

**PLANNING COMMISSION MEETING
AGENDA
CITY OF WHITE BEAR LAKE, MINNESOTA**

The City of White Bear Lake Planning Commission will hold its regular monthly meeting on Monday, February 26, 2018, beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61.

1. Call to order and roll call.
2. Approval of the February 26, 2018 agenda.
3. Approval of the January 29, 2018 Planning Commission meeting minutes.
4. **CASE ITEMS:**
Unless continued, all cases will go to the City Council meeting on Tuesday, March 13, 2018

A. Case No. 15-1-Sa2: A request by **Northern Tool and Equipment** for an Amendment to an approved Planned Unit Development, per Code Section 1303.170, to increase the exterior display area of large size merchandise from six to fifteen parking stalls, for the property located at 3201 White Bear Avenue.

B. Case No. 18-2-V: A request by **St. Pius X Catholic Church** for seven variances in order to reconstruct the existing parking lots:

- i. A 24 foot variance from the 30 foot hard-surface setback required along Highland Avenue, per code section 1302.050, Subd.4.17.a.1;
 - ii. A 30 foot variance from the 40-foot hard-surface setback required along Cedar Avenue, per 1303.050, Subd.6.e;
 - iii. A 7 foot variance from the 40-foot hard-surface setback required along Kinglsey Avenue, per the same;
 - iv. A 31 stall variance from the 244 stall parking requirement, per 1302.050, Subd.8;
 - v. A 14 tree variance from the requirement for 39 trees around the perimeter of the parking lot, per 1302.050, Subd.4.h.16;
 - vi. A 361 shrub variance from the requirement for 361 shrubs around the parking lot perimeter, per 1302.050, Subd.4.h.16; and
 - vii. A variance to allow 4 of the internal island trees to be evergreens instead of shade trees per 1302.050, Subd.4.h.16;
- for the property located at 3878 Highland Avenue.

5. **DISCUSSION ITEMS:**

- A. City Council Meeting Minutes from February 13, 2018
- B. Park Advisory Commission Meeting Minutes from February 15, 2018

6. **ADJOURNMENT**

Next Regular City Council Meeting.....February 27, 2018
Next Regular Planning Commission Meeting March 26,2018

**MINUTES
PLANNING COMMISSION MEETING
CITY OF WHITE BEAR LAKE
January 29, 2018**

The regular monthly meeting of the White Bear Lake Planning Commission was called to order on Monday, January 29, 2018, beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61, White Bear Lake, Minnesota by Chair Jim Berry.

1. CALL TO ORDER/ROLL CALL:

MEMBERS PRESENT: Chair Jim Berry, Erich Reinhardt, Marvin Reed, Peter Reis, Ken Baltzer and Mark Lynch.

MEMBERS EXCUSED: Mary Alice Divine.

MEMBERS UNEXCUSED: None.

STAFF PRESENT: Anne Kane, Community Development Director, Samantha Crosby, Planning & Zoning Coordinator, Jacquell Nissen, Housing and Economic Development Coordinator and Amy Varani, Recording Secretary.

OTHERS PRESENT: Tom Frattallone, Tom Greeninger.

2. APPROVAL OF THE JANUARY 29, 2018 AGENDA:

Member Reis moved for approval of the agenda. Member Lynch seconded the motion, and the agenda was approved (6-0).

3. APPROVAL OF THE DECEMBER 18, 2017 PLANNING COMMISSION MEETING MINUTES:

Member Baltzer moved for approval of the minutes. Member Reed seconded the motion and the minutes were approved (6-0).

4. CASE ITEMS:

A. Case No. 18-1-V: A request by **Frattallone Family, LLP** for an 8,000 square foot variance over the 10,000 square foot maximum per Code Section 1303.160. Subd. 10.b.6 which restricts the maximum area of a retail business located in the B-5 Central Business District and a 32 stall variance from Code Section 1303.160, Subd. 10.h.1.g that requires 32 on-site parking spaces for the property located at 4788 and 4796 Washington Avenue.

Kane discussed the case. Staff supports both variance requests, subject to the conditions cited in staff's report.

Kane read a letter of support from Dale Grambush, a local business owner.

Berry asked about the windows in the old Sundt building; do they have to be used as a window on the interior or can the window just remain on the exterior? Kane stated that they can't be blacked out. Staff talked to the applicant and their contractor about putting photographs in the windows, similar to CVS. Staff encouraged them to have display windows; it could serve a small billboard of the seasonal products that are currently available. Kane believes it's their intent to retain those windows for light and viewing into the new sales floor area.

Lynch asked what the original logic was behind the 10,000 square foot maximum allowed. Kane explained that a moratorium was enacted in 2003 specifying that no new buildings over 10,000 square feet or drive-thru facilities were allowed in the B-5 District. The current zoning regulations that resulted from that limited the ground floor area of any one single retail business (not restaurants) to 10,000 square feet. In its current state, Ace Hardware is at 10,900 square feet. However, when staff studied it in 2003, it was an existing business in that location, and was a contributing factor to the pedestrian character, to the convenience of downtown and to the historic character of the District.

Berry opened the public hearing.

Tom Frattallone, Minneapolis, stated that the store has been a neighborhood place for a long time. His father bought it in 1981. They are a local family business that wants to make the White Bear Store look better. They've already expanded their south White Bear Lake store, adding 3,500 square feet and making it more shoppable. They've upgraded the outside of the facility. The new portion will have the same look on the façade. They're adding ADA compliant bathrooms to the main floor. It's a great opportunity to use a space that is not very well utilized. It will be 75% retail, adding many new products. He hopes that the Planning Commission will recommend approval on this.

Reis asked about the marketing dynamics that drove Frattallone to want to expand the business. It roughly doubles the size. Would he want to add another store? What does he think the optimal size is? Frattallone stated that this request would get the store to the optimal size. It will give enough area so that people can look at things without bumping into other things. They're trying to make a better experience. By making it more inviting and easier to shop, he may not have to do much more marketing. He may just be able to have people happier to be there.

Lynch asked, if this is approved, when their re-grand opening would be? Frattallone stated that it would probably be in June.

Lynch stated that staff did a great job of laying out good logic of why this is a good idea.

Member Reis moved to recommend approval of Case No. 18-1-V. Member Baltzer seconded the motion. The motion passed by a vote of 6-0.

5. DISCUSSION ITEMS:

A. Comprehensive Plan – Land Use Element.

Kane stated that the Planning Commission may recall that they had some initial conversations on Land Use last October for some key properties that, through Ramsey County valuations or staff knowledge of development industry interest, identified parcels that staff anticipates will likely change land use potentially by 2040.

Kane indicated there was some concern today when some representatives from MICAH Northeast (Metropolitan Interfaith Council on Affordable Housing) weren't reached out to. In staff's haste of getting a schedule together, they didn't necessarily reach out to all of the advocacy groups in the community. That stems from a change in the Comprehensive Plan process in that the City didn't have the advantage in 2015 or 2016, of having completed a community strategic planning process. With the changeover in the City Manager's office, it wasn't possible to get community input from a strategic planning process. So staff intentionally went out and did more of a public forum process throughout 2017. Following four months of Open Houses, staff was at Marketfest, the YMCA and the library. They've narrowed down priorities in all of the different elements. They want to utilize various groups, organizations and advisory boards for strategic planning input, along with the Planning Commission's input on Land Use and Housing. Staff will have a first run at a draft plan in early April. City staff will be reaching out to various groups in the community who have expressed interest in being more a part of this. Kane ensured the Planning Commission that staff hopes to have the opportunity to meet with them, as well as any other interested groups in the community that want to ensure that various elements of the Comprehensive Plan are addressing their concerns.

Kane discussed the Land Use Plan. She discussed various opportunity parcels, including the Kyle property, the former public works site, the Lowell triangle, the US Bank site, the city owned parcel with White Bear Bar and the US Post Office. Right after the Comprehensive Plan process will be the Rush Line Station planning process. The Ramsey County Rail Authority is the project manager. They just finished up the Locally Preferred Alternative (LPA) last summer. The LPA designates the route and the mode. She explained where the route would go from St. Paul to White Bear Lake.

Reis asked how the stations would look. Lynch asked if it would look like the A Line that is on Snelling. Kane confirmed that it would.

Kane went on to discuss the Frogner property and Gospel Fellowship Church property. In preliminary discussions, staff is encouraging developers to be innovative and forward thinking.

Kane stated that, regarding the Gospel Fellowship Church property, staff would like to see a development that faces Highway 96. Reed agreed.

Kane discussed the two auto dealers; staff hasn't reached out to them yet. It's very far into the future. The zoning that's being envisioned will still allow auto dealers to continue. They'll have to come up with some sort of incentive that makes it desirable for them to reduce their footprint.

The consulting firm that's been selected by Ramsey County to guide in the next phase after the LPA on the Rush Line is starting to go into the Environmental Analysis phase for the Federal Transit Competitive Process. That's a 24-30 month process. That will come as part of the Station Area Planning Taskforce.

Kane talked about the four corners at County Road E and Bellaire and the Wildwood Shopping Center converting. The Village Inn continues to move forward with selling off assets. The development activity will be postponed until the Comprehensive Plan can get approved by the Met Council in the early part of 2019. The City would not be able to issue any permits for that until then. The City is in a holding pattern with other parcels too.

Staff has identified about 65 acres for reguiding from something less intense to more intense. If all of those properties develop at their minimum prescribed density by 2040, they will produce 1,180 units. Met Council has assigned 1,200 units to the City. It's good that the City accommodate the growth, even at minimum densities.

Berry thanked staff for all the information they've put together. He stated that he doesn't like the idea of 7, 8, or 9 unit per acre density in White Bear Lake. It would change it's whole identity.

A. Comprehensive Plan – Housing Element.

Nissen stated that the housing stock has developed over the last 150 years, much of it previously to 1960. This presents challenges that the City is facing today, but also some opportunities in terms of redevelopment. The latest developments the City has experienced have been a majority of multi-family and sporadic small housing developments such as Wild Marsh Townhomes. As the housing population grows, the City will want to continue to strengthen the current housing stock and maintain great viable neighborhoods, along with continuing to attract new families and preserve existing stock with the life cycle housing that the City already enjoys. New housing types may change over time with increased density and different housing preferences.

Nissen discussed the different types of developments that have been added over the last 10 years, including BoatWorks Commons, Hoffman Place apartments, six Habitat for Humanity homes, townhomes, senior housing, and sporadic single-family homes. Each has addressed a different housing need throughout the community. In the next 10-20 years, the shape of what the housing stock will look like will continue to grow, but it'll be in all areas of future life cycle housing needs. The City has done a great job in the last 10 years accommodating for growth through a variety of densities. By 2040, an additional need for 1200 units has been identified by Met Council. By 2030, the City needs 200 affordable units. The City has really

focused on the Land Use Plan to help accommodate for that growth, understand what the needs are to accommodate, especially for affordable housing. Staff has engaged in preliminary discussions with MICAH to understand the current and future affordable housing challenges.

Nissen stated that staff identified the transit-oriented district to be a great area to focus a number of affordable units, in addition to Wildwood shopping center. They are key areas that could really accommodate for education, workforce transportation amenities nearby. It helps lower the cost of living when one has less transportation costs. With the Land Use plan, if the transit-oriented district and Century College nearby stations are appropriate for affordable housing, that would allow them to have just over 41 acres in total. Eight units per acre is what Met Council recommends that all cities adopt in order to accommodate for the affordable housing need. If the City allocated the 41 acres at 8 units per acres, 330 units can be accommodated for affordable housing. Nissen talked about the different levels of amenities and unit sizes among affordable and market rate multi-family developments. Some communities encourage mixed income housing, however it's important to understand the complexity of managing two types of housing and tenants in one building. As the City grows, working with very experienced developers and understand that market, will be the best approach to accommodating all needed housing units.

Berry stated that it sounds like affordable housing isn't just rental units that are all combined into one building. Nissen agreed. Berry stated that the City has single-family housing stock that he assumes meets the vast majority of affordable housing. Nissen stated that over 80% of the existing housing stock, including rental homes and owner-occupied homes, is considered affordable. Affordable standards translate to owner occupied and rental homes that residents can afford at an 80% area median income (AMI) level. For home values, it is important to note the home values are based off of Ramsey County's assessed valuation rather than market rate. The Downtown area has much higher market rate value than what they're being assessed at. What the market value is, per the tax, does not necessarily mean what they're selling rate is going at.

Kane stated that not all the acres located near transit will be solely dedicated for one type of housing unit. What the City wants to do is in those micro-station areas, reflect the diversity of housing stock that the City currently enjoys throughout the community. Kane stated that we need more high-end housing and high density right around Downtown to support the businesses that are coming in and to support more restaurants. One of the challenges of those 200 units is that 113 of them are allocated to the 30% area median income.

Kane talked about a property on Highland Avenue. It's a former convent. Staff has talked to potential developers who are interested in doing an innovative housing development like congregate living. Residents may share bathrooms or kitchens. She talked about SRO's (Single Room Occupancy). It would take rezoning of some sort or Conditional Use with neighborhood notice and public input. Staff thinks it's a good idea to pursue; it's the execution and ongoing management and operation of it that will be critical.

There was discussion about the student housing at Century Commons which is the only SRO housing in the City.

Nissen talked about accessory dwelling units, such as granny flats or a room within a house that meet certain requirements.

Reis asked about tiny homes. Kane stated that the building code prohibits them because of room size requirements, as well as minimum house width of 22 feet. Staff will be monitoring St. Paul's review of a proposed "Tiny Home" ordinance.

Nissen talked about micro units, which could take form into a multi-family development or into a tiny house. It's the concept of living in a very small unit (smaller than a typical studio apartment) with nice finishes at a price that's attainable. It is an option the City could embrace with future housing developments.

Nissen stated the importance of keeping an open mind as housing preferences change and these new housing products come out, what developers are proposing in terms of what demographics they're attracting and their experience level, etc.

Another different housing concept is pocket neighborhoods. Pocket neighborhoods are usually smaller sized homes that are often more attainable. Normally also have shared amenities, smaller garages, and high architectural finishes. This type of development would be a great concept in smaller redevelopment opportunity sites.

Nissen explained what Net Zero energy efficient homes are. Net zero homes should be encouraged in all types of housing development.

Nissen went on to discuss the following:

Challenges:

- Aging housing stock
- Rising cost of housing compared to income
- Maintaining a diverse housing stock
- Diminishing subsidies
- Available land
- Changes in transportation

Housing Goals:

1. White Bear Lake will continue to seek opportunities for redevelopment for new housing options
2. WBL will protect the quality and character of its residential neighborhood through housing maintenance, preservation and sustainable building practices.
3. WBL will seek opportunities to expand its supply of affordable and life-cycle housing while maintaining its existing supply.

Goal #1 – Potential New Policies

- Inclusionary Housing Policy. Commissioners and Nissen saw this policy as a potential barrier from attracting good developers to the community. As Nissen mentioned previously, enforcing developers to create mixed income housing can be very difficult from a management standpoint.
- Reduced Development Cost. Nissen stated there are other options to lower development cost such as selling City owned land at little to no cost, offering Tax Increment or Abatement.
- Tax Increment Finance. This has been a successful tool in the City for Housing and Commercial Development.

Goal #2

- Consider zoning flexibility. Nissen stated that Accessory Dwelling Units (ADU's) can be constructed with a Conditional Use Permit, but staff could consider allowing ADU's by property right subject to zoning provisions. This could encourage another option for housing, and allow senior residents to stay on their single-family property longer by having another family on the property.
- Truth-in-housing inspection. Nissen will research this topic, as the Commissioners showed interest but also had some concerns.
- A local owner occupied housing improvement program. Nissen stated a program could be created to encourage existing home improvements, even similar to the City's Commercial Revolving Loan and Grant Program (RLGP).

Goal #3

- Tax abatement- Nissen stated this may be used for new housing developments or to encourage existing multi-family property owners invest in their properties. However, the City's share of the taxes on the majority of the properties may not be an incentive that is worth while. Nissen stated she will complete more research.
- Advance Notice of Sale. Commissioners wondered how long the City had to contact affordable housing developers or owners before the purchase agreement was allowed to move forward. Nissen stated she will look into the policy further.
- Non-discrimination based on the use of housing choice vouchers (Section 8) or other government programs. Nissen and the Commissioners agreed that there is already an adequate number of properties that accept Section 8 vouchers for the number of families using the vouchers in the City and neighboring communities.
- Local Program Offering Rehab Financing in Return for Affordability Commitments. Nissen stated this program could also be structured like the Commercial RLGP. Commissioners stated that even a 75-25% match may provide enough incentive for owners to participate in the program. One Commissioner mentioned that instead of offering a loan match, the City could offer a guarantee (full or partial) to rehab loans. This could be seen as more of a value to rental property owners than a loan match could.
- Locally owned affordable housing. Nissen stated that Pioneer Manor's debt service expires in 2023, with \$160,000 that could be potentially invested into Pioneer Manor II. Commissioners were not opposed for they see the need for additional affordable senior housing.

B. City Council Meeting Minutes of January 9, 2018.

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C. Park Advisory Commission Meeting Minutes from November 16, 2017.

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6. ADJOURNMENT:

Member Baltzer moved to adjourn, seconded by Member Reed. The motion passed unanimously (6-0), and the January 29, 2018 Planning Commission meeting was adjourned at 9:36 p.m.

DRAFT



City of White Bear Lake
COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: February 21, 2018 for the February 26, 2018 Planning Commission Meeting

SUBJECT: Northern Tool – 3201 White Bear Avenue, Case No. 18-2-V

REQUEST

The applicant, Northern Tool and Equipment, is requesting a minor amendment to the White Bear Marketplace Planned Unit Development (PUD) in order to increase the exterior display area of merchandise from 6 parking stalls to 15 parking stalls. The change would also relocate the stalls to the west end of the parking aisle.

ZONING

The subject site is zoned B-4 – General Business, as are the properties to the east. The property to the west, Sam’s Club, is zoned I-1 – Limited Industry. The properties across Buerkle Road, to the north are zoned R-3 – Single Family Residential, with a thin strip of P – Public Facilities, as a buffer between them and Buerkle Road. I-694 abuts the property to the south.

BACKGROUND

In 2015, the City approved the redevelopment of the former K-mart/Big Lots site into the White Bear Marketplace shopping center – a 105,767 square foot retail center with Cub Foods as the anchor tenant. At the time, Northern Tool was approved to utilize 6 parking stalls for outside sales/display along the north side of the building. The following conditions accompanied the approval:

1. That the items be large items, such as trailers, snow blowers, wood splitters, etc. No shelving with small items and no displays of multiple items per parking stall.
2. That the items displayed in this area not be turned-on, tested, or demonstrated after 5pm or before 8 am during the week or after 5pm or before 9 am on the weekends.
3. No large signs shall be displayed on the machinery, only small tags not visible from Buerkle Road.
4. The stalls will not be roped-off or signed in any way.
5. The stalls will be striped for parking and when not being used for display, customers will be able to park there.
6. This area shall not change in size or location without the City’s prior approval.
7. Should the tenant violate the limits, location or terms of the display area on a regular basis, the City Council shall have the authority to revoke the approval upon a public hearing.

APPLICANT'S PRACTICAL DIFFICULTY

See attached narrative.

ANALYSIS

Northern Tool has been deviating from their established parameters for outdoor display for quite some time. Violations include: more than one item per stall, both horizontally and vertically (stacking trailers on top of each other), items stored inside the trailers, and utilizing more than the 6 designated stalls (see attached photos). Staff has also noticed that the trailers are backed-up so far into the stall that the overhang is damaging the landscaping. Staff approached management about these concerns and the issues were resolved in a timely manner, however, discussion of the issues led to this request to modify the approval. Staff supports the slight increase in area, subject to additional parameters, outlined in condition #5, below.

One of the additional parameters recommended by staff is that there must be a relative diversity of items. While difficult to define, at the very minimum, the items cannot be all the same type of trailer; then that's not display, that's just storage. The request narrative mentions the importance of variety twice, and management has verbally indicated understanding and agreement in relation to this condition.

The shopping center provides 466 stalls when 506 stalls are required by code. This 40 stall reduction was part of the flexibility provided by the PUD approval. The proposed change decreases the count by another 9 stalls – leaving 457 stalls. Staff supports the request to further reduce the parking for the following reasons:

- the change helps to open up stalls which will be more readily used by customers, and a prime visual corner of the building;
- the stalls, when not used for display will still be available for parking;
- the parking requirement does not account for visits to multiple shopping center tenants within the same trip; and
- the nominal amount is consistent with the original PUD approval.

SUMMARY

The City's discretion in approving or denying a Planned Unit Development Amendment is high. A PUD must be consistent with the City's Comprehensive Plan. Similar to a Conditional Use Permit, the City may impose reasonable requirements in a PUD not otherwise required if the City deems it necessary to promote the general health, safety and welfare of the community and surrounding area.

RECOMMENDATION

Staff finds that the proposed amendment complies with the original intent of the PUD Approval when subject to the following conditions:

1. All application materials, plans, maps, drawings, and descriptive information submitted in this application shall become part of the building permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the PUD Amendment, the use as allowed by the permit shall not have been completed or utilized, the Amendment shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.

3. This PUD Amendment shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the sign resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. This amendment shall be subject to all the conditions imposed by the original PUD approval (Case No. 15-1-S, Reso # 11549) granted on February 24, 2015 and all of the conditions imposed by the original PUD amendment (Case No. 15-1-Sa, Reso # 11593) granted on May 12, 2015.
5. In addition to the 7 exterior display-related conditions imposed by the first amendment:
 - a. Display items shall be parked so that no part of the item extends past the parking lot curb.
 - b. No storage, stacking, or stock piling of items.
 - c. Items may not be wrapped (eg: plastic or styrafoam).
 - d. There must be a relative diversity of items.
6. Come Spring, planning staff and the store manager shall conduct an inspection of the landscaping along the north side of the building. Any damaged landscaping shall be replaced before 2018-2019 winter.
7. The display area will be limited to the stalls shown on the Display Area Diagram, received January 24, 2018. Any deviation from this approval will be corrected within 3 weeks of written notice from the City.

60 DAY TIMELINE

Received	Complete	60 day Deadline	Planning Commission	City Council
1/24/18	1/24/18	3/25/18	2/26/18	3/13/18

Attachments:

1. Draft Resolution of Approval
2. Zoning/Location Map
3. Applicant’s Narrative, dated January 16, 2018
4. Display Area Diagram, received January 24, 2018
5. Display Area Photos

RESOLUTION NO. _____

**RESOLUTION APPROVING
A PLANNED UNIT DEVELOPMENT AMENDMENT
FOR 3201 WHITE BEAR AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (15-1-Sa2) has been submitted by Menards, Inc./Northern Tool and Equipment, requesting amendment of an approved Planned Unit Development from the City of White Bear Lake at the following site:

ADDRESS: 3201 White Bear Avenue

LEGAL DESCRIPTION: Lot 1, Block 1 K-mart Addition, Ramsey County, MN
(353022340001)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: An amendment to an approved Planned Unit Development in order to change the size and location of outdoor display (from 6 stalls 15 stalls), per Code Section 1301.070;

Reso #11593, Approved May 12, 2015: An amendment to an approved Planned Unit Development in order to expand Box A by 6,400 square feet (from 12,000 sq. ft. to 18,400 sq. ft) and to permit outside sales and display, per Code Section 1301.070.

Reso #11549, Approved February 24, 2015: General Concept Phase and Development Plan Phase approval of a Planned Unit Development for a 105,767 square foot strip shopping center with a grocery anchor and an outlot for future development, per Code Section 1301.070.

WHEREAS, the Planning Commission has held a Public Hearing as required by the City Zoning Code on February 26, 2018; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed Amendment upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake after reviewing the proposal, that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. Because the proposed project is a Planned Unit Development, which allows flexibility from the strict application of the zoning code, the proposal conforms to the Zoning Code requirements.

4. It is not anticipated that the proposal will not depreciate values in the area.
5. Because the proposed outdoor storage area is only slightly larger than originally approved, the proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. The traffic generation will be within the capabilities of the streets serving the site.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested PUD Amendment subject to the following conditions:

1. All application materials, plans, maps, drawings, and descriptive information submitted in this application shall become part of the building permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the PUD Amendment, the use as allowed by the permit shall not have been completed or utilized, the Amendment shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council.
3. This PUD Amendment shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the sign resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. This amendment shall be subject to all the conditions imposed by the original PUD approval (Case No. 15-1-S, Reso # 11549) granted on February 24, 2015 and all of the conditions imposed by the original PUD amendment (Case No. 15-1-Sa, Reso # 11593) granted on May 12, 2015.
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 - c. Items may not be wrapped (eg: plastic or styrafoam).
 - d. There must be a relative diversity of items.
6. Come Spring, planning staff and the store manager shall conduct an inspection of the landscaping along the north side of the building. Any damaged landscaping shall be replaced before 2018-2019 winter.
7. The display area will be limited to the stalls shown on the Display Area Diagram, received January 24, 2018. Any deviation from this approval will be corrected within 3 weeks of written notice from the City.

The foregoing resolution, offered by Council member _____ and supported by Council member _____, was declared carried on the following vote:

Ayes:

Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

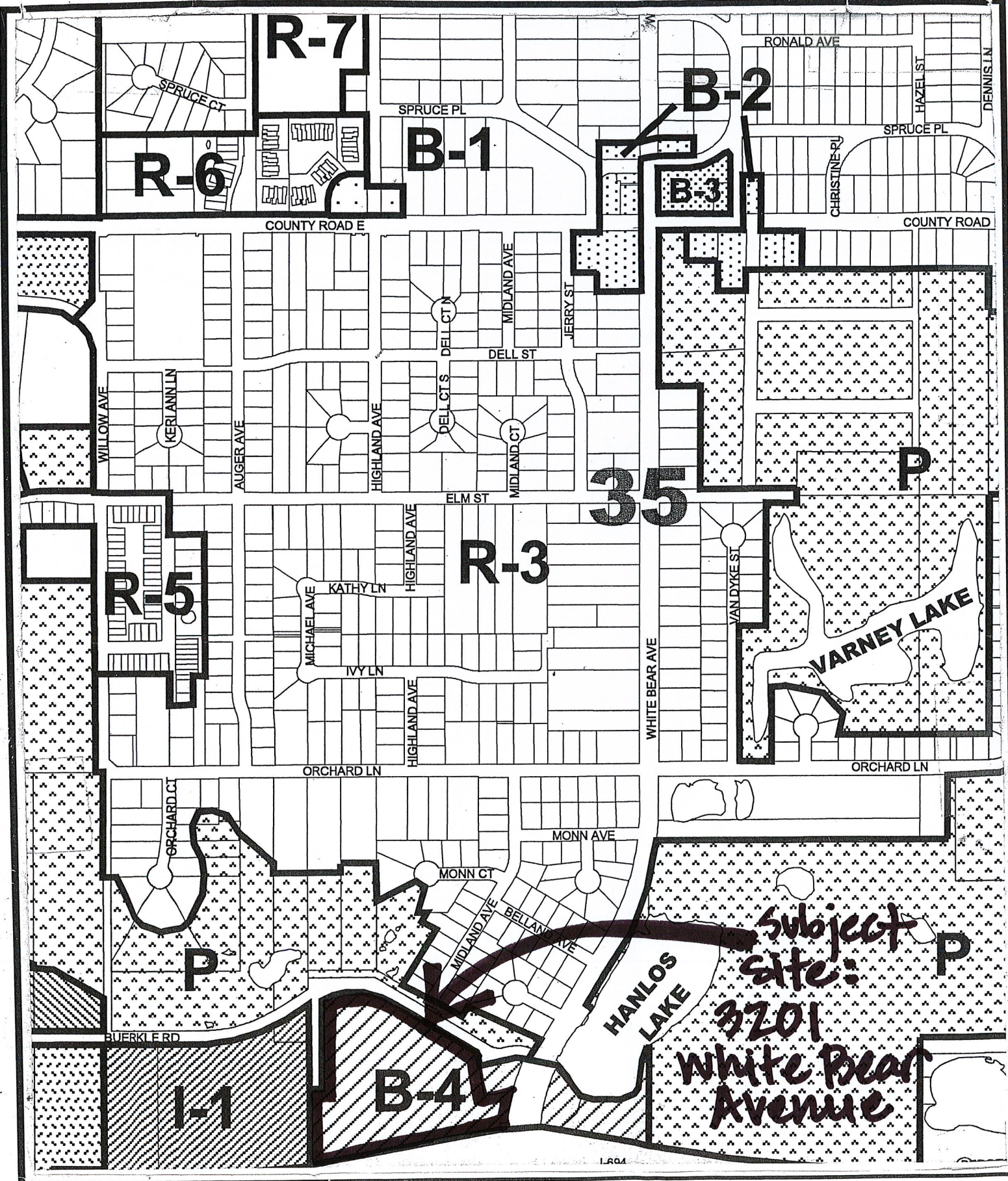
I have read and agree to the conditions of this resolution as outlined above.


Signed

Date

Printed Name

Title




 City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 15-1-Sa2
 CASE NAME : Northern Tool
 DATE : February 26, 2019

January 16, 2018

Dear Planning Commission,

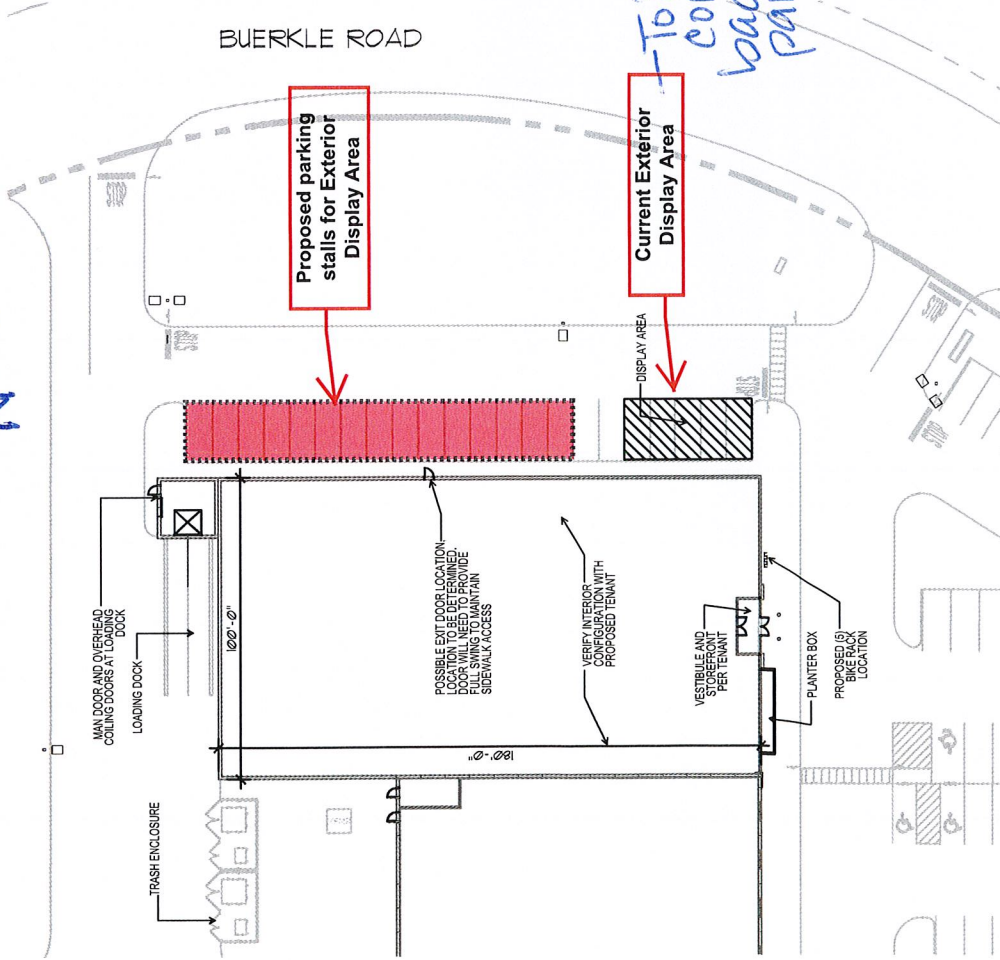
In February of 2016, Northern Tool & Equipment opened a store in White Bear Lake. As with most retailers, our goal is to provide customers the best experience possible and meet the shopping needs of each community we serve. Great products and extensive variety are important especially in our trailer segment. During development of this location, we believed trailers would be an important product line and attempted to address the need by requesting six (6) parking stalls be approved for outdoor display with that approval occurring May 12th, 2015. (Resolution No. 11593) Since that time, we have continued to see a growth in variety and types of trailers our customers are looking to purchase, as anyone driving north in Minnesota during the summer months can probably relate to seeing. Therefore, we are attempting to serve our customers better by expanding the exterior display to 15 stalls as detailed in the site plan included. The expansion will allow White Bear Lake customers the convenience and opportunity to view the full complement of trailers Northern has to offer. We appreciate your consideration of our request and look forward to your approval and the opportunity to better serve the community.

Thank you,



Jackie Bjerke
Property Manager

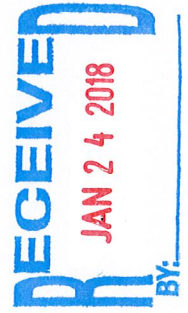
Case # 15.1.SA2



1 BOX AT FLOOR PLAN 1:40

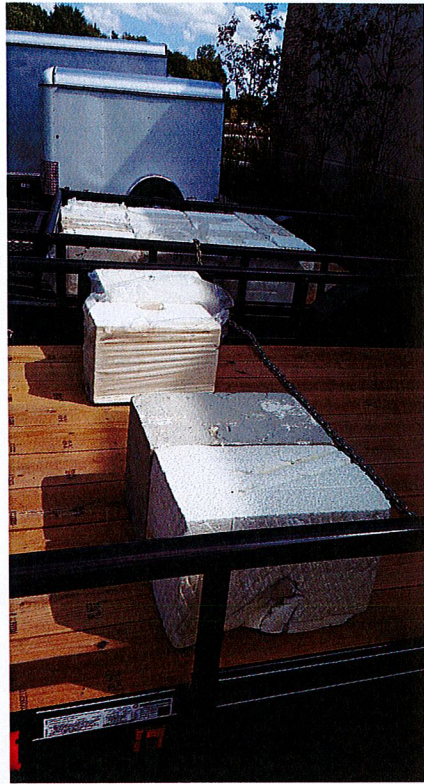


WHITE BEAR MARKETPLACE
WHITE BEAR LAKE, MN



RSP ARCHITECTS

stuff on the display items.



Pushed back into landscaping even though plenty of room not to do so.



more than one item per stall



↑ sheer # of items



City of White Bear Lake
COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: February 21, 2018 for the February 26, 2018 Planning Commission Meeting

SUBJECT: **St. Pius X Catholic Church – 3878 Highland Avenue, Case No. 18-2-V**

REQUEST

The applicant is requesting seven variances in order to reconstruct the existing parking lots:

- A 24 foot variance from the 30 foot hard-surface setback required along Highland Avenue, per code section 1302.050, Subd.4.17.a.1;
- A 30 foot variance from the 40-foot hard-surface setback required along Cedar Avenue, per 1303.050, Subd.6.e;
- A 7 foot variance from the 40-foot hard-surface setback required along Kingsley Avenue, per the same;
- A 31 stall variance from the 244 stall parking requirement, per 1302.050, Subd.8;
- A 14 tree variance from the requirement for 39 trees around the perimeter of the parking lot, per 1302.050, Subd.4.h.16;
- A 361 shrub variance from the requirement for 361 shrubs around the parking lot perimeter, per 1302.050, Subd.4.h.16; and
- A variance to allow 4 of the internal island trees to be evergreens instead of shade trees per 1302.050, Subd.4.h.16;

SITE CHARACTERISTICS

The subject site is located between Highland Avenue and Midland Avenue, and between Cedar Avenue and Kingsley Avenue. The property is 7 acres in size and contains an 82,000 square foot building and three parking lots. (See staff's graphic.)

ZONING

The subject property is zoned R-3, Single Family Residential, as are all surrounding properties. Religious institutions are a conditional use in residential zoning district subject to certain requirements; one of which is that "side yards shall be double that required for the district, but no greater than 40 feet". This means that instead of a 15 foot setback from the public right-of-way, the parking must be setback 30 feet from Highland. And instead of a 30-foot setback from all other frontages (Cedar, Kingsley and Midland), the parking must be setback 40 feet.

APPLICANT'S PRACTICAL DIFFICULTY

The reason for reconstructing the lot at this time is that it doesn't drain well, and is causing safety concerns in the winter - mainly in the northwest lot near the main entrance to the building. The applicant makes strong logical argument for almost all of the deviation requested. See applicant's narrative.

BACKGROUND

According to Ramsey County, the building was first constructed in 1955. Building permit records show a small addition was constructed in 1958. In 1984, a Conditional Use Permit (84-35-S) was granted to allow the construction of an 8,000 square foot addition to the church. In 1991, a Conditional Use Permit (91-2-S) was granted for a 4,602 square foot expansion of an existing church/school facility along with a Variance (91-3-V) to reduce the amount of parking by 23 stalls. In 2001, the property was granted another Conditional Use Permit (01-13-S) to expand the educational facilities by 20,000 square feet.

ANALYSIS

Hard-surface Setback from Highland Avenue

The proposed 6 foot setback is an improvement over existing conditions which average 2 feet from the property line along Highland Avenue. The site plan from the 1991 Conditional Use Permit show a 6 foot parking setback along Highland Avenue. Staff is unsure of how the parking area came to be 2 feet from the property line. Staff is also not clear on how the play area became bituminous and expanded into the right-of-way. Staff supports the requested variance because it is consistent with the original parking lot plan from 1991.

Hard-surface Setback from Cedar Avenue

The proposed 11 foot setback along Highland Avenue is a replacement of existing conditions. It is worth noting that the City's 4-foot wide public sidewalk is located inside the property line along this side. Therefore, the setback (greenspace) appears to be only 6 or 7 feet wide. Staff finds this to be consistent with the Highland Avenue side and consistent with the 1991 approval, therefore we support this variance as well.

Hard-surface setback from Kingsley Avenue

During our review, staff noticed that the northeast lot is only 33 feet from the north property line, versus the required 40 feet. Again, no changes are proposed - this is a replacement of existing conditions. Seven feet is a nominal amount (17.5% variance) compared to the other two setback variances requested, and 33 feet is plenty of area in which to provide the required plantings.

The applicant's narrative points out that, without these three setback variances, the church would lose approximately 61 parking stalls, which is a substantial amount. Parking lots for commercial uses in a commercial zoning district requires a 15 foot setback from a street-side property line. While staff would normally push for a comparable amount, even a 15 foot setback would cause the outer most row of stalls to be converted from 90-degree stalls to a parallel parking design, which would still result in the loss of a substantial number of stalls, and the revised configuration would be more cumbersome for their parishioners. While the 6 foot is not ideal, staff recognizes that the constraints of the existing conditions limit the design options and supports the variances in relation to the larger picture of the overall improvements proposed.

Parking Variance

With an 800 seat chapel, 267 parking stalls are required by code; minus the 23 stall variance granted in 1991 leaves a requirement for 244. The proposed plan says it provides 214, but staff counted 213. Therefore, the variance should be for 31 parking stalls. To date, the church has had an agreement for parking to overflow to the 27 parking stalls available directly across the street at Stellmacher Park via 3881 Highland Avenue. Recently, 3881 Highland has been listed for sale and the City has received an array of various inquiries in relation to the reuse of the property. The parking agreement with the church encumbers the property, limiting its reuse potential. The church and the school operate at different hours of the day or days of the week to avoid joint use of the parking lots. The church does not reach maximum capacity during its services, except maybe during religious holidays such as Easter and Christmas, and staff does not anticipate a rise in regular church attendance in the foreseeable future. Overall, population has declined and Average Daily Traffic has remained steady in the past 10 years. In addition, staff anticipates that future ride sharing and transit improvements will further decrease parking needs. For these reasons, staff supports the 31 stall variance.

Tree Variance

The zoning code regulating perimeter parking lot landscaping requires one tree for every 25 feet of lineal length. The northeast lot requires 14 trees and 20 have been provided. The Highland Avenue frontage requires 15 trees and 7 have been provided. The Cedar Avenue frontage requires 14 and 8 have been provided. Along both Highland and Cedar together, the proposal is 14 trees short. (The narrative sites a 12 tree deficit by including the two new trees adjacent to the northeast lot.) Normally, staff would suggest that these trees be planted elsewhere on site; but in this case, staff agrees that there is little room left on site, due to the underground retention, ball field, play field and play ground. The applicant has verbally agreed to provide 4 additional trees - either along Highland or Cedar (or between the two).

During the 1991 approval, it was acknowledged that the space between the parking curb, fence and property line was/is limited. At that time, the development was approved with the condition that the landscaping (ie: trees) be provided in the Highland Avenue public right-of-way. There are now overhead utilities in the Highland Avenue right-of-way that complicate this solution. As an alternative, staff is suggesting that the 8 remaining trees be planted in the Midland Avenue right of way, just north of Cedar Avenue, see staff's graphic. To plant these trees in the right-of-way would require a maintenance agreement, which could be incorporated into the Stormwater Operation and Maintenance Agreement that will be created for the drainage features. The applicant has expressed an objection to having trees near the ballfield due to the maintenance from the leaves in the fall. With only 93 trees on 7 acres, staff strongly recommends the additional 8 trees be planted in where possible, even if it is in the right-of-way.

Shrub Variance

For perimeter parking lot landscaping, the zoning code also requires one shrub every 3 feet linear feet for the length of the parking lot, to adequately screen vehicle bumpers, and/or a low pedestrian wall the height of which provides similarly effective screening to a height of 3.5 feet. The applicant calculates that 322 shrubs are required and is requesting a variance from the full amount. Staff calculates a greater linear length and therefore a total of 361 shrubs required. The shrub variance is being requested mainly because a 4 foot tall fence is desired in the area where the shrubs would be located – at least along the Highland and Cedar sides. With only 6 feet in which to plant, the fence would complicate maintenance of the shrubs and the shrubs would complicate maintenance of the fence. While it is certainly not a wall, the fence will accomplish some of the screening intended by the code, particularly more in the winter when the shrubs would lose their leaves. While the Kingsley and Midland sides are not proposed to have

a fence, the number of trees along these sides exceed code and therefore staff finds the variance to be reasonable.

Variance for Evergreens Instead of Overstories

The landscaping section of the code requires one shade tree for every 144 square feet of internal landscape area within the parking lots. Staff believes that the reason for specifying the type of tree to be planted is to optimize canopy coverage. Because the main girth of an evergreen is at ground grade, the bottom one-fourth to one-third of a mature evergreen would need to be removed in order for evergreens to function in a narrow planting area and not block visibility. For this reason, evergreens are not a preferred tree type for internal parking lot islands. However, in this case the evergreens are located in larger islands that will provide ample growing space. There are only 32 parking stalls in the northwest lot. As such, only 461 square feet of island are required (and 1,748 square feet has been provided) and only 3 overstory trees are required (and 7 black hills spruce have been provided). For these reasons, staff supports the deviation.

Other

The correct style and amount of bicycle parking has been provided. The stormwater has been reviewed by the Engineering department, who had a few very minor comments. The comments were forwarded to the applicant by email and will need to be addressed prior to the issuance of a grading permit.

Lighting

The applicant has agreed to provide a 12 inch tall concrete base within the landscape areas, and a 3 foot tall concrete base when located outside of the landscaped area. The lighting will be downcast LED fixtures, no taller than 25 feet in height. A photometric plan has been provided and the footcandles meet all the code requirements.

SUMMARY

The City has a high level of discretion when approving or denying a variance because the burden of proof is on the applicant to show that they meet the standards of the ordinance. If the proposal is deemed reasonable (meaning that it does not have an adverse effect on neighboring properties, it is consistent with the Comprehensive Plan, and it is harmony with the intent of the zoning code) then the criteria have been met.

RECOMMENDATION

The requested variances balance the need to provide adequate on-site parking while complying with code to the extent reasonable. The proposal significantly improves stormwater management while bringing the site closer to code compliance than existing conditions. Staff supports the requested variances for the reasons cited above and therefore recommends approval, subject to the following conditions:

1. All application materials, plans, maps, drawings, and descriptive information submitted in this application shall become part of the building permit.
2. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal.

3. The fence shall not exceed 4 feet in height, as measured from ground grade.
4. The applicant shall obtain a Grading Permit prior to the start of construction.
5. Prior to the issuance of a Grading Permit, the applicant shall:
 - a. Revise the landscape plan to include 4 more trees along either Highland or Cedar and 8 more trees in the Midland Avenue right-of-way.
 - b. Address the comments from the Engineering review memo dated February 21, 2018.
6. The applicant shall be responsible for the maintenance of the 8 trees planted in the Midland Avenue right-of-way, including watering and pruning. Language regarding this maintenance responsibility shall be included in the stormwater operation and maintenance agreement.
7. The concrete base for the parking lot lights shall not exceed 12 inches in height, except if located outside of the landscaped area, then the base may be 3 feet tall.

60 DAY TIMELINE

Received	Complete	60 day Deadline	Planning Commission	City Council
1/12/18	1/26/18	3/27/18	2/26/18	3/13/18

Attachments:

1. Draft Resolution of Approval
2. Zoning/Location Map
3. Applicant’s Narrative, dated January 26, 2018
4. Proposed Construction Plans (7pages)
5. Staff’s graphic

RESOLUTION NO. _____

**RESOLUTION GRANTING SEVEN VARIANCES
FOR 3878 HIGHLAND AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (18-2-V) has been submitted by Church of St. Pius X to the City Council requesting approval of a seven variances from the Zoning Code of the City of White Bear Lake for the following location:

LOCATION: 3878 Highland Avenue

LEGAL DESCRIPTION: Lot 1, Block 3, Lakewood Hills (PID # 26.30.22.24.0042)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING:

- A 24 foot variance from the 30 foot hard-surface setback required along Highland Avenue, per code section 1302.050, Subd.4.17.a.1;
- A 30 foot variance from the 40-foot hard-surface setback required along Cedar Avenue, per 1303.050, Subd.6.e;
- A 7 foot variance from the 40-foot hard-surface setback required along Kinglsey Avenue, per the same;
- A 31 stall variance from the 244 stall parking requirement, per 1302.050, Subd.8;
- A 14 tree variance from the requirement for 39 trees around the perimeter of the parking lot, per 1302.050, Subd.4.h.16;
- A 361 shrub variance from the requirement for 361 shrubs around the parking lot perimeter, per 1302.050, Subd.4.h.16; and
- A variance to allow 4 of the internal island trees to be evergreens instead of shade trees per 1302.050, Subd.4.h.16; and

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on February 26, 2018; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The requested variances will not:
 - a. Impair an adequate supply of light and air to adjacent property.
 - b. Unreasonably increase the congestion in the public street.
 - c. Increase the danger of fire or endanger the public safety.
 - d. Unreasonably diminish or impair established property values within the neighborhood or in any way be contrary to the intent of this Code.

2. The variances are a reasonable use of the land or building and are the minimum required to accomplish this purpose.
3. The variances will be in harmony with the general purpose and intent of the City Code and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
4. The special conditions or circumstances are not the result of actions of the applicant.
5. The non-conforming uses of neighboring lands, structures, or buildings in the same district are not the sole grounds for issuance of the variances.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the request, subject to the following conditions:

1. All application materials, plans, maps, drawings, and descriptive information submitted in this application shall become part of the building permit.
2. Per Section 1301.060, Subd.3, the variances shall become null and void if the project has not been completed or utilized within one (1) calendar year after the approval date, subject to petition for renewal.
3. The fence shall not exceed 4 feet in height, as measured from ground grade.
4. The applicant shall obtain a Grading Permit prior to the start of construction.
5. Prior to the issuance of a Grading Permit, the applicant shall:
 - a. Revise the landscape plan to include 4 more trees along either Highland or Cedar and 8 more trees in the Midland Avenue right-of-way.
 - b. Revise the grading plan to address the comments from the Engineering review memo dated February 21, 2018.
6. The applicant shall be responsible for the maintenance of the 8 trees planted in the Midland Avenue right-of-way, including watering and pruning. Language regarding this maintenance responsibility shall be included in the stormwater operation and maintenance agreement.
7. The concrete base for the parking lot lights shall not exceed 12 inches in height, except if located outside of the landscaped area, then the base may be 3 feet tall.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

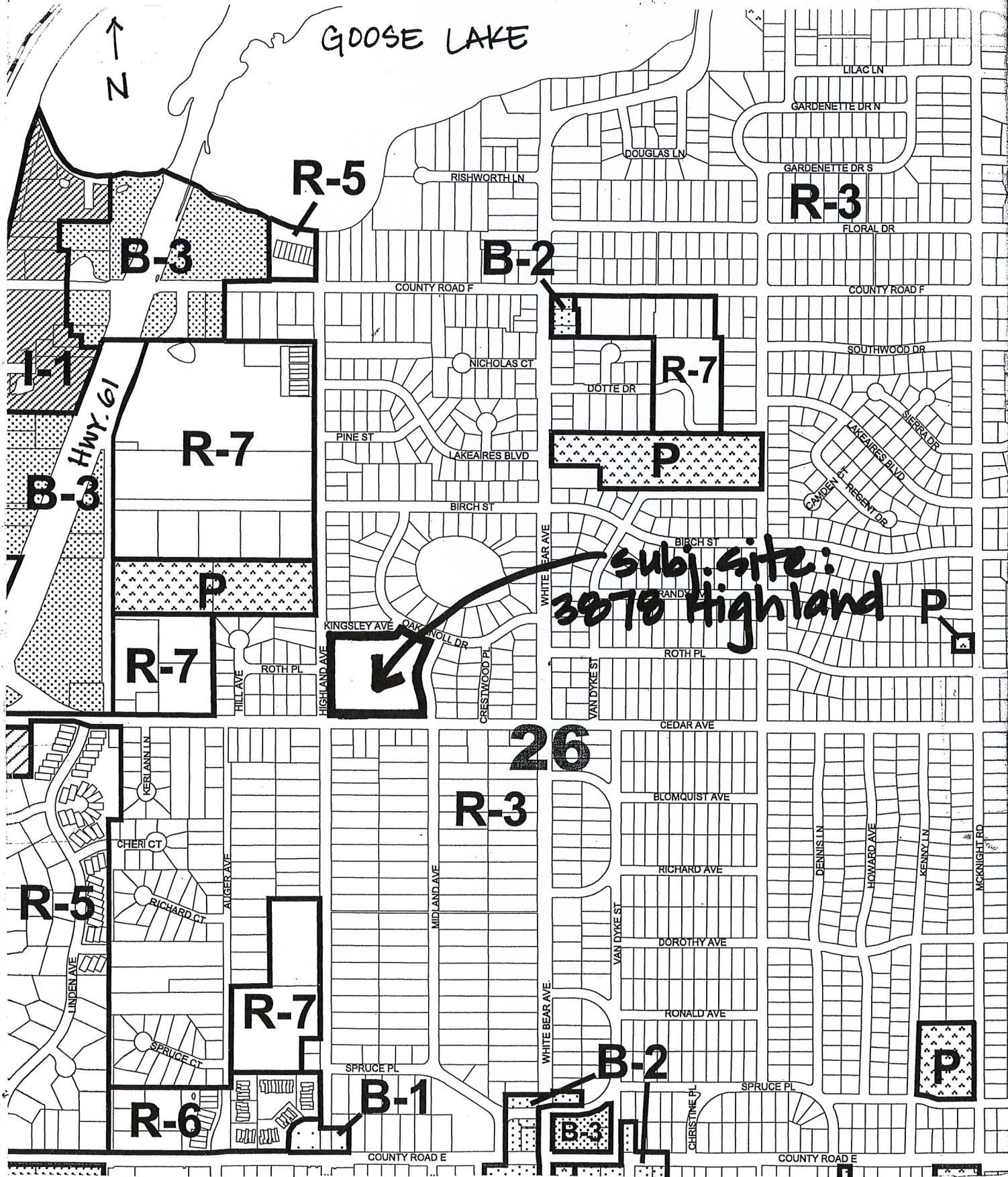
Applicant's Signature

Date

Print Name

Title

GOOSE LAKE



Subj. site:
3878 Highland P

26

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 18-2-V
CASE NAME : St. Pius X
DATE : February 26, 2018

January 26, 2018

Samantha Crosby
Associate Planner
City of White Bear Lake
4701 Highway 61
White Bear Lake, MN 55110

RE: St. Pius X Catholic Church Parking Lot Rehabilitation

We are requesting a variance to the City of White Bear Lake planning code for the above referenced project. Please refer to the new Construction Documents provided.

City Variance Items

1. The current parking lot setback requirements are 30 feet along Highland Avenue and 40 along Cedar Avenue. The existing parking lot along Highland Avenue varies from 1 to 3 feet off of the property line with the bituminous surfaced playground actually extending 5 feet beyond the property line. The parking lot along Cedar Avenue varies between 10 to 12 feet off of the property line.

We are requesting variances from the setbacks along Highland Avenue and Cedar Avenue. The northwest parking lot would have a 6 foot setback and the south parking lot would have an 11 foot setback along Highland Avenue. The south parking lot would have a 10 to 13 foot setback along Cedar Avenue. Without the variances, the church would lose a minimum of 61 parking spaces. The church is already short 30 parking spaces per code, see variance item 2, and the loss of an additional 61 spaces would create a hardship on the church. Therefore, we are requesting a variance for parking lot setbacks along Highland Avenue of 24 feet and Cedar Avenue of 30 feet.

2. The church parking space requirements per code are 244 spaces. The church currently has 214 spaces which includes 9 ADA spaces. The new parking lot layouts provide 214 spaces which includes 13 ADA spaces. The church is currently offsetting the parking lot deficit by using an off-site parking lot across Highland Avenue, that is utilized by office space during the week, through a lease agreement. The city is recommending that the use of the off-site parking lot be discontinued due to the potential sale and change of use of the office building. Therefore, we are requesting a 30 stall variance to the parking space requirements.

3. The current landscape code requires a new tree be planted for every 25 feet of parking lot street frontage and a new shrub for every 3 feet of parking lot frontage. In addition the interior landscaping requires a tree island for every 10 parking spaces. The tree island must be a minimum of 144 square feet and 8 feet in width. The following table illustrates the requirements and the trees and shrubs proposed to be planted. We would like to request the planning commission take into account the numerous existing mature trees and landscaping throughout the site.

SAFEngineering
Site and Athletic Facility Engineering, PLLC
3200 122nd Avenue NE
Blaine, MN 55449

City Code Requirements

<u>AREA</u>	<u>STREET FRONTAGE</u>	<u>TREES REQUIRED</u>
Highland Avenue	375 feet	15 trees
Cedar Avenue	355 feet	14 trees
Kingsley Avenue and Oak Knoll Drive	240 feet	10 trees
Totals		39 trees

<u>AREA</u>	<u>STREET FRONTAGE</u>	<u>SHRUBS REQUIRED</u>
Highland Avenue	375 feet	125 shrubs
Cedar Avenue	355 feet	117 shrubs
Kingsley Avenue and Oak Knoll Drive	240 feet	80 shrubs
Totals		322 shrubs

<u>AREA</u>	<u>PARKING SPACES</u>	<u>ISLANDS REQUIRED</u>	<u>AREA REQUIRED</u>
Northwest Parking Lot	32 spaces	3.2 islands	461 square feet
South Parking Lot	104 spaces	10.4 islands	1,498 square feet
Northeast Parking Lot	78 spaces	7.8 islands	1,124 square feet
Total Area Required			3,083 square feet

Landscape Plan

<u>AREA</u>	<u>EXISTING TREES</u>	<u>NEW TREES</u>	<u>TOTAL TREES</u>
Highland Avenue	2 trees	8 trees	10 trees
Cedar Avenue	0 trees	7 trees	7 trees
Kingsley Avenue and Oak Knoll Drive	8 trees	2 trees	10 trees
Totals			27 trees

<u>AREA</u>	<u>EXISTING SHRUBS</u>	<u>NEW SHRUBS</u>	<u>TOTAL SHRUBS</u>
Northwest Parking Lot	0 shrubs	185 shrubs	185 shrubs
South Parking Lot	16 shrubs	101 shrubs	117 shrubs
Northeast Parking Lot	10 shrubs	14 shrubs	24 shrubs
Totals			326 shrubs

<u>AREA</u>	<u>AREA REQUIRED</u>	<u>ISLANDS PROVIDED</u>	<u>AREA PROVIDED</u>
Northwest Parking Lot	461 square feet	4 islands	1,748 square feet
South Parking Lot	1,498 square feet	9 islands	1,522 square feet
Northeast Parking Lot	1,109 square feet	8 islands	1,428 square feet
Total Areas	3,083 square feet		4,698 square feet

A variance is not required for interior landscape islands because we have met the code. We provided this information as verification that we met the code.

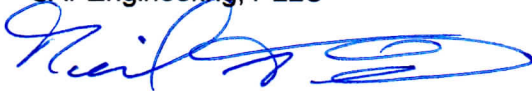
We are requesting variances for the landscape plan as listed below.

- a. A 12 tree variance to the perimeter tree requirement. Rather than planting these trees elsewhere on site because there is limited space available due to an extensive amount of mature trees especially on the north and east sides of the site. The southeast side of the site is dedicated for softball and soccer. The underground retention system is also located in this area and too shallow underground to plant trees on top of it.
- b. A variance to allow 4 of the shade trees to be evergreen trees in the northwest parking lot. We have provided a total of 7 trees where only 4 were required. The church requests this because they have had a significant issue in the fall with leaves accumulating around the main entrance due to the prevailing winds. This causes issues with elderly members entering the building.
- c. A 322 shrub variance. We have provided 326 shrubs elsewhere on site. Shrubs planted around the outer perimeter tend to get damaged and do not perform well within the narrow space provided. They also would be difficult to maintain with the decorative fence in this location.

SUMMARY

If you have any questions, please contact me at your convenience.

SAFEngineering, PLLC



Neil Tessier, P.E.
CEO

CONSTRUCTION DOCUMENTS

ST. PIUS X CATHOLIC CHURCH PARKING LOT REHABILITATION

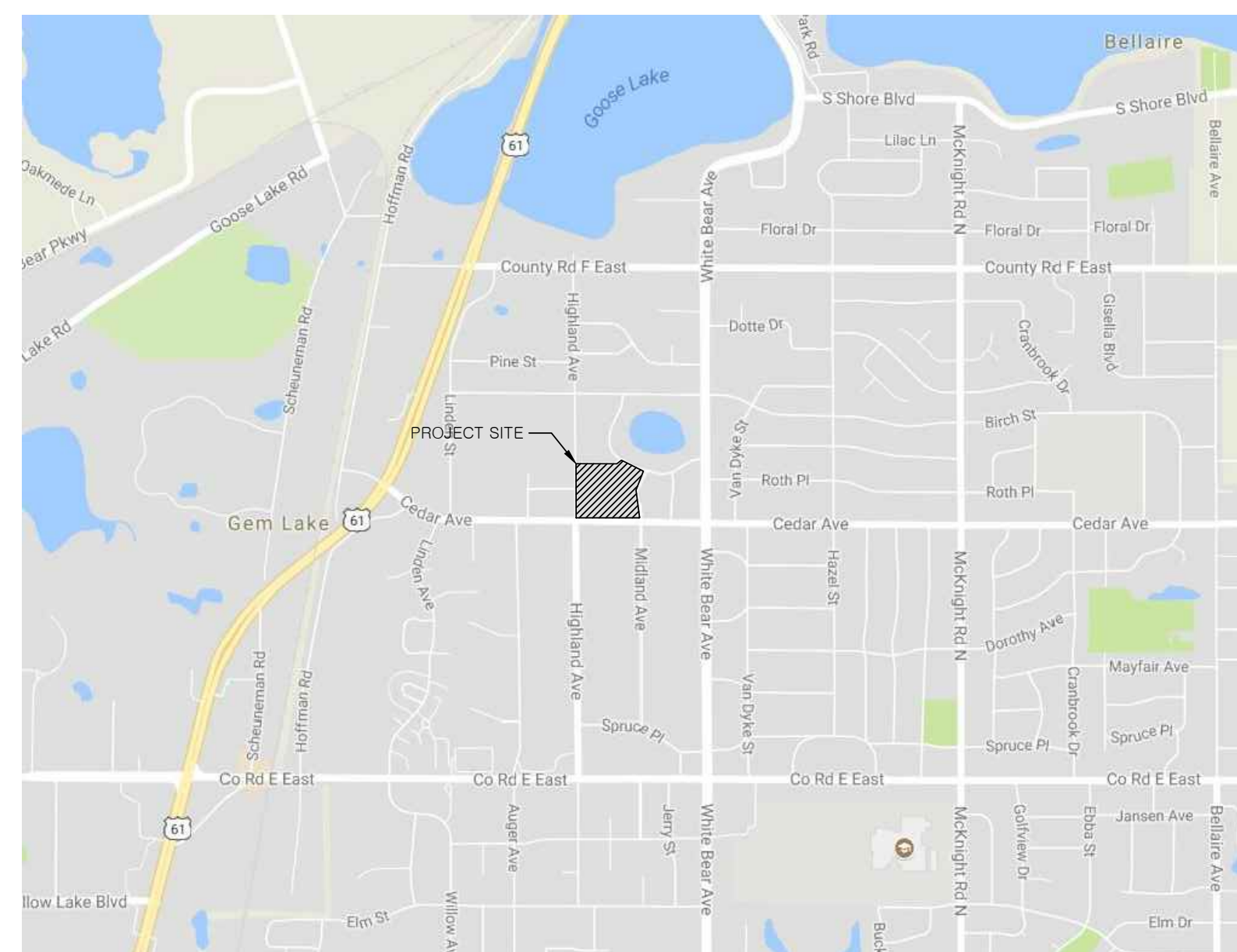
3878 HIGHLAND AVE, WHITE BEAR LAKE, MN 55110

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: HAKANSON ANDERSON ASSOC., INC.
3601 THURSTON AVE.,
ANOKA, MN 55303
PHONE 763.427.5860
FAX 763.427.0520
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / CITY SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. EACH CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO ALL CONTRACTORS:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, EACH CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN RIGHT-OF-WAY SHALL BE COORDINATED WITH THE PROPER AUTHORITY.
- I. **WETLANDS NOTE:** ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. EACH CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

PLAN INDEX:

- C0 COVER SHEET
SURVEY SHEETS
C1 DEMOLITION PLAN
C2 SITE PLAN
C3 GRADING PLAN
C4 SWPPP
C5 SWPPP NOTES
C6 LANDSCAPE PLAN
C7 DETAILS I
C8 DETAILS II
C9 DETAILS III
C10 DETAILS IV
C11 DETAILS V
SITE LIGHTING PLANS AND DETAILS
DM1 PRE-DEVELOPMENT DRAINAGE MAP
DM2 POST-DEVELOPMENT DRAINAGE MAP



Vicinity Map

NOT TO SCALE



ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
2025 Centre Pointe Blvd., Suite 210 (651)452-8960
Mendota Heights, MN 55120 (651)452-1149

APPROVED _____

DATE _____

RESOURCE LIST: _____

I HEREBY CERTIFY THAT THIS SET OF PLANS AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

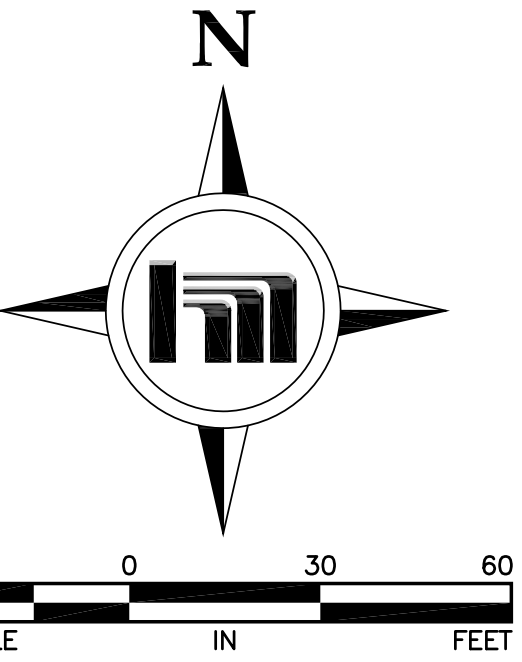
Neil Tossier 1/26/2018 26364
NEIL TESSIER, PE. DATE REGISTRATION NO.

SAFEngineering, PLLC
Site and Athletic Facility Engineering

3200 122nd Avenue NE 612-213-9859
Blaine, MN 55449 nrtossier@gmail.com

JOB NO.: 30161
DWG NAME: 30161-CS
DATE: 1/26/18
SHEET NO.: 9:45 AM
REV-2 CO

Arkansas * California * Minnesota * Pennsylvania * Texas



LEGEND

- ⊗ DENOTES GATE VALVE
- ⊕ DENOTES HYDRANT
- DENOTES WATER LINE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER LINE
- ⊕ DENOTES ROOF DRAIN/DRAIN SPOUT
- ⊕ DENOTES CATCHBASIN
- ⊕ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES STORM SEWER LINE
- ⊕ DENOTES ELECTRIC TRANSFORMER
- ⊕ DENOTES LIGHT POLE
- ⊕ DENOTES UTILITY POLE
- ⊕ DENOTES ELECTRIC MANHOLE
- ⊕ DENOTES BURIED ELECTRIC
- ⊕ DENOTES OVERHEAD ELECTRIC
- ⊕ DENOTES HAND HOLE
- ⊕ DENOTES TELEPHONE PEDESTAL
- ⊕ DENOTES TELEPHONE MANHOLE
- ⊕ DENOTES BURIED TELEPHONE
- ⊕ DENOTES GAS VALVE
- ⊕ DENOTES BURIED GAS
- ⊕ DENOTES GUARD POST
- ⊕ DENOTES SIGN
- ⊕ DENOTES EDGE OF WOODS
- ⊕ DENOTES DECIDUOUS TREE (DIAMETER)
- ⊕ DENOTES CONIFEROUS TREE (DIAMETER)
- ⊕ DENOTES SHRUB
- ⊕ DENOTES SURFACE CONTOUR (1 FT. INTERVAL)
- ⊕ DENOTES SPOT ELEVATIONS
- ⊕ DENOTES CONTROL MONUMENT
- ⊕ DENOTES FOUND IRON MONUMENT
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES PAVER SURFACE

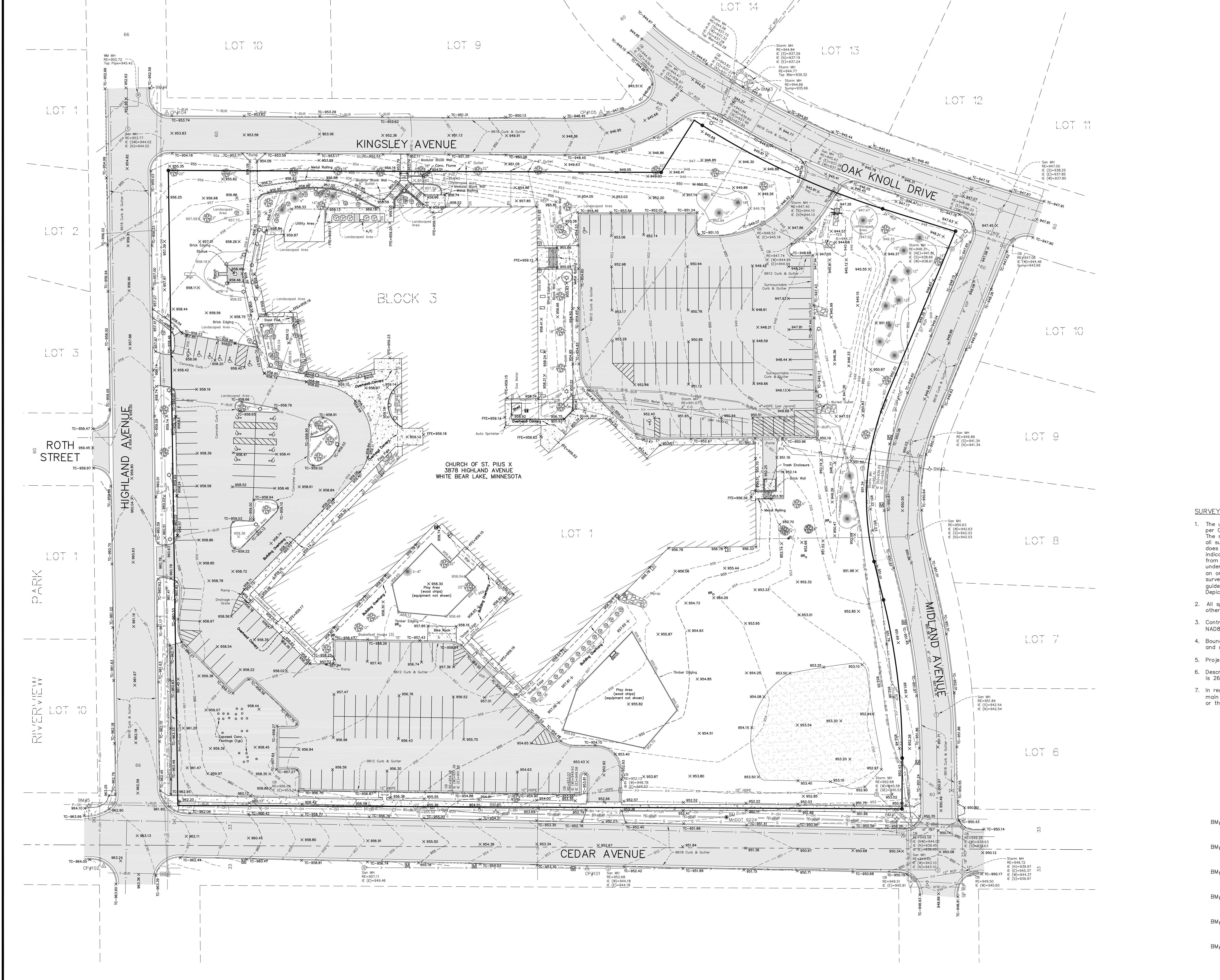
- SURVEY NOTES:**
- The underground utilities shown have been located from field survey information per Gopher State One Call Ticket Nos. 170760049-70760054 and available records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (651-54-0002). The subsurface utility information on this survey is utility quality level D. This quality level was determined according to the guidelines of CI/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."
 - All spot elevations shown adjacent to curb are to top of curb unless noted otherwise.
 - Control Monument coordinates are based on Ramsey County Coordinate System NAD83 (1986 Adjustment).
 - Boundary lines and easements are shown per the record plat of LAKEWOOD HILLS and available Ramsey County mapping.
 - Project benchmark: MnDOT disc named 9224, Elevation=952.03 Feet (NAVD 1988)
 - Description of property: Lot 1, Block 3, LAKEWOOD HILLS. The property PID Number is 265022240042.
 - In regards to the building water services and the fire hydrant located near the main entrance (east side), records and location marks indicate there may be two or three separate water lines serving the building and fire hydrant.

CONTROL MONUMENTS

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#101	197326.28	594125.95	952.97	IRON PIPE
CP#102	197328.17	593726.43	963.94	IRON PIPE
CP#104	197950.81	593778.51	953.62	IRON PIPE
CP#105	197950.92	594137.46	947.22	IRON PIPE
CP#106	197705.55	594380.11	950.06	IRON PIPE

BENCHMARKS

BM#1	TOP NUT HYDRANT IN THE NORTHWEST QUADRANT OF MIDLAND AVE. AND CEDAR AVE. ELEVATION = 953.16 FEET (NAVD 1988)
BM#2	TOP NUT HYDRANT SOUTH OF HOUSE #3872 OF THE EAST SIDE OF MIDLAND AVE. ELEVATION = 953.13 FEET (NAVD 1988)
BM#3	TOP NUT HYDRANT IN THE NORTHWEST QUADRANT OF OAK KNOLL DR. AND KINGSLEY AVE. ELEVATION = 947.13 FEET (NAVD 1988)
BM#4	TOP NUT HYDRANT IN THE NORTHEAST QUADRANT OF HIGHLAND AVE. AND KINGSLEY AVE. ELEVATION = 955.37 FEET (NAVD 1988)
BM#5	TOP NUT HYDRANT IN THE NORTHWEST QUADRANT OF HIGHLAND AVE. AND CEDAR AVE. ELEVATION = 967.57 FEET (NAVD 1988)
BM#6	TOP NUT HYDRANT ON THE NORTH SIDE CEDAR AVE, 1ST HYDRANT EAST OF HIGHLAND AVE. ELEVATION = 956.22 FEET (NAVD 1988)



DATE	REVISION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

Charles R. Christopherson
 Charles R. Christopherson
 Date 4/20/17 Lic. No. 18420

DESIGNED BY: BAW
 DRAWN BY: MSS
 CHECKED BY: CRC

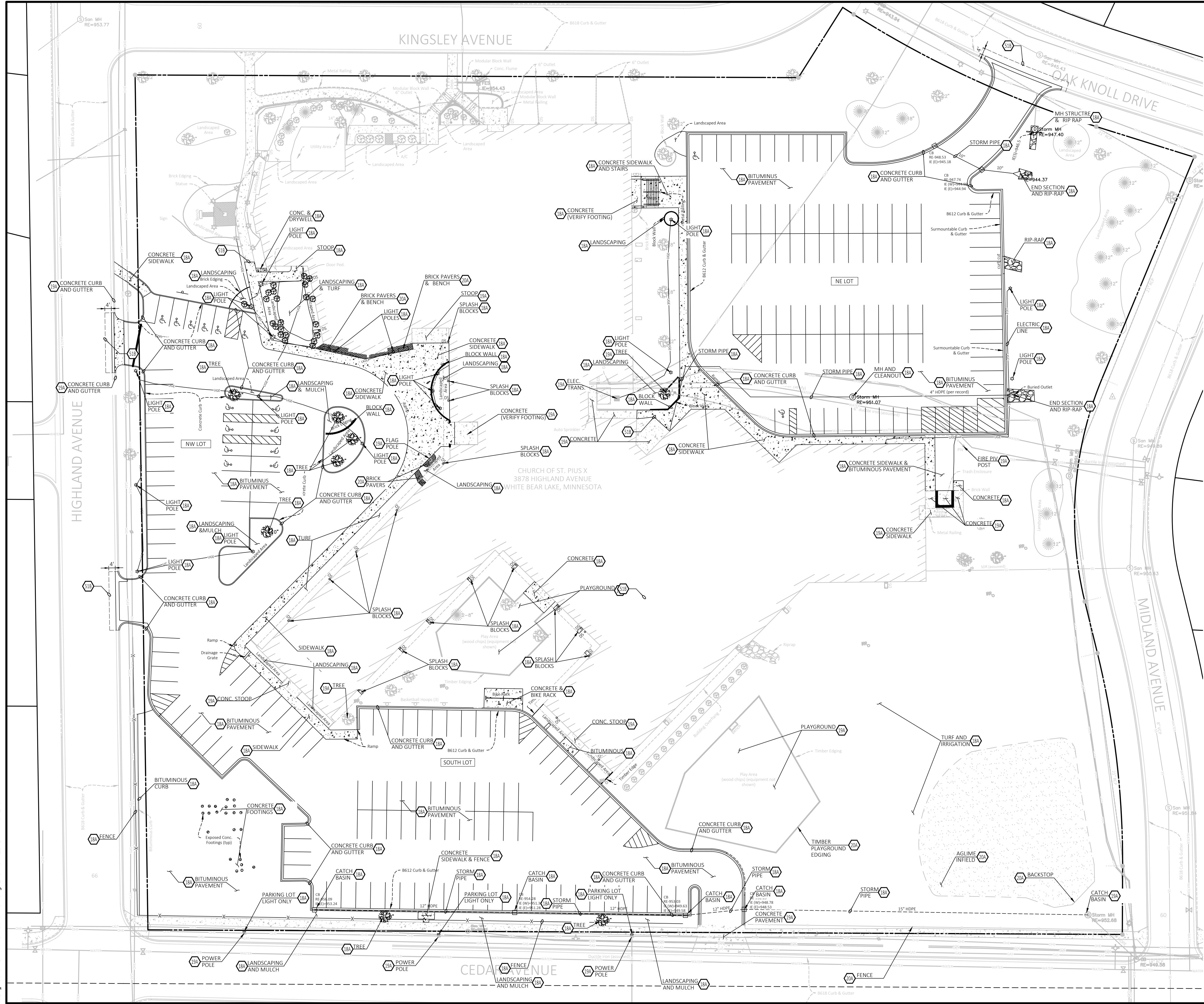
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 FILE NO.: 4153.01

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 Civil Engineers and Land Surveyors
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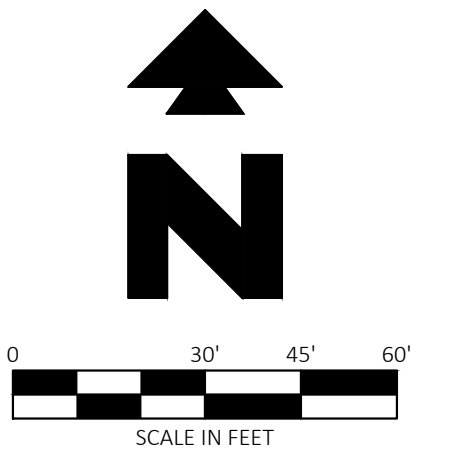
CHURCH OF ST. PIUS X

SITE SURVEY FOR SAFEngineering, PLLC

SHEET 1 OF 1 SHEETS



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Call before you dig.



EXISTING		
e	EAST OR ELECTRIC	— OHE&T — OVERHEAD ELECTRIC AND TELEPHONE
n	NORTH	— OHT — OVERHEAD TELEPHONE
ch	OVERHEAD	— OHTV — OVERHEAD TV
s	SOUTH OR SEWER	— X'SS — SANITARY SEWER
t	TELEPHONE	— UGE — UNDERGROUND ELECTRIC AND TELEPHONE
u	UNDERGROUND	— UGE&T — UNDERGROUND TELEPHONE
w	WEST OR WATER	— UGTV — UNDERGROUND TV
■	ELECTRIC TRANSFORMER	— X'W — WATER
---	PROPERTY LINE	
---	RIGHT OF WAY LINE	
---	STORM DRAIN	
---	X'G GAS	.5-10-11 50.5 TREE INFO
---	OHE OVERHEAD ELECTRIC	.5 = DIAMETER OF TRUNK IN FEET
		10 = HEIGHT OF TREE IN FEET
		11 = CANOPY DIAMETER IN FEET
		50.5 = ELEVATION AT BASE OF TREE

DEMOLITION NOTES	
18A	EXISTING TO BE REMOVED.
19A	EXISTING TO REMAIN.
20A	EXISTING TO BE REPLACED.
51B	LIMITS OF SAWCUT AND PAVEMENT REMOVAL

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Neil Tessier 1/26/2018 26364
NEIL TESSIER, P.E. DATE REGISTRATION NO.

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Site and Athletic Facility Engineering
3200 122nd Avenue NE Blaine, MN 55449 612-213-9859 nrtessier@gmail.com

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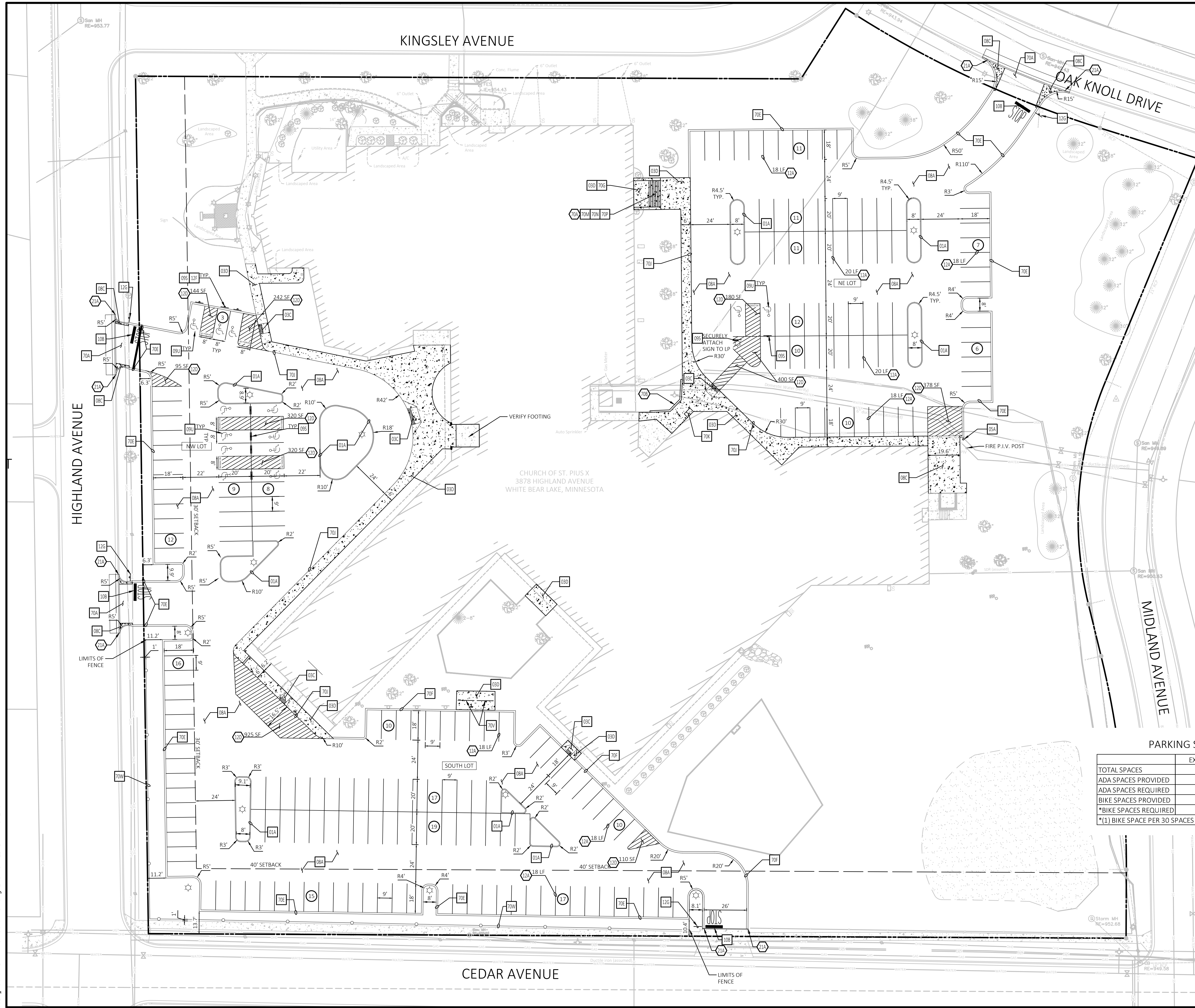
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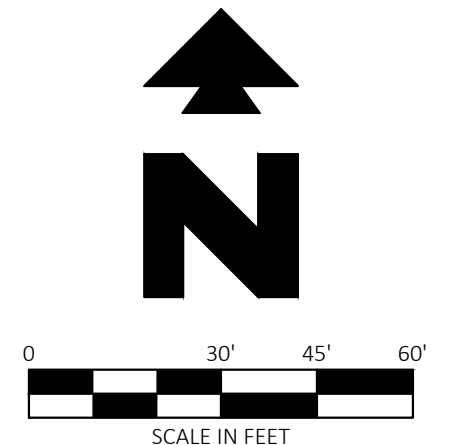
DEMOLITION PLAN REV DATE SHEET NO.
1/26/18 REV-2 C1

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EXISTING

	EAST OR ELECTRIC		OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
	NORTH OVERHEAD		OHT	OVERHEAD TELEPHONE
	SOUTH OR SEWER		OHTV	OVERHEAD TV
	TELEPHONE		X'SS	SANITARY SEWER
	UNDERGROUND WEST OR WATER		UGE	UNDERGROUND ELECTRIC AND TELEPHONE
	ELECTRIC TRANSFORMER		UGE&T	
	PROPERTY LINE		UGT	UNDERGROUND TELEPHONE
	RIGHT OF WAY LINE		UGTV	UNDERGROUND TV
	STORM DRAIN		X'W	WATER
	X'G		5-10-11 50.5	TREE INFO
	OHE			5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
	CURB INLET
	PROPOSED PARKING SPACES
	LIMITS OF SIDEWALKS AND CONCRETE APRONS
	PROPOSED LIGHT POLE (SEE LIGHTING PLANS)

- SITE NOTES**
- 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 12D 4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 70A NEW CONCRETE STAIRS (SEE STRUCTURAL PLANS).
 - 70B NEW RETAINING WALL (24" HEIGHT MAX.).

- SITE DETAILS**
- 01A VERTICAL CURB
 - 03C WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
 - 03D CONCRETE SIDEWALK
 - 05A STEEL BOLLARD
 - 08A STANDARD DUTY ASPHALT PAVING
 - 08C HEAVY DUTY CONCRETE PAVING
 - 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
 - 09U ACCESSIBLE PARKING SYMBOL
 - 10B STOP BAR
 - 12F SIGN POST
 - 12G STOP SIGN
 - 70A COMMERCIAL CURB OPENING (PER CITY OF WHITE BEAR LAKE)
 - 70E D412 CONCRETE CURB AND GUTTER
 - 70F D312 CONCRETE CURB AND GUTTER
 - 70G CONCRETE ADJACENT TO BUILDING
 - 70I INTEGRAL CURB AND GUTTER
 - 70K MN/DLI DEPRESSION DETAIL
 - 70M NEW CONCRETE STAIRS
 - 70N HANDRAIL FOR STAIRS
 - 70P NEW CONCRETE STAIRS PROFILE
 - 70V PERMANENT BIKE BACK
 - 70W DECORATIVE FENCE

PARKING SUMMARY

	EXISTING	PROPOSED
TOTAL SPACES	214	214
ADA SPACES PROVIDED	9	13
ADA SPACES REQUIRED	7	7
BIKE SPACES PROVIDED	20	20
*BIKE SPACES REQUIRED	8	8

* (1) BIKE SPACE PER 30 SPACES = 214 / 30 = 7.13

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Neil Tessier 1/26/2018 26364
NEIL TESSIER, P.E. DATE REGISTRATION NO.

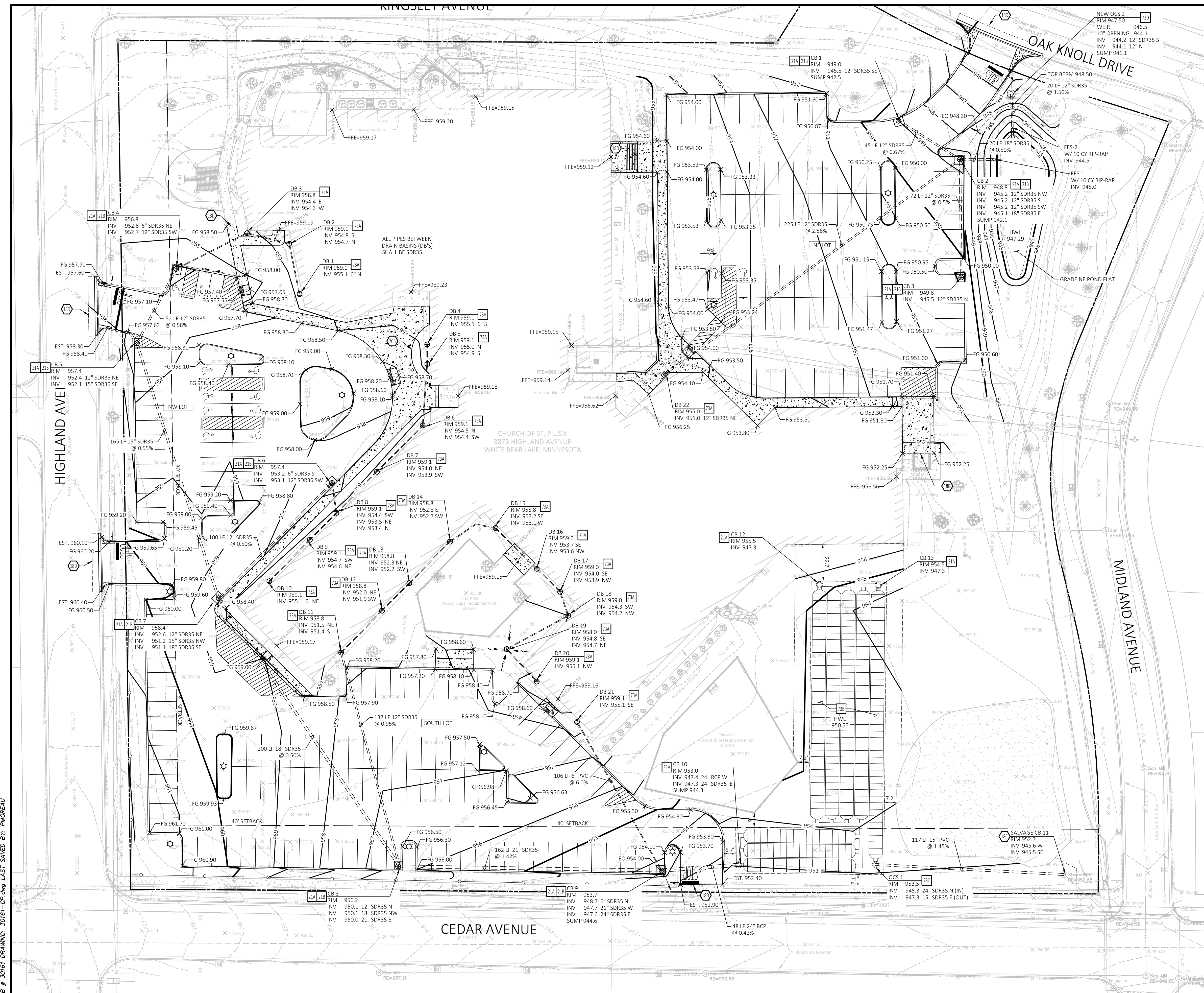
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CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

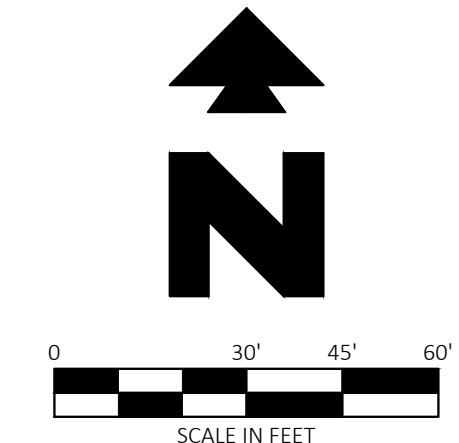
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SITE PLAN	REV DATE 1/26/18 REV-2	SHEET NO. C2
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Know what's below.
Call before you dig.



EXISTING			
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X"G	GAS	5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED LEGEND	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	GRADE BREAK
---	CONTOUR ELEVATIONS
XX.XX	SPOT ELEVATIONS: HP = HIGH POINT FG = FINISH GRADE
⊠ ⊙ ⊚	CATCH BASIN / DRAIN BASIN
---	STORM DRAIN
EO	EMERGENCY OVERTFLOW

GRADING NOTES	
18C	CONNECT TO EXISTING STORM MANHOLE
18D	MATCH EXISTING PAVEMENT ELEVATIONS
70B	NEW RETAINING WALL (24" HEIGHT MAX.)

GRADING DETAILS	
21A	CATCH BASIN
21B	CATCH BASIN PLAN VIEW
73A	DRAIN BASIN WITH STANDARD GRATE (24" DIA.)
73B	UNDERGROUND STORAGE SYSTEM
73C	OUTLET CONTROL STRUCTURE-1 (SOUTH SYSTEM)
73D	OUTLET CONTROL STRUCTURE-2 (NORTH BASIN)

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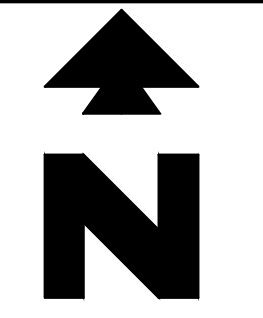
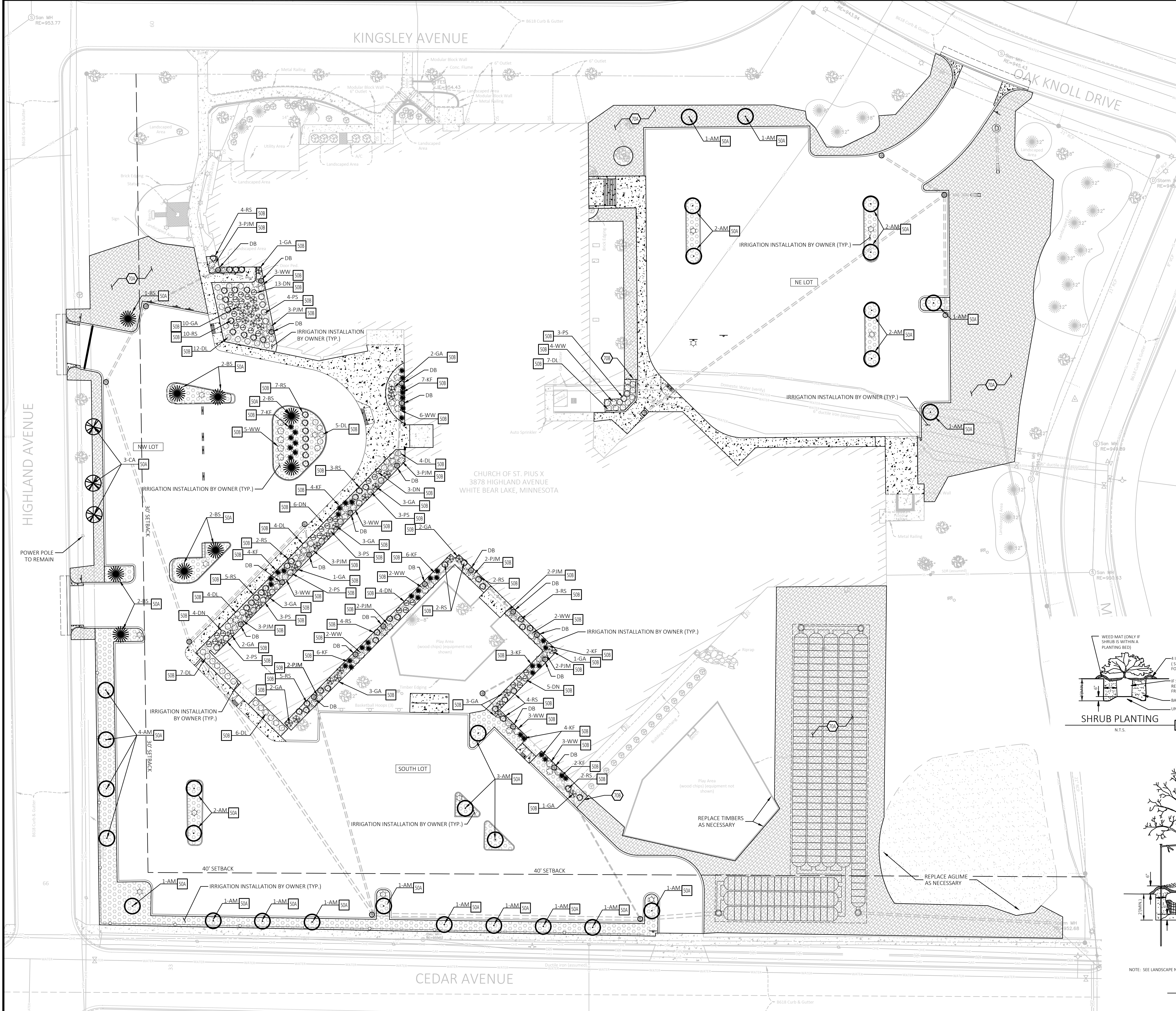
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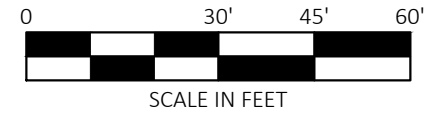
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GRADING PLAN REV. DATE 1/26/18 REV-2 SHEET NO. C3

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Call before you dig.**



EXISTING				
	EAST OR ELECTRIC		O&T	OVERHEAD ELECTRIC AND TELEPHONE
	NORTH OVERHEAD		OHT	OVERHEAD TELEPHONE
	SOUTH OR SEWER		OHTV	OVERHEAD TV
	TELEPHONE		X'SS	SANITARY SEWER
	UNDERGROUND WEST OR WATER		UGE	UNDERGROUND ELECTRIC AND TELEPHONE
	ELECTRIC TRANSFORMER		UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
	PROPERTY LINE		UGT	UNDERGROUND TELEPHONE
	RIGHT OF WAY LINE		UGTV	UNDERGROUND TV
	STORM DRAIN		X'W	WATER
	GAS		5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	OVERHEAD ELECTRIC			

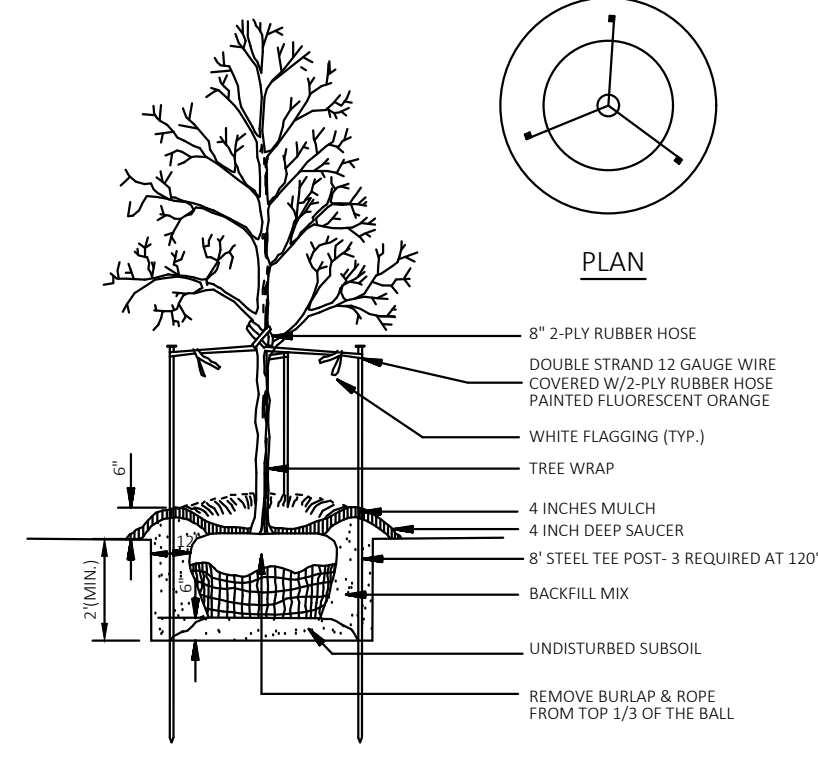
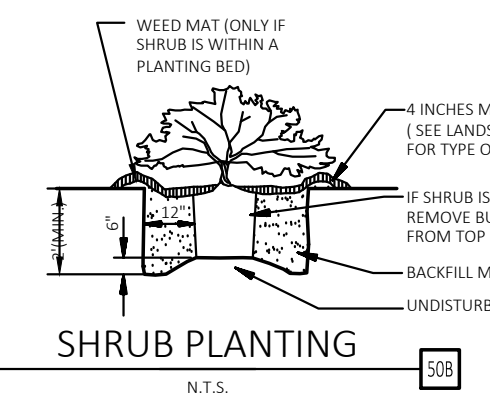
LANDSCAPE LEGEND	
	BLUE GRASS SOD
	LANDSCAPE ROCK OVER WEED BARRIER FABRIC
	CATCH BASIN / DRAIN BASIN

LANDSCAPE NOTES	
70A	INSTALL NEW IRRIGATION LINES, HEADS, CONTROLLERS AND VALVES. (BY OWNER)
70B	INSTALL EDGING AS REQUIRED.

LANDSCAPE DETAILS	
50A	TREE PLANTING
50B	SHRUB PLANTING

TREE LIST						
SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
AM	29		AUTUMN BLAZE MAPLE <i>Acer freemanii</i> 'Autumn Blaze'	B & B	2.5" CAL.	PLANT AS SHOWN
BS	9		BLACK HILLS SPRUCE <i>PICEA GLAUCA</i> 'DENSATA'	B & B	6' MIN. HT.	PLANT AS SHOWN
CA	3		PRAIRIE FIRE CRABAPPLE <i>Malus x</i> 'Prairie Fire'	B & B	2.5" CAL.	PLANT AS SHOWN

SHRUB LIST						
SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
DN	35		DIABLO NINEBARK <i>Physocarpus opulifolius</i> 'Diablo'	CONT.	5 GAL	PLANT AS SHOWN
KF	45		KARL FOERSTER FEATHER REED GRASS <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	CONT.	3 GAL	PLANT AS SHOWN
DL	49		YELLOW DAYLILY <i>Hemerocallis</i>	CONT.	3 GAL	PLANT AS SHOWN
GA	37		MIDGET GLOBE ARBIVITAE <i>Thuja occidentalis</i> 'Globe'	CONT.	5 GAL	PLANT AS SHOWN
PS	20		LITTLE PRINCESS SPIREA <i>Spiraea x bumalda</i> 'LITTLE PRINCESS'	CONT.	3 GAL	PLANT AS SHOWN
RS	53		RUSSIAN SAGE <i>Perovskia atriplicifolia</i>	CONT.	3 GAL	PLANT AS SHOWN
PJM	25		PJM RHODODENDRON <i>Rhododendron x</i> 'P.J.M.'	CONT.	3 GAL	PLANT AS SHOWN
WW	36		WINE WEIGELA <i>Weigela Florida</i>	CONT.	3 GAL	PLANT AS SHOWN
TOTAL		300				



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING
N.T.S.

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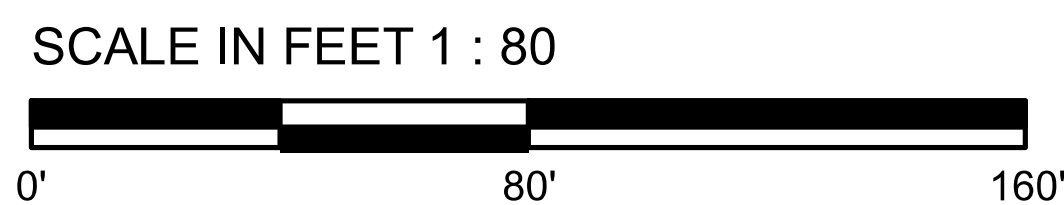
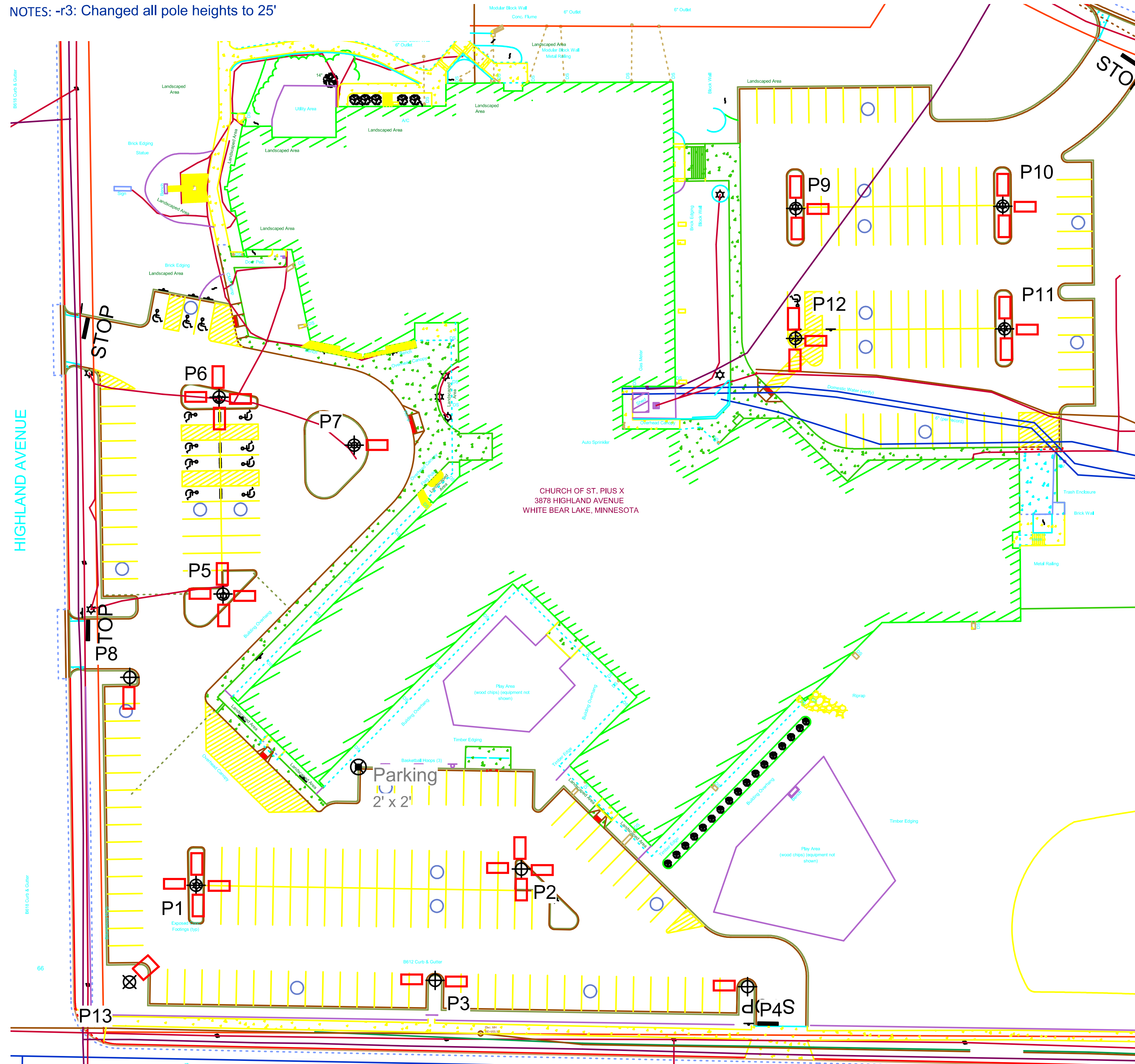
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PARKING LOT REHABILITATION
3878 HIGHLAND AVE, WHITE BEAR LAKE MN 55110

LANDSCAPE PLAN	REV DATE 1/26/18 REV-2	SHEET NO. C6
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NOTES: -r3: Changed all pole heights to 25'



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

Saint Pius X Church Parking Lot

White Bear Lake, MN

EQUIPMENT LAYOUT

INCLUDES:

- Parking

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	Pole			Luminaires	
		SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE
4	P1-P2 P5-P6	25'	-	25'	Cree OSQ	3/1*
1	P3	25'	-	25'	Cree OSQ	1/1*
1	P11	25'	-	25'	Cree OSQ	3
3	P12	25'	-	25'	Cree OSQ	2/1*
4	P9-P10 P13 P4, P7-P8	25'	-	25'	Cree OSQ	1
13	TOTALS					34

* This structure utilizes a back-to-back mounting configuration

SINGLE LUMINAIRE AMPERAGE DRAW CHART

Ballast Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)					
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	480 (60)
Single Phase Voltage						
Cree OSQ	-	-	-	-	-	-

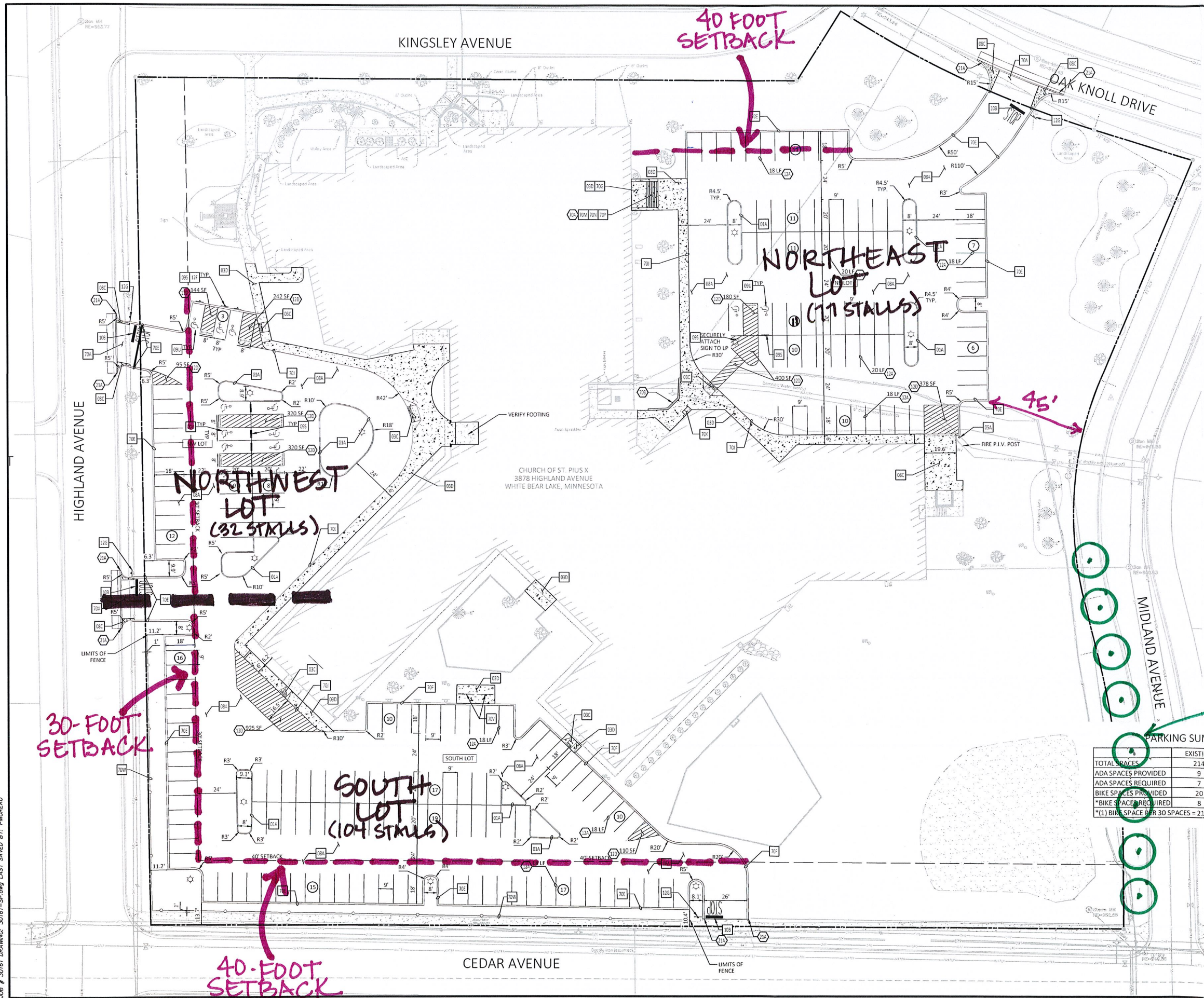
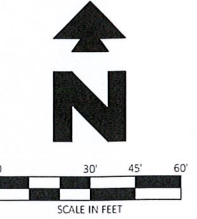


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EXISTING

e	EAST OR ELECTRIC	— OHE&T —	OVERHEAD ELECTRIC AND TELEPHONE
n	NORTH	— OHT —	OVERHEAD TELEPHONE
oh	OVERHEAD	— OHTV —	OVERHEAD TV
s	SOUTH OR SEWER	— OHS —	OVERHEAD SEWER
t	TELEPHONE	— XSS —	SANITARY SEWER
u	UNDERGROUND	— UGE —	UNDERGROUND ELECTRIC AND TELEPHONE
w	WEST OR WATER	— UGE&T —	UNDERGROUND ELECTRIC AND TELEPHONE
et	ELECTRIC TRANSFORMER	— UGI —	UNDERGROUND TELEPHONE
pl	PROPERTY LINE	— UGI/T —	UNDERGROUND TV
rl	RIGHT OF WAY LINE	— W —	WATER
sd	STORM DRAIN	— S-10-11 S.O.S. —	TREE INFO
g	GAS		5 = DIAMETER OF TRUNK IN FEET
oe	OVERHEAD ELECTRIC		10 = HEIGHT OF TREE IN FEET
			11 = CANOPY DIAMETER IN FEET
			50.5 = ELEVATION AT BASE OF TREE

PROPOSED

—	PROPERTY LINE/RIGHT OF WAY LINE
—	CONCRETE CURB AND GUTTER. SEE DETAIL D1A/D1B.
⊕	CURB INLET
⊕	PROPOSED PARKING SPACES
⊕	LIMITS OF SIDEWALKS AND CONCRETE APRONS
☆	PROPOSED LIGHT POLE (SEE LIGHTING PLANS)

- SITE NOTES
- 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 12D 4 INCH WIDE PAINTED YELLOW STRIPES, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 70A NEW CONCRETE STAIRS (SEE STRUCTURAL PLANS).
 - 70B NEW RETAINING WALL (24" HEIGHT MAX.).

- SITE DETAILS
- D1A VERTICAL CURB
 - D1B WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
 - D1C CONCRETE SIDEWALK
 - D1D STEEL BOLLARD
 - D1E STANDARD DUTY ASPHALT PAVING
 - D1F HEAVY DUTY CONCRETE PAVING
 - D1G ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
 - D1H ACCESSIBLE PARKING SYMBOL
 - D1I STOP BAR
 - D1J SIGN POST
 - D1K STOP SIGN
 - D1L COMMERCIAL CURB OPENING (PER CITY OF WHITE BEAR LAKE)
 - D1M D412 CONCRETE CURB AND GUTTER
 - D1N D312 CONCRETE CURB AND GUTTER
 - D1O CONCRETE ADJACENT TO BUILDING
 - D1P INTEGRAL CURB AND GUTTER
 - D1Q MN/DI DEPRESSION DETAIL
 - D1R NEW CONCRETE STAIRS
 - D1S HANDRAIL FOR STAIRS
 - D1T NEW CONCRETE STAIRS PROFILE
 - D1U PERMANENT BIKE RACK
 - D1V DECORATIVE FENCE

PARKING SUMMARY

	EXISTING	PROPOSED
TOTAL SPACES	214	214
ADA SPACES PROVIDED	9	13
ADA SPACES REQUIRED	7	7
BIKE SPACES PROVIDED	20	20
*BIKE SPACES REQUIRED	8	8

(*1) BIKE SPACE PER 30 SPACES = 214 / 30 = 7.13

I HEREBY CERTIFY THAT THIS SET OF PLANS AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Neil Tessler 1/26/2018 26364
NEIL TESSIER, PE. DATE REGISTRATION NO.

SAFEngineering, PLLC
Site and Athletic Facility Engineering
3200 122nd Avenue NE Blaine, MN 55449 612-213-9859 nrtessler@gmail.com

30161	1/26/18	DPOR	PM	MWP	DRW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
2025 Centre Pointe Blvd., Suite 210 Mendota Heights, MN 55120 (651)452-8960 (651)452-1149

ST. PIUS X CATHOLIC CHURCH
PARKING LOT REHABILITATION
3878 HIGHLAND AVE, WHITE BEAR LAKE MN 55110

STAFF'S GRAPHIC
REV. DATE 1/26/18 REV-2 SHEET NO. C2

JOB # 30161 DRAWING: 30161-SP.dwg LAST SAVED BY: P.MOREAU

CITY COUNCIL MEETING SUMMARY

Tuesday, February 13, 2018

APPROVAL OF MINUTES – Approved

APPROVAL OF AGENDA – Approved

Councilmember Edberg added the White Bear Lake Conservation District Financials to the discussion

VISITORS AND PRESENTATIONS – Deb Stender - Marketfest

PUBLIC HEARINGS – Nothing scheduled

LAND USE

A. Consent - Approved

1. Resolution granting two variances for Frattallone's Ace Hardware Store. **Resolution No. 12171**

UNFINISHED BUSINESS – Nothing scheduled

ORDINANCES – Approved

- A. Ordinance repealing Section 403 of the municipal code and amending Article IX – Public Ways and Property by adding Section 906 – Right of Way. **Resolution No. 12172**
Establishing Title and Summary approval of **Right-of-Way Ordinance 18-2-2031**

NEW BUSINESS – Approved

- A. Resolution receiving feasibility report and ordering a public hearing for 2018 Street Reconstruction Project / 2018 Mill and Overlay Project, City Project Nos.: 17-06, 18-01, 18-06 & 18-13. **Resolution No. 12173**

HOUSING AND REDEVELOPMENT AUTHORITY - Approved

- A. Call to Order / Roll Call
- B. Approval of the January 9, 2018 meeting minutes
- C. Approval of the Agenda
- D. Consideration of cross parking and access easement agreement with Oak Ridge and 4th Street Ventures and related extension of 4th Street Venture parking lease. **HRA Resolution 18-02**
- E. Adjournment at 7:57 p.m.

CONSENT – Approved

- A. Acceptance of minutes: November White Bear Lake Conservation District; November Park Advisory Commission; December Environmental Advisory Commission; January Planning Commission,

- B. Resolution approving lease amendments with Sprint Spectrum for placement of communications equipment on the city's monopoles at 3495 Century Avenue and 4701 Miller Avenue. **Resolution No. 12174**
- C. Resolution approving landlord's agreement for the property at 2125 4th Street. **Resolution No. 12175**
- D. Resolution approving massage therapy licenses. **Resolution No. 12176**

DISCUSSION

White Bear Lake Conservation District (WBLCD) financials indicate they continue to grow assets and reserves. The City Council generally agreed that their reserve balance, which today holds 2.5 times the operating budget, is excessive. They agreed that 100% of operating costs in reserves for a smaller organization are reasonable. Efforts to address this issue with the WBLCD will continue.

COMMUNICATIONS FROM THE CITY MANAGER

- Fire Department Planning Process

City Manager Richter spoke about Council's April Work Session on the topic of fire and ambulance operations. As the City prepares for the switch to County dispatch beginning April 1, the department will institute duty shifts in May. The Public Safety lobby will be open Monday – Friday, 7:30 a.m. – 10:00 p.m.

- CIP – Capital Improvement Program

Ms. Richter explained the first draft CIP will be placed online for the public to begin looking at the proposal. Staff is working with Ehlers for a corresponding long-term financial plan through 2022 to support the CIP. This is a draft CIP document, which will continue to evolve through the process. The Council's CIP work session occurs on March 6, 2018.

- Lake Level Lawsuit

Ms. Richter acknowledged the White Bear Press for their accurate portrayal of outcomes as a result of the lake level lawsuit. The judge has not yet ruled on next steps. The City's primary concern as we move toward an inevitable appeal is for relief from a stay of the current ruling. The DNR sent notification to the City this week that its permits are in the process of being amended to include conditions of the ruling, including the residential watering ban.

- Engineering Updates

City Engineer Burch reported that Public Works have been plowing snow and preparing for spring by staining the chairs on the boardwalk, fixing the steel boat and bracing the fishing pier near the VFW to help with ice resistance. The Sports Center project is gearing up to begin on April 2nd. Engineering staff have been working on street reconstruction projects, including feasibility reports.

Mr. Burch reported Emerald Ash Borer was spotted in the north of Beurkel Road in the wetland. The Parks Department have been working on a plan to control Emerald Ash Borer through treatment and selective cutting rather than mass clear-cutting Ash trees. The City has about 150 Ash trees on public property for which a contractor has agreed to provide a free assessment. More information will be conveyed to the City Council and public on this topic so home owners can model their approach to addressing Emerald Ash Borer after the City's program.

City Manager Richter reminded Council that the City already set aside \$100,000 to address Emerald Ash Borer. As the City works through a program to address Emerald Ash Borer, this account may need additional funding.

Councilmember Edberg would be interested in input from both the Environmental and Parks Commissions. He would like to convey to the public City's recommendations for treatment options as well as alternative trees that may be planted in light of other emerging pests and street cleaning efforts.

City Engineer Burch agreed with Councilmember Edberg and further shared plans that the Parks Department is planning themed education and activities to correspond with Arbor Day and increase awareness.

➤ I-35E Construction

City Manager Richter shared plans for construction north on I-35, north of Hwy 14, which will have an impact on traffic on Highway 61 in White Bear Lake.

➤ National League of Cities

City Manager Richter reported that the City of White Bear Lake and Mayor Jo Emerson were featured by the National League of Cities. Specifically, they highlighted efforts of Mayor Emerson to get young people involved in working with cities and in city government.

ADJOURNMENT – 8:32 p.m.

Park Advisory Commission Meeting Minutes

FEBRUARY 15, 2018

6:30 P.M.

CITY HALL

MEMBERS PRESENT	Anastacia Davis, Bryan Belisle, Dan Louismet, Mike Shepard, Don Torgerson, Joann Toth
MEMBERS ABSENT	Bill Ganzlin,
STAFF PRESENT	Mark Burch, Jesse Farrell, Mike Natterstad and Ellen Richter
VISITORS	Paul Peltier with White Bear Township, Deb Neutkens with White Bear Press and Jeff Hafner with Rainbow Treecare
NOTE TAKER	Mark Burch

AGENDA TOPICS

1. CALL TO ORDER

Dan Louismet called the meeting to order at 6:30 pm.

2. APPROVAL OF MINUTES

Approval of the minutes from January 16, 2018 was moved by Mike Shepard and seconded by Joann Toth. Motion carried.

3. APPROVAL OF AGENDA

Approval of the February 15, 2018 agenda was moved by Bryan Belisle and seconded by Mike Shepard with the addition of 6.c. EAB Presentation. Motion carried.

4. COMMITTEE REPORTS

None.

5. UNFINISHED BUSINESS

None.

6. NEW BUSINESS

a) Gazebo Renovation

Mark Burch reported that the inspection report is not yet available.

b) Arbor Day Activities – May 5, 2018

The Park Advisory Commission continued the Arbor Day discussion to the March meeting.

c) Emerald Ash Borer Presentation

Mark Burch and Mike Natterstad explained to the Park Commission that the DNR has detected Emerald Ash Borer (EAB) in ash trees on the south side of White Bear Lake. This is the first confirmed detection of EAB in the City. The Public Works Department is developing a program to manage the ash tree population on both public and private property. Jeff Hafner, an arborist from Rainbow Treecare, presented information on the history of EAB in other states as well as what current practices are being followed by other cities. The current best practices, learned from 15 years of research, is a balanced approach of treatment of select ash trees and removal of others with a replanting strategy accompanying both.

The DNR estimates that there are approximately 11,400 ash trees in the City and most are medium to large in size. The City has about 350 ash trees on its municipal building grounds and manicured park spaces. Based upon proposals received from the Parks Department, the cost to treat trees on municipal property is \$3.90 per inch when trees are measured at breast height. Trees on private property can be treated for \$5.75 per inch.

The Commission discussed many components of the ash tree program, contract alternatives and how the Commission could get involved. The Park Advisory Commission adopted a motion by Joann Toth, seconded by Mike Shepard to support City efforts to treat ash trees on City property. City staff will continue to develop an overall EAB program to assist private property owners as well as address ash trees on City property.

7. OTHER STAFF REPORTS

None.

8. COMMISSION REPORTS

None.

9. OTHER BUSINESS

None.

10. ADJOURNMENT

The next meeting will be held on March 15, 2018 at 6:30 p.m. at City Hall.

There being no further business to come before the Park Commission, the meeting was adjourned. Moved by Joann Toth and seconded by Mike Shepard.