DRIVEWAY AND COORDINATE RELOCATION WITH UTILITY OWNER.

ADDITIONAL NOTE: PRIOR TO BEGINNING ANY CONSTRUCTION, THE OVERHEAD POWER SITUATION MUST BE REVIEWED WITH UTILITY DUE TO THE FACT THAT A LARGE CRANE WILL BE UTILIZED TO PLACE MODULAR BUILDING SECTIONS ONTO SITE FOOTINGS AND THIS OVERHEAD POWER MAY POSE AN ISSUE WITH THAT IF NOT COORDINATED PROPERLY.

COORDINATE OVERHEAD POWER RELOCATION, AS REQUIRED, WITH UTILITY OWNER PRIOR TO BEGINNING CONSTRUCTION.



Larson Engineering, Inc.
3524 Labore Road
MN 55110
651.481.9129 / 651.481.9201
www.larsonengr.com

CONSTRUCTION SERVICES, INC.
11124 ZEALAND AVENUE NORTH
CHAMPLIN, MN 55316

DIGNISUITES
MEMORY CARE OF
WHITE BEAR LAKE
2687 COUNTY ROAD D,
WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff
Thomas J. Herkenhoff, P.E.
Date: 06.02.23 Lic. No.: 25520

Rev.	Date	Description

Project #: 12236063
Drawn By: KBK
Checked By: TJH
Issue Date: 06.02.23
Sheet Title:




DEMOLITION PLAN

Sheet:
C100

KEY NOTES

- ① NEW SIDEWALK, SEE DETAIL 2/C600
- ② NEW B612 CONCRETE CURB, SEE DETAIL 4/C600
- ③ NEW PARKING SIGN AND POST, SEE DETAIL 5/C600
A: ADA PARKING
B: ADA ACCESS AISLE
- ④ NEW RETAINING WALL, SEE DETAIL 6/C600
- ⑤ **BID ALTERNATE #1**
DIRECTIONAL DRILLING (UNDER COUNTY ROAD D EAST) OF
NEW SANITARY SEWER AND NEW WATERMAIN.
NEW BITUMINOUS PAVEMENT NOT NEEDED.

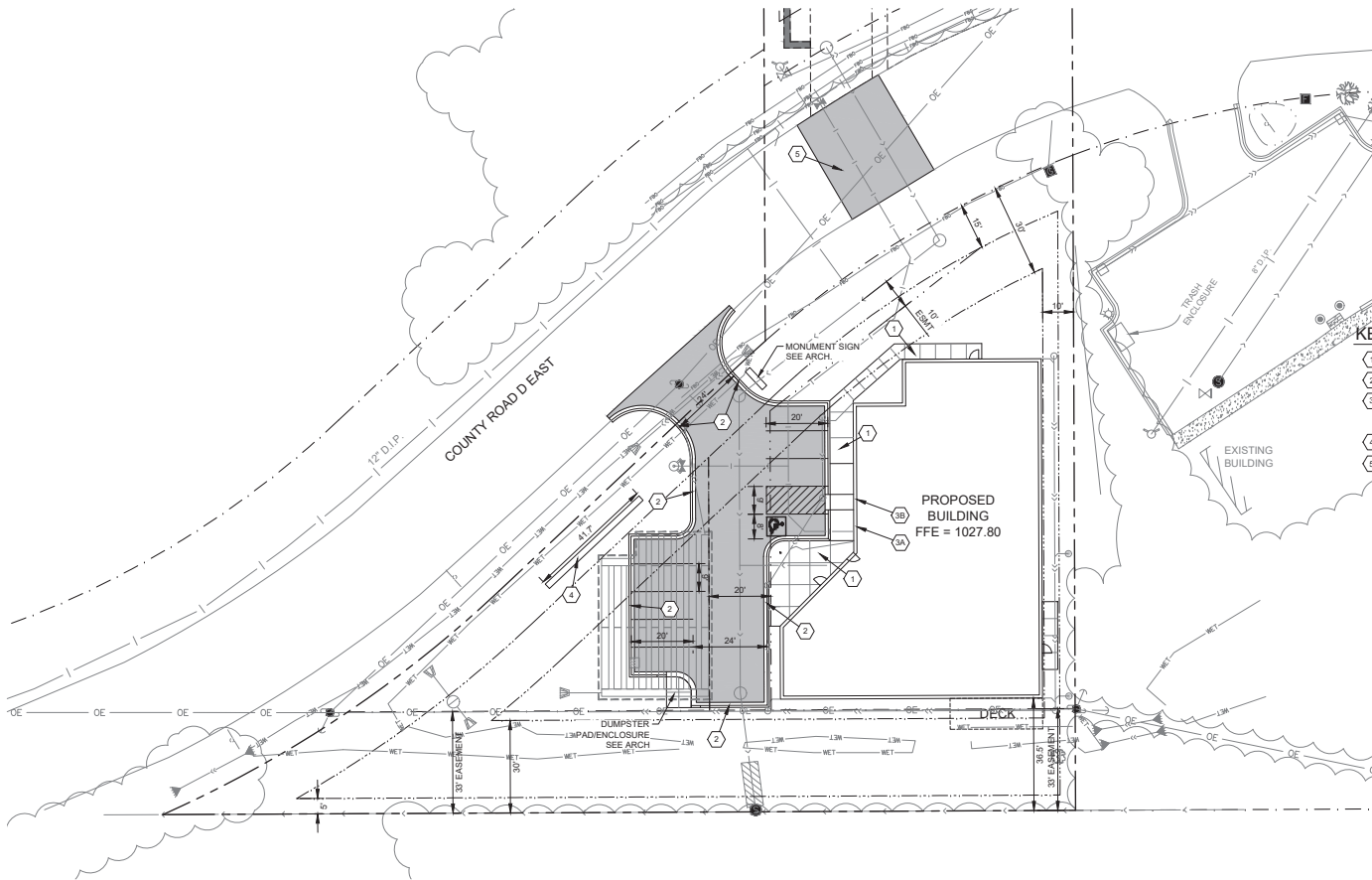
SYMBOL LEGEND

-  NEW BITUMINOUS PAVEMENT
SEE DETAIL 1/C600
-  NEW CONCRETE PAVEMENT
SEE DETAIL 2/C600
-  NEW INTEGRAL CURB & SIDEWALK
SEE DETAIL 3/C600

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SIGNIFY LIGHT-DUTY CONCRETE PAVEMENT. ACTUAL JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

GENERAL

-  PROPERTY LINE
-  EASEMENT LINE
-  RIGHT-OF-WAY LINE
-  SETBACK LINE



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3524 Labore Road
Champlin, MN 55310
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www.larsonengr.com
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CONSTRUCTION SERVICES, INC.
11124 ZEALAND AVENUE NORTH
CHAMPLIN, MN 55316

DIGNISUITES
MEMORY CARE OF
WHITE BEAR LAKE
2687 COUNTY ROAD D,
WHITE BEAR LAKE, MN 55110

PRELIMINARY NOT FOR CONSTRUCTION

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff
Thomas J. Herkenhoff, P.E.

Date: 06.02.23 Lic. No.: 25520

Rev.	Date	Description

Project #: 12236063
Drawn By: KBK
Checked By: TJH
Issue Date: 06.02.23

Sheet Title:
PAVING AND DIMENSION PLAN
Sheet:
C200

EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (silt fence, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The top of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.

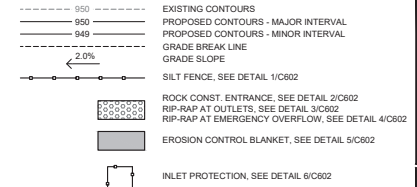
EROSION CONTROL NOTES

- All rigrap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with silt protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All BMPs must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the capacity of the BMP. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.

EROSION CONTROL NOTES

- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

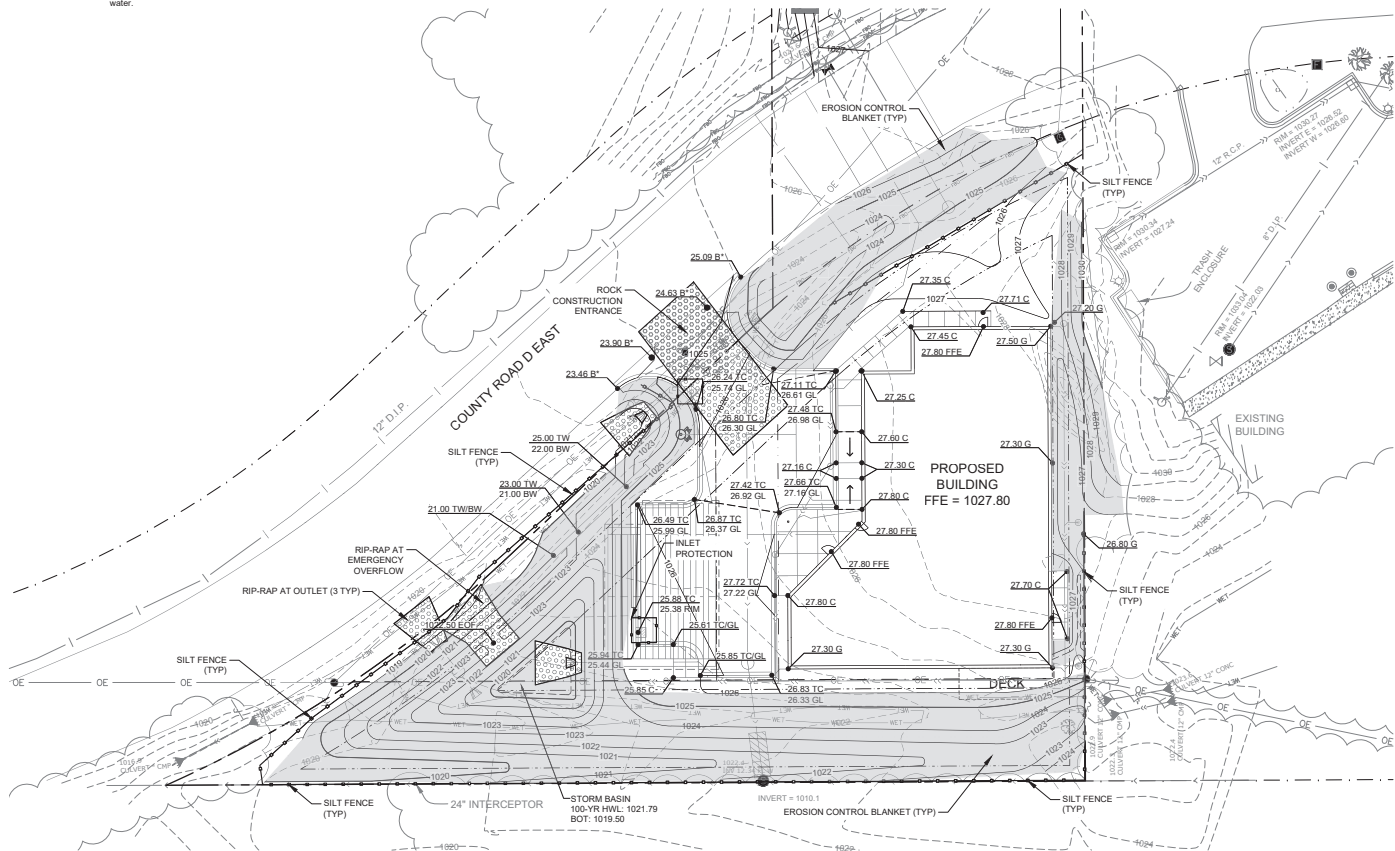
SYMBOL LEGEND



SPOT ABBREVIATIONS:
 TC - TOP OF CURB
 GL - GUTTER LINE
 B - BITUMINOUS
 C - CONCRETE
 EOF - EMERGENCY OVERFLOW
 FFE - FINISHED FLOOR ELEVATION
 (*) - EXISTING TO BE VERIFIED

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- All disturbed areas to receive 4" of good quality topsoil and sod.
- All construction shall be performed in accordance with state and local standard specifications for construction.



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Sheet Title:
GRADING AND EROSION CONTROL PLAN

Sheet:
C300

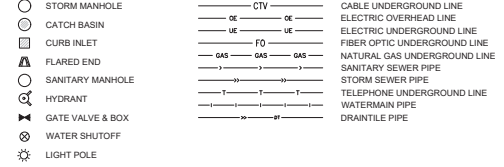
UTILITY NOTES

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
- All RCP pipe shown on the plans shall be M/NDOT class 3.

UTILITY NOTES

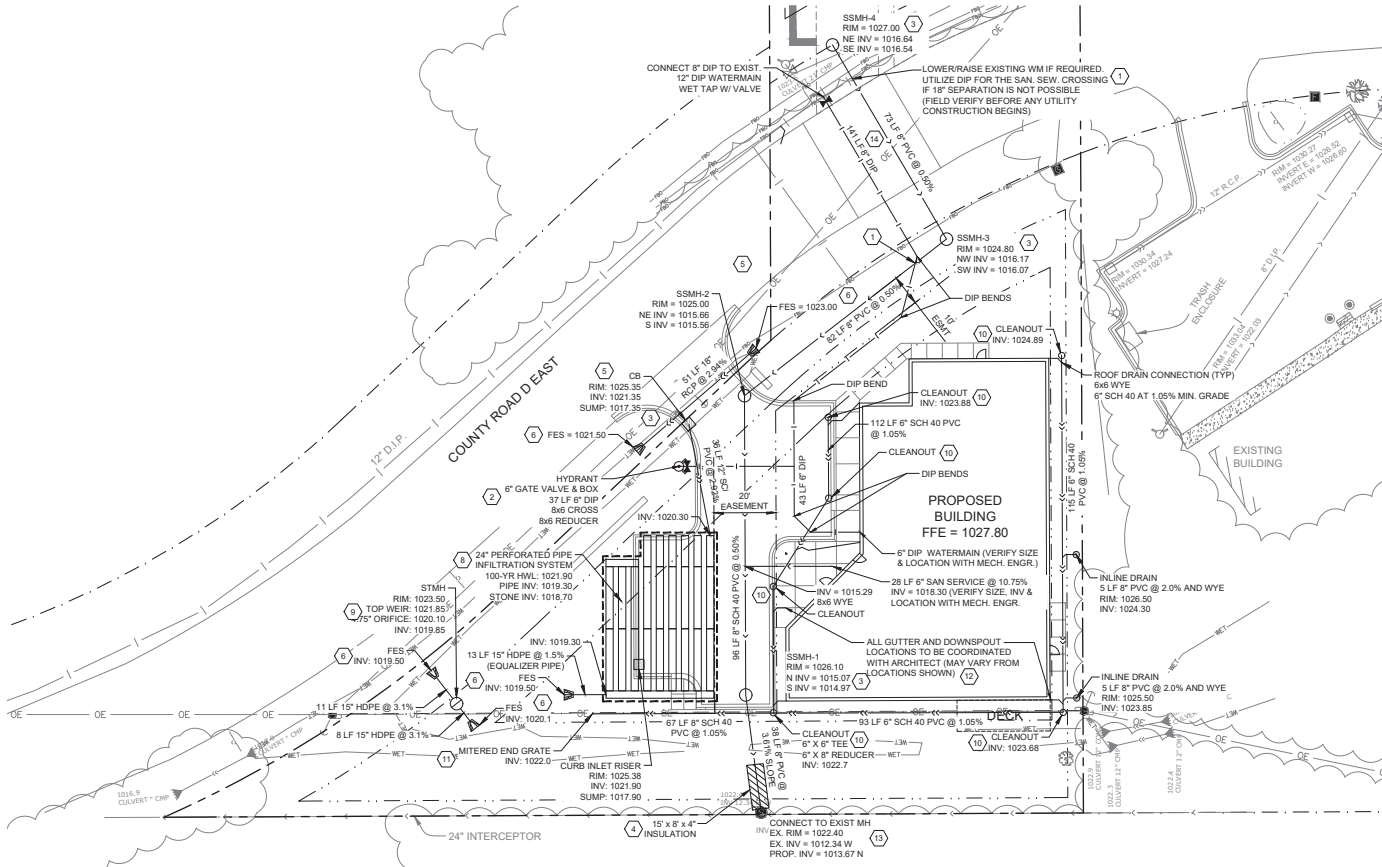
- Maintain a minimum of 8" of cover over all water lines and sanitary sewer lines. Where 6" of cover is not provided, install 2" rigid polystyrene insulation (M/NDOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 6" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5", use 4" of insulation.
- Install water lines 18" above sewers. Where the sewer is less than 18" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
- All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
- See Project Specifications for bedding requirements.
- Pressure test and disinfect all new watermains in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12'; PVC SDR-26 for depths between 12' and 20'; and class 52 D.I.P. for depths of 20' or more.
- A structure adjustment shall include removing and salvaging the existing casting assembly, removing existing concrete rings to the precast section. Install new rings and skeloped casting to proposed grades, cleaning casting flange by mechanical means to insure a sound surface and install an external chimney seal from casting to precast section. Chimney seals shall be Infi-Shield Uni-Band or an approved equal.

SYMBOL LEGEND



KEY NOTES

- WATERMAIN/SEWER CROSSING. SEE DETAIL 7/C600
 - NEW HYDRANT & GATE VALVE INSTALLATION. SEE DETAIL 8/C600
 - NEW SANITARY SEWER MANHOLE. SEE DETAIL 1/C601
 - NEW PIPE INSULATION. SEE DETAIL 2/C601
 - NEW FLARED END SECTION (RCP PIPE). SEE DETAIL 3A/C601
 - NEW FLARED END SECTION (HDPE PIPE). SEE DETAIL 3B/C601
 - NEW CATCH BASIN MANHOLE. SEE DETAIL 4/C601
 - NEW UNDERGROUND STORAGE. SEE DETAIL 5/C601
 - NEW OUTLET CONTROL STRUCTURE MANHOLE. SEE DETAIL 6/C601
 - NEW STORM SEWER CLEANOUT. SEE DETAIL 7/C602
 - NEW MITERED END GRATE. SEE DETAIL 8/C602
 - NEW ROOF DRAIN CONNECTION. SEE DETAIL 9/C602
- NEW SANITARY SEWER CONNECTION TO EXISTING MANHOLE. CONTRACTOR TO RE-USE LOCATION OF EXISTING 4" SEWER IF ANGLE AND ELEVATION MATCH PROPOSED. OTHERWISE, CORE DRILL IN CORRECT LOCATION AND PATCH EXISTING HOLE PER MET COUNCIL STANDARDS.
- DEMOLISH EXISTING 4" SCH 40 PVC AND QWIK SEAL. CORE DRILL EXISTING RCP/FRP SANITARY MH. DO NOT ALLOW CORE TO FALL INTO SEWER.
 - FIRST LENGTH OF PIPE SHALL BE C800 PIPE. FURNISH AND INSTALL ICES DETAIL 020071 TYPE B CONNECTOR TO EXTERIOR ROP MH (DETAIL 1/C603).
 - COMPACT SOILS BENEATH LATERAL AND AROUND MH TO AT LEAST 85% OF THE MAXIMUM ACHIEVABLE COMPACTION.
 - BOND PVC TO INTERIOR OF FRP MH PER THE STUB BONDING DETAIL (DETAIL 2/C603).
 - FOLLOW ALL MET COUNCIL REQUIREMENTS AND CONTACT MET COUNCIL, AS REQUIRED, BEFORE BEGINNING CONSTRUCTION.
- BID ALTERNATE #1**
- DIRECTIONAL DRILLING (UNDER COUNTY ROAD D EAST) OF NEW SANITARY SEWER AND NEW WATERMAIN.



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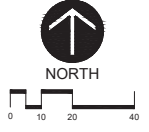
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Project #: 12336063
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 Sheet Title: **UTILITY PLAN**
 Sheet: **C400**



STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE

PROJECT DESCRIPTION / LOCATION

THE PROJECT CONSISTS OF GRADING, BUILDING, AND PARKING LOT CONSTRUCTION LOCATED ON THE SOUTH SIDE OF COUNTY ROAD D IN WHITE BEAR LAKE, MN.

THE PROJECT INCLUDES:
 *GRADING
 *PONDING
 *UTILITIES
 *STORM SEWER
 *TURF ESTABLISHMENT

PLANS

THE PLANS SHOW THE PROJECT LIMITS.

ENVIRONMENTALLY SENSITIVE AREAS

PUBLIC WATERS LOCATED WITHIN 1 MILE OF THE PROJECT BOUNDARY AREA IDENTIFIED IN THE TABLE BELOW.

RECEIVING WATERS	IMPAIRMENT
Silver Lake	Nutrients

OUTSTANDING RESOURCE VALUE WATERS (ORVWs)

OUTSTANDING RESOURCE VALUE WATERS WITHIN 1 MILE OF THE PROJECT BOUNDARY:
 NA

CALCAREOUS FENS

IN PROCESS: CALCAREOUS FENS WITHIN 1 MILE OF THE PROJECT BOUNDARY.

ARCHAEOLOGICAL, HISTORICAL, AND ARCHITECTURAL RESOURCES

IN PROCESS: ARCHAEOLOGICAL, HISTORICAL, OR ARCHITECTURAL RESOURCES WITHIN THE PROJECT BOUNDARY.

ENDANGERED AND THREATENED SPECIES REVIEW

IN PROCESS: ENDANGERED OR THREATENED SPECIES IDENTIFIED WITHIN THE PROJECT BOUNDARY.

TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS

NA

LAND FEATURE CHANGES (overall)

TOTAL PROJECT AREA DISTURBED:	0.80 ACRES
TOTAL EXISTING IMPERVIOUS SURFACE AREA:	0.0 ACRES
TOTAL EXISTING PERVIOUS SURFACE AREA:	0.80 ACRES
TOTAL PROPOSED IMPERVIOUS SURFACE AREA:	0.30 ACRES
TOTAL PROPOSED PERVIOUS SURFACE AREA:	0.50 ACRES

TIMING OF BMP INSTALLATION

THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE, AND SHALL MEET THE NPDES PERMIT PART IV CONSTRUCTION ACTIVITY REQUIREMENTS.

DRAINAGE COMPUTATIONS

STORMWATER PONDING CALCULATIONS CAN BE RECEIVED UPON REQUEST.

PROJECT CONTACTS

PROJECT ENGINEER:
 LARSON ENGINEERING
 TOM HERKENHOFF
 816 W. ST. GERMAIN STREET, SUITE 308
 ST. CLOUD, MN 56301
 320-428-2824

OWNER REPRESENTATIVE:
 DIGNICARE AND SUITE LIVING
 BRIAN WINGES
 855 VILLAGE CENTER DRIVE, SUITE 358
 ST. PAUL, MN 55127
 651-366-2097

CONTRACTOR:
 TO BE DETERMINED

MPCA 24 HOUR EMERGENCY NOTIFICATION:

651-649-5451
 909-422-0799

CONSTRUCTION NOTES

CONSTRUCTION SHALL BE GOVERNED BY THE PROJECT MANUAL. THE CONTRACTOR SHALL KEEP AND MAINTAIN THE INSPECTION AND MAINTENANCE RECORDS.

STORMWATER MANAGEMENT

STORM WATER IS BEING TREATED BY A REGIONAL MUNICIPAL POND LOCATED OFF SITE. THE POND OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE EXISTING POND AFTER PROJECT COMPLETION AND ACCEPTANCE.

SEQUENCE OF CONSTRUCTION ACTIVITIES

- INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLANS.
- COMPLETE THE REMOVALS AS NOTED ON THE PLANS.
- CONSTRUCT ALL TEMPORARY SEDIMENT TRAPS.
- CONSTRUCT DOWNSTREAM STORM SEWER.
- CONDUCT SITE GRADING.
- TEMPORARILY SEED DENUDEED AREAS PER NPDES REQUIREMENTS.
- CONTINUALLY STABILIZE THE NORMAL WETTER PERIMETER OF ALL AREAS WITHIN THE 200 LINEAL FEET OF THE SURFACE WATER OR THE PROPERTY EDGE.
- COMPLETE PERMANENT STABILIZATION.
- SUBMIT NOTICE OF TERMINATION (NOT)

BMP PROJECT QUANTITY ESTIMATE (PHASE 2)

(QUANTITIES ARE AN ESTIMATE ONLY AND MAY VARY. BMPs FOR PROJECT WILL BE BID AS LUMP SUM)

SILT FENCE:	550 LF +/-
CATCH BASIN/INLET PROTECTION:	1 EA
TEMPORARY TURF ESTABLISHMENT:	0.40 AC +/-
PERMANENT TURF ESTABLISHMENT:	0.80 AC +/-
EROSION CONTROL BLANKET:	1300 SY +/-
ROCK CONSTRUCTION ENTRANCE:	1 EA

STORM WATER POLLUTION PREVENTION PLAN (CONSTRUCTION ACTIVITY REQUIREMENTS)

- THE CONTRACTOR WILL NEED TO IDENTIFY AN EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO WILL BE KNOWLEDGEABLE AND HAS THE APPROPRIATE MPCA LICENSURE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES.
- THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE, DURING AND AFTER CONSTRUCTION AS REQUIRED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE CONSTRUCTION STORMWATER PERMIT.
- THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.
- THE CONTRACTOR WILL PREPARE A WRITTEN WEEKLY SCHEDULE OF PROPOSED EROSION CONTROL ACTIVITIES FOR THE PROJECT ENGINEERS APPROVAL.
- THE CONTRACTOR WILL PREPARE AND SUBMIT A SITE PLAN FOR THE FOR THE PROJECT ENGINEERS APPROVAL FOR WORK IN CRITICAL AREAS AS IDENTIFIED ON THE PLANS OR AS REQUESTED BY THE PROJECT ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY REMOVAL WORK AND/OR DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL THE POTENTIAL FOR EROSION HAS BEEN ELIMINATED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE THAT HAS TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITY COMPLETION.
- WORK IN DRAINAGE SWALES OR THE NORMAL WETTED PERIMETER OF ANY SURFACE WATER WILL REQUIRE STABILIZATION WITHIN 24 HOURS OF CONNECTION. THESE AREAS WILL INCLUDE ALL AREAS THAT DRAIN WATER WITHIN 200 FEET FROM THE PROPERTY EDGE OR POINT OF DISCHARGE TO ANY SURFACE WATER. RAPID STABILIZATION WILL BE USED IN THESE AREAS.
- OUTLETS INTO SURFACE WATERS SHALL BE STABILIZED WITH ENERGY DISSIPATION WITHIN 24 HOURS.
- DITCHES AND EXPOSED SOILS MUST BE KEPT IN A SMOOTH ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES AND BLANKETS.
- ALL EXPOSED SOIL AREAS WILL BE STABILIZED PRIOR TO THE ONSET OF WINTER. ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, OR BLANKETED.
- SEDIMENT CONTROL DEVICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THE TIMING OF THE INSTALLATION OF THE SEDIMENT CONTROL DEVICES CAN BE ADJUSTED TO ACCOMMODATE SHORT TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL DEVICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED IN ACCORDANCE WITH THE NPDES PERMIT.
 - SILT FENCE SHALL BE INSTALLED SO THAT IT FOLLOWS AS CLOSE AS POSSIBLE TO A SINGLE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS WITH THE SILT FENCE J-HOOKED AT A MAXIMUM OF 100 FOOT INTERVALS AND SHALL CONTAIN NO MORE THAN 1/4 ACRE OF DRAINAGE AREA.
 - DITCH CHECKS WILL BE INSTALLED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
 - *TEMPORARY DITCH CHECKS WILL CONSIST OF USING ROCK DITCH CHECKS AND ROCK KEEPERS IN FRONT OF CULVERT INLETS.
 - SEDIMENT DAMAGE FROM STOCKPILES WILL BE MINIMIZED BY PLACING A ROW OF SILT FENCE 6 FEET FROM THE TOE.
 - ALL EXPOSED STOCKPILES LEFT FOR A PERIOD OF TIME SHALL BE TEMPORARILY STABILIZED ACCORDING TO THE NPDES PERMIT REQUIREMENTS.
- STREET SURFACES SHALL BE SWEEP WITHIN 24 HOURS OF DISCOVERY OF SEDIMENT OR TRACKING WITH A VACUUM OPERATED BROOM SWEEPER. NO OPEN-BROOM SWEEPERS WILL BE ALLOWED.
- STORM SEWER INLETS WILL BE PROTECTED WITH THE APPROPRIATE BMPs FOR EACH SPECIFIC PHASE OF CONSTRUCTION.
- THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS REGARDING POLLUTION PREVENTION MANAGEMENT DURING CONSTRUCTION, WHICH WILL INCLUDE PROVIDING:
 - CONCRETE WASHOUT FACILITIES/PROCESSES ACCORDING TO THE NPDES PERMIT REQUIREMENTS
 - SOLID WASTE COLLECTION AND REMOVAL
 - SECONDARY CONTAINMENT
 - HAZARDOUS WASTE STORAGE CONTAINERS AND SPILL KITS

- DEWATERING OR BASIN DRAINING ACTIVITIES OF TURBID OR SEDIMENT LADEN WATER WILL BE DISCHARGED TO TEMPORARY SEDIMENT BASINS WHENEVER POSSIBLE. IN THE EVENT THAT IT IS NOT POSSIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN THE WATER MUST BE TREATED SO THAT IT DOES NOT ADVERSELY AFFECT RECEIVING WATERS OR DOWNSTREAM LANDOWNERS.
- THE CONTRACTOR WILL NEED TO PROVIDE A LICENSED EROSION CONTROL SUPERVISOR WHO CAN INSPECT THE SITE FOR NPDES PERMIT COMPLIANCE. MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES (BMPs) WILL BE REQUIRED AS SET FORTH IN THE PREVIOUSLY NAMED SECTIONS.
 - THE EROSION CONTROL SUPERVISOR WILL NEED TO CONDUCT ROUTINE INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE AS REQUIRED BY THE NPDES PERMIT
 - DATE AND TIME OF INSPECTION
 - NAME OF PERSONS CONDUCTING INSPECTIONS
 - CORRECTIVE ACTIONS TAKEN
 - DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS
 - DOCUMENTS AND CHANGES MADE TO THE SWPPP
 - MAINTENANCE ACTIVITIES
- MAINTENANCE WILL BE PERFORMED WITHIN A PERIOD PER PERMIT REQUIREMENTS.
 - SILT FENCE REPAIRS SHOULD BE MADE WHEN IT BECOMES NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OF THE FENCE
 - INLET PROTECTION DEVICES SHOULD BE REPAIRED WHEN THEY BECOME NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT AND/OR DEPTH OF THE DEVICE
 - TEMPORARY SEDIMENT BASIN MUST HAVE THE SEDIMENT REMOVED ONCE THE SEDIMENT HAS REACHED 1/2 THE STORAGE VOLUME
 - TRACKED SEDIMENT MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OF OFF SITE TRACKING ONTO PAVED SURFACES
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL BMPs UNTIL WORK HAS BEEN COMPLETED. SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT
- BURNING OF TREES, BRUSH, OR OTHER VEGETATED MATERIAL IS NOT ALLOWED WITHIN THE PROJECT BOUNDARIES.
- THE CONTRACTOR MAY SKIP TEMPORARY OR RAPID STABILIZATION METHODS IF THEY CHOOSE TO STABILIZE AN AREA WITH PERMANENT STABILIZATION WITHIN THE APPROPRIATE TIME FRAMES OUTLINED IN THE PERMIT FOR THE DIFFERENT ACTIVITIES.
- ALL SEDIMENT DEPOSITED INTO A WATER OF THE STATE MUST BE REMOVED IMMEDIATELY OR AS REQUIRED BY THE NPDES PERMIT.

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SWPPP

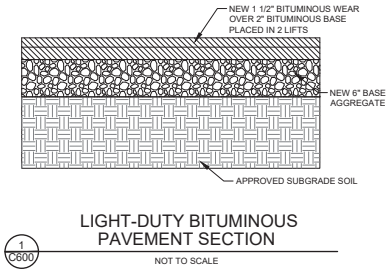
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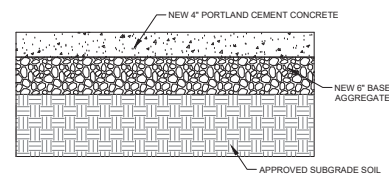
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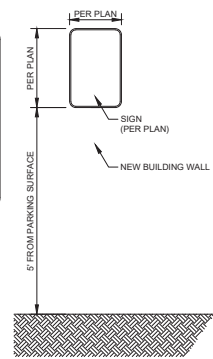
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1 LIGHT-DUTY BITUMINOUS PAVEMENT SECTION
NOT TO SCALE

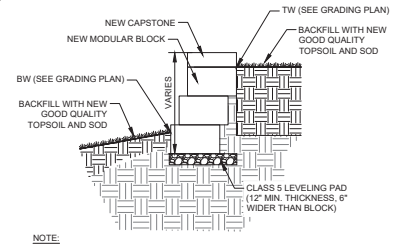


2 CONCRETE CONSTRUCTION DETAIL
NOT TO SCALE



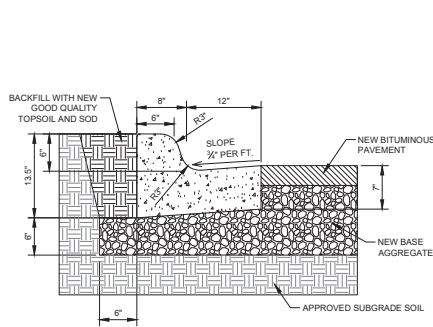
NOTES:
1. ALL SIGNS TO BE INSTALLED IN ACCORDANCE WITH MMUTCD AND MNDOT CURRENT STANDARD SIGNS MANUAL.
2. ALL SIGNS SHALL BE REVIEWED AND APPROVED BY OWNER/ENGINEER PRIOR TO CONSTRUCTION.

5 PARKING SIGN DETAIL
NOT TO SCALE

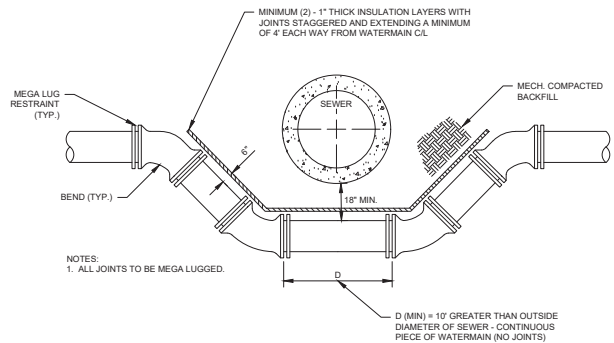


NOTE:
1. RETAINING WALL SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

6 RETAINING WALL DETAIL
NOT TO SCALE



4 B612 CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

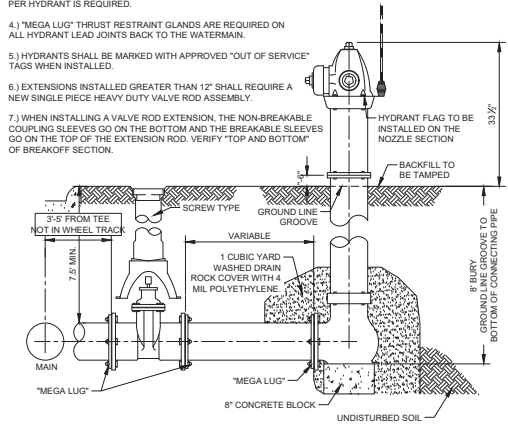


NOTES:
1. ALL JOINTS TO BE MEGA LUGGED.

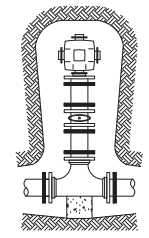
7 WATERMAIN/SEWER CROSSING DETAIL
NOT TO SCALE

NOTES:

- 1.) HYDRANT SPECIFICATIONS PER CITY STANDARDS.
- 2.) ALL HYDRANT LEADS SHALL BE VALVED.
- 3.) ONE (1) 5" HYDRAFINDER WITH SPRING BASE HYDRANT FLAG PER HYDRANT IS REQUIRED.
- 4.) "MEGA LUG" THRUST RESTRAINT GLANDS ARE REQUIRED ON ALL HYDRANT LEAD JOINTS BACK TO THE WATERMAIN.
- 5.) HYDRANTS SHALL BE MARKED WITH APPROVED "OUT OF SERVICE" TAGS WHEN INSTALLED.
- 6.) EXTENSIONS INSTALLED GREATER THAN 12" SHALL REQUIRE A NEW SINGLE PIECE HEAVY DUTY VALVE ROD ASSEMBLY.
- 7.) WHEN INSTALLING A VALVE ROD EXTENSION, THE NON-BREAKABLE COUPLING SLEEVES GO ON THE BOTTOM AND THE BREAKABLE SLEEVES GO ON THE TOP OF THE EXTENSION ROD. VERIFY "TOP AND BOTTOM" OF BREAKOFF SECTION.



8 HYDRANT & GATE VALVE INSTALLATION DETAIL
NOT TO SCALE



HYDRANT LEADS



NOTES:
1. MEGALUGS TO BE USED AT ALL MECHANICAL JOINTS
2. PLACE CONCRETE BLOCK UNDER ALL GATE VALVES AND HYDRANTS
3. THRUST BLOCKING AT ALL TEES, BENDS, AND AT HYDRANTS
4. ALL BOLTS INCLUDING T-BOLTS SHALL BE COR-BLUE.

9 TYPICAL MEGALUG AND THRUST BLOCK LOCATIONS
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Client:
DIGNISUITES
 MEMORY CARE OF
 WHITE BEAR LAKE
 2687 COUNTY ROAD D,
 WHITE BEAR LAKE, MN 55110

Project Title:
CONSTRUCTION SERVICES, INC.
 11124 ZEALAND AVENUE NORTH
 CHAMPLAIN, MN 55316

Larson Engineering, Inc.
 3524 Labore Road
 INDEPENDENCE, MN 55110
 651.481.9120 (F) 651.481.1201
 www.larsonengr.com
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I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

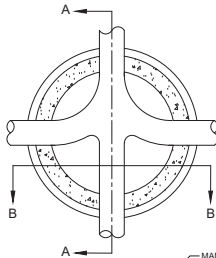
Thomas J. Herkenhoff
 Thomas J. Herkenhoff, P.E.
 Date: 06.02.23 Lic. No.: 25520

Rev.	Date	Description

Project #: 12236063
 Drawn By: KBK
 Checked By: TJH
 Issue Date: 06.02.23
 Sheet Title:

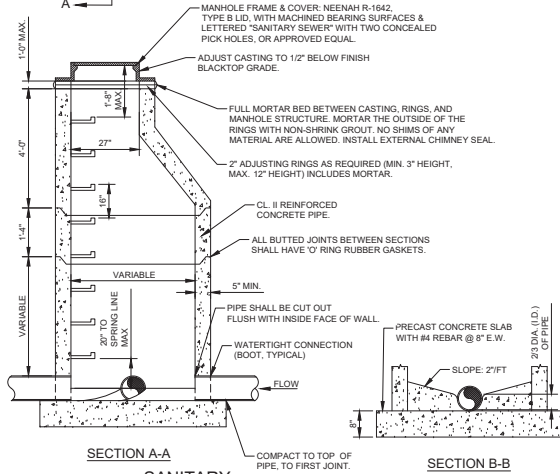
DETAILS

Sheet:
C600



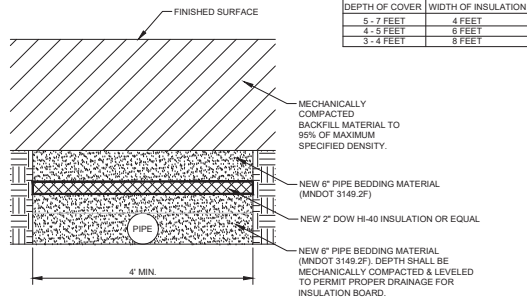
NOTES:

- 1.) GROUT BOTTOM OF MANHOLE TO 1/2" OR 2/3 DIAMETER OF PIPE AND SLOPE GROUT 2" PER FOOT.
- 2.) 1/4" TO 1/2" IS MAX. MORTAR THICKNESS WITH USED FOR CASTING ADJUSTMENT.
- 3.) COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT OR APPROVED EQUAL, STEPS 16" O.C. DOWNSTREAM SIDE.
- 4.) NON-A-SEAL MANHOLE OR EQUAL CONSIDERED ACCEPTABLE ALTERNATE.



SECTION A-A
SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE

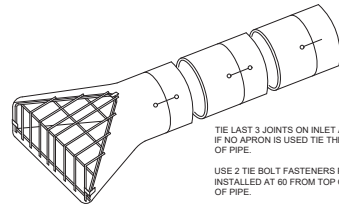
1
C601



PIPE INSULATION DETAIL

NOT TO SCALE

2
C601



TIE LAST 3 JOINTS ON INLET AND OUTLET. IF NO APRON IS USED TIE THE LAST 3 SECTIONS OF PIPE.

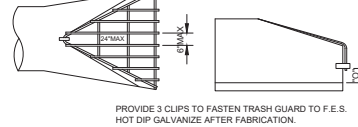
USE 2 TIE BOLT FASTENERS PER JOINT INSTALLED AT 60° FROM TOP OR BOTTOM OF PIPE.

USE 5/8" TIE FOR PIPE SIZES 12" TO 27". USE 3/4" TIE FOR PIPE SIZES 30" TO 66". USE 1" TIE FOR PIPE SIZES OVER 72".

NUTS AND WASHERS ARE NOT REQUIRED ON PIPE SIZE LESS THAN 21".

TRASH GUARDS WILL BE REQUIRED ON 18" OR LARGER PIPE.

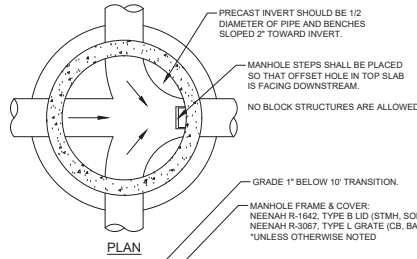
SIZE OF PIPE	BAR	BOLTS	TIE
12" TO 18"	3/4"	5/8"	4"
21" TO 42"	1"	3/4"	6"
48" TO 72"	1-1/4"	1"	12"



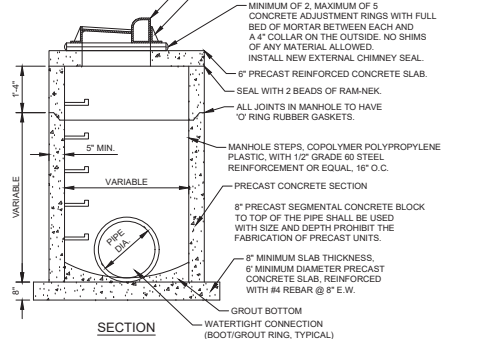
FLARED END SECTION DETAIL

NOT TO SCALE

3A
C601



PLAN

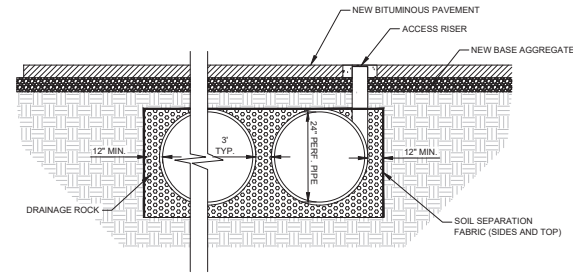


SECTION

CATCH BASIN MANHOLE DETAIL

NOT TO SCALE

4
C601



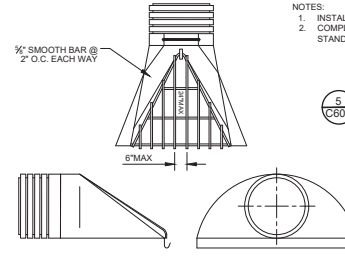
NOTES:

1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
2. COMPLETE NECESSARY TESTING TO CONFIRM INFILTRATION RATE AS REQUIRED BY LOCAL STANDARDS.

UNDERGROUND PIPE INFILTRATION CROSS SECTION

NOT TO SCALE

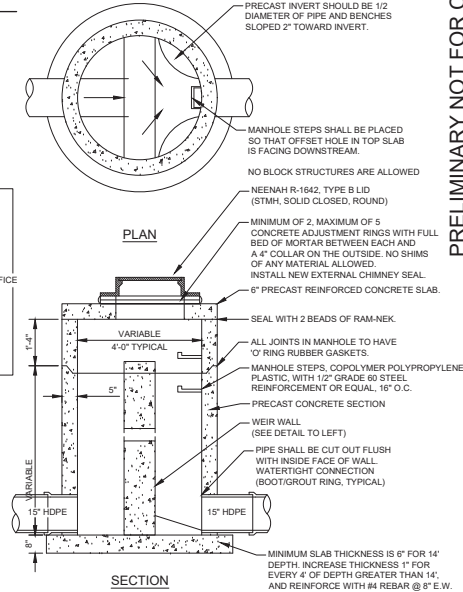
5
C601



FLARED END SECTION DETAIL

NOT TO SCALE

3B
C601



PLAN

SECTION

OUTLET CONTROL STRUCTURE MANHOLE DETAIL

NOT TO SCALE

6
C601

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Larson Engineering, Inc.
3524 Labore Road
MN 55110
651.481.9120 (F) 651.481.1201
www.larsonengr.com

CONSTRUCTION SERVICES, INC.
11124 ZEALAND AVENUE NORTH
CHAMPLAIN, MN 55316

DIGNISUITES MEMORY CARE OF WHITE BEAR LAKE
2687 COUNTY ROAD D,
WHITE BEAR LAKE, MN 55110

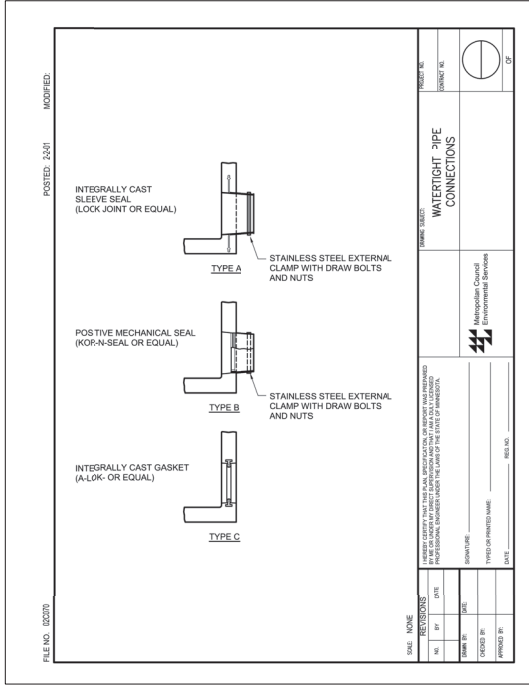
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: 06.02.23 Lic. No.: 25520

Rev.	Date	Description

Project #: 1233063
Drawn By: KKB
Checked By: TJH
Issue Date: 06.02.23
Sheet Title:

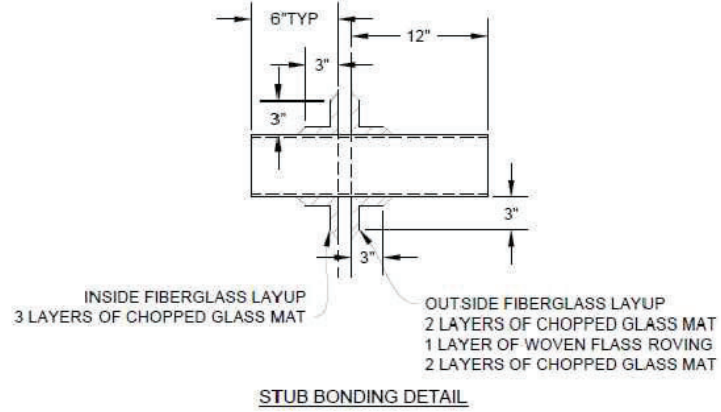
Sheet: **C601**



1
C603

WATERTIGHT PIPE CONNECTIONS

NOT TO SCALE



2
C603

STUB BONDING DETAIL

NOT TO SCALE

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Project Title:
**DIGNISUITES
MEMORY CARE OF
WHITE BEAR LAKE**
2687 COUNTY ROAD D,
WHITE BEAR LAKE, MN 55110

Client:
**CONSTRUCTION
SERVICES, INC.**
1124 ZEALAND AVENUE NORTH
CHAMPLIN, MN 55316

**Larson
Engineering, Inc.**
3524 Labore Road
White Bear Lake, MN 55110
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Thomas J. Herkenhoff
Thomas J. Herkenhoff, P.E.

Date: 06.02.23 Lic. No.: 25520

Rev.	Date	Description

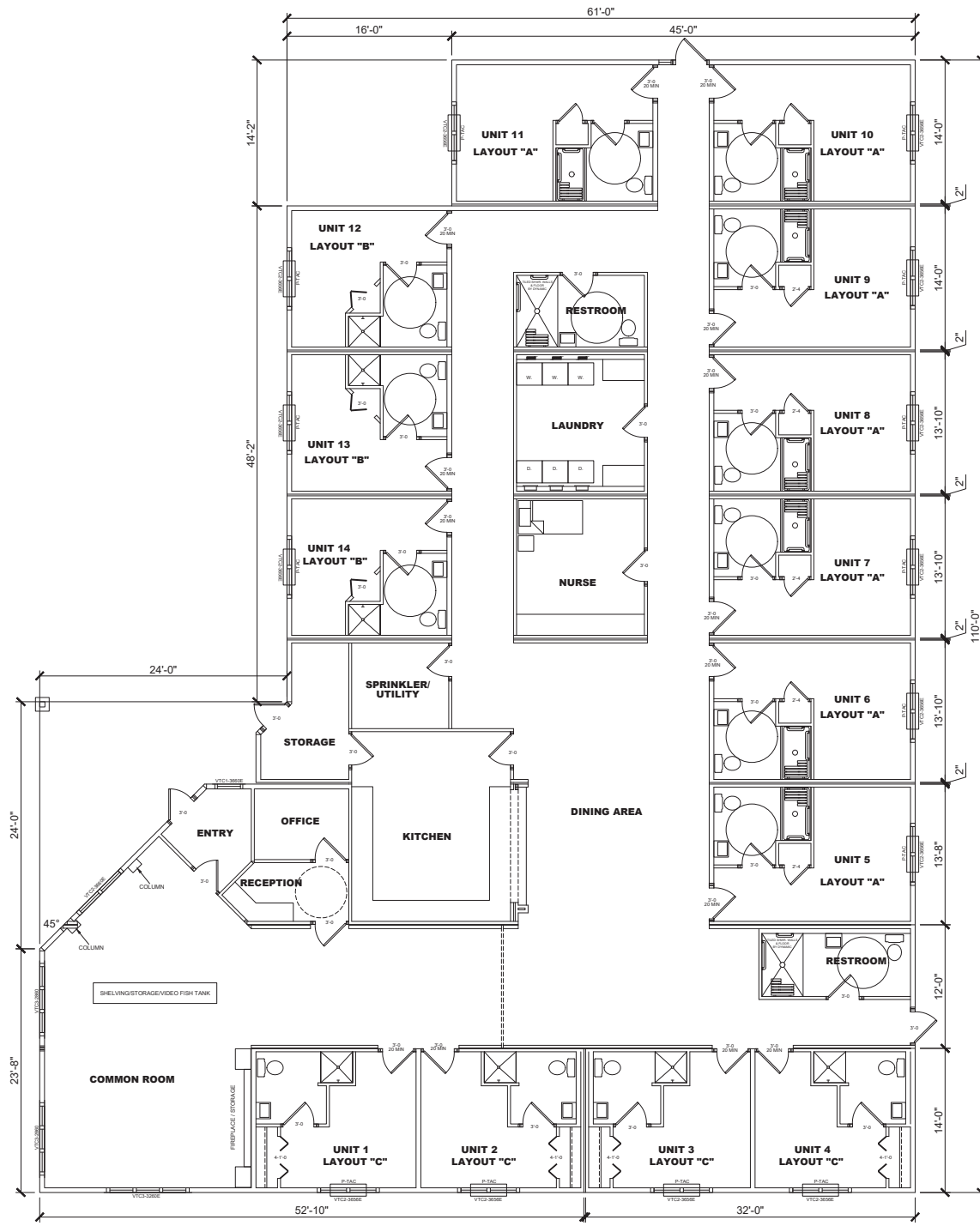
Project #: 12236063
Drawn By: KBK
Checked By: TJH
Issue Date: 06.02.23

Sheet Title:

DETAILS

Sheet:

C603




FLOOR PLAN
 1/8" = 1'-0"

NOTES
 7,327 SQ. FT.
 4/12 ROOF PITCH
 W/ 12" RAFTER TAILS
 9' CEILINGS THROUGH OUT

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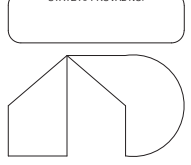
Q9503

MODEL NO:
MEMORY CARE

UNIT LETTERS

HOUSE NO.

STATE APPROVAL NO.



DYNAMIC HOMES LLC

525 ROOSEVELT P.O. BOX 1137
 DETROIT LAKES MINNESOTA
 56502 (218) 847-2611

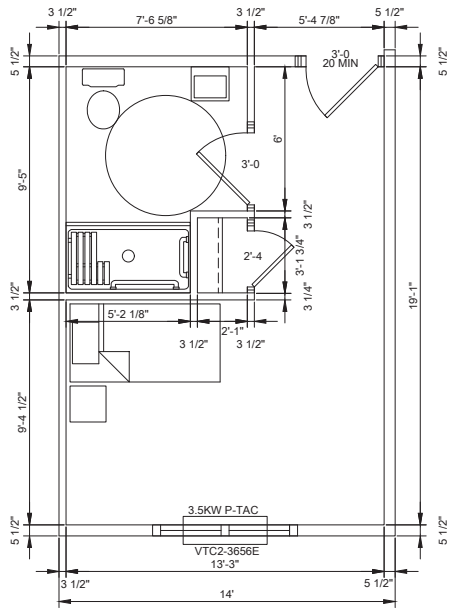
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SHEET TITLE:
FLOOR PLAN

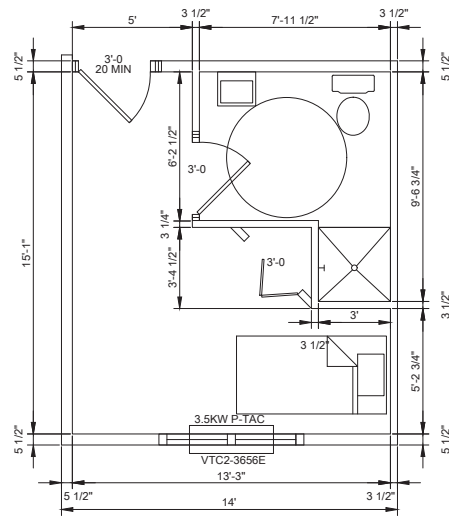
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DATE
 06-02-23

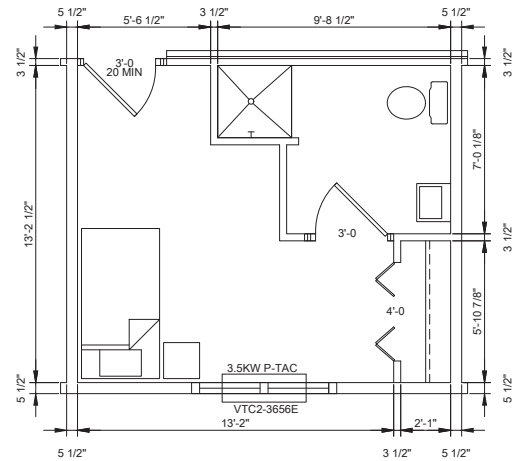
SHEET
 OF



UNIT "A" LAYOUT
1/4" = 1'-0"



UNIT "B" LAYOUT
1/4" = 1'-0"



UNIT "C" LAYOUT
1/4" = 1'-0"

NOTES
7,327 SQ. FT.
4/12 ROOF PITCH
W/ 12" RAFTER TAILS
9' CEILINGS THROUGH OUT

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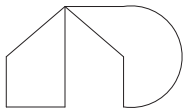
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UNIT LETTERS

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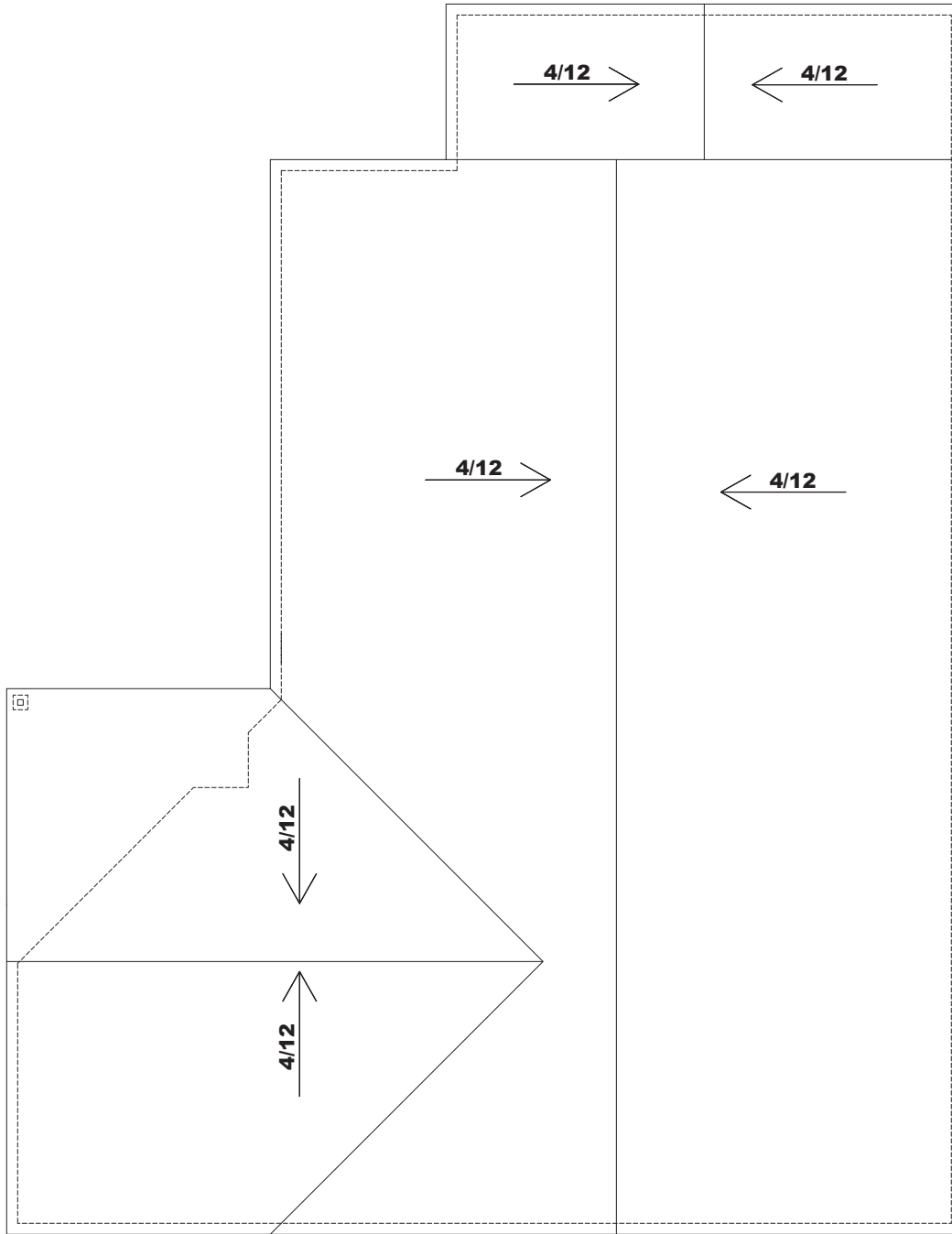
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UNIT LAYOUT

DRAWN BY
AJS

DATE
06-02-23

SHEET

OF



ROOF PLAN
 1/8" = 1'-0"

NOTES
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 4/12 ROOF PITCH
 W/ 12" RAFTER TAILS
 9' CEILINGS THROUGH OUT

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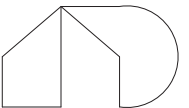
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DIGNICARE
 WHITE BEAR LAKE
 Q9503

MODEL NO:
MEMORY CARE

UNIT LETTERS

HOUSE NO.

STATE APPROVAL NO.



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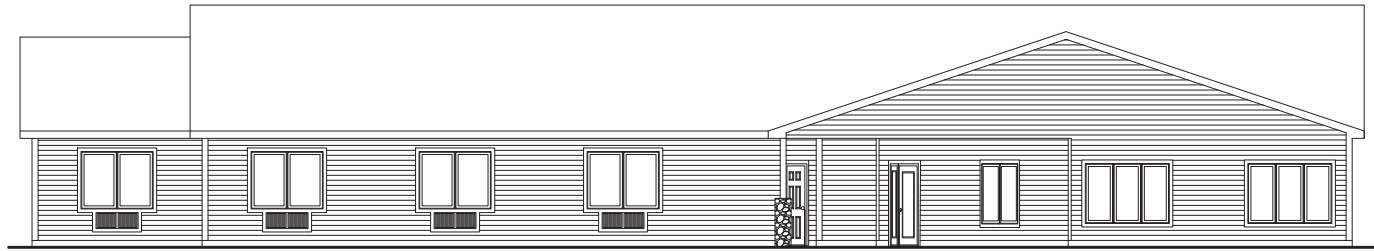
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 DETROIT LAKES MINNESOTA
 56502 (218) 847-2611

PLANT DATE:

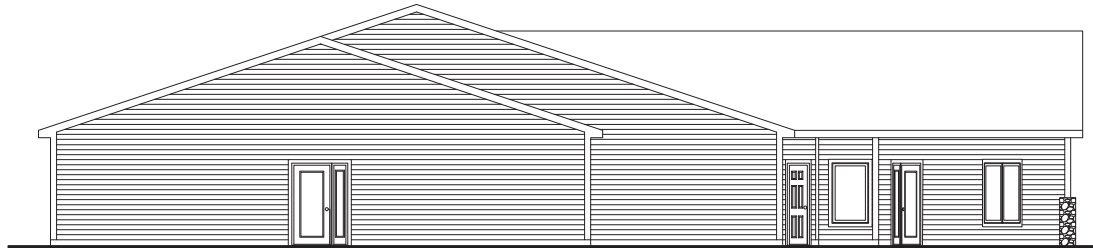
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ROOF PLAN

DRAWN BY
AJS DATE
06-02-23

SHEET OF



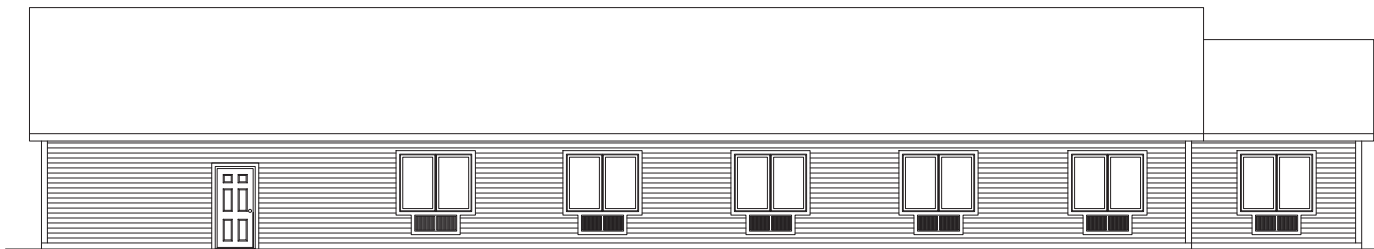
WEST EXTERIOR ELEVATION
1/8" = 1'-0"



NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



EAST EXTERIOR ELEVATION
1/8" = 1'-0"

NOTES
7,327 SQ. FT.
4/12 ROOF PITCH
W/ 12" RAFTER TAILS
9' CEILINGS THROUGH OUT

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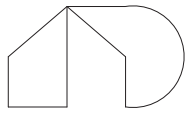
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UNIT LETTERS

HOUSE NO.

STATE APPROVAL NO.



DYNAMIC HOMES LLC
525 ROOSEVELT DETROIT LAKES 56502
P.O. BOX 1137 MINNESOTA (218) 847-2611

PLANT DATE:

SHEET TITLE:
ELEVATIONS

DRAWN BY: **AJS** DATE: **06-02-23**

SHEET OF

Municipal Tree Mitigation Requirements:


Total Significant Tree Inches On-Site (B):	181
Total Premium Inches Removed (A1):	80
Total Secondary Inches Removed (A2):	55
Total Premium Replacement Inches Required (D)*:	47
Total Secondary Replacement Inches Required (D)**:	4
Total Replacement Inches Required:	51
Non-Significant Inches to Remain Credit:	0
Blvd Tree Credit***:	0
Total Replacement Inches Owed:	51
Total Replacement Inches Shown:	58.5
New Overstory Trees Proposed: 16	
New Ornamental Trees Proposed: 05	
Remaining Tree Inches Owed:	00

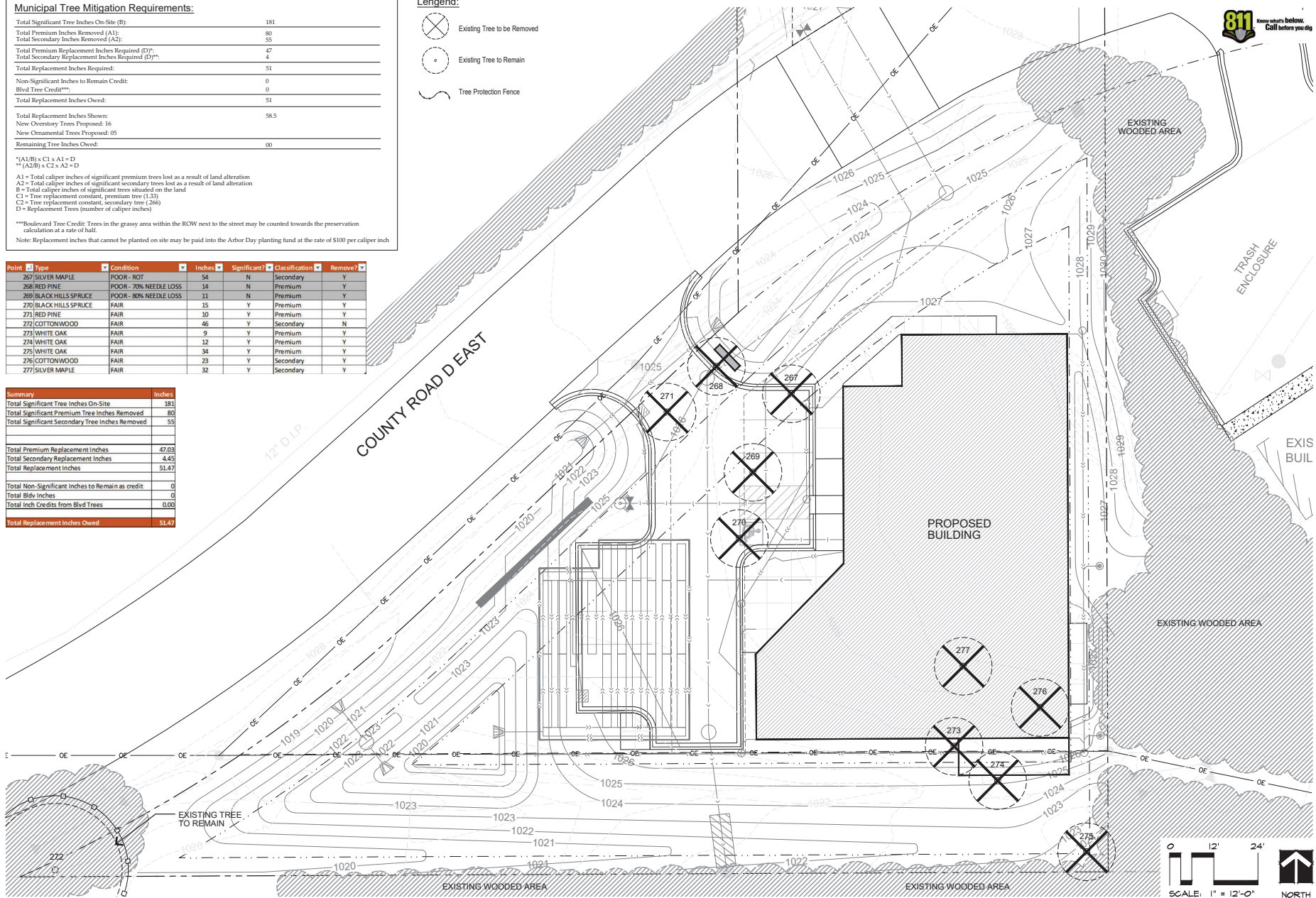
* $(A1/B) \times C1 \times A1 = D$
 ** $(A2/B) \times C2 \times A2 = D$
 A1 = Total caliper inches of significant premium trees lost as a result of land alteration
 A2 = Total caliper inches of significant secondary trees lost as a result of land alteration
 B = Total caliper inches of significant trees situated on the land
 C1 = Tree replacement constant, premium tree (1.33)
 C2 = Tree replacement constant, secondary tree (2.66)
 D = Replacement Trees (number of caliper inches)
 ***Boulevard Tree Credit: Trees in the grassy area within the ROW next to the street may be counted towards the preservation calculation at a rate of half.
 Note: Replacement inches that cannot be planted on site may be paid into the Arbor Day planting fund at the rate of \$100 per caliper inch

Point	Type	Condition	Inches	Significant?	Classification	Remove?
267	SILVER MAPLE	POOR - ROT	54	N	Secondary	Y
268	RED PINE	POOR - 70% NEEDLE LOSS	14	N	Premium	Y
269	BLACK HILLS SPRUCE	POOR - 80% NEEDLE LOSS	11	N	Premium	Y
270	BLACK HILLS SPRUCE	FAIR	15	Y	Premium	Y
271	RED PINE	FAIR	10	Y	Premium	Y
272	COTTONWOOD	FAIR	46	Y	Secondary	N
273	WHITE OAK	FAIR	9	Y	Premium	Y
274	WHITE OAK	FAIR	12	Y	Premium	Y
275	WHITE OAK	FAIR	34	Y	Premium	Y
276	COTTONWOOD	FAIR	23	Y	Secondary	Y
277	SILVER MAPLE	FAIR	32	Y	Secondary	Y

Summary	Inches
Total Significant Tree Inches On-Site	181
Total Significant Premium Tree Inches Removed	80
Total Significant Secondary Tree Inches Removed	55
Total Premium Replacement Inches	47.03
Total Secondary Replacement Inches	4.45
Total Replacement Inches	51.47
Total Non-Significant Inches to Remain as credit	0
Total Blvd Inches	0
Total Inch Credits from Blvd Trees	0.00
Total Replacement Inches Owed	51.47

Legend:

-  Existing Tree to be Removed
-  Existing Tree to Remain
-  Tree Protection Fence



CALYX
 DESIGN GROUP
 Landscape Architecture | Planning
 472 Cleveland Avenue N.E. | Suite 101A
 St. Paul, MN 55104
 Telephone: 651.768.0916
 Internet: www.calyxgroup.com

DIGNICARE LLC
 ST. PAUL, MN

DIGNISUITES -
 WHITE BEAR LAKE
 2687 COUNTY ROAD D, WHITE BEAR LAKE, MN

PRELIMINARY
 Benjamin Harberg, PLA
 Date: XX-XX-XXXX Lic. No. 48084

Rev.	Date	Description

Project #: 23-061.00
 Drawn By: HL/JAL
 Checked By: BH
 Issue Date: 06.02.2023

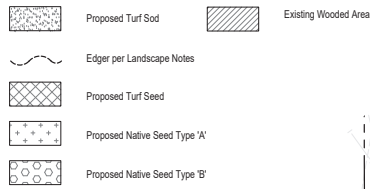
Sheet Title:
TREE PRESERVATION PLAN

Sheet:
L000

PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
JE		Juniperus virginiana	Eastern Redcedar	6' Hgt.	BAB	7	Calculated as 2 1/2" caliper
PD		Picea glauca 'Densata'	Black Hills Spruce	8' Ht.	BAB	3	Calculated as 3" caliper
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
AS		Acer x freemanii 'Sienna'	Sienna Glen Maple	4" Cal.	BAB	3	
BJ		Betula papyrifera 'Jedrak'	Parkland Paper Birch	2 1/2" Cal.	BAB	3	
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
MS		Malus x 'Spring Snow'	Spring Snow Crab Apple	2 1/2" Cal.	BAB	3	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
Cr		Cornus alba 'Rogozan'	Red Gnome Dogwood	5 gal.	Pot	36	
Df		Dierilla lonicera	Dwarf Bush Honeyuckle	3 gal.	Pot	40	
Ha		Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	20	
Hg		Hydrangea paniculata 'Grandiflora' Tree Form	PeeGee Panicle Hydrangea Tree Form	15 gal.	Pot	4	Tree Form, 5' Tall at Installation
Jr		Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	Pot	36	
Ra		Ribes alpinum	Alpine Currant	5 gal.	Pot	17	
Wr		Weigela florida 'Rumba'	Rumba Weigela	2 gal.	Pot	22	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
F1		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	Pot	10	
Fl3		Phlox subulata 'Emerald Blue'	Emerald Blue Creeeping Phlox	1 gal.	Pot	35	
Rp2		Rudbeckia lugida 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	53	
Sd		Sedum x 'Dazzleberry'	Dazzleberry Stonecrop	1 gal.	Pot	47	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
Cl		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	99	

Legend:



ALL PROPOSED TREES TO BE PLANTED 10' MINIMUM FROM UTILITIES

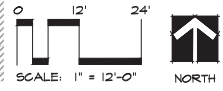
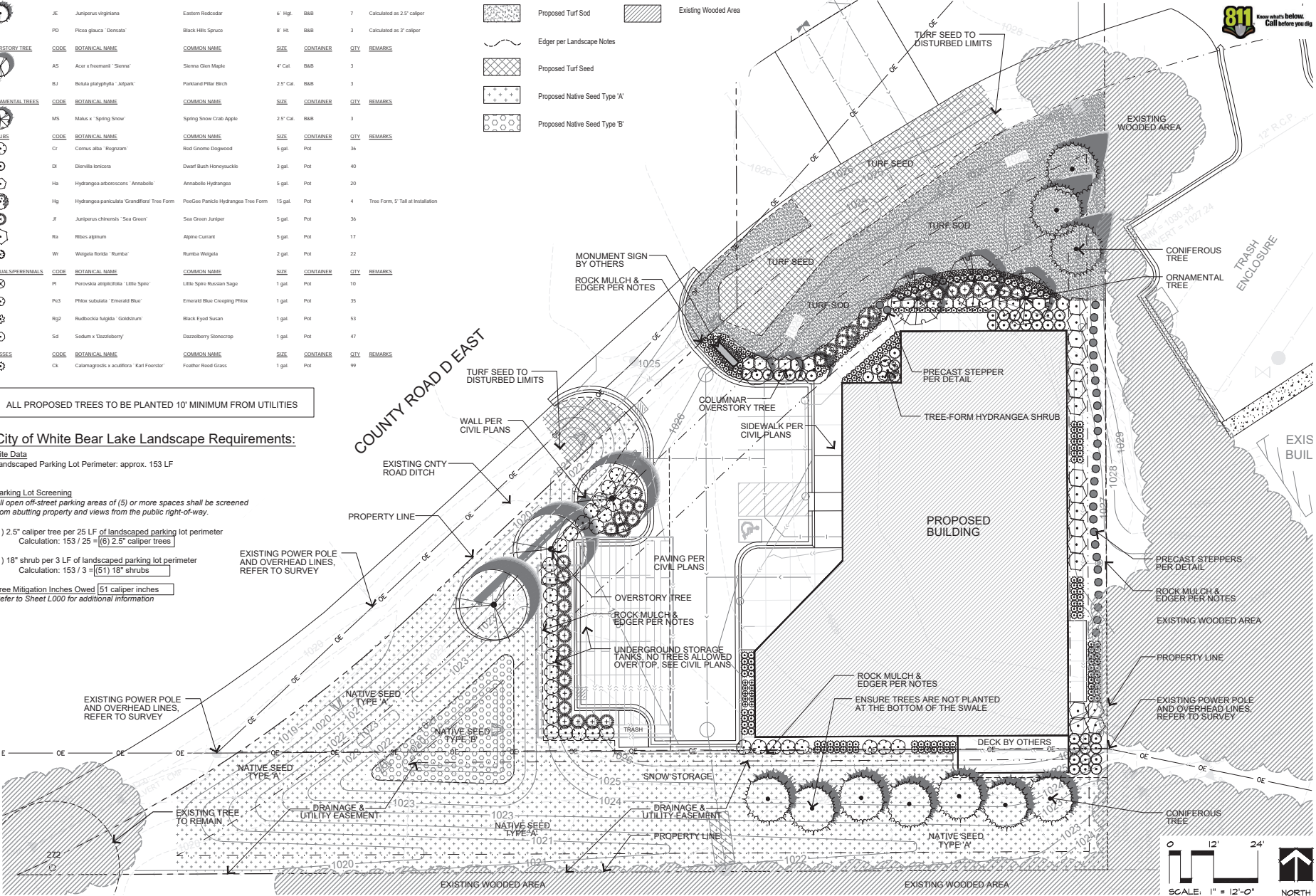
City of White Bear Lake Landscape Requirements:
 Site Data
 Landscaped Parking Lot Perimeter: approx. 153 LF

Parking Lot Screening
 All open off-street parking areas of (5) or more spaces shall be screened from abutting property and views from the public right-of-way.

(1) 2.5" caliper tree per 25 LF of landscaped parking lot perimeter
 Calculation: 153 / 25 = (6) 2.5" caliper trees

(1) 18" shrub per 3 LF of landscaped parking lot perimeter
 Calculation: 153 / 3 = (51) 18" shrubs

Tree Mitigation Inches Owed 51 caliper inches
 Refer to Sheet L000 for additional information



CALYX DESIGN GROUP
 Landscape Architecture & Planning
 470 Cleveland Avenue NE | Suite 301A
 St. Paul, MN 55104
 Telephone: 651.768.0918
 Internet: www.calyxdesigngroup.com

DIGNICARE LLC
 ST. PAUL, MN

DIGNISUITES - WHITE BEAR LAKE
 2687 COUNTY ROAD D, WHITE BEAR LAKE, MN

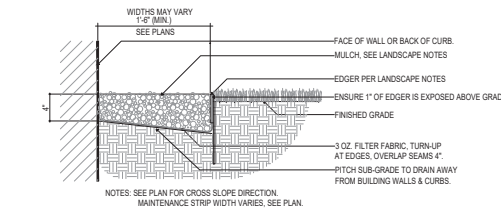
PRELIMINARY
 Benjamin Harberg, PLA
 Date: XX-XX-XXXX Lic. No. 48084

Rev.	Date	Description

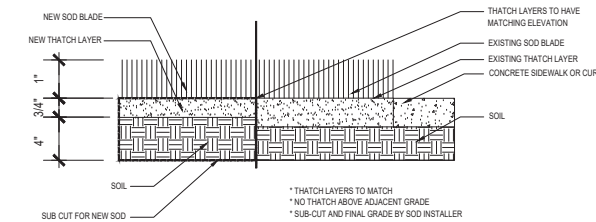
Project #: 23-061.00
 Drawn By: HL/JAL
 Checked By: BH
 Issue Date: 06.02.2023
 Sheet Title:
LANDSCAPE PLAN
 Sheet:
L100

Landscape Notes and Requirements:

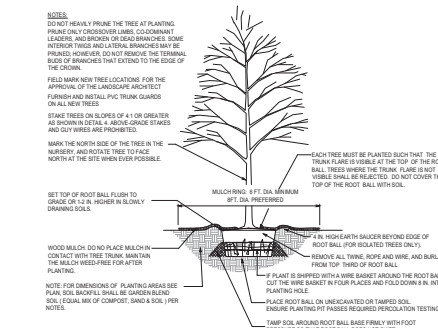
- Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural Western Red Cedar mulch for trees outside of a plant bed. Install per tree planting detail. Do not place mulch against tree trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed plant material for the duration of the warranty period. Landscape contractor is responsible for coordinating lawn mowing hand-off with the Owner after the first mowing. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to weed control, plant pruning, fertilization and disease/pest control beyond the first year of maintenance. See Note #22.
- Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant site & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation: The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree and turf planting areas. Use commercial grade irrigation equipment and provide cut-sheets and provide (3) copies of the proposed layout plan to the Civil Engineer for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valve locations with the architect and general contractor. Irrigation contractor to verify if a deduct meter is required and include in bid. Include (1) fall shut-down and (1) spring start-up in bid.
- All edger shall be professional grade black steel edger, 1/8" thickness. Anchor every 18" on-center (minimum). Submit sample.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Rock mulch areas shall be 3/4" inch dia. local clean dark trap rock over weed mat. Install per detail. Submit mulch sample for approval.
- All planting and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
- Turf Sodding shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Sod installation to include one year of maintenance in the bid price, which includes fertilization and weed control 3 times - (2) applications in the first growing season and (1) application the following spring. Also, include mechanical plug aeration, which is to occur (1) time the spring following turf sod installation, including snow storage areas. An acceptable stand of turf is lush, full, and weed-free. See specifications for additional information and contractor mowing requirement.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
- Topsoil Requirements: All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of imported top soil, areas designated for shrubs, trees, and perennials shall have no less than 12" of imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 30" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyrim, thiamethoxam, thiacloprid and thiamethoxam.
- Landscape contractor shall apply granular Preen pre-emergent herbicide in all wood mulch areas immediately following installation and again the following spring.



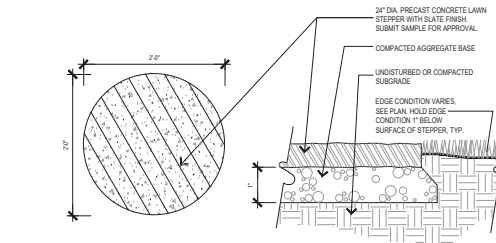
1 MULCH & EDGER DETAIL
NOT TO SCALE



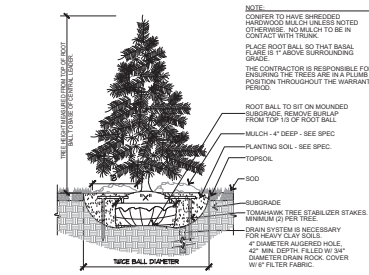
2 NEW SOD TO EXISTING SOD DETAIL
NOT TO SCALE



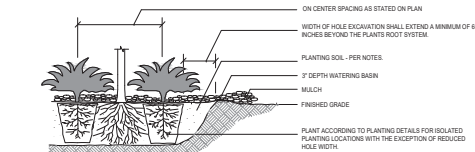
3 DECIDUOUS TREE PLANTING - SECTION
NOT TO SCALE



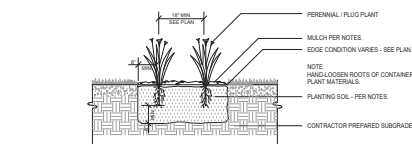
4 24" DIA. PRECAST CONCRETE STEPPER
NOT TO SCALE



5 CONIFEROUS TREE PLANTING - SECTION
NOT TO SCALE



6 TYP. SHRUB PLANTING - SECTION
NOT TO SCALE



7 TYP. PERENNIAL PLANTING - SECTION
NOT TO SCALE

CALYX DESIGN GROUP
Landscape Architecture | Planning
472 Cleveland Avenue, N.E. | Suite 910 A
St. Paul, MN 55104
Telephone: 651.768.0018
www.calyxdesigngroup.com

DIGNICARE LLC
ST. PAUL, MN

DIGNISUITES - WHITE BEAR LAKE
2687 COUNTY ROAD D, WHITE BEAR LAKE, MN

PRELIMINARY
Benjamin Harberg, PLA
Date: XX-XX-XXXX Lic. No. 488084

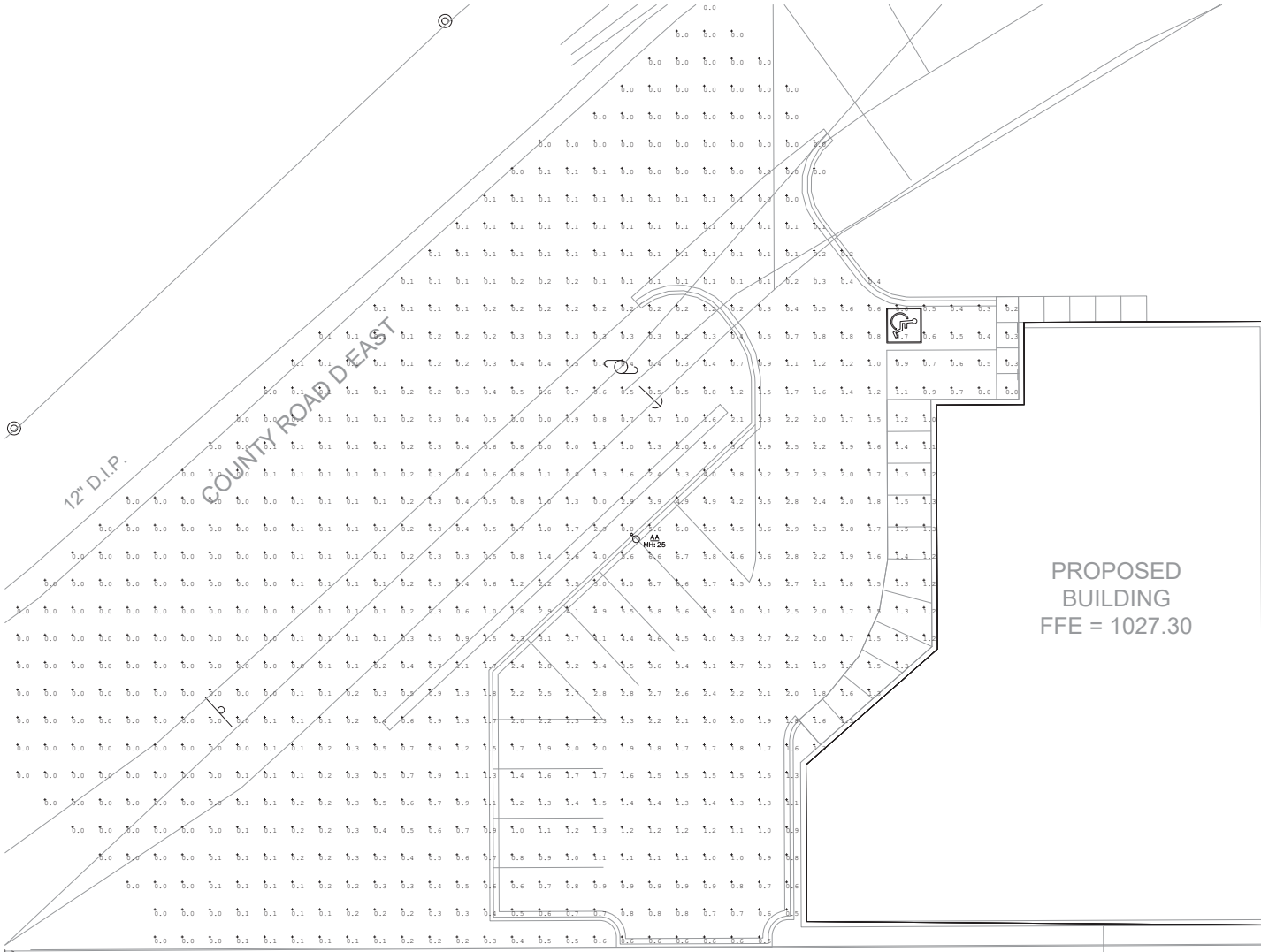
Rev.	Date	Description

Project #: 23-061.00
Checked By: HL/JAL
Drawn By: BH
Issue Date: 06.02.2023
Sheet Title:

LANDSCAPE DETAILS

Sheet:

L200



1 ELECTRICAL PHOTOMETRIC PLAN
1" = 10'-0"

I:\Projects\Dgn\Care And Suite Living\R23-4675.000\Design\AGRE\1.0 Electrical Photometric Plan.dwg

LIGHTING FIXTURE TYPE AA

RSX2 LED Area Luminaire

Form
Part
Part
Part

Specifications

Area (sq ft): 0.69 ft² (0.06 m²)

Length: 29.3" (74.4 cm) [DIM: LUMEN]

Width: 13.6" (34.5 cm)

Height (Mount): 3.0" (7.6 cm) Max Body 7.2" (18.3 cm) From

Weight (Mount): 39.0 lbs (17.7 kg)

Introduction

The new RSX2 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

The RSX2 features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A cover wire-inlet, well-washable integral diffuser and other mounting configurations are available.

Ordering Information EXAMPLE: RSX2 LED P4-40K R3 MVOLT SPA DOME

Series	Performance	Color	Technology	Package	Mounting
RSX2D	P4	30K	3000K	R2	Top / Side
	P4	40K	4000K	R2	Top / Side
	P4	50K	5000K	R2	Top / Side
	P4	60K	6000K	R2	Top / Side
	P4	70K	7000K	R2	Top / Side
	P4	80K	8000K	R2	Top / Side
	P4	90K	9000K	R2	Top / Side
	P4	100K	10000K	R2	Top / Side
	P4	110K	11000K	R2	Top / Side
	P4	120K	12000K	R2	Top / Side
	P4	130K	13000K	R2	Top / Side
	P4	140K	14000K	R2	Top / Side
	P4	150K	15000K	R2	Top / Side
	P4	160K	16000K	R2	Top / Side
	P4	170K	17000K	R2	Top / Side
	P4	180K	18000K	R2	Top / Side
	P4	190K	19000K	R2	Top / Side
	P4	200K	20000K	R2	Top / Side
	P4	210K	21000K	R2	Top / Side
	P4	220K	22000K	R2	Top / Side
	P4	230K	23000K	R2	Top / Side
	P4	240K	24000K	R2	Top / Side
	P4	250K	25000K	R2	Top / Side
	P4	260K	26000K	R2	Top / Side
	P4	270K	27000K	R2	Top / Side
	P4	280K	28000K	R2	Top / Side
	P4	290K	29000K	R2	Top / Side
	P4	300K	30000K	R2	Top / Side
	P4	310K	31000K	R2	Top / Side
	P4	320K	32000K	R2	Top / Side
	P4	330K	33000K	R2	Top / Side
	P4	340K	34000K	R2	Top / Side
	P4	350K	35000K	R2	Top / Side
	P4	360K	36000K	R2	Top / Side
	P4	370K	37000K	R2	Top / Side
	P4	380K	38000K	R2	Top / Side
	P4	390K	39000K	R2	Top / Side
	P4	400K	40000K	R2	Top / Side
	P4	410K	41000K	R2	Top / Side
	P4	420K	42000K	R2	Top / Side
	P4	430K	43000K	R2	Top / Side
	P4	440K	44000K	R2	Top / Side
	P4	450K	45000K	R2	Top / Side
	P4	460K	46000K	R2	Top / Side
	P4	470K	47000K	R2	Top / Side
	P4	480K	48000K	R2	Top / Side
	P4	490K	49000K	R2	Top / Side
	P4	500K	50000K	R2	Top / Side
	P4	510K	51000K	R2	Top / Side
	P4	520K	52000K	R2	Top / Side
	P4	530K	53000K	R2	Top / Side
	P4	540K	54000K	R2	Top / Side
	P4	550K	55000K	R2	Top / Side
	P4	560K	56000K	R2	Top / Side
	P4	570K	57000K	R2	Top / Side
	P4	580K	58000K	R2	Top / Side
	P4	590K	59000K	R2	Top / Side
	P4	600K	60000K	R2	Top / Side
	P4	610K	61000K	R2	Top / Side
	P4	620K	62000K	R2	Top / Side
	P4	630K	63000K	R2	Top / Side
	P4	640K	64000K	R2	Top / Side
	P4	650K	65000K	R2	Top / Side
	P4	660K	66000K	R2	Top / Side
	P4	670K	67000K	R2	Top / Side
	P4	680K	68000K	R2	Top / Side
	P4	690K	69000K	R2	Top / Side
	P4	700K	70000K	R2	Top / Side
	P4	710K	71000K	R2	Top / Side
	P4	720K	72000K	R2	Top / Side
	P4	730K	73000K	R2	Top / Side
	P4	740K	74000K	R2	Top / Side
	P4	750K	75000K	R2	Top / Side
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	P4	830K	83000K	R2	Top / Side
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	P4	950K	95000K	R2	Top / Side
	P4	960K	96000K	R2	Top / Side
	P4	970K	97000K	R2	Top / Side
	P4	980K	98000K	R2	Top / Side
	P4	990K	99000K	R2	Top / Side
	P4	1000K	100000K	R2	Top / Side

LITHONIA LIGHTING COMMERCIAL DIVISION

One Lithonia Way • Conroe, Georgia 3002 • Phone: 800-985-7319 • www.lithonia.com

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RSX2 LED Area Luminaire
Page 1 of 1

LIGHTING FIXTURE SCHEDULE

TYPE AA: 21,000 LUMEN, TYPE 4 DISTRIBUTION

MH: MOUNTING HEIGHT OF LIGHTING FIXTURE ABOVE FINISHED GRADE

Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
(651) 481-1919 / Fax (651) 481-1920
www.larsonengr.com

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CONSTRUCTION SERVICES, INC.
11124 ZEALAND AVENUE NORTH
CHAMPLAIN, MN 55316

DIGNISUITES
MEMORY CARE OF
WHITE BEAR LAKE
2687 COUNTY ROAD D,
WHITE BEAR LAKE, MN 55110

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Paul J. Fetting
PAUL J. FETTING, P.E.

Date: 05.03.2023 Lic. No.: 43079

Rev.	Date	Description

Project #: R23-4675.000
 Drawn By: DJK
 Checked By: JWV
 Issue Date: 05.03.2023

Sheet Title:
ELECTRICAL PHOTOMETRIC PLAN

Sheet:
E1.0P

HALLBERG ENGINEERING
Mechanical/Electrical Consulting Engineers
1700 Commerce Court
White Bear Lake, MN 55110
(651) 748-1100 • Fax (651) 748-9370

NORTH

PRELIMINARY PLAT OF:
**DIGNISUITES OF
 WHITE BEAR LAKE**

~for~ DIGNICARE OF WHITE BEAR LAKE

LEGAL DESCRIPTION

The West 100 feet of the East 663 feet of the South 613 feet of the Southeast Quarter of the Southeast Quarter of Section 36, Township 30, Range 22, Ramsey County, Minnesota.

AND

Outlot C, LAKEWOOD VILLAGE, Ramsey County, Minnesota.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 4/27/2023 License No. 41578

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 03/28/2022.
- Bearings shown are on Ramsey County datum.
- Parcel ID Number: 36-30-22-44-0312.
- Title work issued by Stewart Title Guaranty Company, File No. MN01737.
- Title is vested in: Bruggeman Builders, LLC. Commitment date: September 23, 2019 at 11:10 am.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Location of utilities existing on or serving the surveyed property determined by:
 Observed evidence collected pursuant to Section 5.E.V. Markings requested by E. G. Rud Land Surveying per Gopher State One Call Ticket No. 220320310.
 Record drawings provided by the City of White Bear Lakes engineering department.
- Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- Proposed site improvements shown hereon were provided by Larsen Engineering.

LEGEND

- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GAS METER
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES SOIL BORING. (BY OTHERS)
- DENOTES STORM SEWER APRON
- DENOTES WATER VALVE
- DENOTES WET LAND
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES OVERHEAD UTILITY
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND FIBER OPTIC LINE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BUILDING SETBACK LINE
- DENOTES PARKING SETBACK LINE
- DENOTES BITUMINOUS SURFACE
- (PLAT) DENOTES RECORD DIMENSION PER PLAT OF LAKEWOOD VILLAGE

BLOCK 1 SITE DATA

ZONING = R6
 (BUILDING SETBACKS)
 FRONT = 30 FEET FROM RIGHT OF WAY
 EAST SIDE = 15 FEET FROM BOUNDARY LINE
 WEST SIDE = 10 FEET FROM BOUNDARY LINE

RESOLUTION NO. 12851
 (SIDE SETBACK VARIANCE GRANTED)
 REAR = 30 FEET FROM BOUNDARY LINE

BLOCK 2 SITE DATA

ZONING = B-2
 (BUILDING SETBACKS)
 RIGHT OF WAY = 30 FEET
 SIDE = 10 FEET
 REAR = 30 FEET

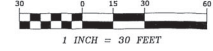
PARKING SETBACK

(FROM PLAT BOUNDARY OR RIGHT OF WAY)
 FRONT = 15 FEET
 SIDE = 5 FEET
 REAR = 5 FEET
 BUILDING = 5 FEET

BENCHMARK

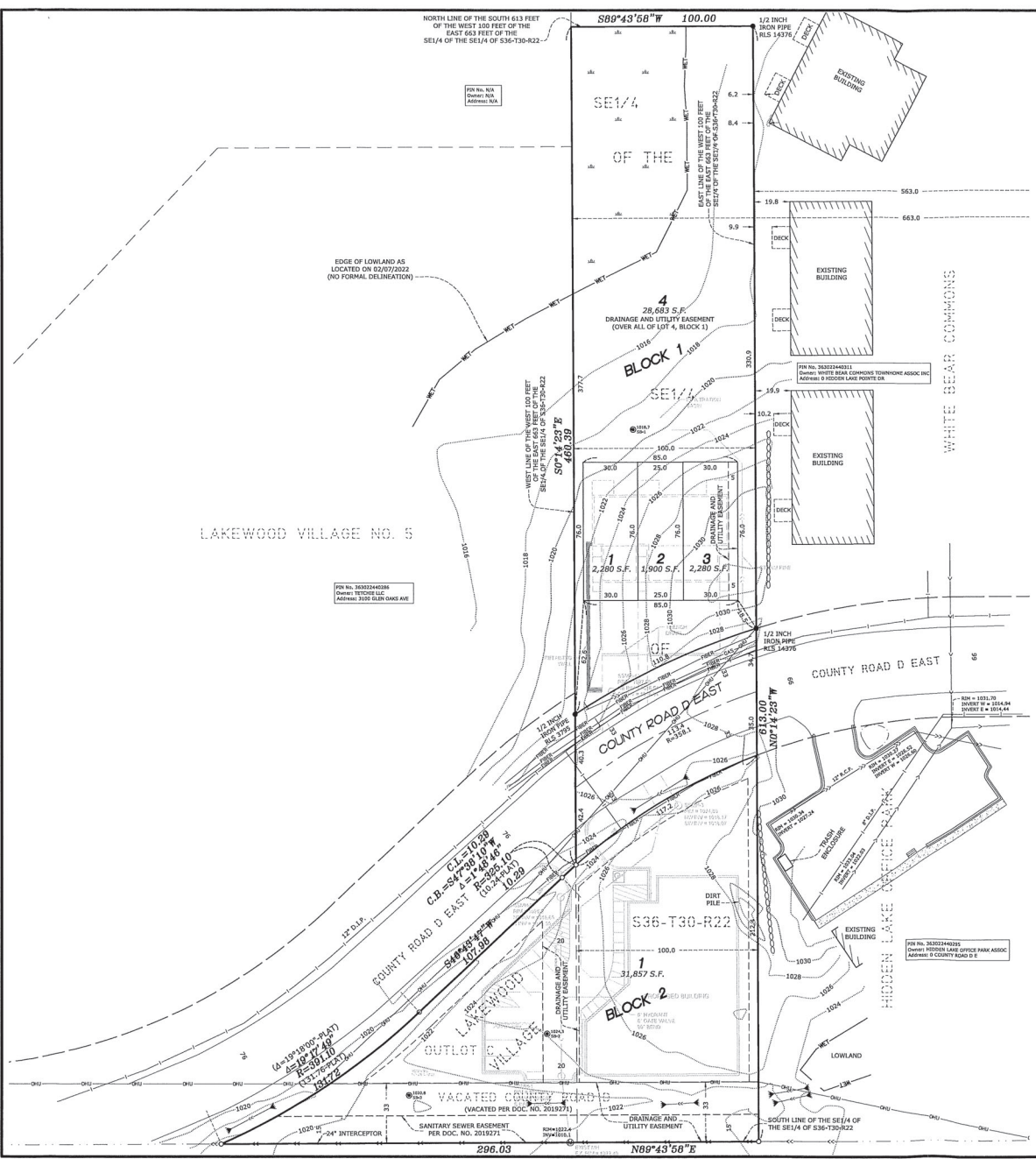
RAMSEY COUNTY BM: 9115
 ELEVATION = 970.178
 DATUM = NAVD 88

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
1			
2			
3			

E. G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



PRELIMINARY COPY

DIGNISUITES OF WHITE BEAR LAKE

KNOW ALL PERSONS BY THESE PRESENTS: That Bruggeman Builders LLC, a Minnesota limited liability company, owner of the following described property situated in the City of White Bear Lake, County of Ramsey, State of Minnesota:

The West 100 feet of the East 663 feet of the South 613 feet of the Southeast Quarter of the Southeast Quarter of Section 36, Township 30, Range 22, Ramsey County, Minnesota.

And
Outlot C, LAKEWOOD VILLAGE, Ramsey County, Minnesota.

Has caused the same to be surveyed and platted as DIGNISUITES OF WHITE BEAR LAKE and does hereby dedicate to the public for public use forever the public way and the easements created by this plat for drainage and utility purposes only.

In witness whereof said Bruggeman Builders LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20__.

Signed: BRUGGEMAN BUILDERS LLC

Paul S. Bruggeman, Chief Manager

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20__ by Paul S. Bruggeman, Chief Manager of Bruggeman Builders LLC, a Minnesota limited liability company, on behalf of the company.

(Signed)

(Printed)

Notary Public, _____ County, _____

My commission expires _____

I, Jason E. Rud, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certification are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20__ by Jason E. Rud.

(Signed)

(Printed)

Notary Public, _____ County, Minnesota

My commission expires _____

CITY COUNCIL, CITY OF WHITE BEAR LAKE

We do hereby certify that on the ____ day of _____, 20__, the City Council of the City of White Bear Lake, Minnesota approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

Mayor

Clerk

PROPERTY TAX, RECORDS AND ELECTION SERVICES DEPARTMENT

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfers entered this ____ day of _____, 20__.

Ramsey County Auditor/Treasurer

By: _____, Deputy

COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 383A.42, this plat is approved this ____ day of _____, 20__.

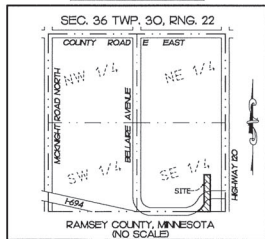
Daniel D. Baar, L.S.
Ramsey County Surveyor

COUNTY RECORDER, COUNTY OF RAMSEY, STATE OF MINNESOTA

I hereby certify that this plat of DIGNISUITES OF WHITE BEAR LAKE was filed in the office of the County Recorder for public record on this ____ day of _____, 20__, at ____ o'clock ____ M., and was duly filed in Book ____ of Plats, Page ____ as Document Number ____.

Deputy County Recorder

VICINITY MAP

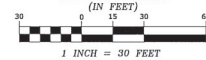


LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ⊕ DENOTES RAMSEY COUNTY SECTION MONUMENT, AS LABELED

FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 30, RANGE 22 IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 43 MINUTES 58 SECONDS WEST.

GRAPHIC SCALE



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)

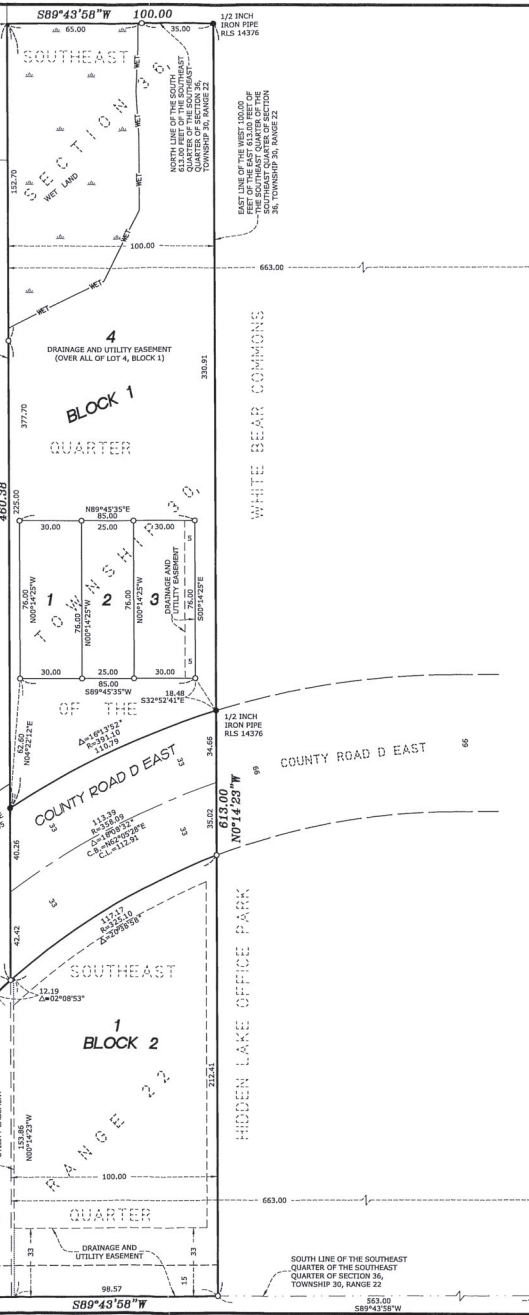


BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND BEING 10 FEET IN WIDTH AND ADJOINING PUBLIC WAYS UNLESS OTHERWISE SHOWN ON THIS PLAT.



SOUTH QUARTER CORNER OF SECTION
-36, TOWNSHIP 30, RANGE 22
(3/4 INCH IRON ROD)

SANITARY SEWER EASEMENT
PER DEC. NO. 2019374



296.03

S89°43'58\"/>

653.60

S89°43'58\"/>



City of White Bear Lake
Community Development Department

M E M O R A N D U M

TO: The Planning Commission
FROM: Shea Lawrence, Planning Technician
DATE: June 26, 2023
SUBJECT: **Kvam Conditional Use Permit, Home Accessory Apartment, 4008 White Bear Ave, Case No. 23-19-CUP**

SUMMARY

The applicants, Brett and Samantha Kvam are requesting a conditional use permit in order to establish an accessory dwelling unit (ADU) in their home located at 4008 White Bear Avenue. The subject site is located on the east side of White Bear Avenue, north of Lakeaires Elementary School. Based on the findings made in this report, staff finds that the standards for conditional use permits laid out in City Code Section 1302.140 have been satisfied and recommends approval of the request.

GENERAL INFORMATION

Applicant / Owner:	Brett and Samantha Kvam
Existing Land Use / Zoning:	Single Unit Dwelling / R-3: Single Family Residential
Surrounding Land Use / Zoning:	North, East and West: R-3 Single Family Residential South: Lakeaires Elementary School / Public
Comprehensive Plan:	Low Density Residential
Lot Size & Width:	Code: R-3 Single Family Residential: 10,500 sq. ft., 80 ft. wide Existing Site: 10,955 sq. ft., 82 ft. wide
60 Day Review Date:	July, 8 2023. Extended to July 25, 2023.

BACKGROUND

The subject property was platted in 1955 as part of Dotte's Plat. The house was originally constructed in 1973. The previous owners renovated the lower level of the home to create a secondary dwelling unit, but did not go through the conditional use permit process or pull the necessary building permits. The current homeowners are seeking to bring the property into

compliance through approval of the requested conditional use permit for an accessory dwelling unit.

Community Comment. Under state law and the City's zoning regulations, conditional use permit applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to adjacent property owners within at least 350 feet of the subject property. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. As of the writing of this report, city staff received one phone call from a resident on Nicholas Court. He called inquiring about what the plans were for the home and if there would be any expansion. Staff also received one email from Amy Mckenna inquiring what the plans were for the subject property. During the public hearing, staff will provide an update if any other public comments are received prior to the Planning Commission meeting.

ANALYSIS

Conditional Use Permit Review. City review authority for conditional use permits are considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the applicable review standards. The city's role is limited to applying the review standards to the facts presented by the application. Generally, if the application meets the review standards, it should be approved. The standards for reviewing conditional use permits are detailed in City Code Section 1301.050.

According to City Code Section 1301.050, the City shall consider possible adverse effects of a proposed conditional use. This review shall be based upon (but not limited to) the factors listed below. Based on the findings made in this review, staff recommends approval of the requested conditional use permit.

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Land Use Plan and all other plans and controls.

Finding: The 2040 Comprehensive Plan Future Land Use Map guides the subject property Low Density Residential. The Comprehensive Plan characterizes the Low Density Residential with a density range of 3-9 units per acre. Typical housing types in this category include "single family detached and attached when within the density range." The addition of 1 unit to the property would bring the density of the lot to 8 units per acre. This falls within the density range for the Low Density Residential designation.

2. The proposed use is or will be compatible with present and future land uses of the area.

Finding: Accessory dwelling units are permitted in all residential zones where single family residences are permitted, and the subject site is surrounded by single family homes that could also allow ADUs. Therefore the proposed ADU is compatible with the area

3. The proposed use conforms with all performance standards contained herein.

Finding: The zoning code permits home accessory apartments (accessory dwelling units) via a conditional use in owner occupied single family residences located in any residential zoning district where a single family home is a permitted use. City code section 1302.125 Subd. 4 outlines the requirements for permanent home accessory apartments. The proposed accessory apartment will adhere with the following:

- The accessory apartment will be located in an existing single family home. The owner of the residence must reside in the principal structure. Separate ownership of the accessory apartment is not permitted.
- The accessory apartment will not occupy the required garage.
- The accessory unit will utilize an existing door located on the rear of the house as the entrance to the ADU. Secondary entrances cannot face the same street. The ADU's entrance will not be visible from the street. The applicant is not proposing any exterior modifications to the home.
- The accessory apartment is limited in size to 40 percent of the habitable area within the home. The square footage of the habitable area of the home is 1,292, so the accessory apartment cannot exceed 516.8 square feet. The proposed accessory apartment includes 512.5 sq. ft. of habitable space including 2 bedrooms, a living room, and a full kitchen. The apartment also includes a bathroom, laundry room, and storage area closets in each bedroom. Storage areas, closets, bathrooms and laundry rooms are not counted towards habitable space.
- The code requires 200 square feet of habitable floor area for the first occupant and at least 100 sq. ft. of habitable floor area for each additional occupant. At 512.5 sq. ft. the ADU is limited to a maximum of 4 occupants.
- Off street parking is required for the ADU. The property currently has a two car garage and a driveway with a parking pad large enough for two vehicles to be utilized for the apartment.

4. The proposed use will not tend to or actually depreciate the area in which it is proposed.

Finding: The conversion of the lower level of this home into an ADU is not expected to depreciate the area. The ADU has existed for years without any known adverse effects on the surrounding neighborhood. Approval of the requested conditional use permit and conformity with all associated standards will help ensure compatibility with the surrounding neighborhood.

5. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Finding: The property is currently served by city water and sewer. The applicants are not proposing any expansion of the home, so the utilities have the capacity to serve the property.

6. Traffic generation by the proposed use is within capabilities of streets serving the property.

Finding: The subject property is located on White Bear Avenue which is designated as a minor arterial road and is designed to handle increased traffic volumes. The addition of an ADU is not expected to generate a significant amount of additional traffic, therefore the road is capable of serving the two units.

RECOMMENDATION

The standards outlined in the zoning ordinances have been met, therefore, staff recommends approval of the applicant's request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The accessory apartment shall conform to the Minnesota State Building Code requirements concerning adequate light, ventilation, minimum room dimensions and sanitation.
5. The unit shall meet all fire suppression and alarm systems as stipulated for a two (2) family home in the 1985 Building Code and adopted by the City of White Bear Lake.
6. The owner of the single family structure shall reside in the principal structure. The permit becomes null and void if the owner ceases to reside in the residence. The accessory apartment shall remain owned by the occupant of the principal structure; there shall be no separate ownership of the accessory rental apartment.
7. The accessory apartment must be in compliance with the City's Minimum Housing Standards.
8. The number of occupants of the accessory apartment shall not exceed four (4).
9. The owner shall obtain a rental license prior to renting out the unit to anyone who is not related.
10. The number of vehicles associated with the principle residence and accessory unit together shall not exceed that which can fit in the garage and on the driveway.

Attachments:

Resolution

Zoning/Location Map

Applicant's Narrative & Plans

RESOLUTION NO.

**RESOLUTION GRANTING A CONDITIONAL USE PERMIT FOR AN ADU
4008 WHITE BEAR AVE WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, Brett and Samantha Kvam have requested a conditional use permit in order to establish an accessory dwelling unit (ADU) in their home at the following location:

LEGAL DESCRIPTION: LOT 7, BLK 1, DOTTE'S PLAT. PID 263022120033.

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 26, 2023; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed conditional use permit upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Conditional Use Permit, the use as allowed by the permit shall not have been completed or utilized, the CUP shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. The Conditional Use Permit shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the signed resolution of approval with the County Recorder pursuant to Minnesota State, Statute 462.3595 to ensure the compliance of the herein-stated conditions.

RESOLUTION NO.

4. The accessory apartment shall conform to the Minnesota State Building Code requirements concerning adequate light, ventilation, minimum room dimensions and sanitation.
5. The unit shall meet all fire suppression and alarm systems as stipulated for a two (2) family home in the 1985 Building Code and adopted by the City of White Bear Lake.
6. The owner of the single family structure shall reside in the principal structure. The permit becomes null and void if the owner ceases to reside in the residence. The accessory apartment shall remain owned by the occupant of the principal structure; there shall be no separate ownership of the accessory rental apartment.
7. The accessory apartment must be in compliance with the City's Minimum Housing Standards.
8. The number of occupants of the accessory apartment shall not exceed four (4).
9. The owner shall obtain a rental license prior to renting out the unit to anyone who is not related.
10. The number of vehicles associated with the principle residence and accessory unit together shall not exceed that which can fit in the garage and on the driveway.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 23-19-CUP

CASE NAME : 4008 White Bear Ave - ADU

DATE : 6-26-2023

Conditional Use Permit Narrative for:
Brett and Samantha Kvam
4008 White Bear Ave
White Bear Lake, MN 55110
(763) 688-0451

We have recently moved into our split level home that has 2 bedrooms and a bathroom on each level. The previous owners had some health issues and put in a second full kitchen in the basement. The back side of the house also has a second exterior entry that leads directly into the entry/laundry room downstairs. Currently, we do not need the extra space in the finished basement as there are only two of us residing here. We are hoping to be able to rent out our lower level in order to supplement our existing income. We feel this can be especially helpful given the current economic pressures with mortgage rates and inflation. Our goal would be to rent our lower level either for short-term stays (ie Airbnb) or lengthier times such as mid to long-term renting to travel nurses or school teachers as we live next to Lakeaires Elementary School.

There is a paved driveway on the South side of the home two vehicles wide. There also is a two car garage and a secondary paved area connected off the main driveway near the garage entrance that could accommodate two more parked vehicles. We believe that the existing driveway and separate entrance can easily be utilized for us to rent without anything needing to be done further and would not infringe on the surrounding community. The total finished square footage of the home is 1,378 SF, with the lower level taking up 552 SF or 40% of the total finished habitable area. We feel the existing development of the property can easily accommodate the benefit of renting to help add to our income without any significant changes.

Thank you for your consideration.

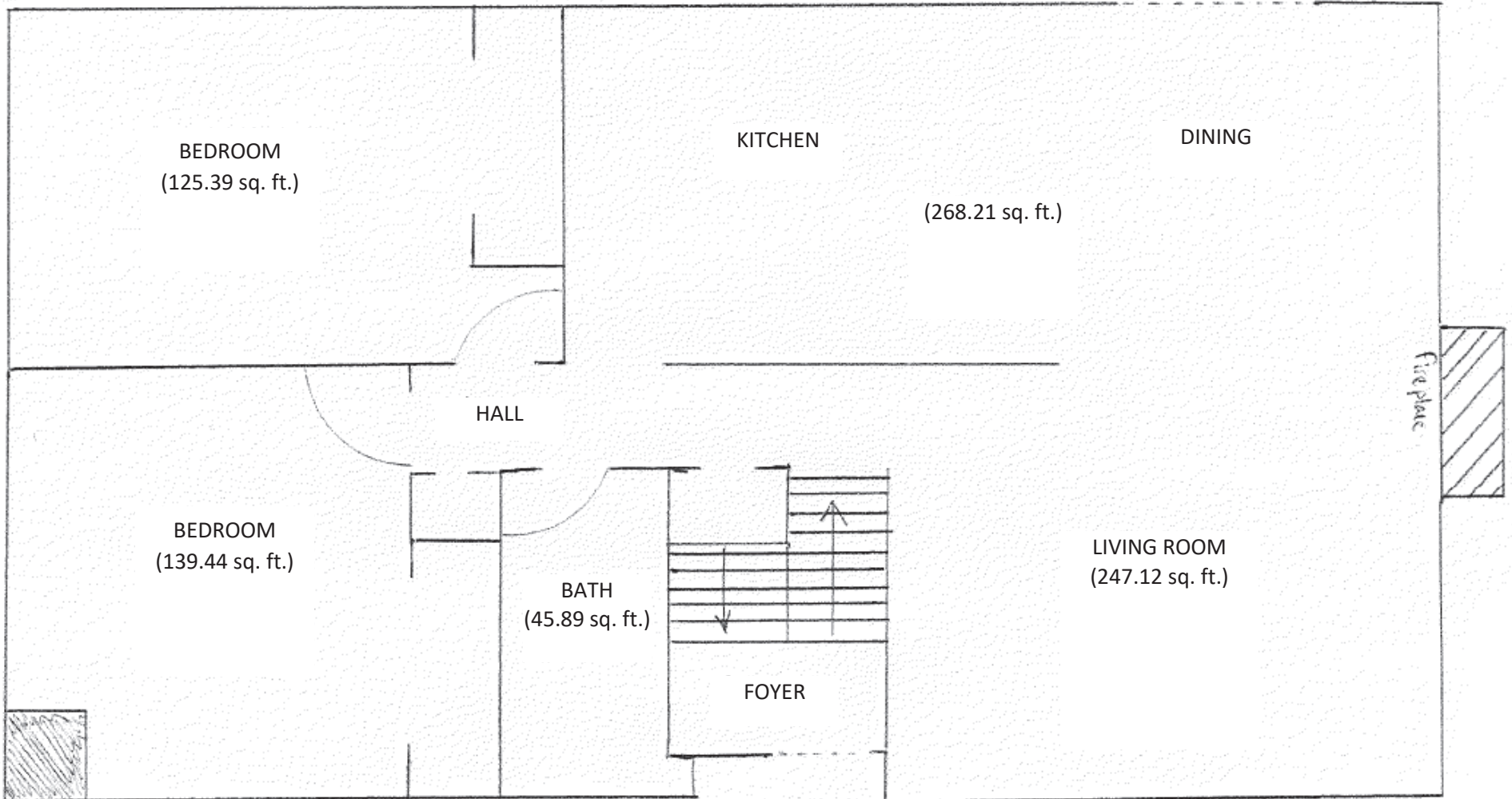
Sincerely,

Brett and Samantha Kvam

MAIN FLOOR

826 sq. ft.

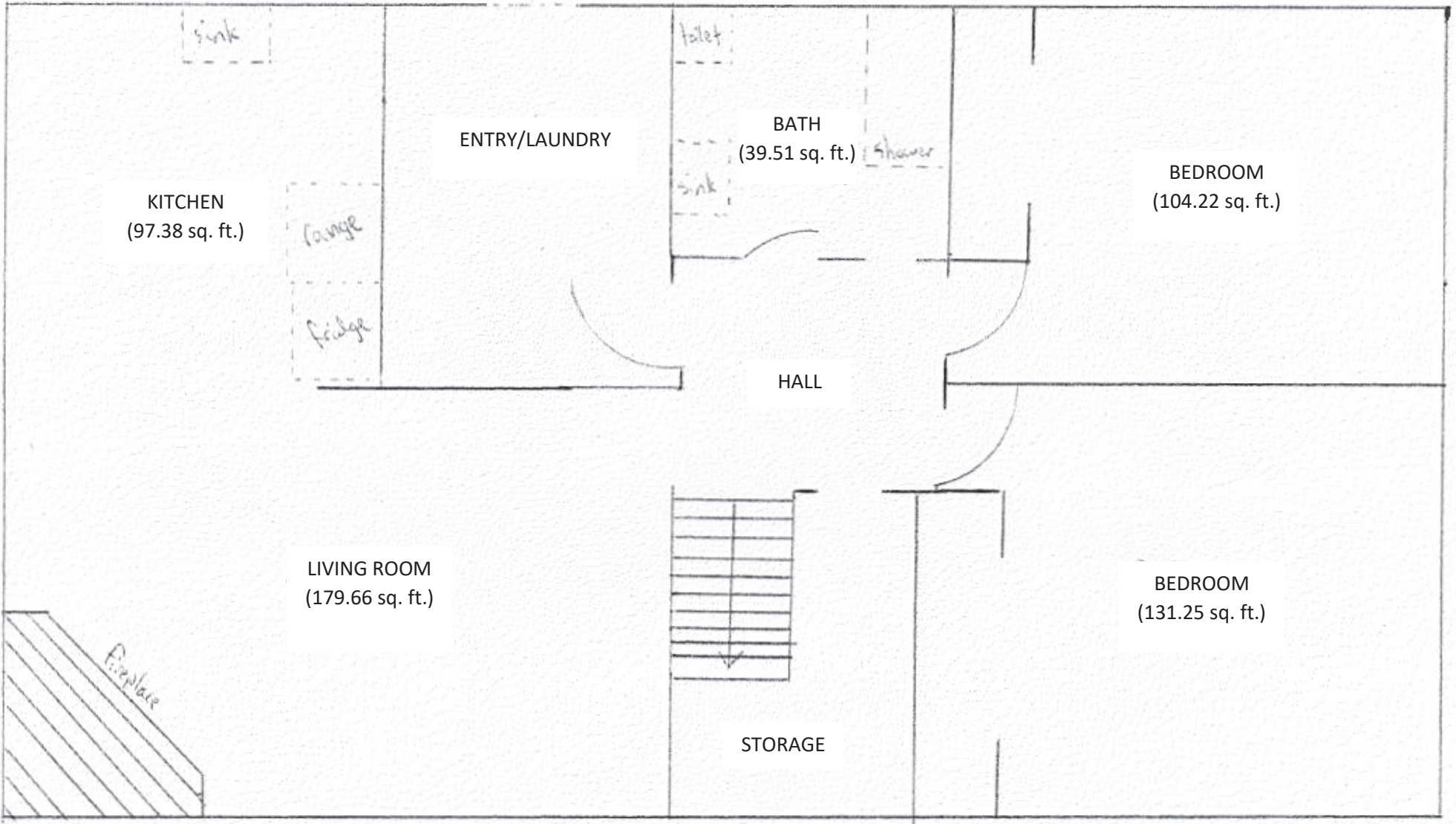
780 sq. ft. habitable space





LOWER FLOOR (ADU)

552 sq. ft.
512 sq. ft. habitable space



KITCHEN
(97.38 sq. ft.)

ENTRY/LAUNDRY

BATH
(39.51 sq. ft.)

BEDROOM
(104.22 sq. ft.)

HALL

LIVING ROOM
(179.66 sq. ft.)

BEDROOM
(131.25 sq. ft.)

STORAGE

sink

range

fridge

toilet

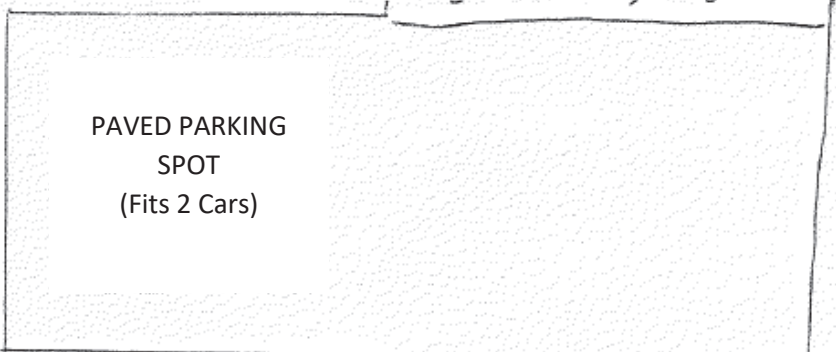
sink

shower

fireplace



SHED



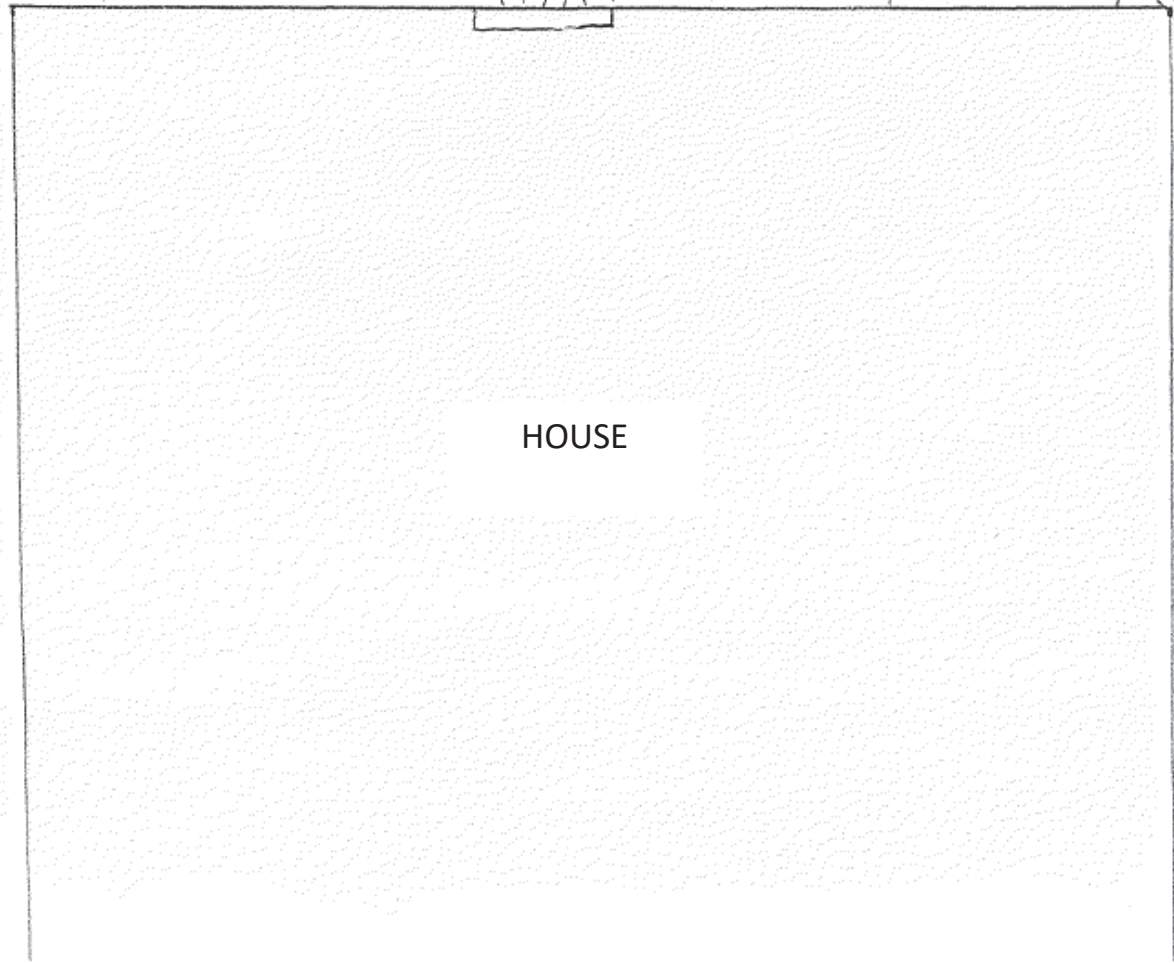
PAVED PARKING
SPOT
(Fits 2 Cars)

← Z

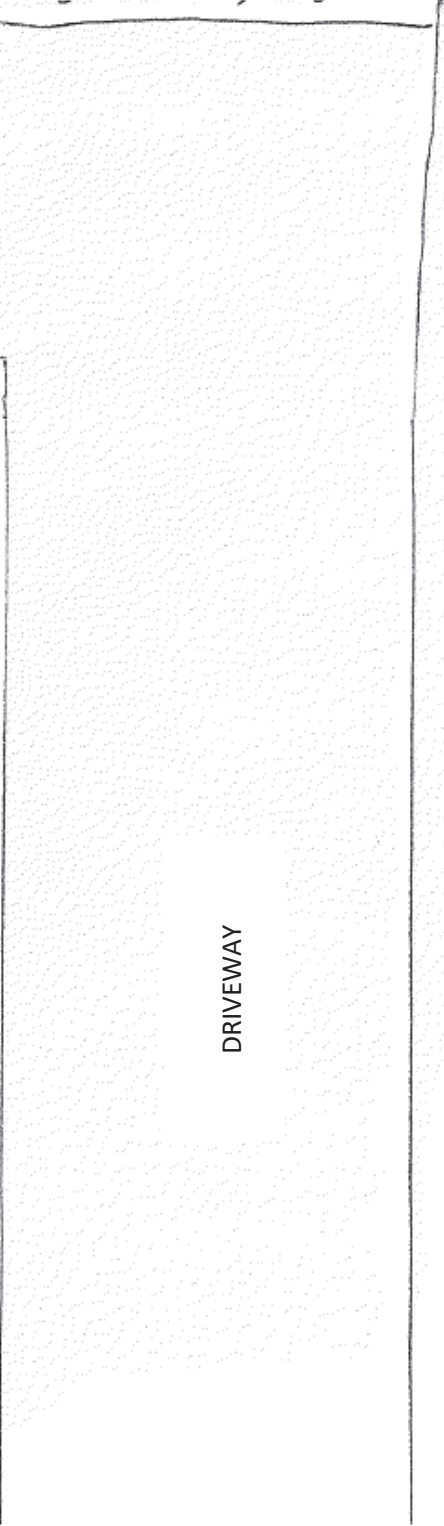
Lower Level
Entrance



DECK



HOUSE



DRIVEWAY



4008



City of White Bear Lake
Community Development Department

M E M O R A N D U M

TO: The Planning Commission
FROM: Ashton Miller, City Planner
DATE: June 26, 2023
SUBJECT: **Midwest Exteriors MN Variance – 3944 Hoffman Road – Case No. 23-20-V**

SUMMARY

The applicant, Midwest Exteriors MN, is requesting a 2 foot variance from the 4 foot maximum height for a fence in the front yard, in order to construct a six foot fence around the entire property located at 3944 Hoffman Road. Based on the findings made in this report, staff finds that the applicant has demonstrated a practical difficulty with meeting the City's zoning regulations as required by Minnesota Statute 462.357, Subd.6 and recommends approval of this request.

GENERAL INFORMATION

Applicant/Owner: Trevor Judd / Midwest Exteriors MN

Existing Land Use / Zoning: Vacant Office; zoned B-3: Auto-Oriented Business

Surrounding Land Use / Zoning: North: Vacant lot; zoned B-3: Auto-Oriented Business
 South: Apartment Building; zoned R-7: High-Density Residential
 East: Auto Service Garage; zoned B-3: Auto-Oriented Business
 West: Single Family Homes; zoned RO: Low Density Residential (Gem Lake)

Comprehensive Plan: Commercial

Lot Size & Width: Code: none; 100 feet wide
 Site: 31,798 square feet; 160 feet wide

60 Day Review Date: July 9, 2023. Extended August 8, 2023

BACKGROUND INFORMATION

The subject site is located on the east side of Hoffman Road and south of County Road F. According to Ramsey County property records, the principal structure was constructed in 1920 as a single family home. The 840 square foot garage was constructed in 1976. In 1985, the

property was rezoned from R-7: High-Density Residential to B-3: Auto-Oriented Business. The property continues to be used as a single-family residence until 1991, when a contractor's office for an electric company began operating out of the building. An existing six foot fence along the south side of the property was approved to encroach into the front yard through a variance in 1985.

The applicants are proposing to use the site as an office for their roofing and siding business. The applicants have stated that exterior storage will not occur on site, rather, the work vehicles will house a lot of the tools that are used on project sites. The vehicles will be parked on site when not out in the field and the applicants would like to enclose the entire parking lot with a six foot fence for security.

Community Comment. Under state law and the City's zoning regulations, variance applications require a public hearing. Accordingly, the City published notice of this request in the White Bear Press and mailed notice directly to adjacent property owners of the subject site. That notice directed all interested parties to send questions or comments to the Planning Department by mail, phone, or email or to attend the public hearing where they could learn about the request, ask questions, and provide feedback. Staff did not receive any comments from the community. During the public hearing, staff will provide an update if any public comments are received prior to the Planning Commission meeting.

ANALYSIS

Review Authority. City review authority for variance applications is considered a Quasi-Judicial action. This means the city acts like a judge in evaluating the facts against the legal standard. The city's role is limited to applying the legal standard of practical difficulties to the facts presented by the application. Generally, if the application meets the review standards, the variance should be approved.

Variance Review. The standards for reviewing variances are detailed in Minnesota State Statute 462.357, Subdivision 6. In summary, variances may be granted when the applicant establishes there are "practical difficulties" in complying with the zoning regulations. A practical difficulty is defined by the five questions listed below. Economic considerations alone do not constitute a practical difficulty. In addition, under the statute the City may choose to add conditions of approval that are directly related to and bear a rough proportionality on the impact created by the variance.

Staff has reviewed the variance request against the standards detailed in Minnesota State Statute 462.357, Subdivision 6 and finds the applicant has demonstrated a practical difficulty. The standards for reviewing a variance application and staff's findings for each are provided below.

1. Is the variance in harmony with the purposes and intent of the ordinance?

Finding: The purpose of the section of code that regulates fences is, "to establish general development performance standards. These standards are intended and designated to assure

compatibility of uses; prevent urban blight, deterioration and decay; and to enhance the health, safety and general welfare of the residents of the community.” Staff finds that a six foot fence in the front yard is compatible with the auto-oriented commercial nature of the area. The distance from the edge of the road to the front lot line is approximately 30 feet, so the fence will not impede sight lines and will not impact vehicle safety. Overall, the applicants are making improvements to the site so that the building no longer sits empty while the parking lot is used for storage of inoperable vehicles and are thus preventing blight and enhancing the general welfare of the community. Therefore, staff finds that the variance is in harmony with the purpose and intent of the ordinance.

2. Is the variance consistent with the comprehensive plan?

Finding: The Future Land Use Map in the 2040 Comprehensive Plan guides the property as Commercial. According to the Comprehensive Plan this category includes a wide range of general commercial uses, such as retail, office, automobile-oriented businesses, and personal service establishments. The proposed office is consistent with the 2040 Comprehensive Plan and the six foot fence allows the company to securely park their work vehicles on site.

3. Does the proposal put the property to use in a reasonable manner?

Finding: This proposal puts the subject property to use in a reasonable manner. The property is zoned B-3: Auto-Oriented Business which is intended for the establishment of motor vehicle oriented or dependent commercial service activities. Through a conditional use permit, high intensity commercial activity such as outdoor storage, auto repair and contractors shops are permitted in the district. A six foot fence is often associated with such uses, so the proposal is reasonable given the context of the area.

4. Are there unique circumstances to the property not created by the landowner?

Finding: The property was originally developed as a single-family home over 100 years ago, with the principal structure set back about 50 feet from the front lot line. The site was not developed with commercial design standards in mind, so when it was converted to commercial, the parking lot filled in around the building, consequently, extending in front of the principal structure. In order to enclose the parking lot in its entirety, the fence needs to extend beyond the front building wall into the front yard.

5. Will the variance, if granted, alter the essential character of the locality?

Finding: Granting the requested variance will not alter the essential character of the surrounding neighborhood. The six foot fence along the southern property line that has existed for 38 years has not been a detriment to the area. There are also other commercial properties along Hoffman Road that have six foot chain link fences in the front yard, including 4041 Highway 61 (Saputo) and 1743 County Road F (Sela). The city’s Public Works facility has a six foot chain link fence in the front yard on the Highway 61 side. Lastly, the residential apartment

building to the south was granted a variance for an 8 foot tall fence, so the proposal will be similar to what already exists in the neighborhood.

RECOMMENDATION

Staff recommends approval of the request, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. A zoning permit for the fence shall be obtained before any work begins.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.

Attachments:

Resolution

Zoning/Location Map

Applicant's Narrative & Plans

RESOLUTION NO.

**RESOLUTION GRANTING A HEIGHT VARIANCE FOR
3944 HOFFMAN ROAD WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, Midwest Exteriors MN has requested a 2 foot variance from the 4 foot maximum height allowed for a fence in the front yard, per code section 1302.030 Subd.6.h.4 in order to construct a 6 foot fence around the entire property at the following location:

LEGAL DESCRIPTION: All that part of the South 176.61 feet of Lot 11, Block 4, Rearrangement of White Bear Park, lying West of a line running parallel to and distant 735 feet West of the East line of said Lot 11 and lying East of Hoffman Road (formerly Trunk Highway H. 61) except that part described as follows: All that part of the South 20 feet of Lot 11, Block 4, Rearrangement of White Bear Park, lying West of a line running parallel to and distant 735 feet West of the East line of said Lot 11 and lying East of Hoffman Road (formerly Trunk Highway No. 61), Ramsey County, Minnesota. PID 273022140015

WHEREAS, the Planning Commission held a public hearing as required by the Zoning Code on June 26, 2023; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake, Minnesota that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variance is in harmony with purposes and intent of the ordinance.
2. The requested variance is consistent with the 2040 Comprehensive Plan.
3. Granting the requested variance will allow the property to be used in a reasonable manner.
4. There are unique circumstances to the property not created by the landowner.
5. Granting the requested variance alone will not alter the essential character of the neighborhood.

BE IT FURTHER RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested variance, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted in this application shall become part of the permit.
2. Per Section 1301.060, Subd.3, the variance shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to

RESOLUTION NO.

petition for renewal. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.

3. A zoning permit for the fence shall be obtained before any work begins.
4. The applicant shall verify the property line and have the property pins exposed at the time of the inspection.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Dan Louismet, Mayor

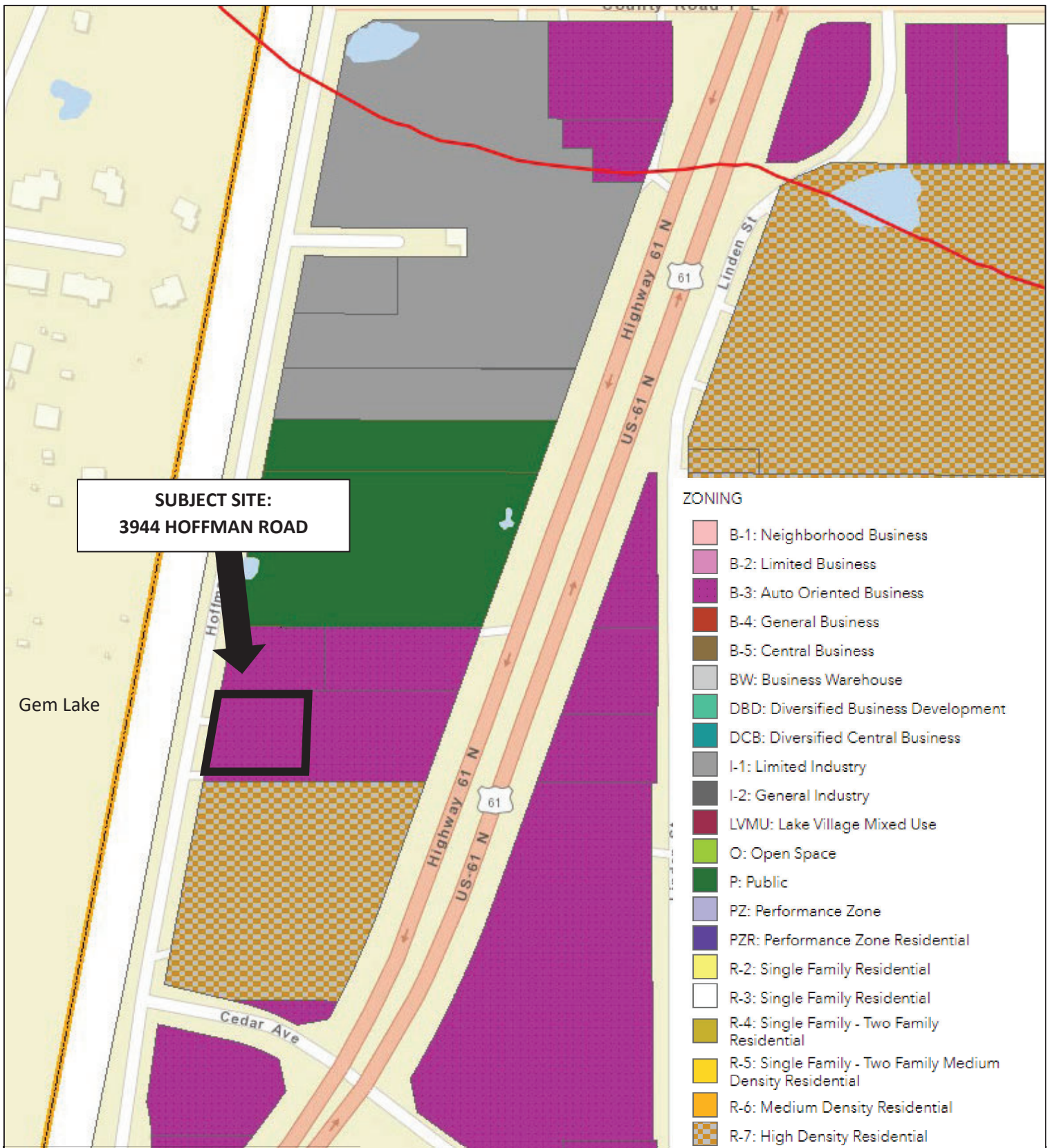
ATTEST:

Caley Longendyke, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

Applicant's Signature

Date



City of
White Bear Lake
Planning & Zoning
651-429-8561

CASE NO. : 23-20-V

CASE NAME : Midwest Exteriors MN

DATE : June 26, 2023

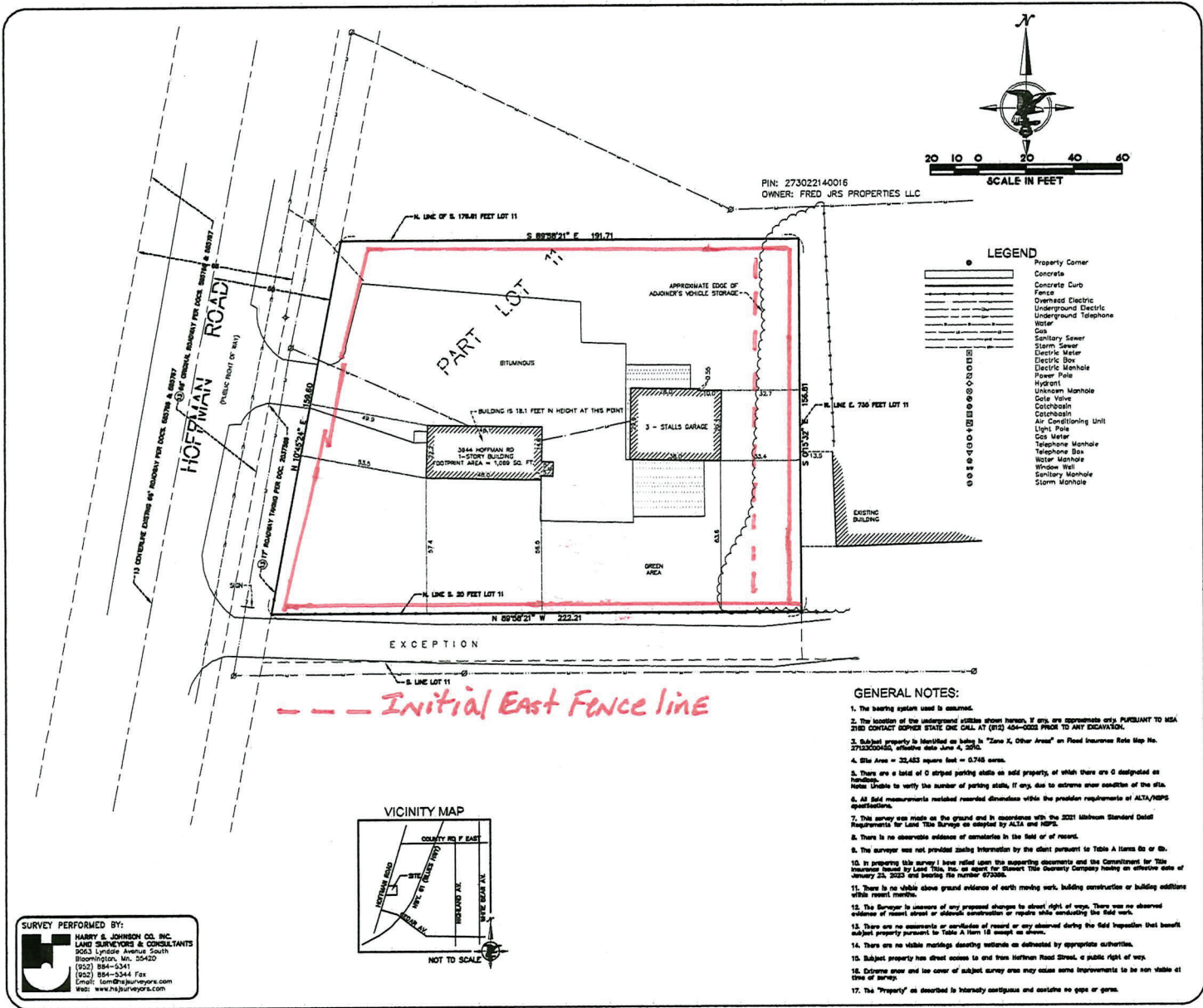
MIDWEST EXTERIORS MN



Midwest Exteriors MN is a Roofing, Siding and Gutter installation company serving the metro area as well as greater Minnesota and Western Wisconsin. The Hoffman Rd property will provide office space for our Administrative Staff as well as a home base for our Sales Staff and Gutter installation crews. The outbuilding or garage will be utilized for material, small tool and equipment storage. The property will allow us outdoor parking for our install vehicles, equipment trailers as well as employee parking during the workday.

Our variance request is being made in order that we may be able to adequately protect and secure our business assets. Currently we have 5-10 installation vans and trailers that each contain a considerable investment in tools and equipment. Hoffman Rd not being on the main road does create some concern for nefarious activities. Thus, we feel there is a significant need to make every effort possible to protect our investment. The house/office and garage have already been broken into the weekend of April 29th.

We will have a security system and other improvements to the property as well. General site cleanup and building appearance improvements to be made also.



LEGAL DESCRIPTION

All that part of the South 176.81 feet of Lot 11, Block 4, Rearrangement of White Bear Park, lying West of a line running parallel to and distant 735 feet West of the East line of said Lot 11 and lying East of Hoffman Road (formerly Trunk Highway No. 61), except that part described as follows:

All that part of the South 20 feet of Lot 11, Block 4, Rearrangement of White Bear Park, lying West of a line running parallel to and distant 735 feet West of the East line of said Lot 11 and lying East of Hoffman Road (formerly Trunk Highway No. 61), Ramsey County, Minnesota.

Abstract Property

NOTES CORRESPONDING TO SCHEDULE B:

Subject to road as shown by existing maps. (AS SHOWN ON SURVEY PER DOCS. 028796, 028787 & 2023123)

STATEMENT OF POTENTIAL ENCROACHMENTS:

There are no visible above ground encroachments over or across any property lines of subject property.

LAND TITLE SURVEY
ALTA/NSPS
for:
MULLIGAN & BJORNES

SITE: 3844 HOFFMAN ROAD
WHITE BEAR LAKE, MINNESOTA

CERTIFICATION:

To best, L.L.C. is a licensed limited liability company, Stewart Title Guaranty Company and Land Title, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, duly established and adopted by ALTA and NSPS, and include Items 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 11, 12, 15, 17 and 18 of Table A thereof.

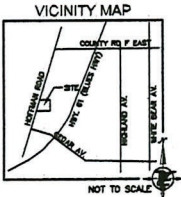
The field work was completed on February 21, 2023.
Date of Plat or Map: February 24, 2023

H. E. Johnson
HARRY S. JOHNSON, L.S.P.
Minn. Reg. No. 23877

HARRY S. JOHNSON CO., INC.
LAND SURVEYORS & CONSULTANTS
PHONE: 651-884-5241 FAX: 651-884-5244 Email: hsj@harryjohnson.com

Sheet No. 1 OF 1
Scale: 670
Date: 2023123
Cadastral: ONI
Map No. 2023123

SURVEY PERFORMED BY:
HARRY S. JOHNSON CO. INC.
LAND SURVEYORS & CONSULTANTS
3053 Lyndale Avenue South
Bloomington, MN 55420
(952) 884-5241
(952) 884-5244 Fax
Email: tom@harryjohnson.com
Web: www.harryjohnson.com



Office: 651-423-3995
 Fax: 651-423-3996
 www.dakotaunlimited.com
 MN License # BC131577



Work Order# RF3944

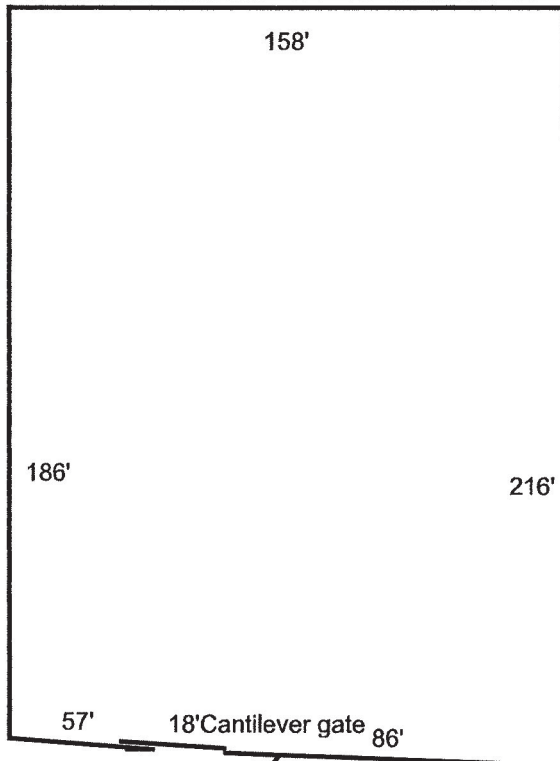
FENCE. GATE. RAIL. IRON. CUSTOM.

15953 Biscayne Avenue West
 Rosemount, MN 55068

Estimate Date 2-27-23
 Order Date _____

INSTALLATION ADDRESS:				BILLING ADDRESS (IF DIFFERENT)			
Name Trevor Judd				Name			
Address 3944 Hoffman Road				Address			
City White Bear Lake		State Mn		Zip 55110		City	
Phone: 651-246-7873				Contact:			
Hudson Page/Grid		Cross Street		Contact:			
CHAIN LINK: Residential:		Commercial: Wt. x		Walk Gates: 1-4'		Welded: Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Height: 6'		Footage: 703'		Drive Gates:		Welded: Y <input type="checkbox"/> N <input type="checkbox"/>	
Galvanized <input checked="" type="radio"/> Black <input type="radio"/> Brown <input type="radio"/> Green <input type="radio"/>				Cantilever Gates: 1-18'		Welded: Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Gauge/Type: 9Gauge		Top Rail: 1-5/8"		Location of Rails: Top		Tension Wire:	
Terminal Size: 4"x10' & 3"x10'		Line Posts: 2-1/2"x10'		Barb Wire:		Flanged:	
Est. Install Date: 2023				Concrete Footings: End, corner & gates			
				Drive Posts: Lines			

- | | | | | |
|---|--|---|-------------------------------------|--|
| <input type="checkbox"/> Combination Job | <input type="checkbox"/> Obstructed Fence Line | <input type="checkbox"/> Pool | <input type="checkbox"/> Flanged | Permit Responsibility:
<input type="checkbox"/> Customer <input checked="" type="checkbox"/> Dakota <input type="checkbox"/> Not Needed |
| <input type="checkbox"/> Sprinkler System | <input type="checkbox"/> Property Pins Visible | <input type="checkbox"/> Private/Gas Elec | <input type="checkbox"/> Hard Holes | |



- Customer to see back of contract for terms/conditions of sale.
- Customer agrees to assume all financial responsibility for repairs to damaged sprinkler system.
- Customer agrees to clear obstructions along fence lines.
- All work performed by Dakota Unlimited's specialized crews.
- Uniform spacing of sections.

No subcontractors.

All gate, end and corner posts set in concrete footing. All line posts to be driven.

Fence line needs to be completely cleared of tree's and shrub's before we can start.

Pricing does not include operator for cantilever gate.

Dakota Unlimited proposes to furnish materials and labor for fence installation in accordance with the above specifications for the sum of

\$ _____

ADD-ONS

- | | |
|---|---|
| <input type="checkbox"/> Dirt Haul \$ _____ | Survey \$ _____ |
| <input type="checkbox"/> Tear Out \$ _____ | <input type="checkbox"/> Homeowner |
| <input type="checkbox"/> Disposal | <input type="checkbox"/> Certified Survey |

PROJECT TOTAL

= \$ _____

Customer assumes responsibility of reading contract terms and conditions listed on reverse side of contract. Current retail prices will apply to all additional material and/or labor furnished by Dakota Unlimited, Inc. resulting from customer changes to this agreement.

DEPOSIT: 1/3
 Progress Payment: 1/3
 Balance due upon completion: 1/3
 Visa Card Master Card Discover Card Exp:

Credit Card # _____ CVV : _____
 All credit card transactions will incur a 3% processing fee

Acceptance of Proposal

The price and specifications are satisfactory and acceptable: I/we hereby authorize you to proceed with the work as specified. I/we agree to all terms as outlined.

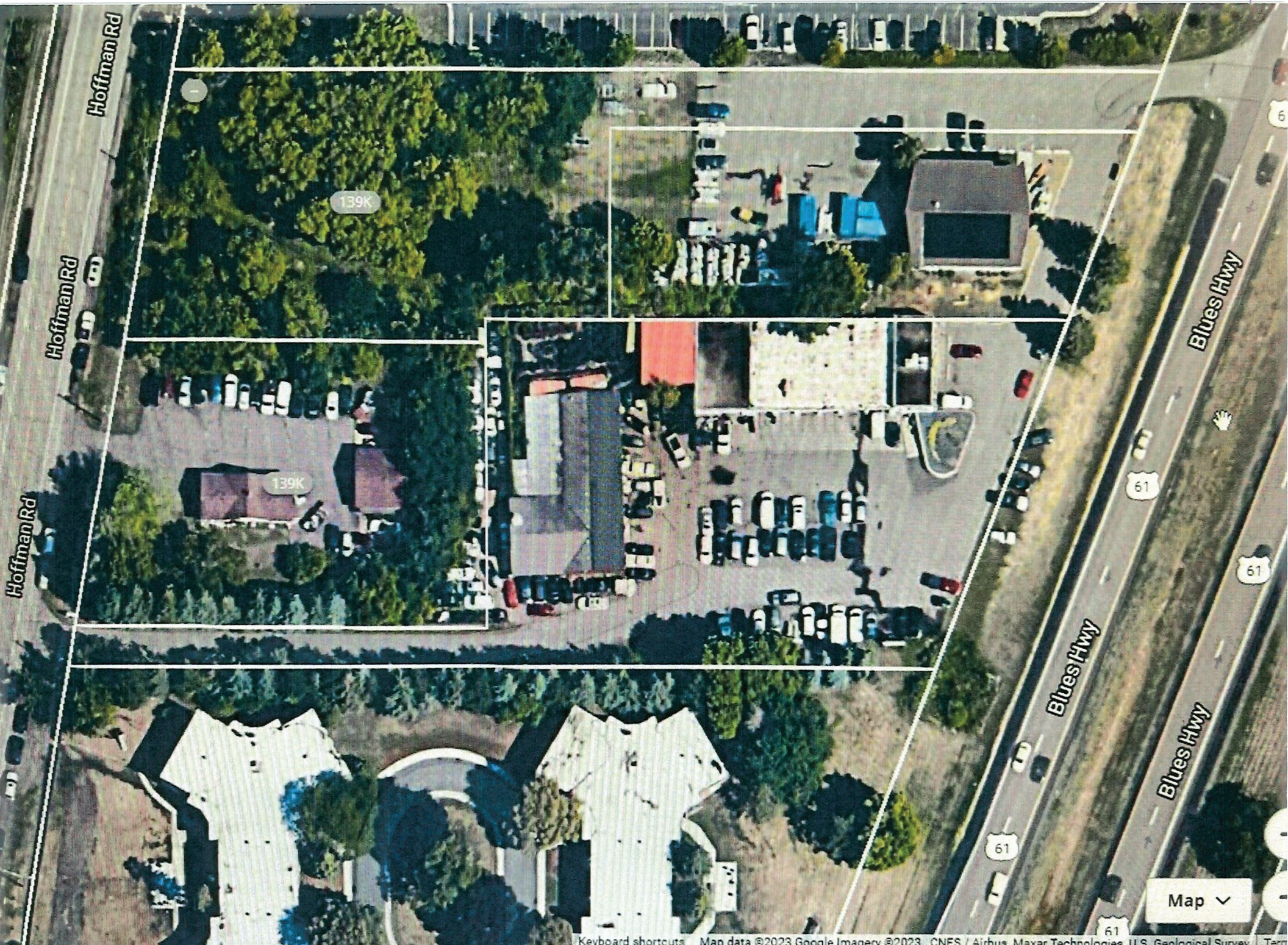
Date ^x _____

Accepted by _____

Authorized Representative _____ Rick Fischer

This proposal valid for 45 days.

BUYER AGREES THAT ALL WARRANTIES ARE VOID IF THE PAYMENT TERMS HEREOF ARE NOT MET.



Hoffman Rd

Hoffman Rd

Hoffman Rd

Blues Hwy

Blues Hwy

Blues Hwy

139K

139K

61

61

61

61

Map