

**PLANNING COMMISSION MEETING
AGENDA
CITY OF WHITE BEAR LAKE, MINNESOTA**

The City of White Bear Lake Planning Commission will hold its regular monthly meeting on Monday, May 20, 2019, beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61.

1. Call to order and roll call.
 2. Approval of the May 20, 2019 agenda.
 3. Approval of the April 29, 2019 Planning Commission meeting minutes.
 4. **CASE ITEMS:**
Unless continued, all cases will go to the City Council meeting on Tuesday, June 11, 2019
 - A. **Case No. 19-1-PUD & 19-1-P:** A request by **Schafer Richardson** for Development Stage Planned Unit Development, per Code Section 1301.070, and a Preliminary Plat, per Code Section 1402.020, of the five parcels at the northwest corner of County Road E and Linden Avenue, in order to construct a new 4-story, 193-unit market-rate apartment building.
 - B. **Case No. 15-4-SHOPa2:** A request by **Katy Fick** for a three-year renewal of a Special Home Occupation Permit, per Code Section 1302.120, in order to continue operating a massage therapy business out of a single-family residence on the property located at 2333 Mayfair Street.
 - C. **Case No. 19-1-SHOP:** A request by **Marya Voosen** for a Special Home Occupation Permit, per Code Section 1302.120, in order to operate a dog grooming business in a single-family residence on the property located at 5050 Division Avenue.
 5. **DISCUSSION ITEMS:**
 - A. City Council Meeting Summary from May 14, 2019.
 - B. Park Advisory Commission Meeting Minutes from March 21, 2019.
 6. **ADJOURNMENT**
- Next Regular City Council MeetingMay 14, 2019
Next Regular Planning Commission Meeting.....May 20, 2019

**MINUTES
PLANNING COMMISSION MEETING
CITY OF WHITE BEAR LAKE
APRIL 29, 2019**

The regular monthly meeting of the White Bear Lake Planning Commission was called to order on Monday, April 29, 2019, beginning at 7:00 p.m. in the White Bear Lake City Hall Council Chambers, 4701 Highway 61, White Bear Lake, Minnesota by Chair Marvin Reed.

1. CALL TO ORDER/ROLL CALL:

MEMBERS PRESENT: Ken Baltzer, Jim Berry, Mary Alice Divine, Marvin Reed, and Peter Reis.

MEMBERS EXCUSED: Mark Lynch and Erich Reinhardt.

MEMBERS UNEXCUSED: None.

STAFF PRESENT: Anne Kane, Community Development Director, Samantha Crosby, Planning & Zoning Coordinator, and Ashton Miller, Planning Technician.

OTHERS PRESENT: Anne Lindgren, Joe Braman, Kathy Dixon, Susan Herbert Welles, Robert Wilcox, Jon & Mary Swanson, Keith & Cheri Hisdahl, John Daly, Grant & Kathryn Raykowski, Trevor Martinez, Mark & Nancy Moe, Jan Ferris, Laurie Jones, Dave Mckenzie, and Mike Brass.

2. APPROVAL OF THE APRIL 29, 2019 AGENDA:

Member Reis moved for approval of the agenda. Member Berry seconded the motion, and the agenda was approved (5-0).

3. APPROVAL OF THE MARCH 25, 2019 PLANNING COMMISSION MEETING MINUTES:

Member Divine moved for approval of the minutes. Member Baltzer seconded the motion, and the minutes were approved (5-0).

4. CASE ITEMS:

A. **Case No. 19-1-Z:** A request by **Schafer Richardson** for a Rezoning from B-4 “General Business” and R-6 “Medium Density Residential” to R-7 “High Density Residential”, per Code Section 1301.040, of the five parcels at the northwest corner of County Road E and Linden Avenue, in order to bring the parcels into conformance with the comprehensive plan’s land use designation of “High Density Residential”.

Crosby discussed the case. Staff recommended approval of the zoning change.

Member Divine asked if the City Council had approved the comprehensive plan. Kane explained that while not complete, the comprehensive plan has been approved for the six-month review period. Member Divine commented how there is now a transit-oriented land use category, but not

a zoning district to match. She questioned whether the parcels would remain R-7 or be zoned something else to reflect the new land use category. Kane replied that a transit-oriented zoning district will be developed next year after the comprehensive plan has been fully approved. Member Divine wondered if the density of the transit-oriented development has been determined. Kane responded it will be 25 to 50 dwelling units per acre.

Member Divine asked if a variance would be needed for the proposed apartment density under the R-7 zoning. Crosby stated that the project is currently going through the Planned Unit Development (PUD) process, so a variance is not needed. Rather, flexibility on certain aspects of the code is granted as a part of the PUD.

Member Divine commented that it seems the City usually gets something in return for the deviations from code that the developers receive in a PUD. She wants to ensure that what the City gets in return from deviating from the R-7 zoning density allowance is exceptional, higher amenity apartment buildings. She supports the proposal, but does not want the City to miss the opportunity to get something in return. Crosby noted Member Divine's remarks, adding that in this particular case, the City has worked closely with the developer to ensure the City realizes a benefit from the proposal.

Member Berry clarified that the only approval at this meeting is for the rezoning of the parcels to R-7, whether it is for Schafer Richardson or another developer. Crosby affirmed, stating that if this particular developer were to go away, this spot is still suitable for high density residential.

Member Reed observed the upcoming meeting dates of the various land use requests surrounding this project.

Reed opened the public hearing.

Anne Lindgren, 3616 Linden Avenue, is against project, but appreciates the Planning Commissioners comments. She questioned if the City had done its research before working with Schafer Richardson, referencing a news article about another project of the company's that was delayed due to funding. She asked how the rezoning correlated with the re-guiding that occurred in November of 2018 and whether the process has started all over. She believes that the apartment does not fit with the surrounding community.

Member Reed gave a brief synopsis of the difference between re-guiding and rezoning.

Member Berry added that questions regarding Schafer Richardson should be addressed next month, as the rezoning is not explicitly about the specific apartment proposal.

As no one else came forward, Reed closed the public hearing.

Member Reis moved to recommend approval of Case No. 19-1-Z. Member Baltzer seconded the motion. The motion passed by a vote of 5-0.

- B. **Case No. 19-2-CUP:** A request by **Mark and Nancy Moe** for a Conditional Use Permit, per Code Section 1302.125, for a home accessory apartment in the basement of the property at 2524 Crestline Drive.

Miller discussed the case. Staff recommended approval with standard conditions.

Member Berry questioned the use of the accessory dwelling unit (ADU) as an Airbnb. Kane responded that the City licenses rental housing and there are no minimum length of rental terms, therefore they are allowed. Member Berry mentioned a nearby ADU that is violating their Conditional Use Permit by parking on the street. He noted that enforcement is often complaint-based.

Member Reis inquired about the enforcement process when violations are found. Kane explained letters are sent, the City documents, and then eventually citations are issued. Other avenues are currently being explored to streamline the process.

Reed opened the public hearing.

Jon Swanson, 2519 Crestline Drive, explained how the applicants have been working on their house for five years and now they are proposing this additional living unit. Parking is an issue because it is difficult to back out of his driveway when the applicants' children have cars parked in the street. He questioned if both basement bedrooms are included in the proposal and if the homestead status changes if the ADU is approved. He commented that if the unit was for an elderly parent, it would not be a formal rental and he would be okay with it. He also felt the City needs a better enforcement process.

Member Reed responded that occupancy is limited to four individuals, parking is limited to that which can fit in the driveway, and the ADU does not change the homestead status. He also pointed out that if the applicants sell their home, a new owner would need to reapply to rent the ADU.

Robert Wilcox, 2525 Crestline Drive, has concerns about new people coming and going every week, as well as parking. The S-curve of the road limits visibility and on-street parking aggravates the problem. Many people walk in the street and the parked vehicles make it a dangerous activity. The problems are exacerbated in the winter in regards to plowing. He does not see the benefit to the neighborhood, only to the homeowners.

Jan Ferris, 2418 Crestline Drive, she has no problem with the request as the applicants will live there to monitor their guests. She supports ADUs in general, finding them to be a good reuse of space, and supports this request in particular.

Nancy Moe, applicant, 2524 Crestline Drive, questioned if overnight parking is allowed. Kane replied that it is allowed except when it snows three inches or more and vehicles need to be moved for plowing. Ms. Moe explained that her children will be living at home for the next four years. They do plan to use the ADU for their parents and then their own health care providers once they are older. Using it as an Airbnb in the meantime seems reasonable and is within the code.

As no one else came forward, Reed closed the public hearing.

Member Berry commented that with short stays associated with Airbnb, there are bound to be parking issues, as the applicants will continuously have to educate their new tenants on the regulations.

Member Reis commented that regulating Airbnbs is a national issue.

Member Reis moved to recommend approval of Case No. 19-2-CUP. Member Berry seconded the motion. The motion passed by a vote of 5-0.

- C. **Case No. 19-3-PUD:** A request by **Keith Hisdahl** for a Planned Unit Development, per Code Section 1301.070, in order to expand and remodel an existing mixed-use business with retail on the first floor and residential above, located at 1966 & 1978 Highway 96.

Crosby discussed the case. Staff recommended approval of the PUD with a number of conditions.

Member Divine asked for clarification on the staff suggestion that the orange trim be toned down, as she did not see where in the report staff recommended a change in color. Crosby responded that the applicant will have to submit for building permits, which is when staff can take a closer look at the color palette.

Member Reis asked if staff will help Mr. Hisdahl through the grant application process. Crosby confirmed that Connie Taillon, the City's Environmental Specialist, has agreed to help.

Reed opened the public hearing.

Keith Hisdahl, applicant, 1978 Highway 96, declared that this has been a long process. He approves of the report, but wishes to keep the colors. The mosaic shows the company's uniqueness.

Member Reed asked how long the company will be down, how Mr. Hisdahl felt about staff's recommendation to limit the use or color of the metal panels, and the trash enclosure requirement. Mr. Hisdahl stated they will try to stay open as long as possible, and would like to keep all the colors as proposed, believing a lighter color on the bottom will enhance the building. He was agreeable to what staff proposed for the trash enclosure.

Dave McKenzie, 4559 Bald Eagle Avenue, lives directly across from Hisdahl's, and likes the proposal a lot more than what he sees now. He commented on the aesthetic and durability of metal panels, noting they are a good addition.

As no one else came forward, Reed closed the public hearing.

Member Reed asked if staff is able to work out the finer details through the PUD process. Crosby pointed to condition 10.f of the staff report that lays out conditions for the colors and balance of materials. She noted that the east elevation is the only elevation that exceeds 50 percent coverage and would need to be reduced, per the condition.

Member Divine reported that she will support the project, but would rather keep staff's condition 10.f as it is.

Member Reis moved to recommend approval of Case No. 19-3-PUD with an amendment to condition 10.f, allowing the panels to be mixed colors, but not to exceed 50% on each side, per code. Member Baltzer seconded the motion. The motion passed by a vote of 5-0.

- D. **Case No. 19-2-V:** A request by **Grant Raykowski** for a 61.5 foot variance from the 95 foot average setback from the lake, per Code Section 1302.040, Subd.4.c; a 20 foot variance from the 40 foot setback required from the street, per Code Section 1303.030, Subd.5.c; and a 320 square foot variance from the 1,250 square foot maximum for both accessory structures combined, per Code Section 1302.030, Subd.4.i.2.b; all in order to demolish the existing detached garage and reconstruct it 314 square feet larger in the same location on the property located at 2503 Manitou Island.

Crosby discussed the case. Staff recommended approval of three variances and denial of one.

Member Berry does like the changes staff recommends. He does not like losing trees, but likes to move the garage out of the floodplain. He appreciates that the applicants are planning to keep the house rather than tear it down.

Member Reed does not like the staff proposed location for the new garage, because as the HOA has stated, this will be the first thing people see when they enter the island. He does not believe that trees should be lost in attempts to bring the garage into compliance with the required setback from the lake. Crosby pointed out that many of the trees on the lot would continue to shield the garage from view if it were shifted to the location as suggested by staff.

Reed opened the public hearing.

John Daly, Wayzata, is working with the clients on the architectural design of the garage. He described how the legally nonconforming structure is not sturdy enough to be remodeled. The intention with the rebuild is to expand the structure towards the road. They used the garage handout that states for lakefront properties, a 20-foot setback is required for accessory structures from a public road, so did not think they needed a variance. The proposed location is open space and does not remove trees. This project creates additional storage space, fits with the neighborhood, and retains the nature on the lot.

Member Berry asked about the handout that the applicants used to plan their rebuild. Crosby pointed out that the handout says “public right-of-way” and the road on Manitou Island is private, and that the handout is meant to be a general guide and may not cover all scenarios.

Member Reed asked if there would be issues with the flood proofing. Mr. Daly replied no.

Katherine Raykowski, applicant, 2503 Manitou Island, stated that her family likes the historic charm of the home, and they want to preserve what they bought, however, 80 year old structures do not meet the needs of today's lifestyle. The size of the garage is not adequate for the family's needs. She countered that the number of trees impacted would be worse than what the staff report indicates, because there are many trees that were not surveyed and the arborists that visited the site informed her that a 10-foot minimum buffer is required around each tree's drip zone for protection.

Ms. Raykowski concluded that her family wants to maintain the island's charm. The HOA and surrounding neighbors approve of their attempt to rebuild in the same spot. She submitted six letters of support from neighboring property owners on the island to the planning commissioners.

As no one else came forward, Reed closed the public hearing.

Member Berry asked if the garage orientation was shifted in staff's recommended location and whether changing the orientation would preserve more trees. Crosby stated it seemed more practical to straighten out as it provides easier road access. More trees could potentially be saved if the garage was oriented another way, but would lead to a u-shaped driveway because of the curvature in the road.

Member Reis moved to recommend approval of Case No. 19-2-V as requested by the applicant, for all four variances, retaining the conditions that do not pertain to staff's recommended garage location. Member Baltzer seconded the motion. The motion passed by a vote of 5-0.

- E. **Case No. 19-3-V:** A request by **Joe Braman** for a 6-foot variance from the 20-foot setback from the side property lines and a 4-foot variance from the rear property line, all per Code Section 1302.030, Subd.20.b.2.a.1, in order to install an above ground pool in the rear yard of the property at 1860 Clarence Street.

Kane discussed the case. Staff recommended approval.

Member Reis likes the re-utilization of the shipping container.

Reed opened the public hearing.

Joe Braman, applicant, offered to answer any questions the Commissioners may have. Member Reis asked if the applicant has looked into the logistics of getting a crane into the space to deliver the storage unit. Mr. Braman affirmed he has.

Member Reed wondered whether there would be a window in the unit and if a four-foot fence would be installed. Mr. Braman replied that there will be a small, above ground window and that a new fence will be going in. He commented that the neighbors are excited to come and use the pool.

As no one else came forward, Reed closed the public hearing.

Member Baltzer moved to recommend approval of Case No. 19-3-V. Member Berry seconded the motion. The motion passed by a vote of 5-0.

5. DISCUSSION ITEMS:

- A.** City Council Meeting Minutes of April 9, 2019.

No discussion

B. Park Advisory Commission Meeting Minutes of February 21, 2019.

No discussion

6. **ADJOURNMENT:**

Member Baltzer moved to adjourn, seconded by Member Reis. The motion passed unanimously (5-0), and the April 29, 2019 Planning Commission meeting was adjourned at 8:54 p.m.

DRAFT



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Samantha Crosby, Planning & Zoning Coordinator

DATE: May 15, 2019 for the May 20, 2019 Planning Commission Meeting

SUBJECT: White Bear Lake Apartments Development Stage PUD & Preliminary Plat
NW Quadrant County Road E & Linden Avenue - Case No. 19-1-PUD

REQUEST

Schafer Richardson, a development and investment company, is requesting Development Stage PUD and Preliminary Plat approval for a 193 unit market-rate apartment building to be located on the five parcels located in the northwest quadrant of County Road E and Linden Avenue. The plans have changed slightly since the concept plan was approved – see applicant’s “Summary of Changes”, attached.

SITE CHARACTERISTICS

Two of the five parcels are vacant. Although zoned commercial, the other three are single-family residences with sizeable back yards. The five parcels together total 4.6 acres in size. The site has numerous mature trees, including a significant stand of pines located in the center. The property rises slightly to the north.

ZONING

Last month the Planning Commission considered a request to rezone the properties from B-4 - General Business and R-6, Medium Density Residential to R-7, High Density Residential. The first reading was held on May 14th and the second reading is scheduled for June 11th - the same Council meeting at which the PUD and Preliminary Plat will be considered.

“The purpose of the PUD – Planned Unit Development Overlay District - is to provide for the integration and coordination of land parcels as well as the combination of varying types of residential and commercial uses.” The PUD is designed to allow greater flexibility in development by allowing variation from the strict provisions of the zoning code to encourage a more desirable and creative environment than might be possible throughout the strict application of the code, as well as higher standards of site and building design.

BACKGROUND

With the 2040 Comprehensive Plan Update, the City has proposed to designate these properties as “Mixed Use Transit Oriented Development”, a new land use category. Since the

Comprehensive Plan Update is behind schedule, the City recently approved an amendment to the existing 2030 plan to reguide the properties to “High-Density Residential” with the caveat that even higher density is anticipated through the approval of a PUD.

ANALYSIS

As itemized in the summary of changes, the number of units has increased by 4 while the number of bedrooms have decreased by one. The number of parking stalls has increased by 9 and the ratio of stalls per unit has increased from 1.45 to 1.47. The density is still 41 units an acre. The two unresolved items from concept review were the access opening onto County Road E and the park dedication.

Access

Access to the site is proposed on both County Road E and Linden Avenue. The County Road E curb cut is positioned to provide a shared drive with the property to the west. This access was down-graded from a full access to a 3/4ths, but the County is requiring a right-in/right-out only, which has the undesirable consequence of pushing more traffic onto Linden Avenue. The only other requirement of the County is a center median to limit illegal left-turn movements to/from the access opening.

Traffic

Since trip generation is based on the number of units, not the number of bedrooms, the daily traffic projections for the site increased by 20 trips per day with the 4 additional units (from 936 to 956). The change from a 3/4th access to a right-in/right-out pushes more of the traffic from County Road E to Linden. Of the 956 trips, it is projected that approximately 227 trips (24%) will use the County Road E access and 729 trips (76%) will rely on the Linden Avenue access. The current number of trips per day on Linden Avenue is 1,100. While this may seem like a notable increase, the intersection of County Road E & Linden Avenue currently has a LOS (Level of Service rating – similar to a report card) of “A” during the a.m. peak hour and a LOS B during the p.m. peak hours. The amount of traffic generated by this development is not significant enough to affect those ratings.

Park Dedication

As a reminder, land dedication is being negotiated with the intent of creating a trail head connection to the future Bruce Vento Regional Trail extension. The preliminary plat includes Block 2 solely for the purpose of carving out Lot 1 of Block 2 for dedication to the City. The lot is 14,797 square feet in size and is not identified as dedication on the plat because it will be deeded to the City as real property after the plat has been recorded. This method reduces the limitations on the future use of the property. The new mix of units results in a park dedication requirement of \$153,450. The value of Lot 1 Block 2 is estimated to be \$123,176, therefore, the developer will pay the remaining \$30,274 in cash at the time of building permit.

Elevations

The building has been “squared off” along the back (north) side, losing some of its articulation. While staff is not enthusiastic about this revision, the north elevation is still consistent with both the west and east elevations. The number of balconies have been reduced along the East elevation by four. Although staff would have preferred to see the number of balconies increase rather than decrease, the change is nominal enough over the length of the building to be

absorbed without significant impact. It appears that the number of patios along the west elevation have been reduced from 11 to 4. Less than half of what was originally proposed is not a slight change. Staff has included a condition that the plans be revised to comply with the approved concept.

Finally, the top floor of exterior building material (the darker grey lap siding) is disproportionately short in relation to the height of the fourth floor. This seems to be a recently popular design element that staff believes will cause the building to look “dated” in the future. The 9 design principles speaks to composition; is the building proportionally correct? In this case, staff does not believe the design is proportionate. Staff advocates for more classic and traditional design. Therefore, staff is recommending that the change in siding materials happen at a point that is indicative of the actual floor location between the third and fourth floors, which would be roughly in-line with the bottom of the railing of the fourth floor balconies.

Stormwater

The runoff from impervious surfaces will be routed to a sizeable underground filtration and detention facility located under the parking lot on the south side of the building. The facility will discharge out to the existing storm sewer located in County Road E. This system meets the minimum code requirements. The project also provides a landscaped stormwater infiltration trench in the main landscape island in front of the main entrance.

Landscaping

At a pre-submittal neighborhood meeting, Linden Townhome residents expressed a desire for screening from the headlights of the vehicles parking in the stalls facing Linden Avenue. In response to this, the developer had indicated they would provide a berm and heavier landscaping as screening between the parking and the east property line. A small berm has been provided along the south side of the east property line. Existing trees in the boulevard prevent the continuation of the berm the full length of the parking lot. As for the landscaping all of the shrubs around the parking lot are deciduous, which will only provide screening for part of the year. Staff recommends that 80% of the shrubs be changed to evergreens, which will provide year round screening. Finally, having promised heavier landscaping, staff also recommends that 50% of the landscaping along the east property line be increased in size at the time of planting. This will reduce the amount of time it takes the material to achieve maturity. See condition #14.i.

Perimeter trees are required around the parking lot at the rate of 1 every 25 linear feet. Shrubs are required one every 3 feet. Staff’s calculation results in the following:

Perimeter Landscaping Requirements						
	Trees			Shrubs		
	Required	Provided	Over/Under	Required	Provided	Over/Under
South	14	15	1	119	105	-14
East	28	12	-16	237	125	-112
North	10	10	0	86	38	-48
TOTAL	52	37	-15	442	268	-174

The plan should be revised to meet code. Between the additional trees and shrubs, the oversizing of half of them, and the conversion of the majority of the shrubs to evergreens, the

landscaping should be heavy enough to adequately screening for the neighbors to the east.

The code requires one interior parking lot shade tree for every 10 parking spaces. With 143 above-ground parking stalls, 14 trees are required and only 11 trees are provided. This is acceptable so long as the 3 additional trees are provided elsewhere on site. Landscaped area is required at 144 square feet for every 10 parking spaces. At that rate, 2,059 square feet of island is required and staff estimates that approximately 2529 square feet will be provided.

Along with a few other trees on site, the stand of 60 Red Pines located in the center of the property have been labeled “poor” and not included in the tree replacement count. The applicant should provide a written statement from a certified arborist as to how these trees are not healthy or they should be included in the tree preservation calculation.

The neighboring residents also expressed a desire to keep the existing retaining wall and landscaping (lilac bushes) in the Linden Avenue right-of-way. The demo plan currently shows these items as being removed. The plan should be revised to retain these items, or the height of the lilac bushes should be measured and a comparable replacement provided.

DISCRETION

The City’s discretion in approving or denying a Development Stage PUD is limited to extent to which it complies with the approved Concept Plan. It is up to the City to decide whether the flexibility requested from code is a reasonable trade-off for the quality of development proposed. A PUD must be consistent with the Comprehensive Plan, and, similar to a CUP, the City may impose reasonable conditions it deems necessary to promote the general health, safety and welfare of the community and surrounding area.

SUMMARY

The proposal exceeds minimum code requirements in a number of ways:

- Building Elevations
 - Stone base, shake siding
 - Residential Roofline
- Tree Trench
- Dedicated recycling shoot
- Car charging stations for electric vehicles
- Increased planting sizes along East property line

Staff finds that the Development Stage plans comply with both the approved concept plans and meets the intent of the code in regards to a higher level of design, therefore recommends approval of both the PUD and the Preliminary Plat.

RECOMMENDATION

Staff recommends approval of the Development Stage PUD Plan subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.

2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Planned Unit Development, the use as allowed by the permit shall not have been completed or utilized, the PUD shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This Planned Unit Development shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the sign resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The development may utilize either a 3/4ths or right-in/right-out access on County Road E.
5. If, in the future, property owners are asked to contribute to street improvements through assessments the owner will not contest.
6. All loading and truck activity shall occur outside of peak periods (7:00 am to 9:00 am and 4:00 pm to 6:00 pm Monday thru Friday).
7. The contractor shall mill and overlay the entire width of Linden Avenue from curb to curb in the area of the new access opening if required by the City Engineering department.
8. The waste/recycling receptacles shall be internal to the building – if a trash shoot is provided a separate recycling shoot shall also be provided. The waste facilities shall be large enough to accommodate recycling for all tenants.
9. All mechanical equipment (either ground mount or rooftop) will be screened from view from the public right-of-ways or adjacent residential.
10. If internally lit, the freestanding monument sign face shall have a dark colored opaque back ground with illuminated lettering.
11. Should off-site parking become a problem in the future, the property owner will work with the City to adjust practices or modify procedures to insure that the amount of parking provided on site is sufficient to accommodate the demand created.
12. The applicant shall obtain a building permit prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

13. Provide a final site plan, including:
 - a. At least 3 car-charging stations for electric vehicles in the underground parking. Above ground, provide conduit to expand the number of charging stations in the future.
 - b. A detail for the ornamental fences around the pool and pet park.
 - c. Provide a bike rack location and detail.

- d. Pavement markings for the designated parking lot crossing.
 - e. Provide patios along the west elevation to comply with the concept plan.
- Revised plans subject to staff approval.

14. Provide a final landscape plan, including:
- a. No more than one third of the proposed trees may be of the same type.
 - b. All landscaping must be irrigated with an automatic rain shut-off sensor.
 - c. Provide boulevard trees in County Road E right-of-way at 50 feet on center, subject to County approval.
 - d. Revise perimeter plantings to comply with code.
 - e. 80% of perimeter shrubs shall be evergreens.
 - f. Provide 3 missing internal parking lot island shade trees elsewhere on site.
 - g. Either preserve the retaining wall and lilacs near the southeast corner of the property, or measure the height of the lilacs and wall together and provide a comparable replacement.
 - h. Either include all significant trees in the tree preservation calculation or provide a written statement from a certified arborist as to why each tree labeled as "poor" is not healthy. Tree preservation calculations to be approved prior to the issuance of a demo permit.
 - i. 50% of the landscaping along the east property line shall be oversized at the time of planting: deciduous trees shall be 3.5 caliper inches, evergreen trees shall be 9 feet tall, and shrubs shall be 24 inches in height.
 - j. The trees in the trench shall be Swamp White Oak and the trees along the east property line shall be Eastern White Pine.
- Revised plan subject to staff approval.
15. Provide final grading and drainage plan, including:
- a. Compliance with the Engineering Memo dated April 4, 2019
 - b. Provide a tree trench detail, including hydrocad model and soil borings.
- The revised plans subject to staff approval.
16. Revise the building elevations so that the change between the light grey and dark grey exterior building material is located to reflect the actual floor level.
17. Provide color-coded floor plans that comply with the approved unit mix.
18. Update plans to comply with Fire Marshall memo dated March 22, 2019.
19. Provide a photometric plan and lighting details (full specification sheets) for all exterior fixtures (parking lot pole lights and wall packs). The photometric plan should be calculated at grade, using initial lumens, with an llf rating of at least 1.0. Pole height shall not exceed 20 feet on top of a maximum 2 foot tall base. The lights shall include a photocell and the Kelvin shall not exceed 4000. The light sources shall be shielded from view from County Road E, Linden Avenue and adjacent residential. Plan and details subject to staff approval.
20. Extend a letter of credit consisting of 125% of the exterior improvements, which renews

automatically every six months. The amount of the letter shall be based on a cost estimate of the outside improvements, to be approved by City staff prior to the issuance of the letter of credit.

21. Provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.
22. Obtain any necessary permits from Ramsey County and the Watershed District; provide a copy of each to the City.

Prior to issuance of a certificate of occupancy:

23. Lot 1 Block 2 shall be deeded to the City and proof of recording provided.
 24. Enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features and tree trench.
 25. Enter into a Proof of Parking agreement with the City.
- Prior to the release of the letter of credit, the applicant shall:

26. Provide an as-built plan that complies with the City's Record Drawing Requirements.
27. All exterior improvements must be installed.
28. All landscaping must have survived at least one full growing season.
29. The applicant shall provide proof of having recorded the Resolution of Approval, the Proof of Parking Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder's Office.

Staff further recommends approval of the Preliminary Plat subject to the following conditions:

1. A hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the city with two final approved reproducible mylar copies of the plat.
2. Per 1402.020, Subd.6.c, within one year, the applicant must supply to the city planning and engineering staff a final plat (consistent with the approved preliminary plan) to be approved by the City Council or the subdivision shall become null and void. If the final plat varies significantly from the preliminary plat, Planning Commission review and comment will be required.
3. Within 100 days after final approval by the City Council, the applicant must record said plat with the County Land Records Office or Registrar of Deeds or the subdivision shall become null and void.

4. No construction permits may be issued to the applicant for improvements on this subdivision site prior to approval and recording of the subdivision's plat and posting of irrevocable letters of credit for public improvements.
5. The applicant shall deed Lot 1, Block 1 to the City prior to the issuance of a Certificate of Occupancy.
6. The remaining park dedication fee (of \$30,274) shall be collected at the time that the building permit is issued.
7. Any existing buildings or structures on the site must be removed entirely from the site.
7. The applicant shall agree to re-apportion any pending or actual assessments on the original parcel or lot of record in accordance with the original assessment formula on the newly approved parcels as per the City of White Bear Lake's Finance Office Schedule for Assessment.
8. The developer must dedicate public rights-of-way and utility easements as illustrated on the preliminary plan or as approved by the City Planner and City Engineer.
9. All public utility electrical, cable, and telephone lines shall be constructed underground within public right of ways or easements as per Section 1405.050.
10. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners. The plat shall indicate that all monuments have been set or will be set within one year after recording, or sooner as specified by the approving local government unit. A financial guarantee may be required for the placement of monuments.

ATTACHMENTS

1. Draft Resolution of Approval – PUD
2. Draft Resolution of Approval – Preliminary Plat
3. Location/Zoning Map
4. Approved Concept Plan for comparison purposes
5. Summary of Changes
6. Plans including Preliminary Plat (19 pages)

RESOLUTION NO. _____

**RESOLUTION APPROVING A DEVELOPMENT STAGE PUD PLAN FOR
THE WHITE BEAR LAKE APARTMENTS
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (19-1-PUD) has been submitted by Schafer Richardson, requesting approval of a Development Stage PUD plan from the City of White Bear Lake at the following site:

ADDRESS: 17XX, 1709, 1713, 1715, and the land-locked parcel adjacent thereto: PID # 273022440199.

LEGAL DESCRIPTION: Attached.

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING: Development Stage approval of a Planned Unit Development, per Code Section 1301.070, for a 193 unit, market-rate apartment building; and

WHEREAS, the Planning Commission has held a Public Hearing as required by the City Zoning Code on May 20, 2019; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed Concept PUD upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake after reviewing the proposal, that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.
7. The special conditions attached are hereby approved.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the requested PUD Development Stage Plan subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1301.050, Subd.4, if within one (1) year after approving the Planned Unit Development, the use as allowed by the permit shall not have been completed or utilized, the PUD shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This Planned Unit Development shall become effective upon the applicant tendering proof (ie: a receipt) to the City of having filed a certified copy of the sign resolution of approval with the County Recorder pursuant to Minnesota State Statute 462.3595 to ensure the compliance of the herein-stated conditions.
4. The development may utilize either a 3/4ths or right-in/right-out access on County Road E.
5. If, in the future, property owners are asked to contribute to street improvements through assessments the owner will not contest.
6. All loading and truck activity shall occur outside of peak periods (7:00 am to 9:00 am and 4:00 pm to 6:00 pm Monday thru Friday).
7. The contractor shall mill and overlay the entire width of Linden Avenue from curb to curb in the area of the new access opening if required by the City Engineering department.
8. The waste/recycling receptacles shall be internal to the building – if a trash shoot is provided a separate recycling shoot shall also be provided. The waste facilities shall be large enough to accommodate recycling for all tenants.
9. All mechanical equipment (either ground mount or rooftop) will be screened from view from the public right-of-ways or adjacent residential.
10. If internally lit, the freestanding monument sign face shall have a dark colored opaque background with illuminated lettering.
11. Should off-site parking become a problem in the future, the property owner will work with the City to adjust practices or modify procedures to insure that the amount of parking provided on site is sufficient to accommodate the demand created.
12. The applicant shall obtain a building permit prior to beginning any work.

Prior to the issuance of a building permit, the applicant shall:

13. Provide a final site plan, including:
 - a. At least 3 car-charging stations for electric vehicles in the underground parking. Above ground, provide conduit to expand the number of charging stations in the future.
 - b. A detail for the ornamental fences around the pool and pet park.

- c. Provide a bike rack location and detail.
 - d. Pavement markings for the designated parking lot crossing.
 - e. Provide patios along the west elevation to comply with the concept plan.
Revised plans subject to staff approval.
14. Provide a final landscape plan, including:
- a. No more than one third of the proposed trees may be of the same type.
 - b. All landscaping must be irrigated with an automatic rain shut-off sensor.
 - c. Provide boulevard trees in County Road E right-of-way at 50 feet on center, subject to County approval.
 - d. Revise perimeter plantings to comply with code.
 - e. 80% of perimeter shrubs shall be evergreens.
 - f. Provide 3 missing internal parking lot island shade trees elsewhere on site.
 - g. Either preserve the retaining wall and lilacs near the southeast corner of the property, or measure the height of the lilacs and wall together and provide a comparable replacement.
 - h. Either include all significant trees in the tree preservation calculation or provide a written statement from a certified arborist as to why each tree labeled as “poor” is not healthy. Tree preservation calculations to be approved prior to the issuance of a demo permit.
 - i. 50% of the landscaping along the east property line shall be oversized at the time of planting: deciduous trees shall be 3.5 caliper inches, evergreen trees shall be 9 feet tall, and shrubs shall be 24 inches in height.
 - j. The trees in the trench shall be Swamp White Oak and the trees along the east property line shall be Eastern White Pine.
Revised plan subject to staff approval.
15. Provide final grading and drainage plan, including:
- a. Compliance with the Engineering Memo dated April 4, 2019
 - b. Provide a tree trench detail, including hydrocad model and soil borings.
The revised plans subject to staff approval.
16. Revise the building elevations so that the change between the light grey and dark grey exterior building material is located to reflect the actual floor level.
17. Provide color-coded floor plans that comply with the approved unit mix.
18. Update plans to comply with Fire Marshall memo dated March 22, 2019.
19. Provide a photometric plan and lighting details (full specification sheets) for all exterior fixtures (parking lot pole lights and wall packs). The photometric plan should be calculated at grade, using initial lumens, with an llf rating of at least 1.0. Pole height shall not exceed 20 feet on top of a maximum 2 foot tall base. The lights shall include a photocell and the Kelvin shall not exceed 4000. The light sources shall be shielded from view from County Road E, Linden Avenue and adjacent residential. Plan and details subject to staff approval.
20. Extend a letter of credit consisting of 125% of the exterior improvements, which renews

automatically every six months. The amount of the letter shall be based on a cost estimate of the outside improvements, to be approved by City staff prior to the issuance of the letter of credit.

- 21. Provide a SAC (Sewer Availability Charge) determination letter from the Metropolitan Council.
- 22. Obtain any necessary permits from Ramsey County and the Watershed District; provide a copy of each to the City.

Prior to issuance of a certificate of occupancy:

- 23. Lot 1 Block 2 shall be deeded to the City and proof of recording provided.
 - 24. Enter into a Stormwater Operation and Maintenance Agreement for the new on-site stormwater features and tree trench.
 - 25. Enter into a Proof of Parking agreement with the City.
- Prior to the release of the letter of credit, the applicant shall:

- 26. Provide an as-built plan that complies with the City’s Record Drawing Requirements.
- 27. All exterior improvements must be installed.
- 28. All landscaping must have survived at least one full growing season.
- 29. The applicant shall provide proof of having recorded the Resolution of Approval, the Proof of Parking Agreement and the Stormwater Operation and Maintenance Agreement with the County Recorder’s Office.

The foregoing resolution, offered by Council member _____ and supported by Council member _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office. I have read and agree to the conditions of this resolution as outlined above.

Signed

Date

Printed Name and Title

LEGAL DESCRIPTION

Parcel 1:

That part of Lot 22, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.

Ramsey County, Minnesota
Abstract Property
(PID No. 27-30-22-44-0199)

Parcel 2:

All that part of the West 200 feet of the East 330 feet of Lot 26, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of Lot 22, "Strawberry Acres", distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line, EXCEPT, that portion of said Lot 26 lying Southerly of the Northerly right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2.

Ramsey County, Minnesota
Abstract Property
(PID No. 27-20-22044-0201)

Parcel 3:

The West 65 feet of the East 130 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

Ramsey County, Minnesota
Abstract Property
(27-30-22-44-0014)

Parcel 4:

The East 65 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

Ramsey County, Minnesota
Abstract Property
(27-30-22-44-0013)

Parcel 5:

Lot 23, "Strawberry Acres", according to the plat thereof.

Ramsey County, Minnesota
Abstract Property
(PID No. 27-30-22-44-0012)

RESOLUTION NO. _____

**RESOLUTION APPROVING A PRELIMINARY PLAT
OF PROPERTY LOCATED AT THE NORTHWEST CORNER
OF LINDEN AVENUE AND COUNTY ROAD E
WITHIN THE CITY OF WHITE BEAR LAKE**

WHEREAS, a proposal (19-1-P) has been submitted by Schafer Richardson to the City Council requesting a preliminary plat in accordance with the Subdivision Code at the following site:

ADDRESS: 17XX, 1709, 1713, 1715 and the land-locked parcel adjacent thereto:
PID # 273022440199.

LEGAL DESCRIPTION: Attached as Exhibit A

WHEREAS THE APPLICANT SEEKS: Preliminary Plat approval, per Section 1402.020, to combine multiple properties into one and construct a 193-unit, market rate apartment building; and

WHEREAS, the Planning Commission has held a Public Hearing as required by the Subdivision Code on May 20; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed plat upon the health, safety, and welfare of the community and the Comprehensive Plan, as well as any concerns related to traffic, compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety, in the surrounding area;

NOW, THEREFORE, BE IT RESOLVED by the City of White Bear Lake that the City Council finds that the proposal abides by the intent of the city's ordinances, codes, and the Comprehensive Plan; and

FURTHER, BE IT RESOLVED by the City Council of the City of White Bear Lake accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the City's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.

6. Traffic generation will be within the capabilities of the streets serving the site.
7. That the special conditions attached in the form of a conditional use permit are hereby approved.

FURTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approves the minor subdivision subject to the following conditions:

1. A hardshell or other recordable plat, acceptable by the Ramsey County Recorder is required. The applicant shall also provide the city with two final approved reproducible mylar copies of the plat.
2. Per 1402.020, Subd.6.c, within one year, the applicant must supply to the city planning and engineering staff a final plat (consistent with the approved preliminary plan) to be approved by the City Council or the subdivision shall become null and void. If the final plat varies significantly from the preliminary plat, Planning Commission review and comment will be required.
3. Within 100 days after final approval by the City Council, the applicant must record said plat with the County Land Records Office or Registrar of Deeds or the subdivision shall become null and void.
4. No construction permits may be issued to the applicant for improvements on this subdivision site prior to approval and recording of the subdivision's plat and posting of irrevocable letters of credit for public improvements.
5. The applicant shall deed Lot 1, Block 1 to the City prior to the issuance of a Certificate of Occupancy.
6. The remaining park dedication fee (of \$30,274) shall be collected at the time that the building permit is issued.
7. Any existing buildings or structures on the site must be removed entirely from the site.
7. The applicant shall agree to re-apportion any pending or actual assessments on the original parcel or lot of record in accordance with the original assessment formula on the newly approved parcels as per the City of White Bear Lake's Finance Office Schedule for Assessment.
8. The developer must dedicate public rights-of-way and utility easements as illustrated on the preliminary plan or as approved by the City Planner and City Engineer.
9. All public utility electrical, cable, and telephone lines shall be constructed underground within public right of ways or easements as per Section 1405.050.
10. Durable iron monuments shall be set at all angle and curve points on the outside boundary lines of the plat and also at all block and lot corners and at all intermediate points on the block and lot lines indicating changes of direction in the lines and witness corners. The plat

shall indicate that all monuments have been set or will be set within one year after recording, or sooner as specified by the approving local government unit. A financial guarantee may be required for the placement of monuments.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:

Nays:

Passed:

Jo Emerson, Mayor

ATTEST:

Kara Coustry, City Clerk

EXHIBIT A**LEGAL DESCRIPTION**

That part of Lot 22, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.

AND

All that part of the West 200 feet of the East 330 feet of Lot 26, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of Lot 22, "Strawberry Acres", distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line, EXCEPT, that portion of said Lot 26 lying Southerly of the Northerly right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2.

AND

The West 65 feet of the East 130 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

AND

The East 65 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

AND

Lot 23, "Strawberry Acres", according to the plat thereof.

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 27, Township 30, Range 22, Ramsey County, Minnesota described as follows:

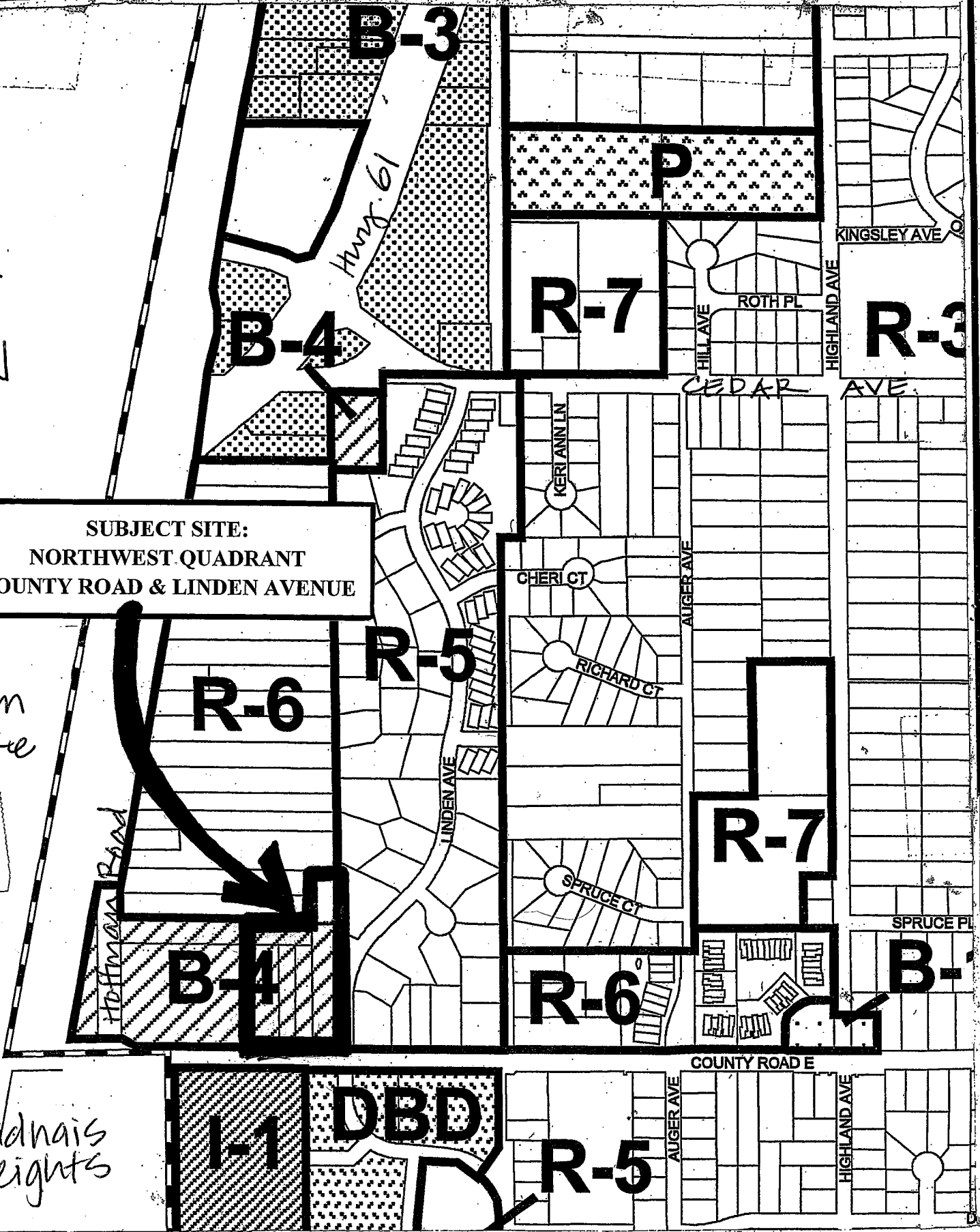
Commencing at the Southeast corner of said Section 27; thence West along the South line of said Southeast Quarter for 1591.4 feet to the point of beginning; thence North at right angles to said South line to the East right of way line of Burlington Northern Railway; thence Southwesterly along said right of way to said South line; thence East along said South line to the point of beginning and there terminating, EXCEPT the South 75 feet thereof.



Gene Lake

Vadnais Heights

**SUBJECT SITE:
NORTHWEST QUADRANT
COUNTY ROAD & LINDEN AVENUE**



City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 19-1-2
CASE NAME : White Bear Lake Apartments
DATE : APRIL 29, 2019

1709, 1713, 1715, XXXX and XXX County Road E:**Summary of Changes from Concept Submittal**

Gross Square footage:

- Concept Submittal: 209,200sf
- Current Submittal: 204,275sf

As the drawings became more detailed, the western leg of the building was able to be shrunk by approximately 20' and the east leg was able to be shrunk by approximately 8'.

Unit Mix:

- Concept Submittal: 189 Units
 - 40 - Studio
 - 90 - 1 Bedroom
 - 55 - 2 Bedroom
 - 4 - 3 Bedroom
- Current Submittal: 193 Units
 - 36 - Studio
 - 99 - 1 Bedroom
 - 58 - 2 Bedroom
 - 0 - 3 Bedroom

Bedroom Count:

- Concept submittal: 252
- Current Submittal: 251

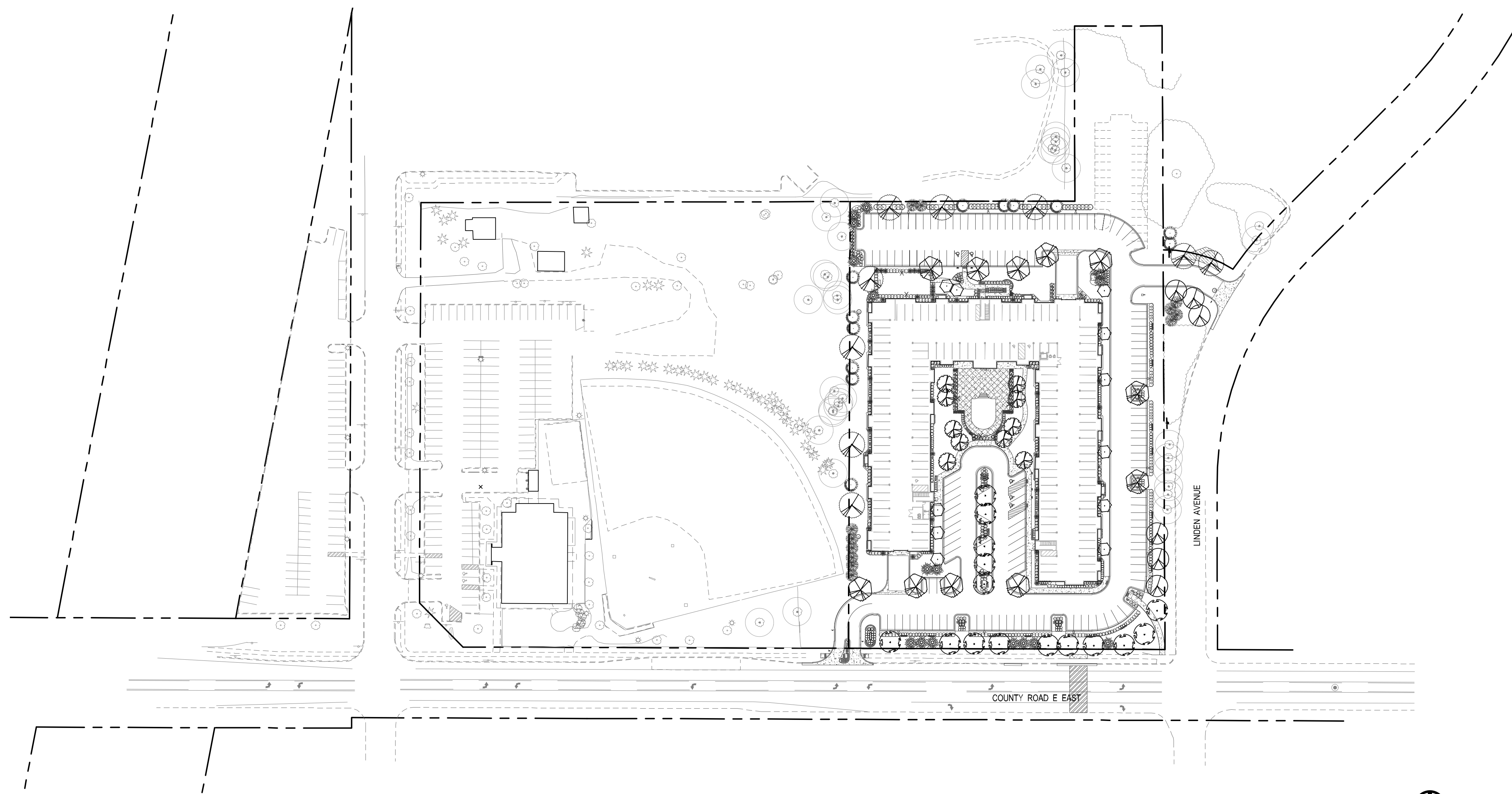
Parking:

- Concept Submittal: 275 Stalls
(1.45 stalls/unit or 1.09 stalls/bdrm)
 - 135 Surface
 - 140 Below Grade
- Current Submittal: 284 Stalls
(1.47 stalls/unit or 1.13 stalls/bdrm)
 - 146 Surface
 - 138 Below Grade

Open Space:

- Concept Submittal: 82,360
- Current Submittal: 82,680

Most of the 320 square foot gain was caused by shrinkage in the building footprint. However, that shrink was also significantly offset by the addition of a sidewalk on the north side of the building to provide an accessible ramp to that parking area and to add additional parking stalls.



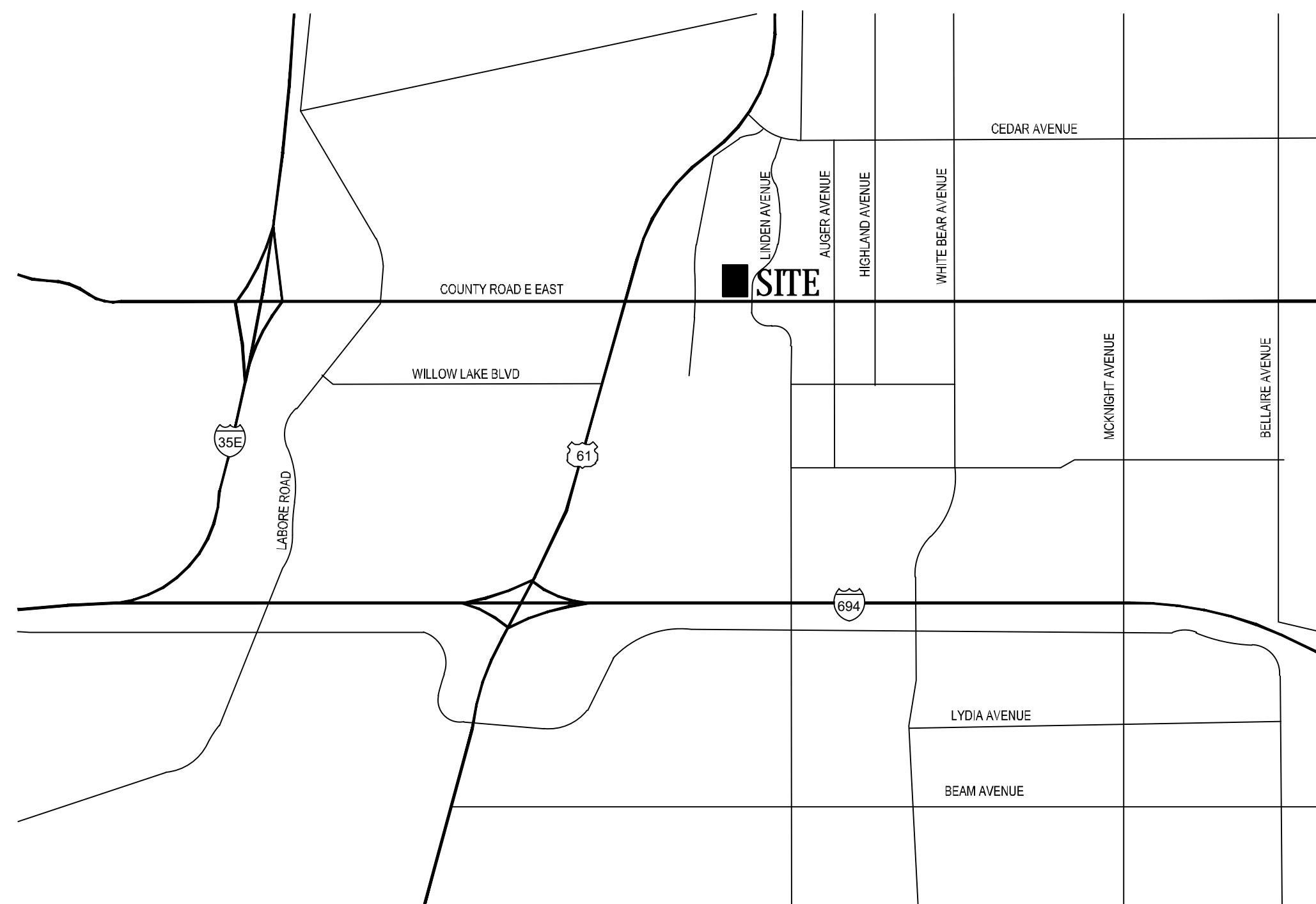
VICINITY MAP

NOT TO SCALE

WHITE BEAR LAKE APARTMENTS

WHITE BEAR LAKE - MINNESOTA

DEVELOPMENT PLAN PUD
PRELIMINARY SUBMITTAL
MARCH 18, 2019



LOCATION MAP

NOT TO SCALE

PROJECT CONTACTS

DEVELOPER	SCHAFER RICHARDSON 900 NORTH THIRD STREET MINNEAPOLIS, MN 55401	TRAVOR MARTINEZ T (612) 344-1597 F (612) 359-6886
DESIGN BUILD CONTRACTOR	AMCON CONSTRUCTION 6121 BAKER ROAD, SUITE 101 MINNETONKA, MN 55345	ERIK PETERSON T (651) 379-0090 F (651) 379-9091
CIVIL ENGINEER	ELAN DESIGN LAB, INC. 901 N 3rd STREET SUITE 120 MINNEAPOLIS, MN 55401	MARCHE IVESLOCK, PE T (612) 260-7881
LANDSCAPE ARCHITECT	ELAN DESIGN LAB, INC. 901 N 3rd STREET SUITE 120 MINNEAPOLIS, MN 55401	PILAR SARATHONG, RLA T (612) 260-7982
LAND SURVEYOR	WENCK ASSOCIATES 1802 WOODDALE DRIVE, SUITE 100 WOODBURY, MN 55125	CHRIS AMBOURN T (651) 395-6212
COMMUNITY DEVELOPMENT CITY PLANNER	CITY OF WHITE BEAR LAKE 4701 HIGHWAY 81 WHITE BEAR LAKE, MN 55110	SAMANTHA CROSSBY T (651) 429-8534
PUBLIC WORKS CITY ENGINEER	CITY OF WHITE BEAR LAKE 4701 HIGHWAY 81 WHITE BEAR LAKE, MN 55110	PAUL KAUPPI T (651) 429-8593

SHEET INDEX

- C-000 COVER SHEET
- C-001 ALTANSPS LAND TITLE SURVEY 1 OF 2
- C-002 ALTANSPS LAND TITLE SURVEY 2 OF 2
- C-010 DEMOLITION PLAN
- C-101 SITE PLAN
- C-201 GRADING PLAN
- C-202 SWPPP
- C-203 EROSION CONTROL PLAN
- C-301 UTILITY PLAN
- C-501 DETAILS
- C-502 DETAILS
- C-503 DETAILS
- C-504 DETAILS
- E-101 PHOTOMETRICS PLAN
- L-010 TREE PRESERVATION PLAN
- L-101 LANDSCAPE PLAN
- L-501 LANDSCAPE DETAILS

ISSUES/REVISIONS:

City Submittal	DATE
	03-18-2019

COVER SHEET

DATE: 03-18-19

C-000

PROJECT NO. 18031

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMITTED SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

PROPERTY DESCRIPTION

The following description was provided in Old Republic National Title Insurance Company First Supplemental Commitment No. 54975 which has an effective date of October 2, 2018 at 7:00 A.M.

Parcel 1:
 That part of Lot 22, "Strawberry Acres", Ramsey County, Minnesota, lying Westerly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point on the North right of way line of Trunk Highway No. 244, as shown on Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of "Strawberry Acres", a Ramsey County, Minnesota, as measured along the Northerly right of way line of said Trunk Highway No. 244.
 Ramsey County, Minnesota
 Abstract Property

Parcel 2:
 The following described property in Ramsey County, Minnesota.

Parcel 2(a)
 Lot 26, except the East 330 feet thereof, "Strawberry Acres", according to the plat thereof.
 and

Parcel 2(b)
 That part of the East 330 feet of Lot 26, "Strawberry Acres", lying Westerly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point on the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.
 and

Parcel 2(c)
 Lot 24, "Strawberry Acres", according to the plat thereof.
 and

Parcel 2(d)
 That part of Lot 25, "Strawberry Acres", according to the plat thereof, lying northwesterly of the following described line:
 Beginning at a point on the West line of said Lot 25, distant 50 feet North of the southwest corner thereof; thence run Southeasterly to a point on the South line of said Lot 25, distant 50 feet from said southwest corner.
 and

Parcel 2(e)
 That part of the Southwest Quarter of the Southeast Quarter of Section 27, Township 30, Range 22, Ramsey County, Minnesota, described as follows:
 Commencing at the Southeast corner of said Section 27; thence West along the South line of said Southeast Quarter for 1591.4 feet to the point of beginning; thence North at right angles to said South line to the East right of way line of Burlington Northern Railway; thence Southwesterly along said right of way to said South line; thence East along said South line to the point of beginning and there terminating, EXCEPT the South 75 feet thereof.
 Ramsey County, Minnesota
 Abstract Property

Parcel 3:
 That part of Lot 22, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point on the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.
 Ramsey County, Minnesota
 Abstract Property

Parcel 4:
 All that part of the West 200 feet of the East 330 feet of Lot 26, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of Lot 22, "Strawberry Acres", distant 490 feet Easterly of the Northwest corner thereof to a point on the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line, EXCEPT, that portion of said Lot 26 lying Southerly of the Northerly right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2.
 Ramsey County, Minnesota
 Abstract Property

Parcel 5:
 The West 65 feet of the East 130 feet of Lot 26, "Strawberry Acres", according to the plat thereof.
 Ramsey County, Minnesota
 Abstract Property

Parcel 6:
 The East 65 feet of Lot 26, "Strawberry Acres", according to the plat thereof.
 Ramsey County, Minnesota
 Abstract Property

Parcel 7:
 Lot 23, "Strawberry Acres", according to the plat thereof.
 Ramsey County, Minnesota
 Abstract Property

TABLE "A" OPTIONAL ITEMS

- Property corner markers have been found and placed as shown hereon.
- Property addresses: 3600, 3646 Hoffman Road, 1709, 1715, 1713 County Road E East, White Bear Lake, MN.
- Flood zone classification: this property is located in Zone X (Areas of minimal flood hazard) according to FEMA Flood Insurance Rate Map Numbers 27123C0041G and 27123C0042G, which have an effective date of 6/4/2010.
- Gross land area: Parcel 1: 48,982 sq. ft.
 Parcel 2(a): 93,447 sq. ft.
 Parcel 2(b): 29,438 sq. ft.
 Parcel 2(c): 39,236 sq. ft.
 Parcel 2(d): 36,835 sq. ft.
 Parcel 2(e): 45,005 sq. ft.
 Parcel 3: 25,692 sq. ft.
 Parcel 4: 52,582 sq. ft.
 Parcel 5: 26,705 sq. ft.
 Parcel 6: 26,728 sq. ft.
 Parcel 7: 71,882 sq. ft.
 Total Area: 496,532 sq. ft (11.40 acres)
- Elevations and surface contours are shown hereon and are relative to the NAVD88 vertical datum
- Zoning classification: The surveyor did not receive a zoning report or letter
- All visible above ground improvements observed during the course of fieldwork are shown hereon.
- There are 156 standard and 3 handicap striped parking spaces on the subject property.
- Names of owners of adjoining lands were obtained from the Ramsey County GIS.
- Utility lines shown hereon are based on field markings and maps provided to us as a result of a Gopher State One Call private utility locate (ticket numbers 161970334,161970296), the surveyor cannot guarantee that all utilities were marked or that the markings/maps are accurate.
- There were no observable signs of recent construction or earthmoving on the subject property at the time of survey.

NOTES CORRESPONDING TO SCHEDULE B - 2

- Items corresponding to Schedule B Section 2 as provided in Old Republic National Title Insurance Company First Supplemental Commitment No. 54975 which has an effective date of October 2, 2018 at 7:00 A.M.
- Items 1, 2, 4, and 5 are not survey related and are not addressed herein.
- Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.— THE SURVEYOR HAS MADE A GOOD FAITH EFFORT TO DISCLOSE ANY ISSUES DESCRIBED ABOVE THAT WERE OBSERVED DURING THE COURSE OF THE SURVEY.
 - Terms and conditions of Contract for Deed dated March 18, 2015, filed April 8, 2015, as Document No. 4550600, by and between Stadium & Village Inn, LLC, a Minnesota limited liability company, vendor, and White Bear Lake Properties LLC, a Minnesota limited liability company, vendee. — SAID DOCUMENT DESCRIBES PARCELS 1-9 SHOWN HEREON
 - Assignment of Contracts for Deed dated December 18, 2017, filed December 26, 2017, as Document No. 4691799, by and between White Bear Lake Properties LLC, a Minnesota limited liability company, assignor, and The First National Bank of Northfield, a national banking corporation, assignee. — SAID DOCUMENT DESCRIBES PARCELS 1-9 SHOWN HEREON
 - Terms and conditions of Contract for Deed dated January 16, 2017, filed January 30, 2017, as Document No. 4644930, by and between White Bear Lake Properties, LLC, a Minnesota limited liability company, vendor, and DM Properties Limited Liability Company, vendee. — SAID DOCUMENT DESCRIBES PARCELS 1, 2, 8 AND 9 SHOWN HEREON
 - Assignment of Contracts for Deed dated December 18, 2017, filed December 26, 2017, as Document No. 4691799, by and between White Bear Lake Properties LLC, a Minnesota limited liability company, assignor, and The First National Bank of Northfield, a national banking corporation, assignee. — SAID DOCUMENT DESCRIBES PARCELS 1-9 SHOWN HEREON
 - Terms and conditions of easement for highway purposes as set forth in instrument dated November 29, 1935, filed March 6, 1956, as Document No. 893970. — THIS DOCUMENT IS PARTIALLY ILLEGIBLE BUT APPEARS TO AFFECT PARCELS 1 AND 2(c). THE PERMANENT SLOPE EASEMENT DEFINED THEREIN IS SHOWN APPROXIMATELY BASED ON THE LEGIBLE PORTIONS OF THE DOCUMENT AND AVAILABLE RIGHT OF WAY MAPS.
 - Terms and conditions of Electric Distribution Easement dated September 9, 1998, filed September 11, 1998, as Document No. 3085989. — SAID EASEMENT IS SHOWN HEREON
 - Terms and conditions of Resolution No. 8685, issued by the City of White Bear Lake, approving a conditional use permit, amending Resolution No. 8334, regarding restaurant and parking lot expansion filed June 9, 2000, as Document No. 3327104. — PARCELS 1, 2(c), AND 2(d) ARE DESCRIBED IN THIS DOCUMENT AND ARE SHOWN HEREON
 - Terms and conditions of Proof of Parking Agreement dated February 8, 2000, filed June 9, 2000, as Document No. 3327105. — PARCELS 1, 2(c), AND 2(d) ARE DESCRIBED IN THIS DOCUMENT AND ARE SHOWN HEREON
 - Terms and conditions of Hazardous Substances Certificate and Indemnity Agreement dated May 8, 2002, filed May 20, 2002, as Document No. 3501299. — SAID DOCUMENT DESCRIBES PARCELS 1, 2(a-e), 3, 4, and 5 SHOWN HEREON
 - Rights and easement, in favor of the State of Minnesota, acquired in Condemnation, as evidenced by Final Certificate dated April 13, 1933, filed June 20, 1933, as Document No. 850356. — THIS DOCUMENT DESCRIBES A NUMBER OF RIGHT OF WAY TAKINGS FOR THE REALIGNMENT OF HWY 61 LYING WEST AND SOUTHWEST OF THE SUBJECT PROPERTY AND DOES NOT AFFECT THE SUBJECT PROPERTY.
 - Quit Claim Deed dated March 22, 1979, filed April 9, 1979, as Document No. 2037586, from the State of Minnesota to the County of Ramsey. — THIS DOCUMENT DESCRIBES PORTIONS OF OLD HWY 61 (NOW HOFFMAN ROAD) WHICH WERE TURNED BACK TO RAMSEY COUNTY. IT DOES NOT APPEAR THAT ANY OF THE SUBJECT PROPERTY IS AFFECTED BY THIS DOCUMENT.
 - Terms and conditions of Agreement dated October 15, 1969, filed November 21, 1969, as Document No. 1763017. — THIS AGREEMENT AFFECTS PARCELS 2(c) and 2(d) SHOWN HEREON.
 - Terms and conditions of Easement dated August 7, 1973, filed September 20, 1973, as Document No. 1867135. — THIS EASEMENT IS FOR THE RAILROAD CROSSING ON CO. RD. E AND DOES NOT AFFECT THE SUBJECT PROPERTY
 - Right of way of Trunk Highway No. 244, as shown on Minnesota Department of Transportation Plat 62-2 filed May 20, 1986, as Document No. 2211553. — THE RIGHT OF WAY FOR TH 244 IS SHOWN HEREON
 - Easement for underground utility purposes as set forth in Quit Claim Deed dated December 17, 1984, filed December 17, 1984, as Document No. 2247096. — SAID EASEMENT IS SHOWN HEREON
 - Terms and conditions of Easement dated December 11, 1984, filed December 11, 1984, as Document No. 2246427. — SAID EASEMENT IS THE SAME AS THE ONE LISTED IN ITEM 22 AND IS SHOWN HEREON
 - Terms and conditions of Easement dated December 11, 1984, filed December 11, 1984, as Document No. 2246428. — SAID EASEMENT IS SHOWN HEREON
 - Rights running in favor of the State of Minnesota, as set forth in Warranty Deed filed July 27, 1928, as Document No. 762492. — THE AREA DESCRIBED IN THIS DOCUMENT IS SHOWN HEREON.
 - Terms and conditions of Grant of Easement dated December 28, 2001, filed January 15, 2002, as Document No. 3459967. — SAID EASEMENT IS SHOWN HEREON
 - Terms and conditions of Final Certificate dated March 14, 1986, filed May 20, 1986, as Document No. 2314846. — THAT PART OF LOT 26 TAKEN IN THIS DOCUMENT IS SHOWN HEREON. ALL TEMPORARY EASEMENTS AFFECTING THE SUBJECT PROPERTY STATED IN THIS DOCUMENT HAVE EXPIRED.

STATEMENT OF POSSIBLE ENCROACHMENTS

- The following possible encroachment notes are intended to draw the users attention only, the surveyor does not guarantee that the items noted below are in fact encroachments or that all possible encroachments are shown hereon.
- Storm sewer line crosses subject property outside of the easement
 - Utility pole guy wires extend onto subject property
 - Gravel driveway extends onto subject property
 - Sign and retaining wall extend into public right of way by 3.7' +/-

CERTIFICATION

To: Schafer Richardson, and Old Republic National Title Company: This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 5, 6a, 8, 9, 11, 13 and 16 of Table A thereof.

Date of fieldwork: 10/30/2018

DRAFT FOR REVIEW

Chris Ambourn, MN. License 43055 11/xx/2018
 Date

 Responsive partner. Exceptional outcomes. 1802 WOODDALE DRIVE WOODBURY, MN 55125 Ph: 651-395-5212	CLIENT NAME	PROJECT TITLE
	SCHAFFER RICHARDSON	ALTA/NSPS LAND TITLE SURVEY 3600 HOFFMAN ROAD
	DWN BY CNA	CHK'D XXX
PROJECT NO. 0840-0016	DWG DATE SCALE 1"=50'	SEE ABOVE 1 OF 2

PRELIMINARY/NOT FOR CONSTRUCTION
 PERMITTED SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

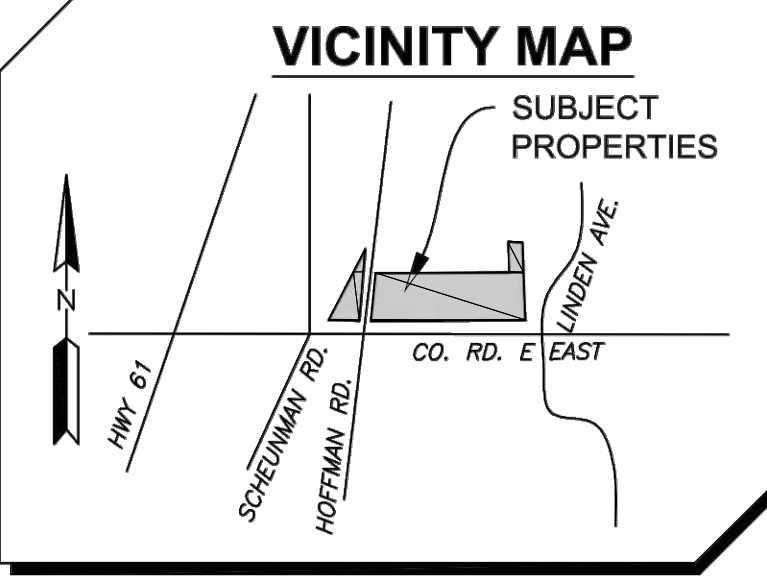
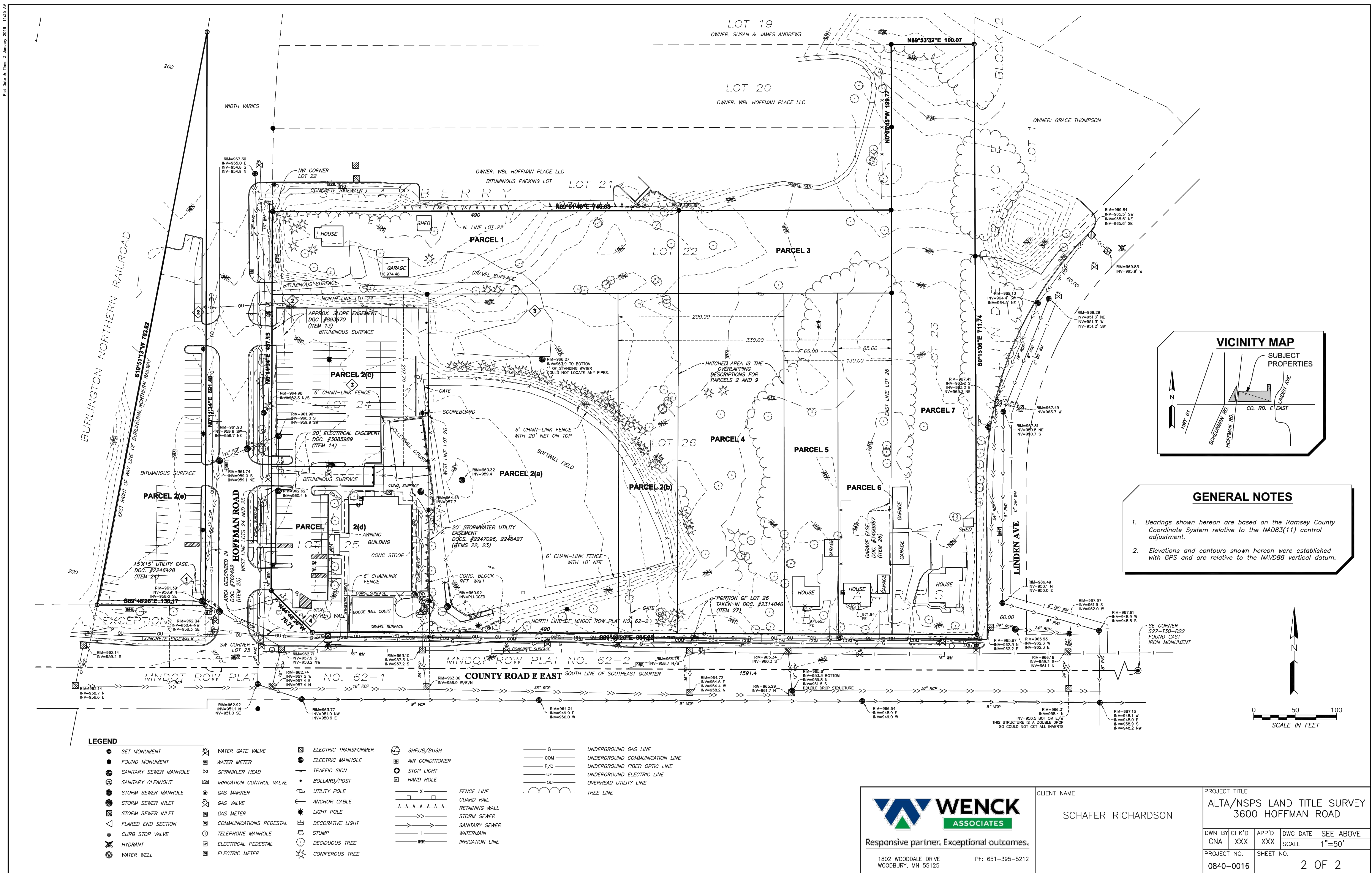
PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

City Submittal	03/18/2018
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ISSUES/REVISIONS:	

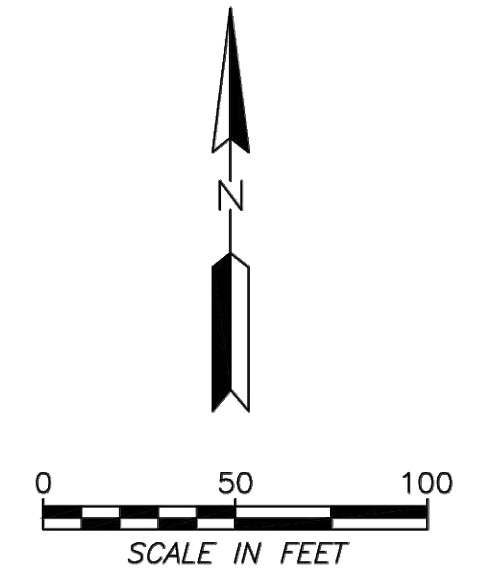
ALTA/NSPS LAND TITLE SURVEY 2 OF 2

DATE: 03-18-19
C-002
 PROJECT NO. 18031



GENERAL NOTES

- Bearings shown hereon are based on the Ramsey County Coordinate System relative to the NAD83(11) control adjustment.
- Elevations and contours shown hereon were established with GPS and are relative to the NAVD83 vertical datum.



LEGEND

SET MONUMENT	WATER GATE VALVE	ELECTRIC TRANSFORMER	SHRUB/BUSH	UNDERGROUND GAS LINE
FOUND MONUMENT	WATER METER	ELECTRIC MANHOLE	AIR CONDITIONER	UNDERGROUND COMMUNICATION LINE
SANITARY SEWER MANHOLE	SPRINKLER HEAD	TRAFFIC SIGN	STOP LIGHT	UNDERGROUND FIBER OPTIC LINE
SANITARY CLEANOUT	IRRIGATION CONTROL VALVE	BOLLARD/POST	HAND HOLE	UNDERGROUND ELECTRIC LINE
STORM SEWER MANHOLE	GAS MARKER	UTILITY POLE	FENCE LINE	OVERHEAD UTILITY LINE
STORM SEWER INLET	GAS VALVE	ANCHOR CABLE	GUARD RAIL	TREE LINE
FLARED END SECTION	GAS METER	LIGHT POLE	RETAINING WALL	
CURB STOP VALVE	COMMUNICATIONS PEDESTAL	DECORATIVE LIGHT	STORM SEWER	
HYDRANT	TELEPHONE MANHOLE	STUMP	SANITARY SEWER	
WATER WELL	ELECTRICAL PEDESTAL	IRRIGATION LINE	WATERMAIN	
	ELECTRIC METER	DECIDUOUS TREE	CONIFEROUS TREE	

WENCK ASSOCIATES
 Responsive partner. Exceptional outcomes.
 1802 WOODDALE DRIVE
 WOODBURY, MN 55125
 Ph: 651-395-5212

CLIENT NAME
 SCHAFER RICHARDSON

PROJECT TITLE
 ALTA/NSPS LAND TITLE SURVEY
 3600 HOFFMAN ROAD

DWN BY CNA	CHK'D XXX	APP'D XXX	DWG DATE SCALE	SEE ABOVE 1"=50'
PROJECT NO. 0840-0016	SHEET NO. 2 OF 2			

<input checked="" type="checkbox"/> PRELIMINARY/NOT FOR CONSTRUCTION
<input type="checkbox"/> PERMITTED SET
<input type="checkbox"/> CONSTRUCTION SET
<input type="checkbox"/> AS-BUILT SET
<input type="checkbox"/> NOT TO SCALE

Plot Date & Time: 2 May 2018 11:47 AM

GENERAL NOTES

- Bearings shown hereon are based on the Ramsey County Coordinate System relative to the NAD83(11) control adjustment.
- Elevations and contours shown hereon were established with GPS and are relative to the NAVD88 vertical datum.

LEGAL DESCRIPTION OF PROPERTY TO BE PLATTED

That part of Lot 22, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of said Lot 22, distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line.

AND

All that part of the West 200 feet of the East 330 feet of Lot 26, "Strawberry Acres", according to the plat thereof, lying Easterly of a line drawn from a point on the North line of Lot 22, "Strawberry Acres", distant 490 feet Easterly of the Northwest corner thereof to a point of the North right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2, distant 490 feet Easterly of the Southwest corner of Lot 25 of said "Strawberry Acres", as measured along said North right of way line, EXCEPT, that portion of said Lot 26 lying Southerly of the Northerly right of way line of Minnesota Department of Transportation Right of Way Plat No. 62-2.

AND

The West 65 feet of the East 130 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

AND

The East 65 feet of Lot 26, "Strawberry Acres", according to the plat thereof.

AND

Lot 23, "Strawberry Acres", according to the plat thereof.

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 27, Township 30, Range 22, Ramsey County, Minnesota, described as follows:

Commencing at the Southeast corner of said Section 27; thence West along the South line of said Southeast Quarter for 1591.4 feet to the point of beginning; thence North at right angles to said South line to the East right of way line of Burlington Northern Railway; thence Southwesterly along said right of way to said South line; thence East along said South line to the point of beginning and there terminating, EXCEPT the South 75 feet thereof.

Ramsey County, Minnesota
Abstract Property

PRESENT ADDRESSES

1709, 1713, 1715 COUNTY ROAD E EAST
AND PART OF 3600 HOFFMAN RD.

EXISTING AND PROPOSED AREAS

Existing Parcel: 248,594 Sq. Ft. (5.707 Acres)
Lot 1, Block 1: 199,978 Sq. Ft. (4.591 Acres)
Co. Rd. E: 3,612 Sq. Ft. (0.083 Acres)
Lot 1, Block 2: 14,797 Sq. Ft. (0.340 Acres)
Lot 2, Block 2: 30,207 Sq. Ft. (0.693 Acres)

CURRENT ZONING

B-4 General Business (1709, 1713, 3600)
R-6 Medium Density Residential (1715)

PROPOSED ZONING

R-7 with PUD overlay

DEVELOPER

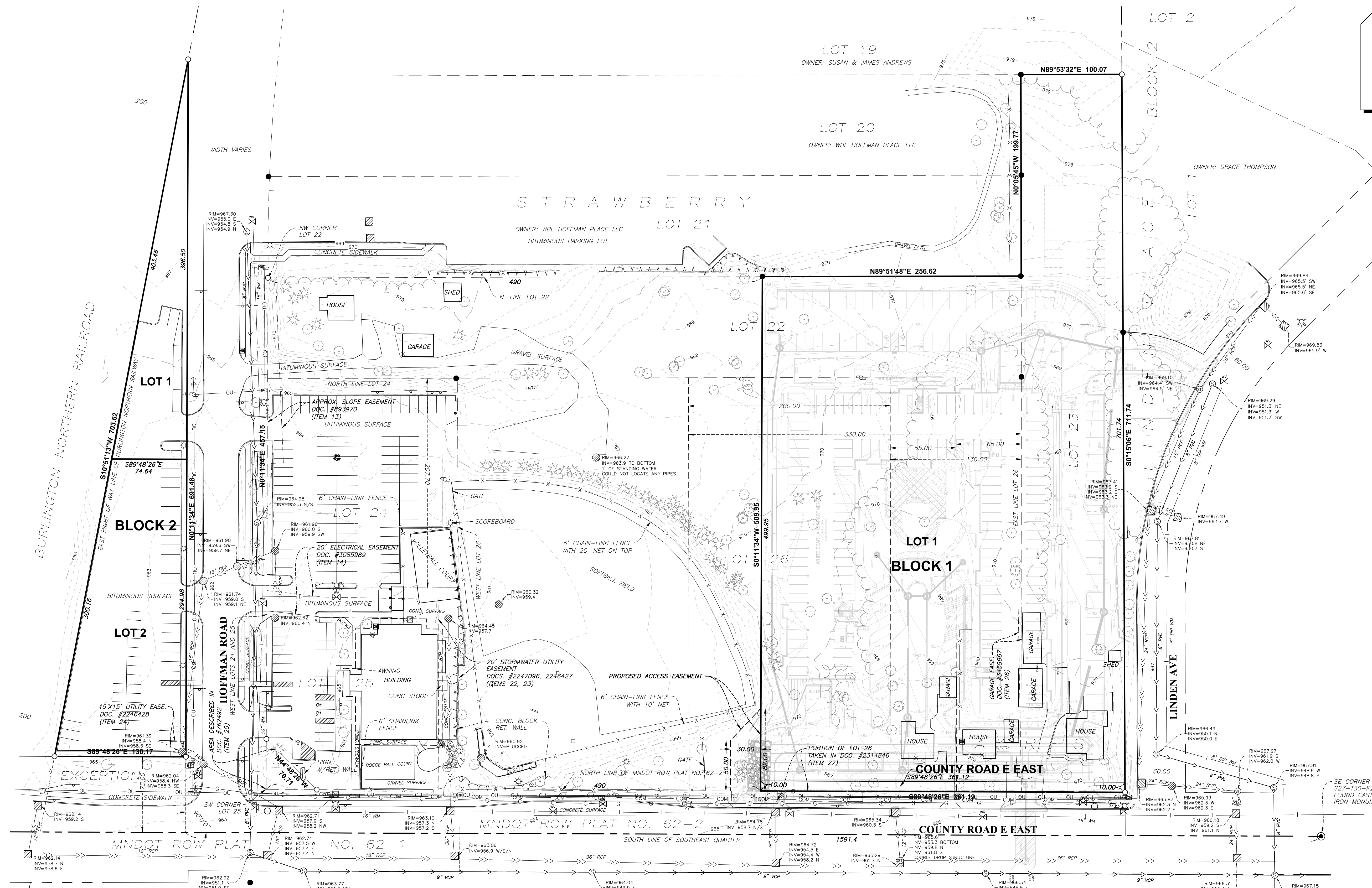
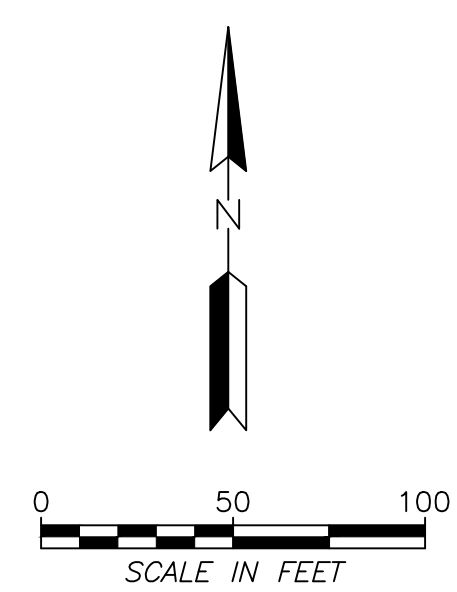
SCHAFFER RICHARDSON
900 N. 3RD STREET
MINNEAPOLIS, MN 55401

ENGINEER

ELAN DESIGN LAB
901 N. 3RD STREET, SUITE 120
MINNEAPOLIS, MN 55401

LAND SURVEYOR

WENCK ASSOCIATES
1802 WOODDALE DR.
WOODBURY, MN 55125



LEGEND

- | | | | |
|--------------------------|----------------------------|--------------------|--------------------|
| ○ SET MONUMENT | ⊠ IRRIGATION CONTROL VALVE | ⊙ LIGHT POLE | ⊠ WATER GATE VALVE |
| ● FOUND MONUMENT | ⊙ GAS MARKER | ⊙ DECORATIVE LIGHT | ⊠ WATER METER |
| ⊙ SANITARY SEWER MANHOLE | ⊙ GAS VALVE | ⊙ STUMP | ⊙ SPRINKLER HEAD |
| ⊙ SANITARY CLEANOUT | ⊙ GAS METER | ⊙ DECIDUOUS TREE | ⊙ ANCHOR CABLE |
| ⊙ STORM SEWER MANHOLE | ⊙ COMMUNICATIONS PEDESTAL | ⊙ CONIFEROUS TREE | |
| ⊙ STORM SEWER INLET | ⊙ TELEPHONE MANHOLE | ⊙ SHRUB/BUSH | |
| ⊙ STORM SEWER INLET | ⊙ ELECTRICAL PEDESTAL | ⊙ AIR CONDITIONER | |
| ⊙ FLARED END SECTION | ⊙ ELECTRIC METER | ⊙ STOP LIGHT | |
| ⊙ CURB STOP VALVE | ⊙ ELECTRIC TRANSFORMER | ⊙ HAND HOLE | |
| ⊙ HYDRANT | ⊙ ELECTRIC MANHOLE | ⊙ BOLLARD/POST | |
| ⊙ WATER WELL | ⊙ TRAFFIC SIGN | ⊙ UTILITY POLE | |

SURVEYORS CERTIFICATION:

I hereby certify that this survey was completed by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Chris Ambourn
Chris Ambourn
LS 43055
5/2/2019
Date

WENCK ASSOCIATES
Responsive partner. Exceptional outcomes.
1802 WOODDALE DRIVE
WOODBURY, MN 55125
Ph: 651-395-5212

CLIENT NAME
SCHAFFER RICHARDSON

PROJECT TITLE PRELIMINARY PLAT WILLOW RIDGE				
DWN BY CNA	CHK'D XXX	APP'D XXX	DWG DATE SCALE	SEE ABOVE 1"=50'
PROJECT NO. 0840-0016	SHEET NO. 1 OF 1			

LEGEND

- X- REMOVE FENCE
- [Dotted Pattern] REMOVE CONCRETE PAVEMENT
- [Diagonal Line Pattern] REMOVE BITUMINOUS PAVEMENT
- [Cloud Shape] CLEAR AND GRUB TREES AND BRUSH
- [Star Shape] TREE REMOVAL

- SEE SHEET L-010 AND L-011 TREE PRESERVATION PLAN AND SCHEDULE FOR TREE INVENTORY AND REMOVAL INFORMATION.
- SEE SHEET C-203 FOR TREE PROTECTION FENCE LOCATIONS. ALL TREE PROTECTION FENCES AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF TREE REMOVAL AND VEGETATION CLEARING.

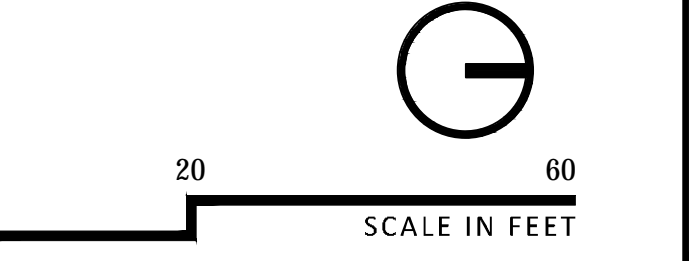
DEMOLITION NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY TAKEN FROM SURVEY PERFORMED BY KURTH SURVEYING, MINNESOTA ON MARCH 1, 2019. TREE INVENTORY WAS PERFORMED BY BE LAND DESIGNS, MINNESOTA ON MARCH 15, 2019. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- EROSION CONTROL MEASURES IDENTIFIED IN THE SWPPP SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS. SEE SHEET C-203 FOR ALL EROSION CONTROL MEASURES AND APPROPRIATE STAGING.
- CONTRACTOR SHALL BRING ANY CHANGED OR UNFORESEEN CONDITIONS THAT COULD RESULT IN ADDITIONAL COST TO THE ATTENTION OF THE OWNER AND ENGINEER AS SOON AS THEY ARE DISCOVERED SO THAT THEY CAN BE PROPERLY DOCUMENTED. FAILURE TO NOTIFY OR COVERING UN-WITNESSED WORK SHALL RESULT IN REJECTION OF CLAIMS FOR ADDITIONAL COMPENSATION.
- PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
- LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN. IF WORK NEEDS TO EXTEND TO PUBLIC STREETS IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR ALL PERMITS, PREPARE ALL DRAWING AND PAY ALL FEES AND COST. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
- PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT THE LIFE OF THE PROJECT.
- EXISTING MATERIALS SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS. ABATEMENT OF ANY MATERIALS DETERMINED BY THE ENVIRONMENTAL ENGINEER TO BE HAZARDOUS SHALL BE REMOVED IN ACCORDANCE WITH APPROPRIATE REQUIREMENTS.
- REMOVE ALL EXISTING SURFACE SITE FEATURES INCLUDING, BUT NOT LIMITED TO, CONCRETE AND BITUMINOUS PAVING, CONCRETE AND BITUMINOUS CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, CONCRETE APRONS, SITE LIGHTING AND RELATED FOUNDATIONS, SITE SPECIFIC SIGNAGE AND RELATED FOUNDATIONS, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- NO DEMOLITION MATERIALS SHALL BE DISPOSED OF ON-SITE. ALL DEBRIS SHALL BE HAUL OFF-SITE TO A DISPOSAL AREA APPROVED BY APPROPRIATE GOVERNMENTAL AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS. WORK SITE SHALL BE LEFT IN A CONDITION THAT MINIMIZES EROSION POTENTIAL ON A NIGHTLY BASIS.
- COORDINATE WITH ALL PRIVATE UTILITY OWNERS FOR THE TERMINATION OF EXISTING ELECTRIC, TELEPHONE, CATV, ETC. SERVICES TO THE SITE. RE-USE OF ANY UTILITIES SHALL BE AT THE DISCRETION OF THE UTILITY OWNER.
- RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANIES. ELECTRIC HAND-HOLES, PULLBOVES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION ACTIVITIES TO BE RESTORED IN ACCORDANCE WITH SPECIFIC OWNER REQUIREMENTS AT CONTRACTORS EXPENSE.



1 DEMOLITION PLAN
 1" = 20'

811
 Know what's below.
 Call before you dig.



X PRELIMINARY NOT FOR CONSTRUCTION
 PERMITTED SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City Submittal	Date
	03.18.2018

SITE PLAN

DATE: 03-12-19

C-101

PROJECT NO. 18031

SITE PLAN NOTES

- VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MEET AND MATCH EXISTING CONDITIONS. PROVIDE TRANSITION AS NECESSARY.
- ALL CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY TO BE B624. SEE STANDARD PLATE ROAD-1003 ON SHEET C5.01.
- ON-SITE CURBS TO BE B612 CONCRETE CURB & GUTTER AND RIBBON CURB. MATCH EXISTING CURB ON CITY STREETS.
- ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT A MAXIMUM OF 10'-0" AND CONTROL JOINTS AT A MAXIMUM OF 10'-0".
- ALL PARKING STALLS TO BE PAINTED WITH 4" WIDE WHITE STRIPING. ACCESSIBLE SYMBOLS TO BE PAINTED IN WHITE AND ACCESSIBLE ACCESS AISLES TO BE PAINTED WITH 4" WIDE WHITE PAINTED STRIPE. 18 INCHES ON CENTER AND AT 45 DEGREE ANGLES TO STALL WITH NO PARKING MARKED. REFLECTORIZED PAINT SHALL COMPLY WITH MNDOT 3692.
- THE COST OF ALL CITY PERMITS AND INSPECTIONS SHALL BE BORNE BY THE CONTRACTOR.

PROJECT SUMMARY

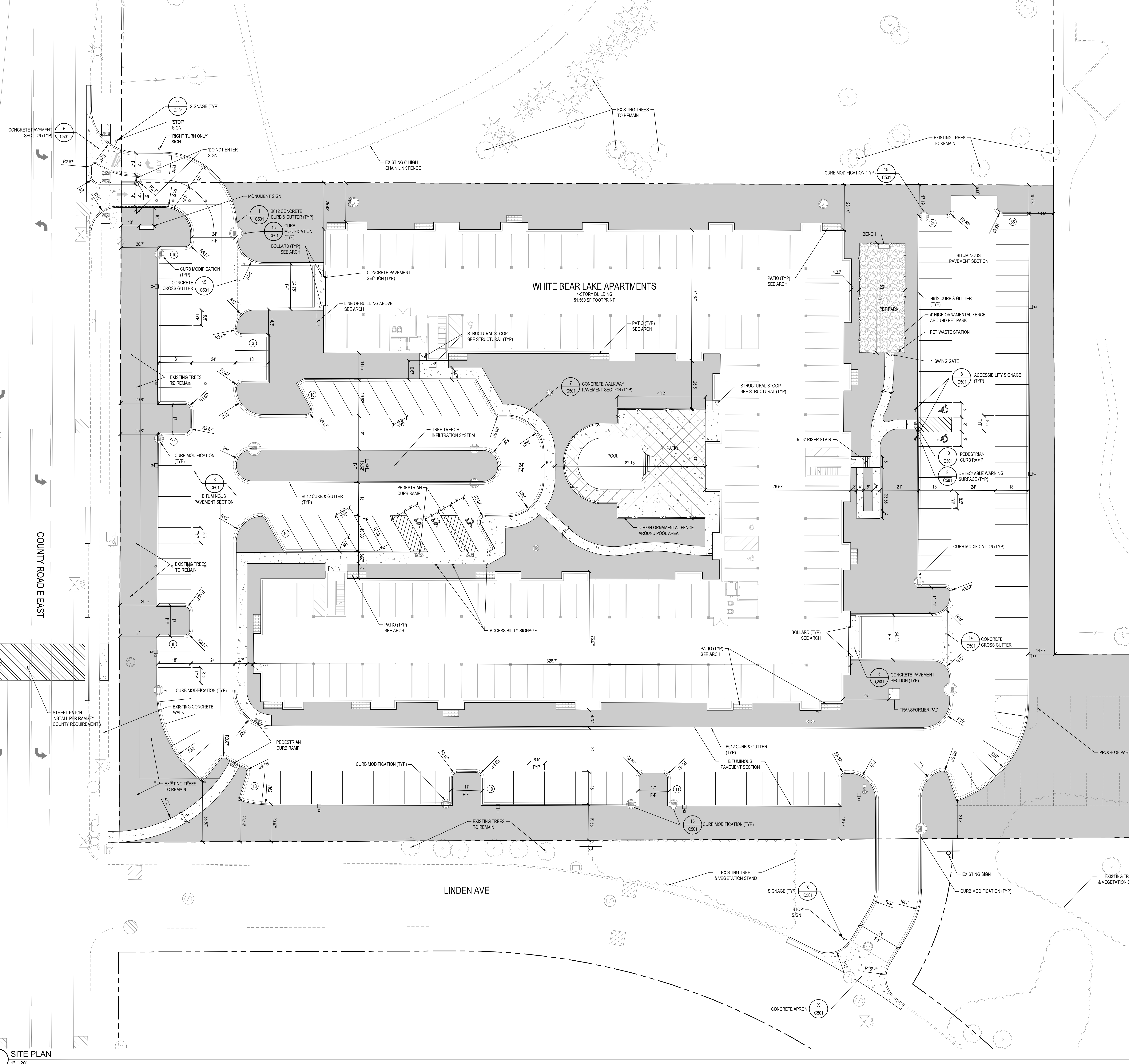
AREA SUMMARY	EXISTING	PROPOSED
SITE	203,590 SF. (4.67 AC.)	
IMPERVIOUS	10,725 SF. (5%)	123,105 SF. (60%)
BUILDING COVERAGE	6,000 SF. (3%)	51,560 SF. (25%)
PARKING, WALK, & TRASH	4,725 SF. (2%)	71,545 SF. (35%)
PERVIOUS AREA	192,865 SF. (95%)	80,485 SF. (40%)

PARKING SUMMARY

PROPOSED PARKING	304 STALLS
8'X18' ACCESSIBLE STALL	5 STALLS
8.5'X18' STANDARD STALL	151 STALLS
PARKING GARAGE STALL	134 STALLS
PARKING GARAGE ADA STALL	3 STALLS
PROOF OF PARKING	21 STALLS

LEGEND

- PERVIOUS AREA
- CONCRETE PAVEMENT
- GRAVEL/PET SURFACE
- PATIOS



PRELIMINARY/NOT FOR CONSTRUCTION
 PERMITTED SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

Know what's below. Call before you dig.
 SCALE IN FEET: 0, 20, 60

LEGEND

	STORM SEWER
	PROPERTY LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	MATCH EXISTING
	HIGH POINT
	LOW POINT
	TOP OF CURB
	TOP OF WALL
	BOTTOM OF WALL

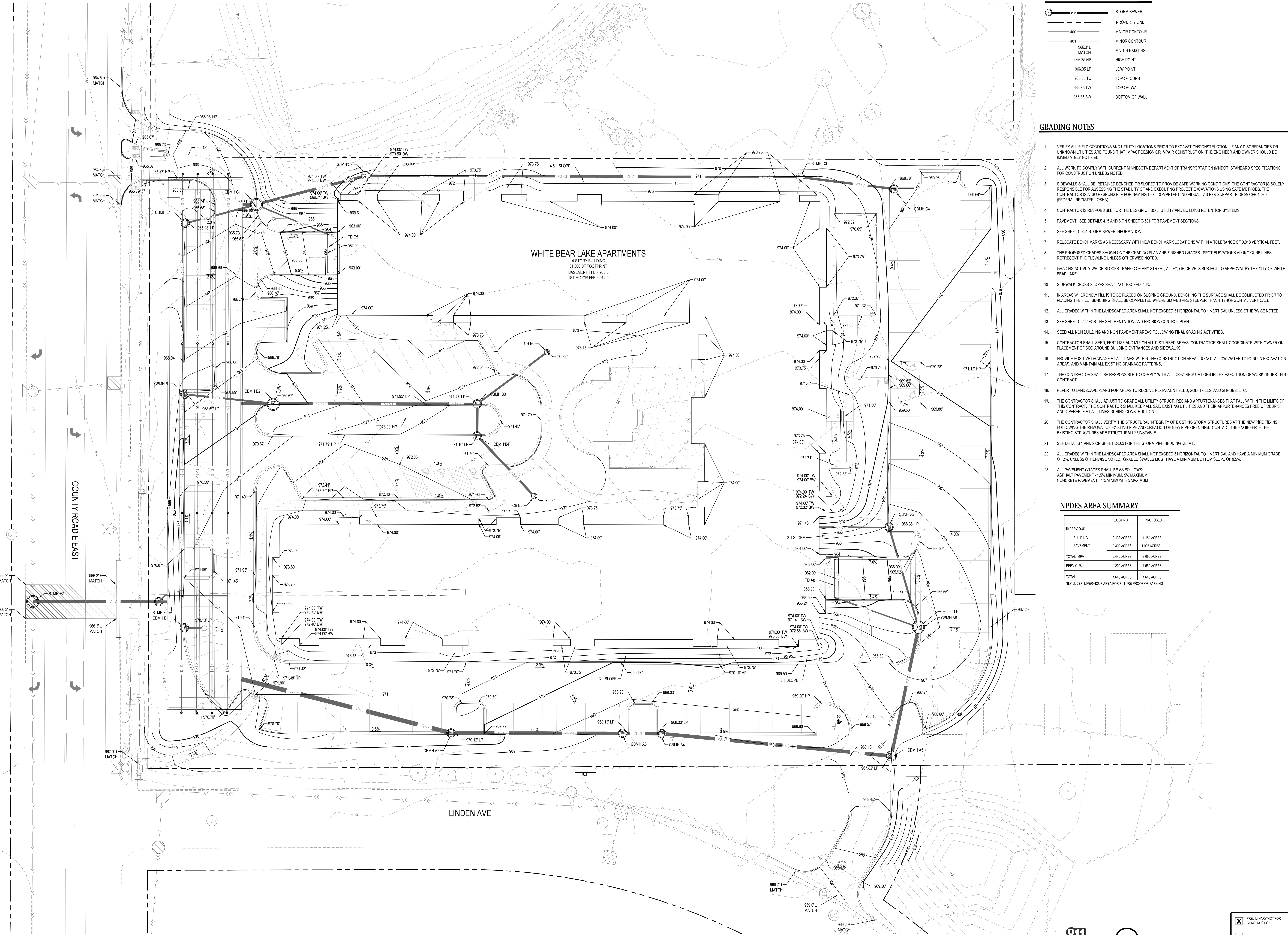
GRADING NOTES

- VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
- SIDEWALKS SHALL BE RETAINED BENCHMARKED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPETENT INDIVIDUAL" AS PER SUBPART P OF 29 CFR 1926.6 (FEDERAL REGISTER - OSHA).
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SOIL, UTILITY AND BUILDING RETENTION SYSTEMS.
- PAVEMENT: SEE DETAILS 4, 5 AND 6 ON SHEET C-301 FOR PAVEMENT SECTIONS.
- SEE SHEET C-301 STORM SEWER INFORMATION.
- RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
- THE PROPOSED GRADES SHOWN ON THE GRADING PLAN ARE FINISHED GRADES. SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE FLOWLINE UNLESS OTHERWISE NOTED.
- GRADING ACTIVITY WHICH BLOCKS TRAFFIC OF ANY STREET, ALLEY, OR DRIVE IS SUBJECT TO APPROVAL BY THE CITY OF WHITE BEAR LAKE.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
- IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHMARKING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHMARKING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL:VERTICAL).
- ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE NOTED.
- SEE SHEET C-202 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN.
- SEED ALL NON BUILDING AND NON PAVEMENT AREAS FOLLOWING FINAL GRADING ACTIVITIES.
- CONTRACTOR SHALL SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS. CONTRACTOR SHALL COORDINATE WITH OWNER ON PLACEMENT OF SOD AROUND BUILDING ENTRANCES AND SIDEWALKS.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
- REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOD, TREES, AND SHRUBS, ETC.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL UTILITY STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL SHAD EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE STRUCTURAL INTEGRITY OF EXISTING STORM STRUCTURES AT THE NEW PIPE TIE-INS FOLLOWING THE REMOVAL OF EXISTING PIPE AND CREATION OF NEW PIPE OPENINGS. CONTACT THE ENGINEER IF THE EXISTING STRUCTURES ARE STRUCTURALLY UNSTABLE.
- SEE DETAILS 1 AND 2 ON SHEET C-503 FOR THE STORM PIPE BEDDING DETAIL.
- ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 0.5%.
- ALL PAVEMENT GRADES SHALL BE AS FOLLOWS:
 ASPHALT PAVEMENT - 1.5% MINIMUM, 5% MAXIMUM
 CONCRETE PAVEMENT - 1% MINIMUM, 5% MAXIMUM

NPDES AREA SUMMARY

IMPERVIOUS	EXISTING	PROPOSED
BUILDING	3.138 ACRES	1.194 ACRES
PAVEMENT	3.302 ACRES	1.909 ACRES
TOTAL IMPV	6.440 ACRES	3.090 ACRES
PERVIOUS	4.200 ACRES	1.550 ACRES
TOTAL	4.840 ACRES	4.640 ACRES

*INCLUDES IMPERVIOUS AREA FOR FUTURE PROOF OF PARKING



PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

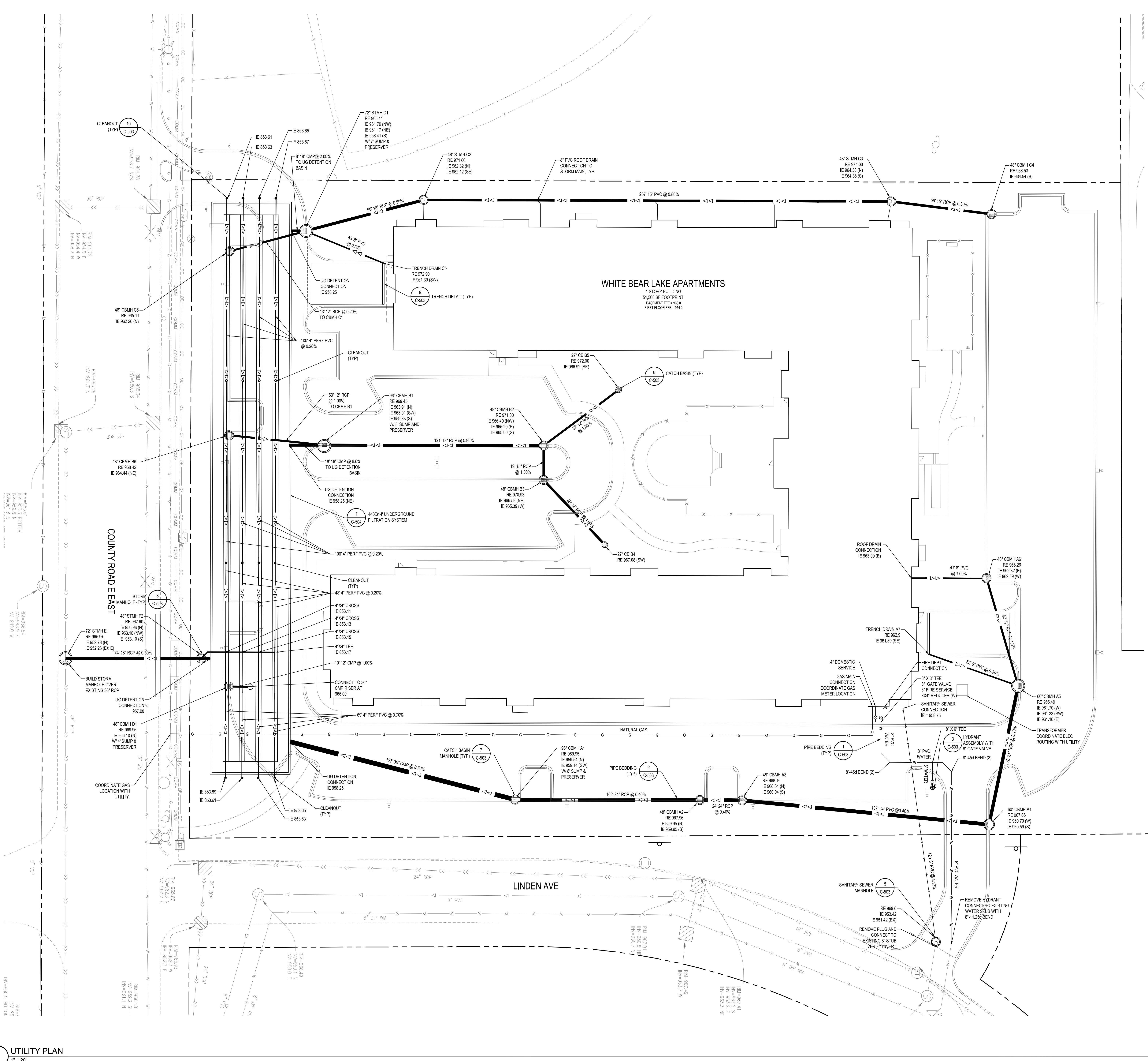
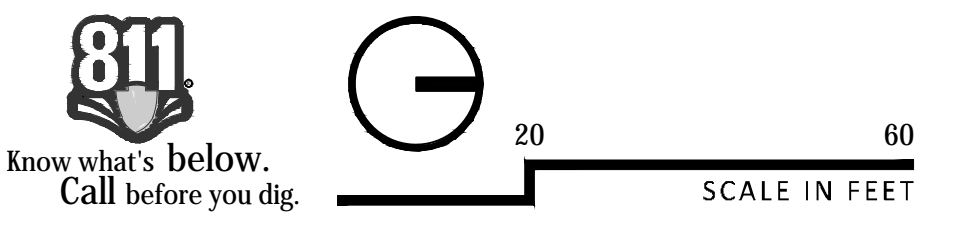
City Submittal	DATE
	03.18.2019

UTILITY PLAN

<input checked="" type="checkbox"/> PRELIMINARY/NOT FOR CONSTRUCTION	DATE
<input type="checkbox"/> PERMITTED SET	03-18-19
<input type="checkbox"/> CONSTRUCTION SET	C-301
<input type="checkbox"/> AS-BUILT SET	PROJECT NO.
<input type="checkbox"/> NOT TO SCALE	18031

UTILITY NOTES

- VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
- CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- UTILITY SERVICE LOCATIONS WITHIN BUILDING ARE SHOWN CORRECT AS OF THE DATE OF THIS PLAN. THE CONTRACTOR SHALL VERIFY LOCATIONS BY COMPARING THIS PLAN WITH THE MECHANICAL PLANS PRIOR TO ANY UTILITY CONSTRUCTION.
- PIPE MATERIALS:
 WATERMAIN: 4" & 8" CB80 PVC
 SANITARY SEWER: SDR 26 PVC
 STORM SEWER: RCP AND SDR 26 PVC, AS NOTED
 DRAIN TILE: PERFORATED, SCHEDULE 40 PVC
- ALL UTILITY CONSTRUCTION TO CONFORM WITH STATE, CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM), MINNESOTA PLUMBING CODE AND CITY OF WHITE BEAR LAKE STANDARD SPECIFICATIONS.
- ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- PROVIDE A MINIMUM 7.5' OF COVER OVER ALL NEW WATERMAIN.
- UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
- ALL COMPONENTS OF THE WATER SYSTEM UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.



1 UTILITY PLAN
 1" = 20'

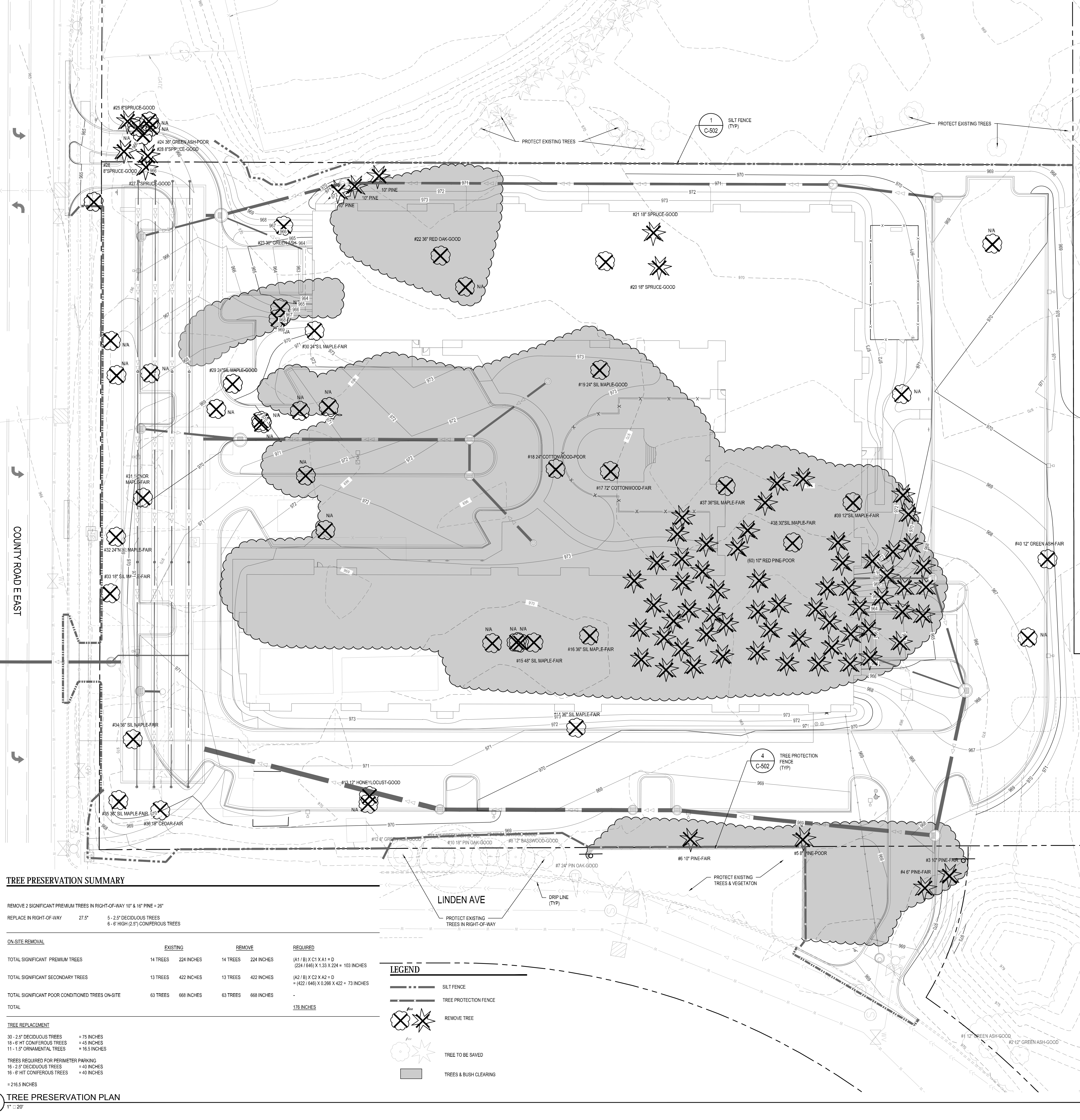
TREE PRESERVATION NOTES

- NO VEGETATION CLEARING, PRUNING, AND TREE REMOVAL TO BE STARTED WITHOUT COORDINATION WITH THE OWNER'S REPRESENTATIVE AND OBTAINING THE CITY'S ALTERATION PERMIT. TREES TO BE SAVED AND/OR REMOVED TO BE MARKED IN THE FIELD PRIOR TO ANY REMOVAL. CONTRACTOR TO PROTECT EXISTING TREES, SHRUBS, AND VEGETATION WHERE NOTED. UNAUTHORIZED REMOVAL WILL REQUIRE REPLACEMENT AND POSSIBLE RESTITUTION DURING THE CONSTRUCTION. IF TREES NOTED TO BE SAVED ARE DAMAGED AND CONSIDERED LOST PER THE CITY'S STANDARDS, CONTRACTOR IS RESPONSIBLE FOR REQUIRED REPLACEMENT AND FINANCIAL PENALTY.
- INSTALL SILT FENCE AND TREE PROTECTION FENCE PRIOR TO COMMENCING GRADING ACTIVITIES. INSTALL TREE PROTECTION FENCE AROUND TREES TO BE SAVED AT A DISTANCE IN FEET FROM TREE EQUAL TO THE TREE DIAMETER (DBH). SIGNS SHALL BE PLACED ALONG FENCE TO PROHIBIT GRADING BEYOND THE FENCE LINES. MAINTAIN FENCES FOR DURATION OF CONSTRUCTION ACTIVITIES. UPON ESTABLISHMENT OF TURF AND SEEDING, REMOVE FENCES AND DISPOSE OFF-SITE.
- NO MATERIALS, VEHICLES, OR EQUIPMENT CAN BE STORED WITHIN THE TREE PROTECTION AREAS.
- SEE THIS SHEET FOR TREE PRESERVATION SCHEDULE.
- ALL REPLACEMENT TREES SHALL BE PLANTED WITHIN 12 MONTHS AFTER THE ISSUANCE OF THE SITE ALTERATION PERMIT.

TREE PRESERVATION SCHEDULE

SAVE/REMOVE	TREE TAG	SIZE DBH	CLASSIFIED	SPECIES	CONDITIONS	NOTES
SAVE	1					OFF-SITE
SAVE	2					OFF-SITE
XX	3	10	PREMIUM	PINE	FAIR	RIGHT-OF-WAY
XX	4	6	PREMIUM	PINE	FAIR	RIGHT-OF-WAY
XXX	5	8	POOR	PINE	POOR	
X	6	10	PREMIUM	PINE	FAIR	
SAVE	7					RIGHT-OF-WAY
SAVE	8					RIGHT-OF-WAY
SAVE	9					RIGHT-OF-WAY
SAVE	10					RIGHT-OF-WAY
SAVE	11					RIGHT-OF-WAY
SAVE	12					RIGHT-OF-WAY
X	13	12	PREMIUM	HONEYLOCUST	GOOD	
X	14	36	SECONDARY	SILVER MAPLE	FAIR	
X	15	48	SECONDARY	SILVER MAPLE	FAIR	
X	16	26	SECONDARY	SILVER MAPLE	FAIR	
X	17	72	SECONDARY	COTTONWOOD	FAIR	
XXX	18	24	POOR	COTTONWOOD	POOR	
X	19	24	SECONDARY	SILVER MAPLE	GOOD	
X	20	18	PREMIUM	SPRUCE	GOOD	
X	21	18	PREMIUM	SPRUCE	GOOD	
X	22	36	PREMIUM	RED OAK	GOOD	
X	23	30	PREMIUM	GREEN ASH	FAIR	
XXX	24	36	POOR	GREEN ASH	POOR	
X	25	8	PREMIUM	SPRUCE	GOOD	
X	26	8	PREMIUM	SPRUCE	GOOD	
X	27	8	PREMIUM	SPRUCE	GOOD	
X	28	8	PREMIUM	SPRUCE	GOOD	
X	29	24	SECONDARY	SILVER MAPLE	GOOD	
X	30	24	SECONDARY	SILVER MAPLE	FAIR	
X	31	14	PREMIUM	NORWAY MAPLE	FAIR	
X	32	24	PREMIUM	NORWAY MAPLE	FAIR	
X	33	18	SECONDARY	SILVER MAPLE	FAIR	
X	34	36	SECONDARY	SILVER MAPLE	FAIR	
X	35	36	SECONDARY	SILVER MAPLE	FAIR	
X	36	18	PREMIUM	CEDAR	FAIR	
X	37	36	SECONDARY	SILVER MAPLE	FAIR	
X	38	30	SECONDARY	SILVER MAPLE	FAIR	
X	39	12	SECONDARY	SILVER MAPLE	FAIR	
X	40	12	PREMIUM	GREEN ASH	FAIR	
SAVE	41					OFF-SITE
XXX	60 TREES	10	POOR	RED PINE	POOR	

- NOTES:
- X REMOVE SIGNIFICANT PREMIUM & SECONDARY TREE SEE REPLACEMENT FORMULA
 - XX REMOVE SIGNIFICANT TREES IN RIGHT-OF-WAY REPLACE AT 1:1
 - XXX REMOVE POOR CONDITIONED TREES (SIGNIFICANT TREE) NOT CALCULATED IN TREE PRESERVATION REPLACEMENT



TREE PRESERVATION SUMMARY

REMOVE 2 SIGNIFICANT PREMIUM TREES IN RIGHT-OF-WAY 10" & 16" PINE = 26"
 REPLACE IN RIGHT-OF-WAY 27.5" 5- 2.5" DECIDUOUS TREES
 6- 6" HIGH (2.5") CONIFEROUS TREES

ON-SITE REMOVAL	EXISTING	REMOVE	REQUIRED
TOTAL SIGNIFICANT PREMIUM TREES	14 TREES 224 INCHES	14 TREES 224 INCHES	(A1 / B) X C1 X A1 + D (224 / 646) X 1.33 X 224 = 103 INCHES
TOTAL SIGNIFICANT SECONDARY TREES	13 TREES 422 INCHES	13 TREES 422 INCHES	(A2 / B) X C2 X A2 + D (422 / 446) X 0.296 X 422 = 73 INCHES
TOTAL SIGNIFICANT POOR CONDITIONED TREES ON-SITE	63 TREES 668 INCHES	63 TREES 668 INCHES	-
TOTAL			176 INCHES

TREE REPLACEMENT

33 - 2.5" DECIDUOUS TREES	= 75 INCHES
18 - 6" HT CONIFEROUS TREES	= 45 INCHES
11 - 1.5" ORNAMENTAL TREES	= 16.5 INCHES

TREES REQUIRED FOR PERIMETER PARKING

16 - 2.5" DECIDUOUS TREES	= 40 INCHES
16 - 6" HT CONIFEROUS TREES	= 40 INCHES

= 216.5 INCHES

TREE PRESERVATION PLAN
1" = 20'

LEGEND

- SILT FENCE
- TREE PROTECTION FENCE
- REMOVE TREE
- TREE TO BE SAVED
- TREES & BUSH CLEARING

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City/Submital	DATE
03-18-2018	

LANDSCAPE PLAN

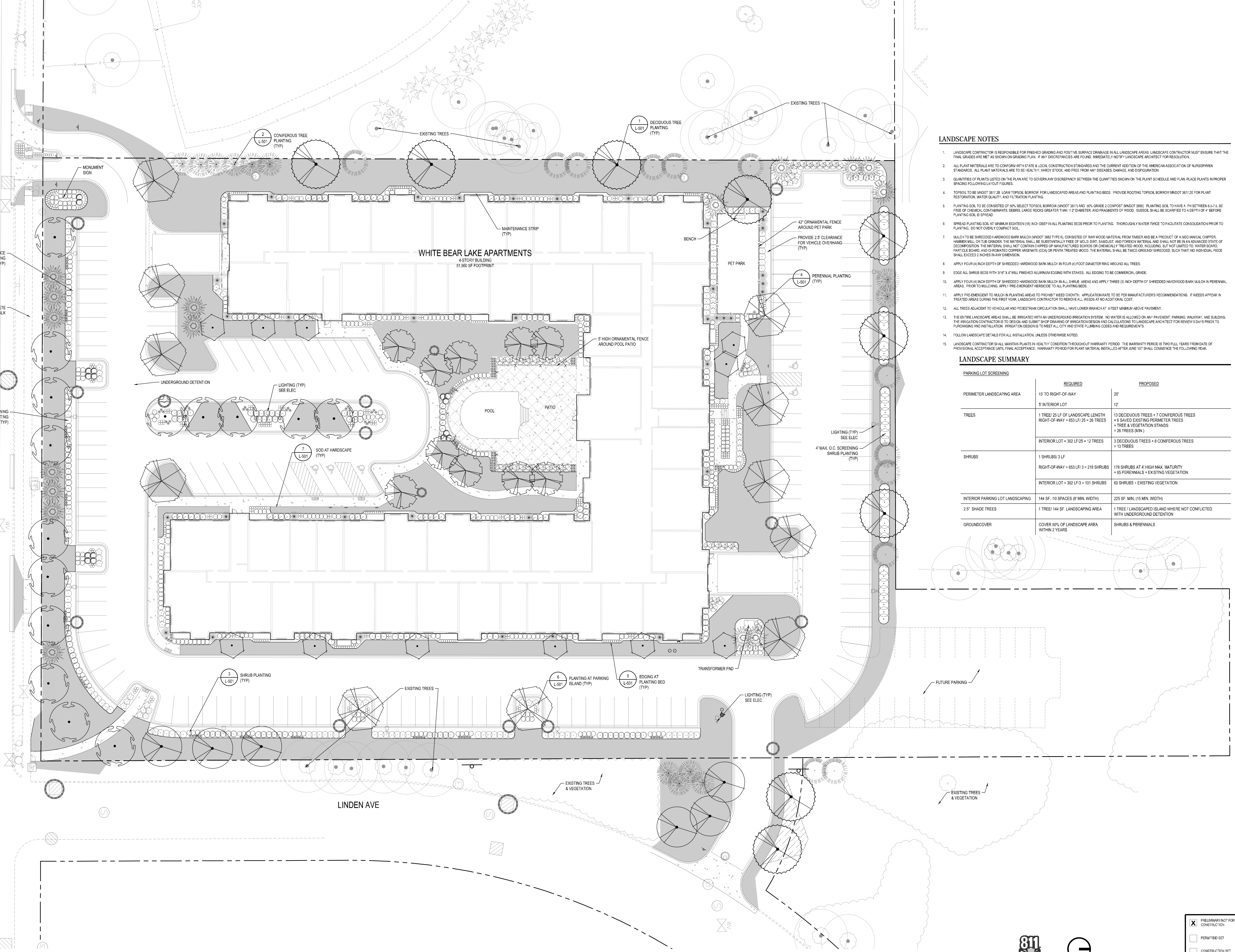
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PROJECT NO.	18031

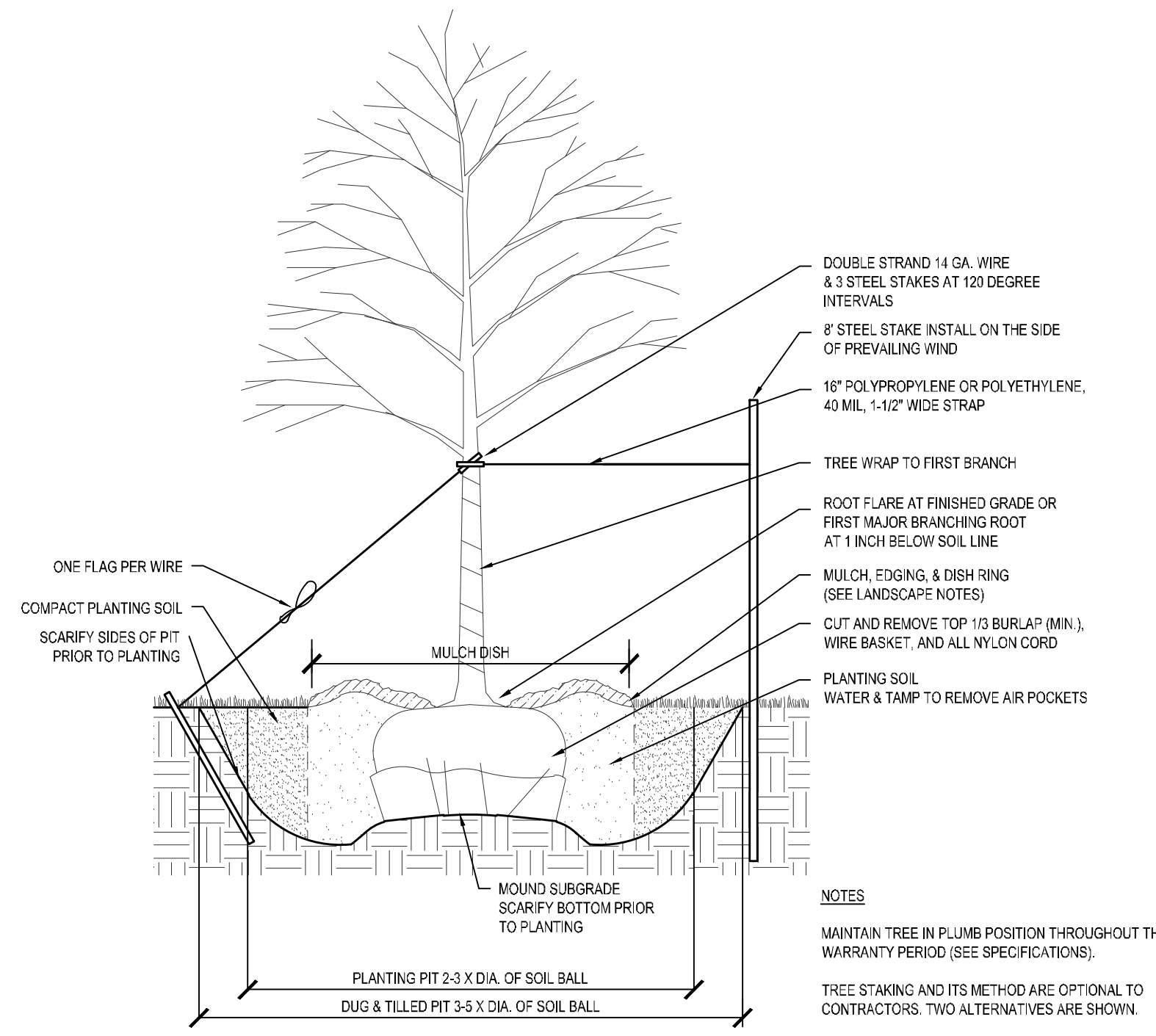
LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASE, DAMAGE, AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- TOPSOIL TO BE MINDT 3877.2B LOAM TOPSOIL BORROW FOR FINISHED AREAS AND PLANTING BEDS. PROVIDE ROOTING TOPSOIL BORROW MINDT 3877.2E FOR PLANT RESTORATION, WATER QUALITY, AND FILTRATION PLANTING.
- PLANTING SOIL TO BE CONSISTED OF 50% SELECT TOPSOIL BORROW (MINDT 3877) AND 50% GRADE 2 COMPOST (MINDT 3880). PLANTING SOIL TO HAVE A PH BETWEEN 6.5-7.5, BE FREE OF CHEMICAL CONTAMINANTS, DEBRIS, LARGE ROCKS GREATER THAN 12" DIAMETER, AND FRAGMENTS OF WOOD. SUBSOIL SHALL BE SCAPED TO A DEPTH OF 4" BEFORE PLANTING SOIL IS SPREAD.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PLANTING BEDS PRIOR TO PLANTING. THOROUGHLY WATER TWICE TO FACILITATE CONSOLIDATION PRIOR TO PLANTING. DO NOT OVERLY COMPACT SOIL.
- MULCH TO BE SHREDED HARDWOOD BARK MULCH (MINDT 3882 TYPE 6), CONSISTED OF RAW WOOD MATERIAL FROM TIMBER AND BE A PRODUCT OF A MECHANICAL CHIPPER, HAMMER MILL, OR TUBE GRINDER. THE MATERIAL SHALL BE SUBSTANTIALLY FREE OF MOULD, DIRT, SAWDUST, AND TWIGGED MATERIAL AND SHALL NOT BE IN AN ADVANCED STATE OF DECOMPOSITION. THE MATERIAL SHALL NOT CONTAIN CHIPPED UP MANUFACTURED BOARDS OR CHEMICALLY TREATED WOOD, INCLUDING BUT NOT LIMITED TO, WATER BOARD, PARTICLE BOARD, AND CHROMIATED COPPER ARSENATE (CCA) OR PENTA TREATED WOOD. THE MATERIAL SHALL BE TWICE-GROUND/SHREDED, SUCH THAT NO INDIVIDUAL PIECE SHALL EXCEED 3 INCHES IN ANY DIMENSION.
- APPLY FOUR (4) INCH DEPTH OF 5% RECYCLED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES.
- EDGE ALL SHRUB BEDS WITH 3/4" X 4" MILL FINISHED ALUMINUM EDGING WITH STAKES. ALL EDGING TO BE COMMERCIAL GRADE.
- APPLY FOUR (4) INCH DEPTH OF SHREDED HARDWOOD BARK MULCH IN ALL SHRUB AREAS AND APPLY THREE (3) INCH DEPTH OF SHREDED HARDWOOD BARK MULCH IN PERENNIAL AREAS. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS.
- APPLY PRE-EMERGENT TO MULCH IN PLANTING AREAS TO PREVENT WEED GROWTH. APPLICATION RATE TO BE PER MANUFACTURERS RECOMMENDATIONS. IF WEEDS APPEAR IN TREATED AREAS DURING THE FIRST YEAR, LANDSCAPE CONTRACTOR TO REMOVE ALL WEEDS AT NO ADDITIONAL COST.
- ALL TREES ADJACENT TO VEHICULAR AND PEDESTRIAN CIRCULATION SHALL HAVE LOWER BRANCH AT 6 FEET MINIMUM ABOVE PAVEMENT.
- THE ENTIRE LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO LANDSCAPE ARCHITECT FOR REVIEW 5 DAYS PRIOR TO PURCHASING AND INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY AND STATE PLUMBING CODES AND REQUIREMENTS.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT WARRANTY PERIOD. THE WARRANTY PERIOD IS TWO FULL YEARS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE. WARRANTY PERIOD FOR PLANT MATERIAL INSTALLED AFTER JUNE 1ST SHALL COMMENCE THE FOLLOWING YEAR.

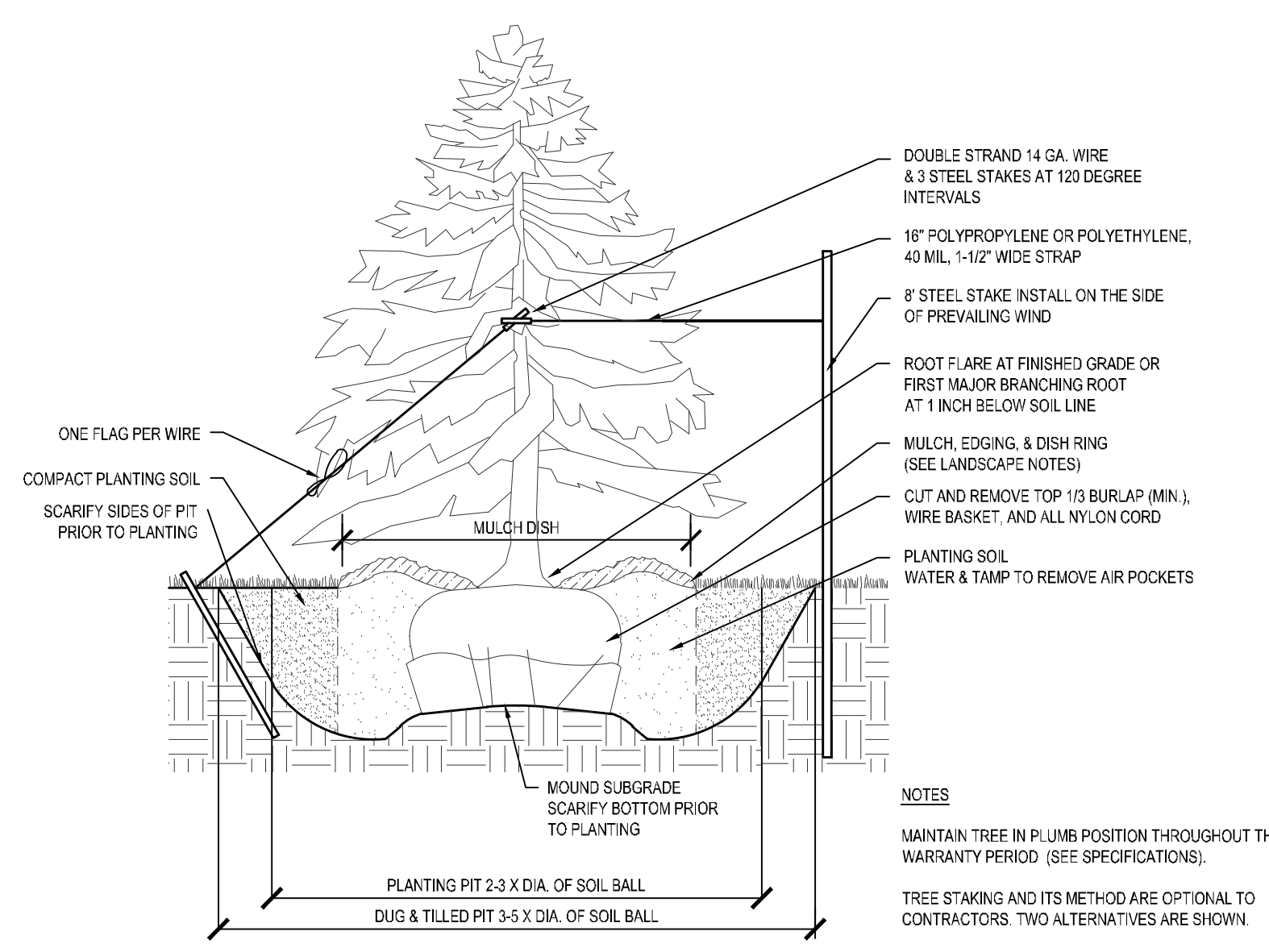
LANDSCAPE SUMMARY

PARKING LOT SCREENING	REQUIRED	PROPOSED
PERIMETER LANDSCAPING AREA	15' TO RIGHT-OF-WAY 5' INTERIOR LOT	20' 12'
TREES	1 TREE/25 LF OF LANDSCAPE LENGTH RIGHT-OF-WAY = 653 LF/25 = 26 TREES INTERIOR LOT = 302 LF/25 = 12 TREES	13 DECIDUOUS TREES + 7 CONIFEROUS TREES + 8 SAVED EXISTING PERIMETER TREES + TREE & VEGETATION STANDS = 26 TREES (MIN.) 3 DECIDUOUS TREES + 8 CONIFEROUS TREES = 13 TREES
SHRUBS	1 SHRUBS/3 LF RIGHT-OF-WAY = 653 LF/3 = 218 SHRUBS INTERIOR LOT = 302 LF/3 = 101 SHRUBS	178 SHRUBS AT 4" HIGH MAX. MATURITY + 65 PERENNIALS + EXISTING VEGETATION 60 SHRUBS + EXISTING VEGETATION
INTERIOR PARKING LOT LANDSCAPING	144 SF./10 SPACES (9 MIN. WIDTH)	225 SF. MIN. (15 MIN. WIDTH)
2.5' SHADE TREES	1 TREE/144 SF. LANDSCAPING AREA	1 TREE / LANDSCAPED ISLAND WHERE NOT CONFLICTED WITH UNDERGROUND DETENTION
GROUND COVER	COVER 50% OF LANDSCAPE AREA WITHIN 2 YEARS	SHRUBS & PERENNIALS

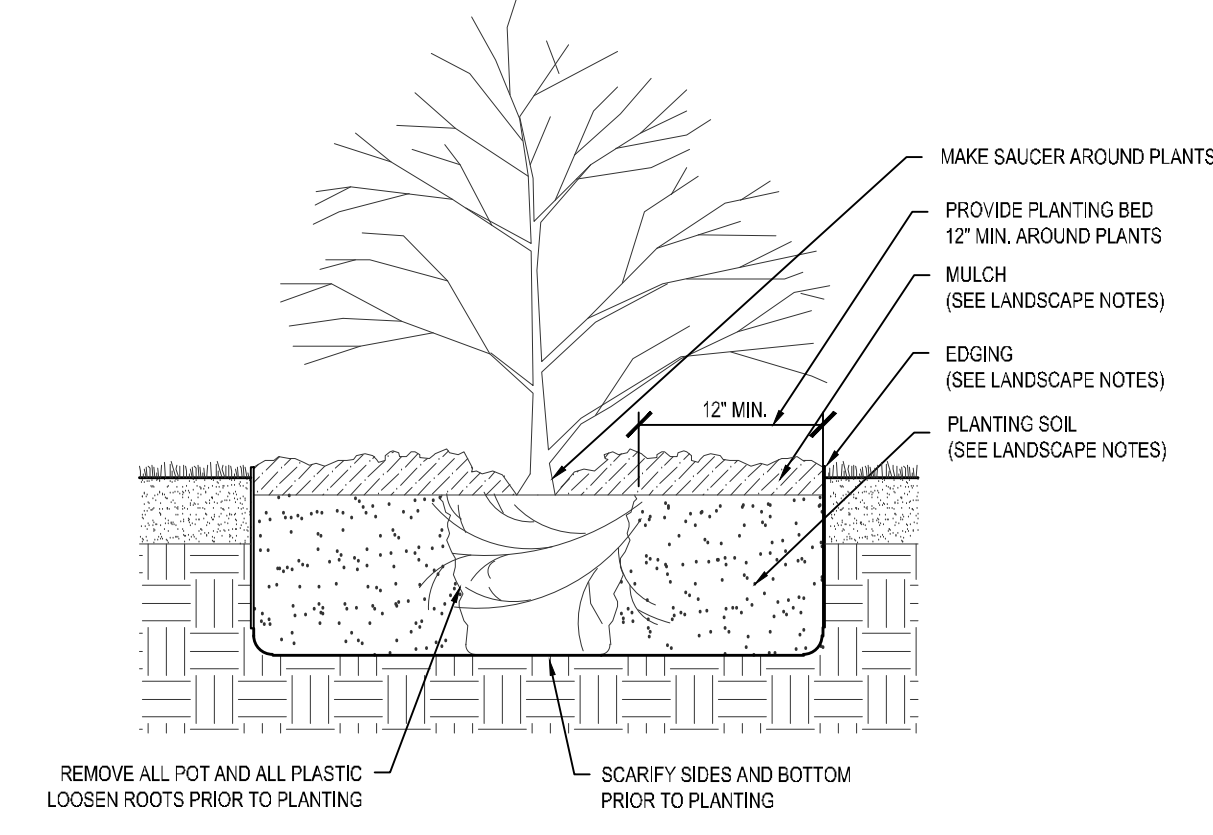




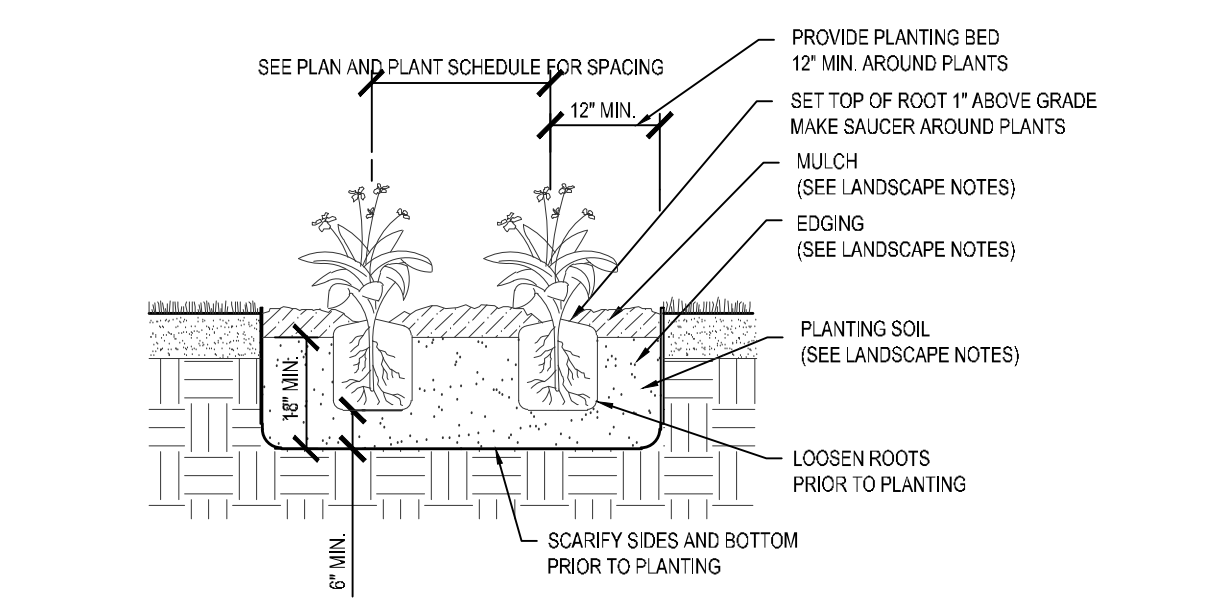
1 ————— **DECIDUOUS TREE PLANTING** ————— NO SCALE



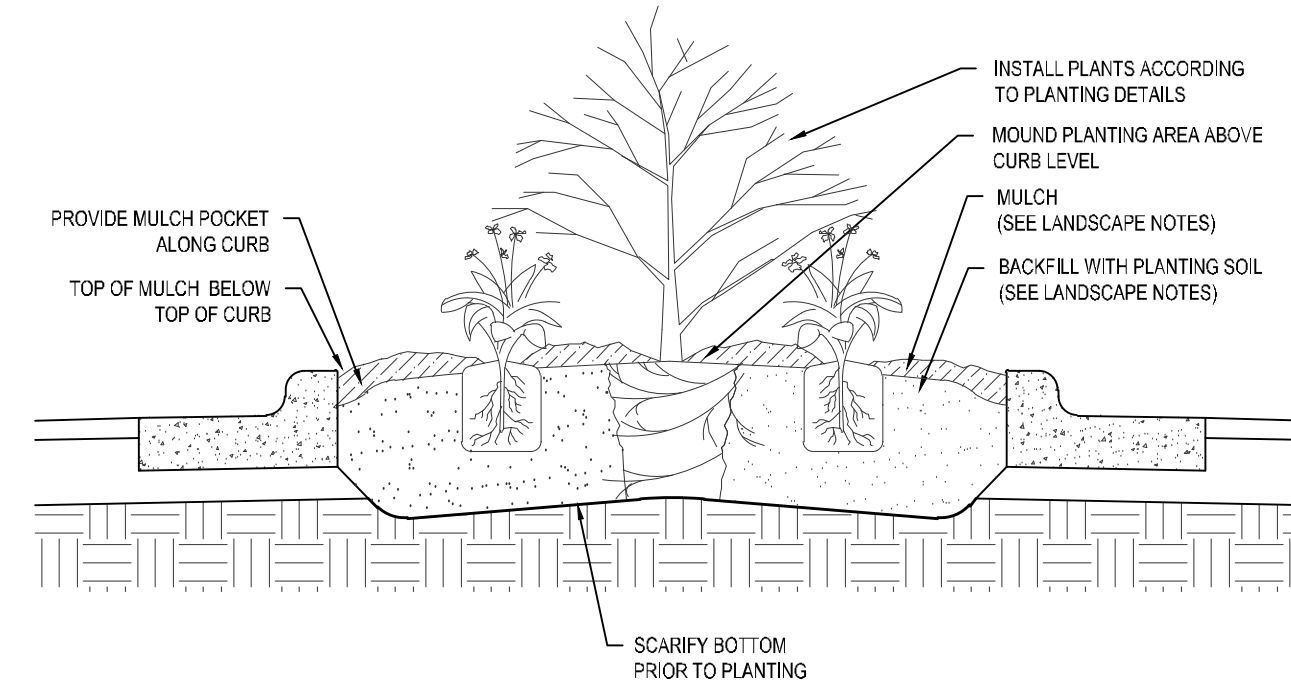
2 ————— **CONIFEROUS TREE PLANTING** ————— NO SCALE



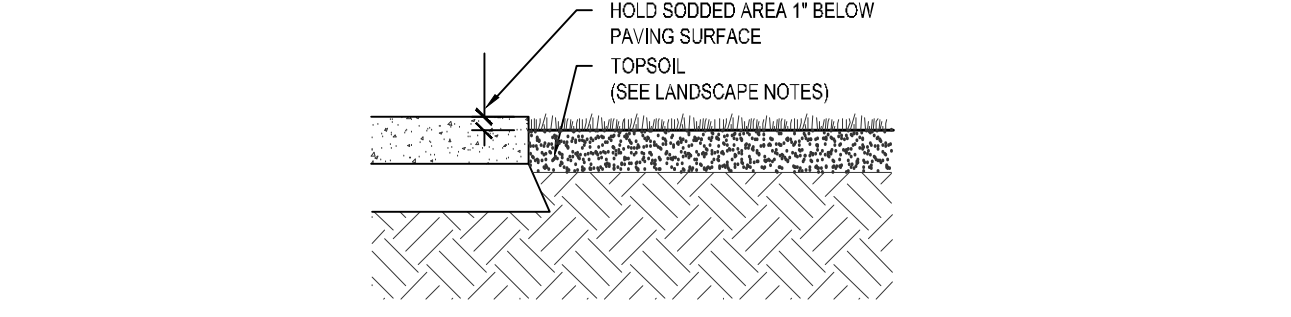
3 ————— **SHRUB PLANTING** ————— NO SCALE



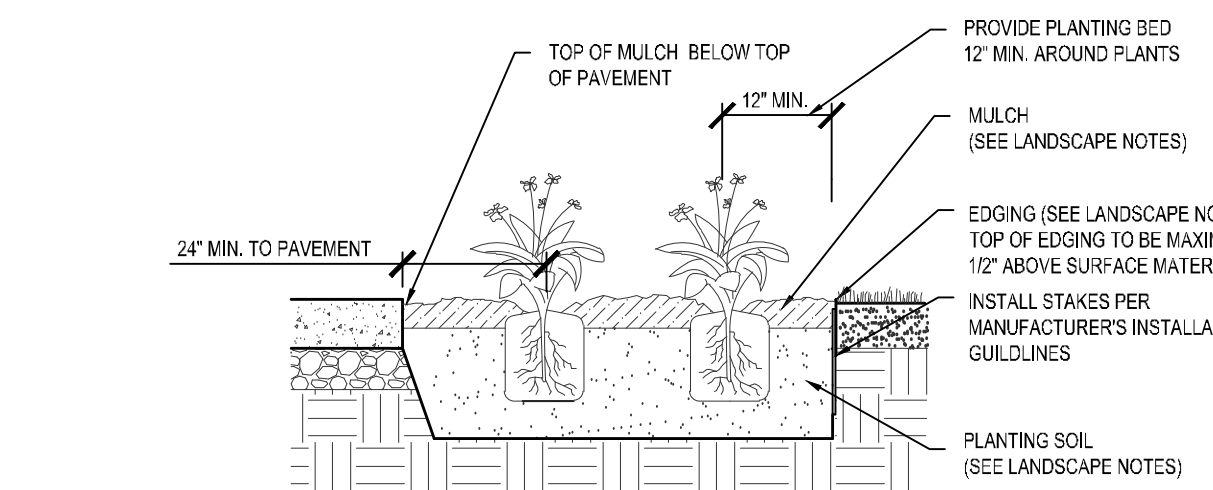
4 ————— **PERENNIAL PLANTING** ————— NO SCALE



6 ————— **PLANTING AT PARKING ISLAND** ————— NO SCALE



7 ————— **SOD AT HARDSCAPE EDGE** ————— NO SCALE



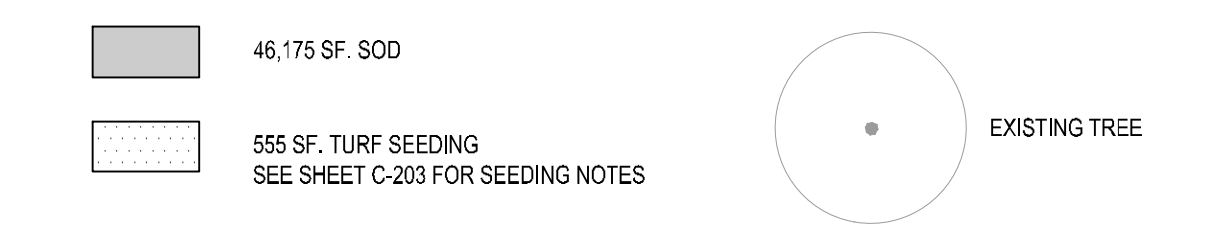
5 ————— **EDGING AT PLANTING BED** ————— NO SCALE

PLANT SCHEDULE

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS TREES						
	15	SIENNA GLEN MAPLE	ACER X FREEMANI 'SIENNA'	2.5' CAL.	B&B	45H X 35W
	10	PRAIRIE DREAM PAPER BIRCH	BETULA PAPHYRIFERA 'VAHREY'	12' CLUMP	B&B	35H X 25W
	6	NORTHERN ACCLIAM HONEYLOCUST	GLEITSIA TRACANTHOS VAR. INERMIS 'HARVEY'	2.5' CAL.	B&B	45H X 30W
	11	ESPRESSO KENTUCKY COFFEETREE	GYMNOCADUS DIOICUS 'ESPRESSO-JFS'	2.5' CAL.	B&B	50H X 35W
	9	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5' CAL.	B&B	50H X 40W
EVERGREEN TREES						
	12	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	50H X 25W
	16	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6' HT.	B&B	40H X 20W
	12	EASTERN WHITE PINE	PNUS STROBUS	6' HT.	B&B	60H X 25W
ORNAMENTAL TREES						
	11	IVORY SILK JAPANESE TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	1.5' CAL.	B&B	25H X 15W
DECIDUOUS SHRUBS						
	101	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	24" HT.	POT	3H X 3W
	16	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	36" HT.	POT	6H X 6W
	140	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	24" HT.	POT	3H X 4W
	63	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'JANE'	24" HT.	POT	4H X 4W
	47	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	18" SP.	POT	2H X 4W
	136	SEMI ASH LEAF SPIREA	SORBARIA SORBIFOLIA 'SEMI'	24" HT.	POT	3H X 3W
	187	ANTHONY WATERER SPIREA	SPIRAEA X BUMALDA 'ANTHONY WATERER'	24" HT.	POT	3H X 3W
	40	DWARF KOREAN LILAC	SYRINGA KOREANA 'PALIBIN'	36" HT.	POT	5H X 5W
CONIFEROUS SHRUBS						
	34	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" HT.	POT	4H X 5W
	16	DWARF MUGO PINE	PNUS MUGO 'PUMILIO'	24" HT.	POT	4H X 4W
	38	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	4' HT.	POT	12H X 6W
PERENNIALS						
	743	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	1 GAL.	POT	3H X 2W
		MAGUS CONEFLOWER	ECHINACEA PURPUREA 'MAGUS'	1 GAL.	POT	2H X 1.5W
		RUBY STELLA DAYLILY	HEMEROCALLIS 'RUBY STELLA'	1 GAL.	POT	1.5H X 1.5W
		GUARDIAN ANGEL HOSTA	HOSTA 'GUARDIAN ANGEL'	1 GAL.	POT	2H X 2.5W
		KOBOLO BLAZINGSTAR	Liatris spicata 'KOBOLD'	1 GAL.	POT	2H X 1.5W
		DENIM LACE RUSSIAN SAGE	PEROVSKIA atriplicifolia 'DENIM LACE'	1 GAL.	POT	2H X 1.5W
		KOBOLO BLAZINGSTAR	Liatris spicata 'KOBOLD'	1 GAL.	POT	2.5H X 3W
		DEAMII BLACK EYED SUSAN	RUBEOCHIA FULGIDA 'DEAMII'	1 GAL.	POT	2H X 2W
		LYRICAL BLUES SALVIA	SALVIA NEMOROSA 'LYRICAL'	1 GAL.	POT	2H X 1.5W

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION.

LEGEND



PRELIMINARY/NOT FOR CONSTRUCTION
 PERMITTED SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

SITE NOTES

- 1 MAIN ENTRY
- 2 PET PARK
- 3 PATIO/POOL
- 4 GARAGE ENTRY
- 5 SITE ENTRY
- 6 PROPOSED NEW R.O.W.
- 7 UNIT PATIOS
- 8 OUTDOOR SPACE

SITE DATA

SITE AREA 4.61 ACRES

BUILDING COVERAGE
APARTMENT 52,300 G.S.F.

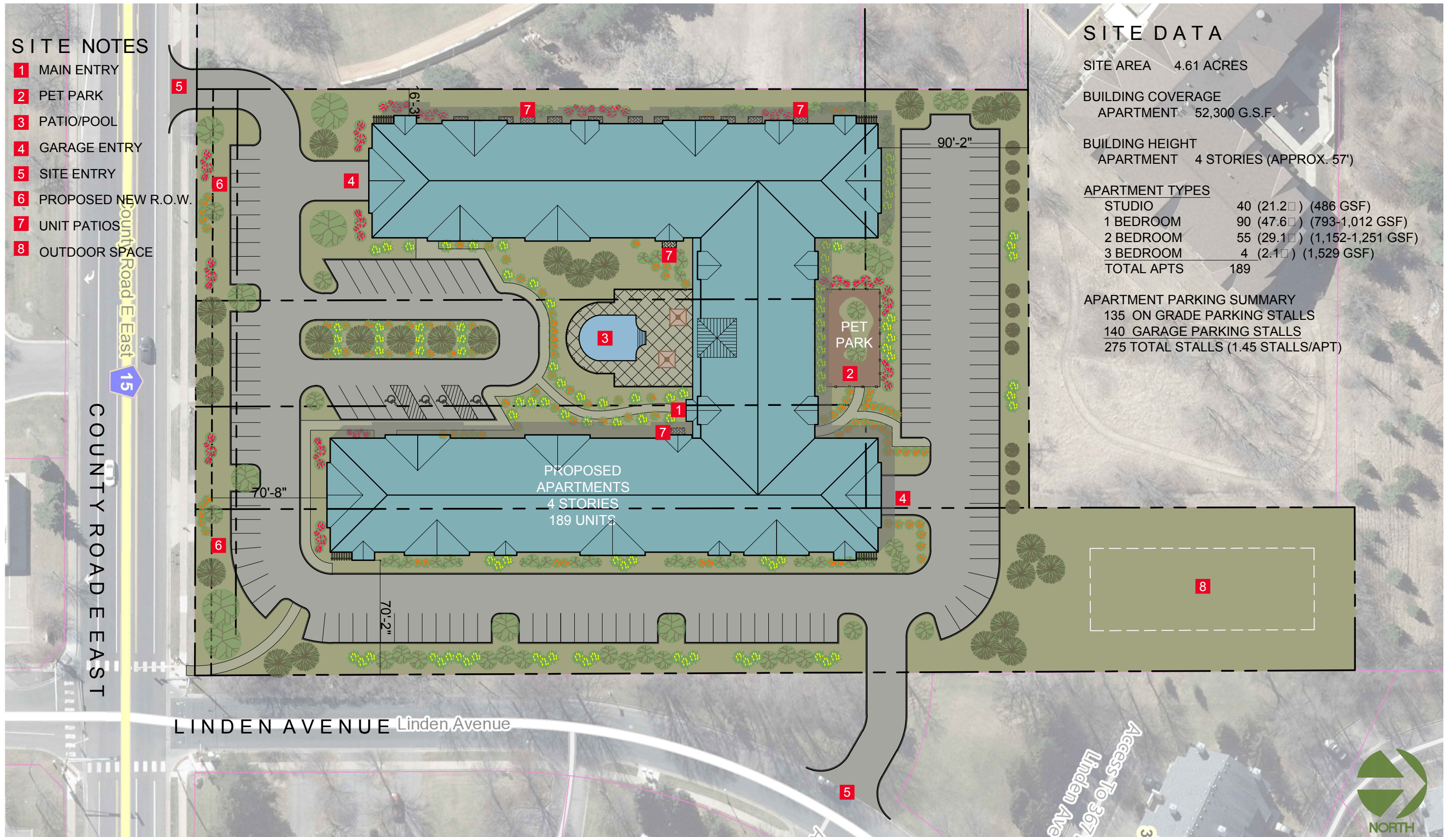
BUILDING HEIGHT
APARTMENT 4 STORIES (APPROX. 57')

APARTMENT TYPES

STUDIO	40 (21.2%)	(486 GSF)
1 BEDROOM	90 (47.6%)	(793-1,012 GSF)
2 BEDROOM	55 (29.1%)	(1,152-1,251 GSF)
3 BEDROOM	4 (2.1%)	(1,529 GSF)
TOTAL APTS	189	

APARTMENT PARKING SUMMARY

135 ON GRADE PARKING STALLS
140 GARAGE PARKING STALLS
275 TOTAL STALLS (1.45 STALLS/APT)

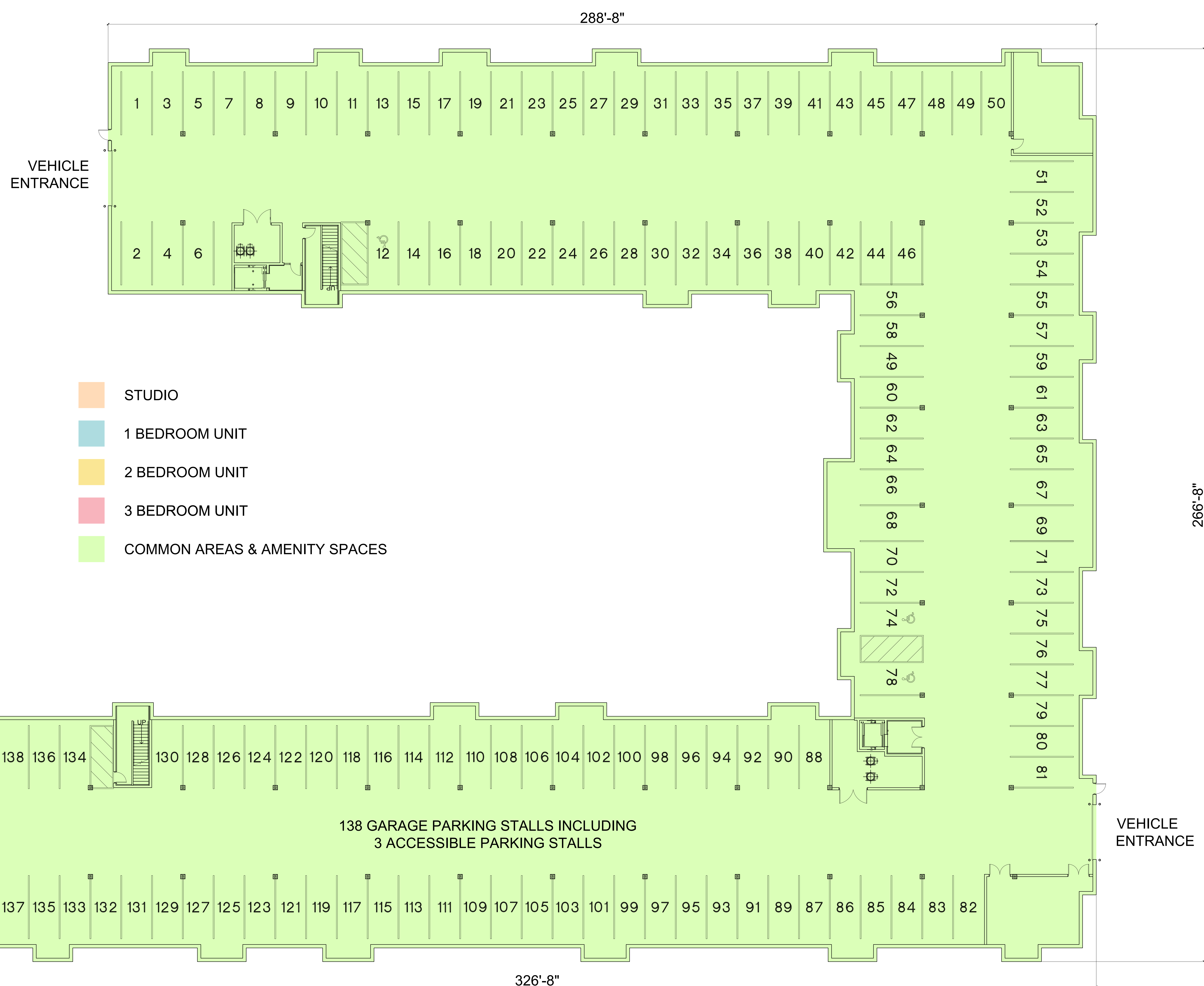


W **B** **r** **L** **A** **r**

1715 C R d E, W B r L , M 55110

APPROVED
CONCEPT SITE PLAN

D or 17, 2018
for comparison purposes



- STUDIO
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON AREAS & AMENITY SPACES

1 GARAGE FLOOR PLAN
 3/32" = 1'-0"

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



- STUDIO
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON AREAS & AMENITY SPACES

1 1ST FLOOR PLAN
 3/32" = 1'-0"

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

NO.	DESCRIPTION	DATE
1	City Submit	03.18.2019

1ST FLOOR PLAN	DATE 03.18.2019
	A102
	PROJECT NO. 18038

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



- STUDIO
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON AREAS & AMENITY SPACES

1
A103 2ND FLOOR PLAN 3/32" = 1'-0"

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City_Submit	DATE
	03.18.2019



- STUDIO
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON AREAS & AMENITY SPACES

1
A104 3RD FLOOR PLAN 3/32" = 1'-0"

ISSUES/REVISIONS:

City_Submittal	DATE
03.18.2019	

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



- STUDIO
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON AREAS & AMENITY SPACES

1
A105 4TH FLOOR PLAN 3/32" = 1'-0"

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BD SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City Submittal	DATE
	03.18.2019



1 SOUTH ELEVATION
3/32" = 1'-0"



1 WEST COURTYARD ELEVATION
3/32" = 1'-0"



1 WEST ELEVATION
3/32" = 1'-0"

KEY NOTES	
①	CEMENT BOARD LAP SIDING 6" REVEAL (COLOR #1)
②	CEMENT BOARD LAP SIDING 6" REVEAL (COLOR #2)
③	CEMENT BOARD SHINGLE SIDING
④	CEMENT BOARD TRIM BOARD
⑤	VINYL RESIDENTIAL WINDOWS
⑥	VINYL PATIO DOORS
⑦	CULTURED STONE
⑧	ALUM. DECK SYSTEM
⑨	MECHANICAL LOUVERS
⑩	STONE AND STEEL TRELIS SYSTEM AT POOL
⑪	PREFINISHED METAL TRIM
⑫	LAMINATED ASPHALT ARCHITECTURAL SHINGLES
⑬	ARCHITECTURAL ATTIC VENT
⑭	CEMENT BOARD 8" FRIEZE BOARD
⑮	CEMENT BOARD 12" FRIEZE BOARD

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:	
City: Submittal	03.18.2019

BUILDING ELEVATIONS	
DATE	03.18.2019
A301	
PROJECT NO.	18038



1 NORTH ELEVATION
A103 3/32" = 1'-0"



1 EAST ELEVATION
A103 3/32" = 1'-0"



1 EAST COURTYARD ELEVATION
A103 3/32" = 1'-0"

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

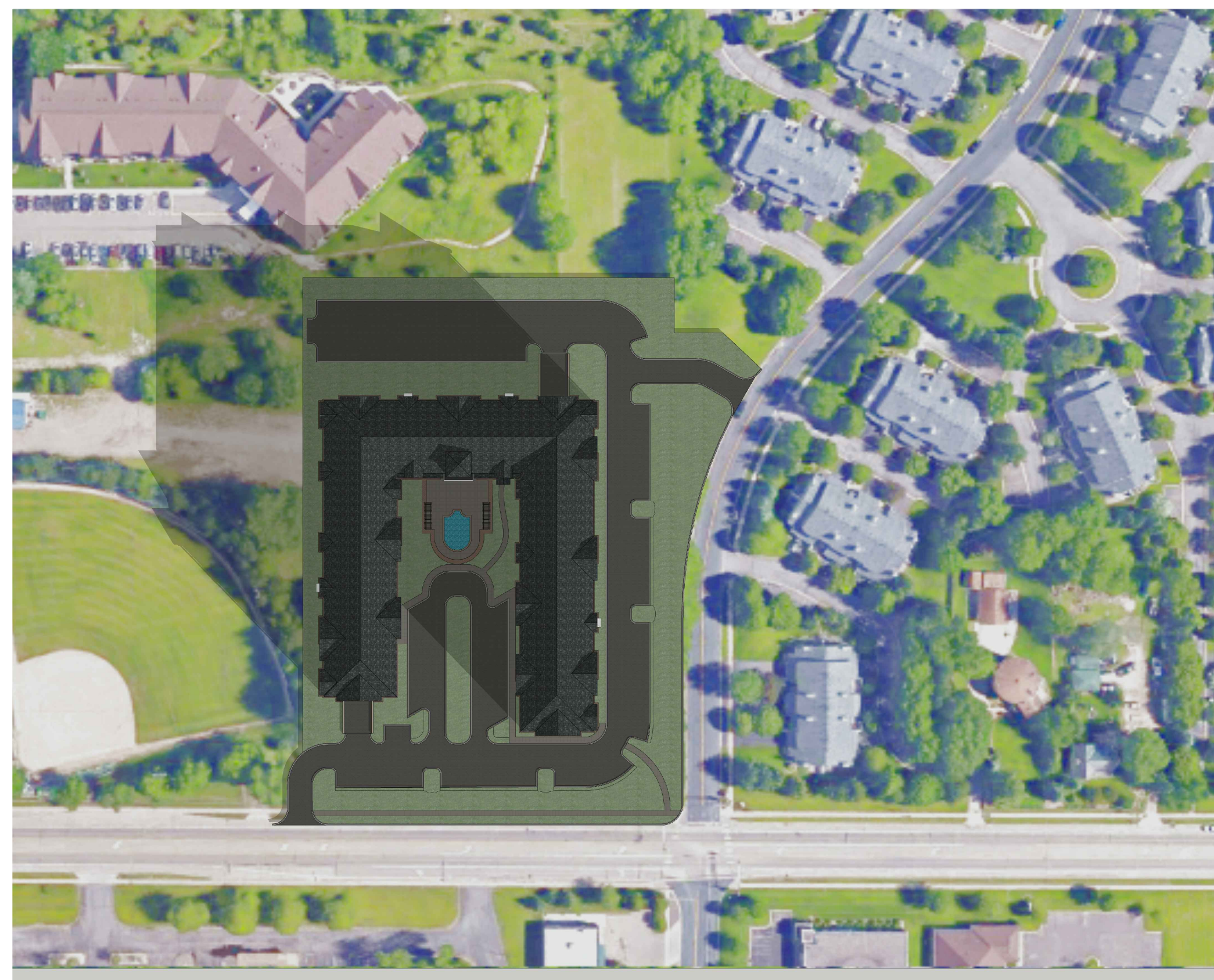
ISSUES/REVISIONS:

City Submittal	DATE
	03.18.2019

BUILDING ELEVATIONS

DATE	03.18.2019
A302	
PROJECT NO.	18038

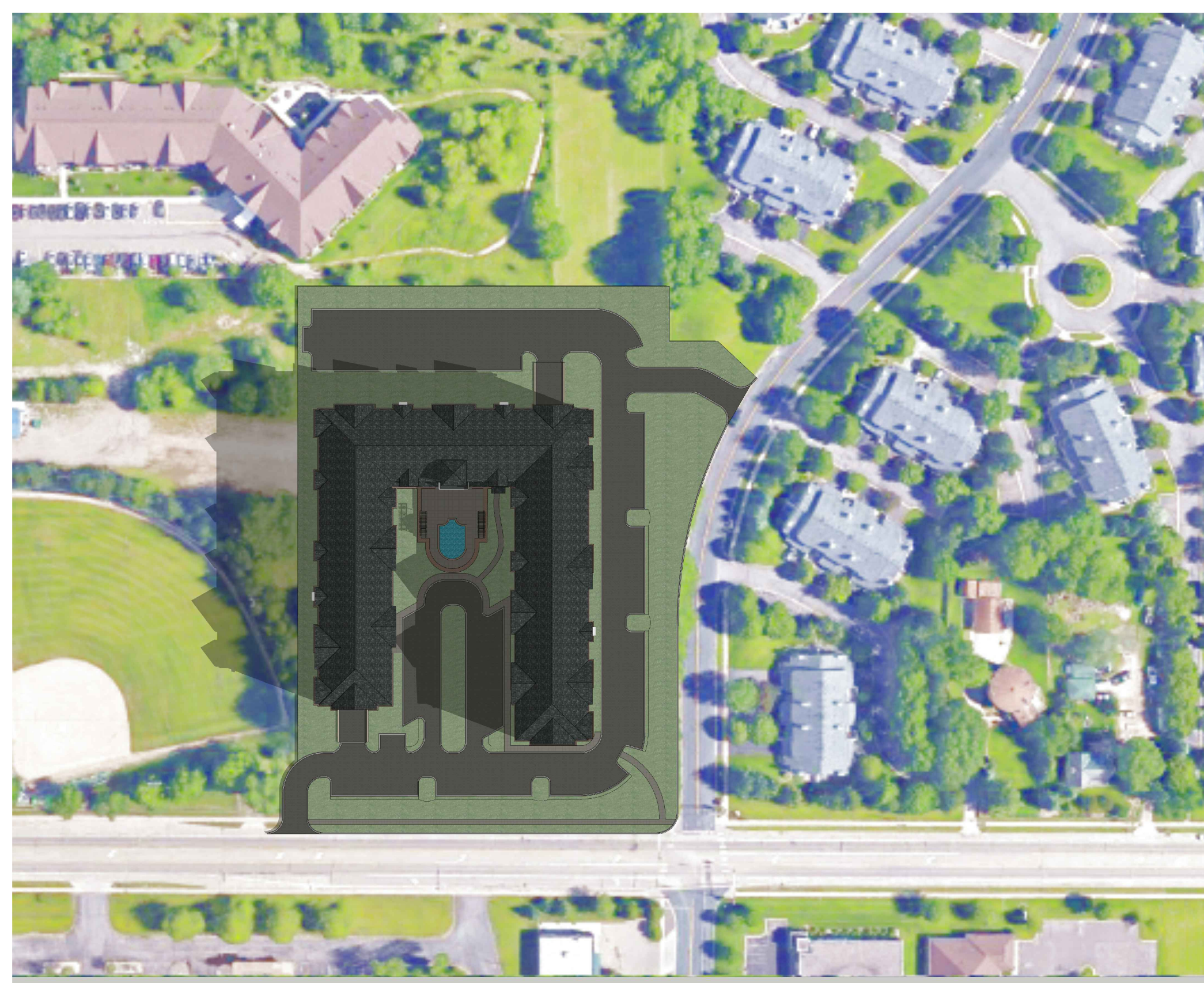
- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE



DECEMBER 21 @ 9:00 AM

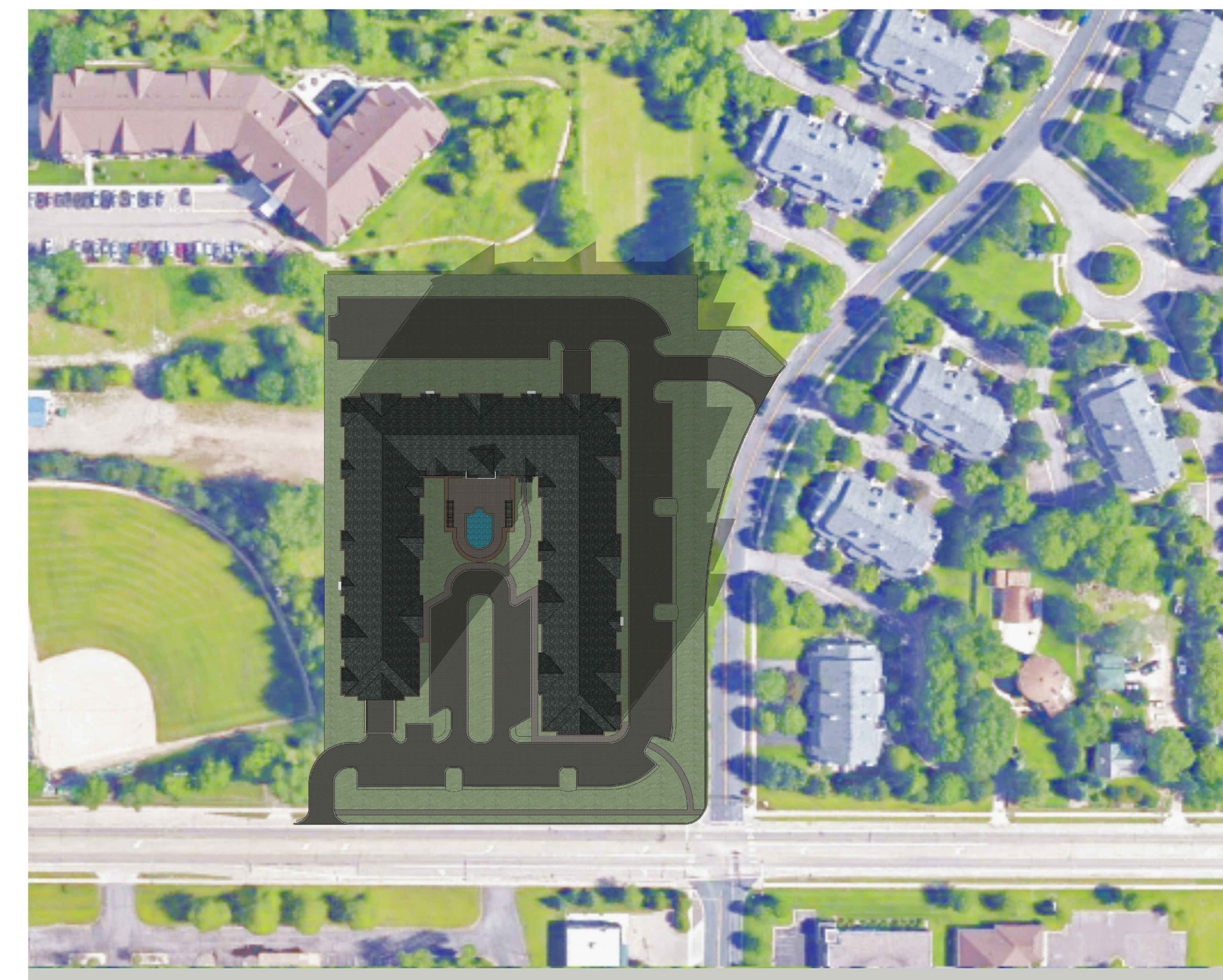


JUNE 21 @ 6:30 AM

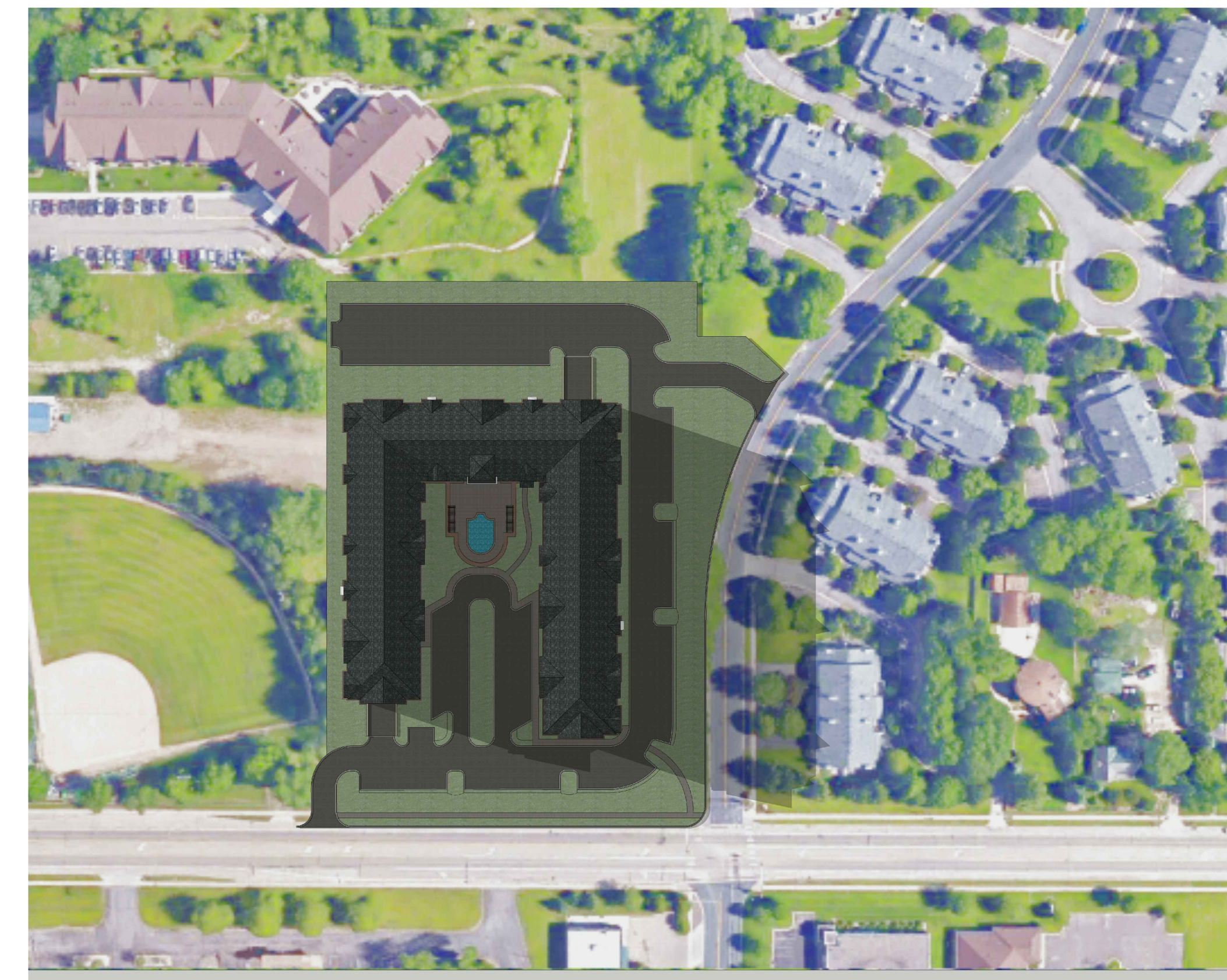


SEPTEMBER 21 @ 8:00 AM

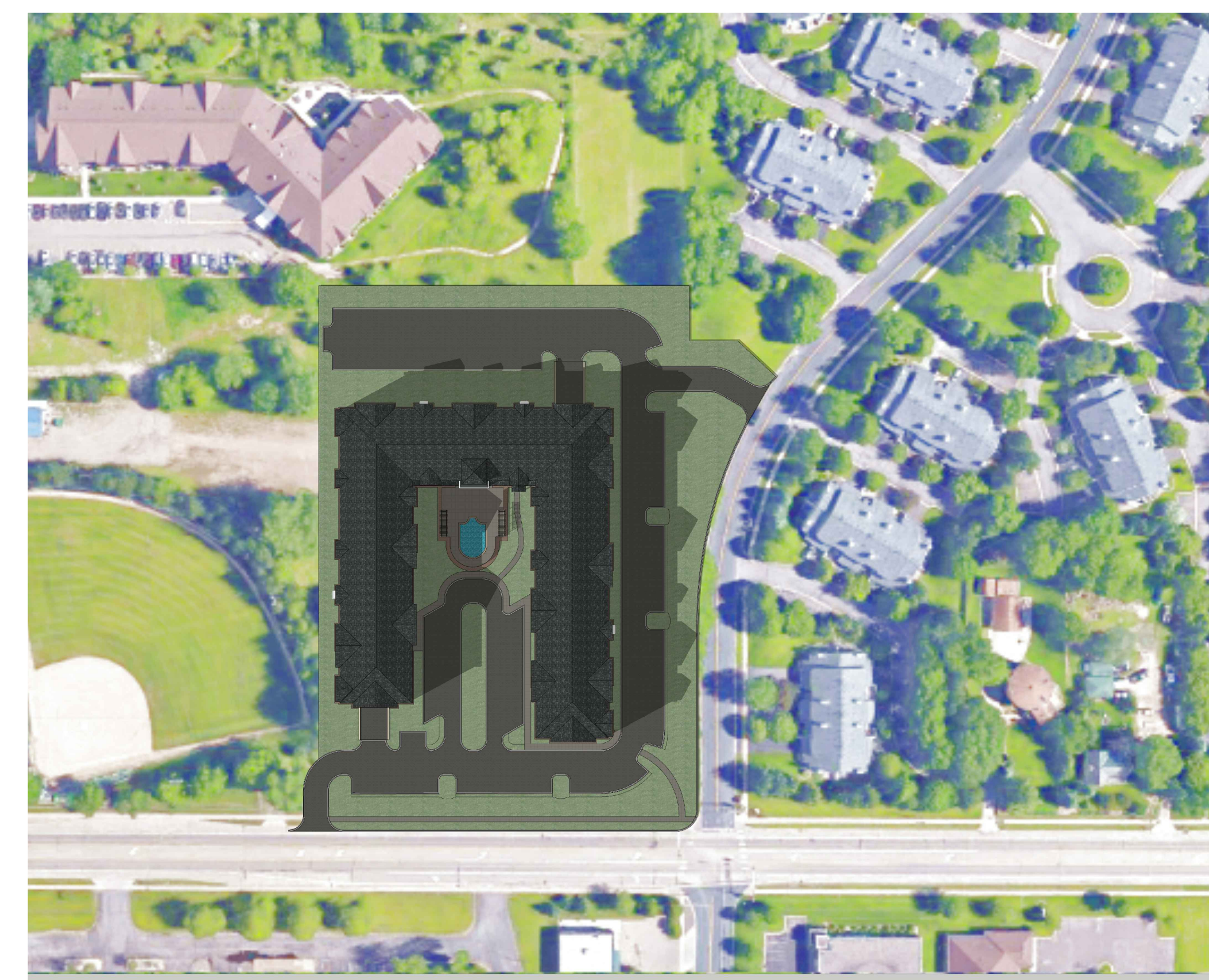
SHADOW STUDY IS FOR REFERENCE ONLY.



DECEMBER 21 @ 3:30 PM



JUNE 21 @ 8:00 PM



SEPTEMBER 21 @ 6:00 PM

PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
 1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City Submittal	DATE
	03.18.2019

SHADOW STUDY

DATE
03.18.2019

A401

PROJECT NO.
18038

- PRELIMINARY/NOT FOR CONSTRUCTION
- PERMIT/BID SET
- CONSTRUCTION SET
- AS-BUILT SET
- NOT TO SCALE

BIRD'S EYE STUDY IS FOR REFERENCE ONLY.



CERTIFICATION
I HEREBY CERTIFY THAT THE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DATE: _____
DRAWN BY: _____

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PROPOSED APARTMENTS:
WHITE BEAR LAKE APARTMENTS
1711 COUNTY ROAD E, WHITE BEAR LAKE, MINNESOTA

ISSUES/REVISIONS:

City Submittal	DATE
	03.18.2019

BIRD'S EYE STUDY

PRELIMINARY/NOT FOR CONSTRUCTION
 PERMIT/BID SET
 CONSTRUCTION SET
 AS-BUILT SET
 NOT TO SCALE

DATE
03.18.2019

A501

PROJECT NO.
18038



City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Ashton Miller, Planning Technician

DATE: May 15, 2019 for the May 20, 2019 Planning Commission Meeting

SUBJECT: Katy Fick, 2333 Mayfair Avenue - Case No. 15-4-SHOPa2

REQUEST

The applicant, Katy Fick, is requesting a three-year extension of an approved Special Home Occupation Permit (SHOP) to conduct a massage therapy business out of a single-family residence.

SITE CHARACTERISTICS

The property is located on the north side of Mayfair, in between Cranbrook Drive and St. Regis Drive. The single-family home has a two-car attached garage and a 40-foot long driveway, with a parking tab on the east.

ZONING / BACKGROUND

The property is zoned R-3 - Single Family Residential, as are the surrounding properties. The applicant first applied for a SHOP for her massage therapy business in June of 2015. After the first year, she applied for and was granted a three-year extension, which is set to expire in July of this year. Per City Code, certain types of home occupations, known as Special Home Occupations, require a Conditional Use Permit approval. Massage therapy is not specifically listed under any of the home occupation types, but is similar to barber and beauty services, which do require a SHOP.

ANALYSIS

All of the surrounding neighbors within 350 feet of the subject site have been notified of the request for extension. The City has not received any complaints regarding this business since its original approval in 2015. In 2016, the City began requiring massage therapy businesses to be licensed. Ms. Fick has renewed her license every year, with the most recent approval granted by the City Council on March 31, 2019.

The business has not intensified in any way over the years, with no employees other than the applicant. The layout of the business in the home has remained the same, as have the hours of operation. Ms. Fick has maintained her business model of engaging with only one client at a time and limiting the number of clients to five a day, so there is little opportunity for an overflow of vehicles parked on the property.

SUMMARY/ RECOMMENDATION

City staff does not believe that the requested home-based business will have a negative impact to the surrounding residential neighborhood. The proposed business is clearly incidental and secondary to the residential use of the property. Staff supports the extension of this Special Home Occupation Permit for an additional three-year period due to Ms. Fick's diligence in maintaining her massage therapy license and the lack of complaints regarding the business. For this reason, staff recommends approval of the Special Home Occupation extension, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. This permit is issued for a period of three (3) years, to expire on **June 11, 2022**. Prior to expiration the permit may be renewed. The renewal shall be processed in accordance with the procedural requirements of the initial home occupation.
3. The 3-year permit extension is contingent upon City Council approval of the business license, which must be kept current for the full 3-year period or the permit will become null and void.
4. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
5. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered de novo without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
6. Permits shall not run with the land and shall not be transferable.
7. A sign permit is required prior to the installation of any signs.
8. The applicant shall comply with applicable zoning, building, fire and health department codes and regulations.

Attachments:

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Applicant's Narrative
4. Site/Floor Plan – 2 pgs.

RESOLUTION NO. _____

**RESOLUTION APPROVING A THREE YEAR EXTENSION FOR
A SPECIAL HOME OCCUPATION PERMIT FOR KATY FICK
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (15-4-SHOPa2) has been submitted by Katy Fick to the City Council requesting a Special Home Occupation Permit of the City of White Bear Lake for the following location:

LOCATION: 2333 Mayfair Avenue

LEGAL DESCRIPTION: Lot 8, Block 19, Bacchus Fourth Addition, Ramsey Co. Minn. (PID # 253022330018)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: A three (3) year extension of a Special Home Occupation Permit to allow a single-operator massage therapy business out of a single-family residence, per Code Section 1302.120, Subd.4;

Reso # 11629, Passed July 14, 2015: Approval of a Special Home Occupation Permit to allow a single-operator massage therapy business out of a single-family residence, per Code Section 1302.120, Subd.4.

Reso # 11838, Passed July 12, 2016: Approval of a three (3) year extension of a Special Home Occupation Permit to allow a single-operator massage therapy business out of a single-family, per Code Section 1302.120, Subd.4.

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on May 20, 2019; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.

- 5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
- 6. Traffic generation will be within the capabilities of the streets serving the site.

FUTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approved the request, subject to the following conditions.

- 1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
- 2. This permit is issued for a period of three (3) years, to expire on June 11, 2022. Prior to expiration the permit may be renewed. The renewal shall be processed in accordance with the procedural requirements of the initial home occupation.
- 3. The 3-year permit extension is contingent upon City Council approval of the business license, which must be kept current for the full 3 year period or the permit will become null and void.
- 4. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
- 5. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered de novo without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
- 6. Permits shall not run with the land and shall not be transferable.
- 7. A sign permit is required prior to the installation of any signs.
- 8. The applicant shall comply with applicable zoning, building, fire and health department codes and regulations.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

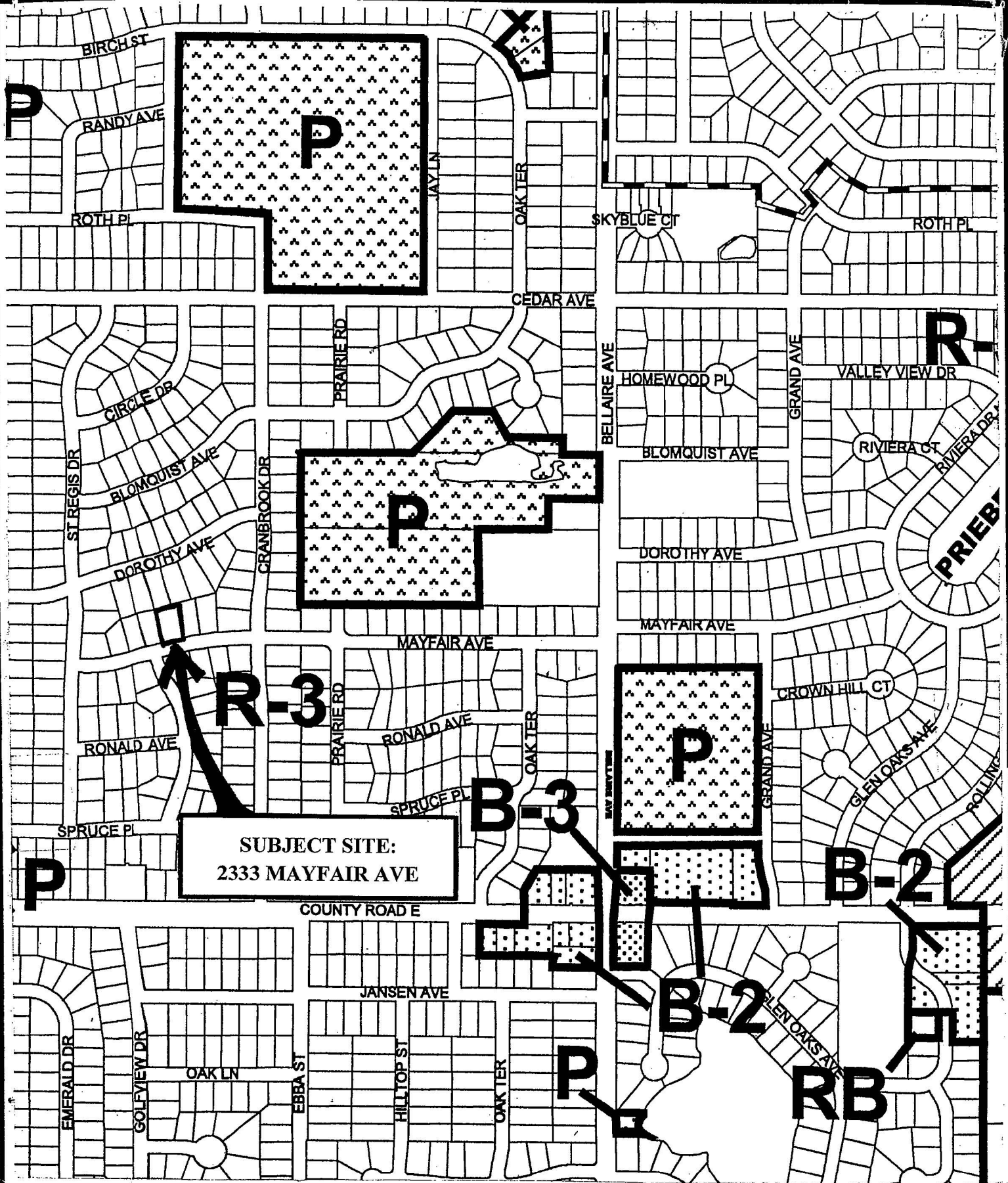
Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Katy Fick

Date



SUBJECT SITE:
2333 MAYFAIR AVE

City of
 White Bear Lake
 Planning and Zoning Office
 (612)-429-8561

CASE NO. : 15-4-SHOP
 CASE NAME : FICK
 DATE : MAY 20, 2019

My name is Katy Fick. I am a full-time massage therapist and have been in practice for over 20 years. Before going into massage therapy full-time I was a certified physical therapist assistant. I have been licensed by the city of St. Paul (copy of license included) for over 18 years. I am also the in-house massage therapist at Travelers Insurance Co. in downtown St. Paul for over 6 years. This is my third time I am seeking to continue my business in my home at 2333 Mayfair Avenue. I have a long and loyal client base that prefers the privacy of my home-based practice and I want to continue to accommodate that preference.

My massage business is for relaxation and to promote a general sense of wellness for my clients. Most of my clients are recurring on an every 2 week, 3 week, 4 week or 6 week cycle depending on their needs. Approximately 75% of my home business client base has been on my regular schedule for 11 years or more. My demographics are primarily women over 50 but I do not discriminate against age or gender as my goal is to help all people to achieve wellness through massage therapy.

Here is breakdown of the specifics of my business:

Katy Fick, PTA, LMT

2333 Mayfair Avenue

White Bear Lake, MN 55110

(651)442-4379

Hours of Operation: 2nd & 4th Mondays (11am-7pm); 1st & 3rd Tuesdays (11am-7pm); Every Wednesday (11am-7pm); And Friday (11am-4pm) by appointment only

I am a single owner/operator. No employees.

During the hours of operation listed above clients come one at a time with a half hour between each appointment. The maximum clients per day is 5. They park in the driveway closest to the walk way to the front door.

I have an 11'x10' room for massage therapy. It is on the main floor of this 1954 rambler designed home.

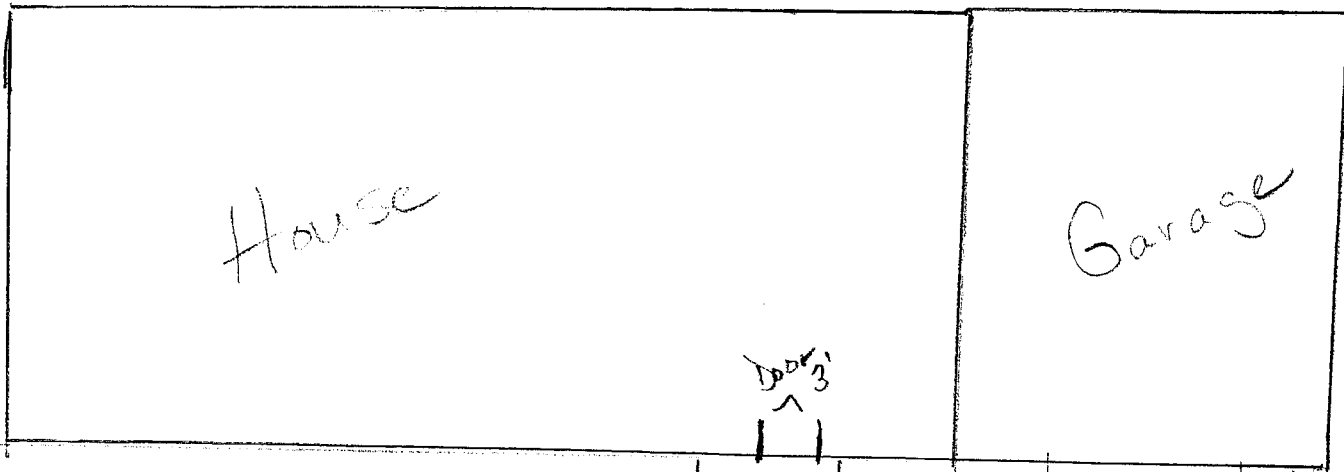
There is no need for any major alterations in the home. A handrail for the front steps has been added for better accessibility and safety.

No equipment that causes glare, noise, odor, vibration or electrical interference is used in my business thus no disturbance to my neighbors.

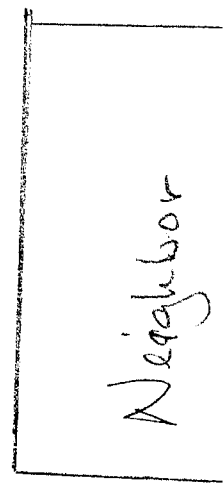
No need for external storage for equipment or materials.

No commercial vehicles or external signage are used.

Signature OK's
16'



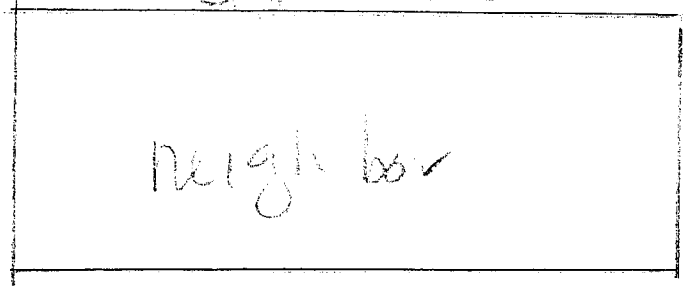
N ↑



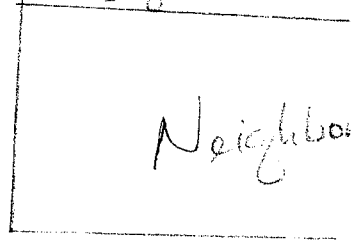
Signature OK's

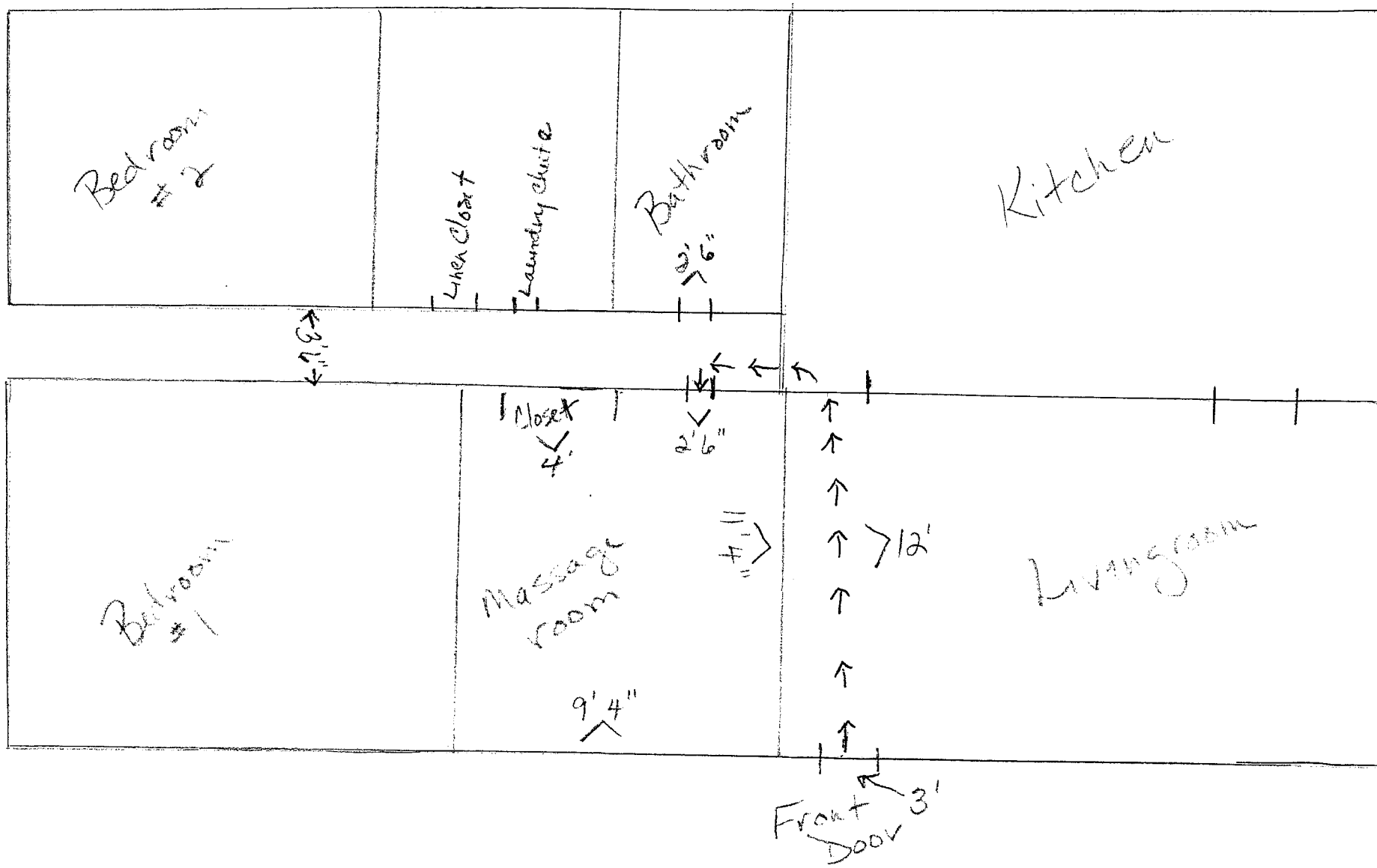
Street

Signature OK's



Signature OK's







City of White Bear Lake
COMMUNITY DEVELOPMENT
DEPARTMENT

MEMORANDUM

TO: The Planning Commission

FROM: Ashton Miller, Planning Technician

DATE: May 15, 2019 for the May 20, 2019 Planning Commission Meeting

SUBJECT: **Marya Voosen, 5050 Division Avenue - Case No. 19-1-SHOP**

REQUEST

The applicant, Marya Voosen, is requesting approval of a Special Home Occupation Permit (SHOP) to conduct a dog grooming business out of a single-family residence.

SITE CHARACTERISTICS

The property is located on the east side of Division Avenue and north of 12th Street. The single-family home, built in 1892, has a detached garage and a roughly 100-foot driveway with a turnaround in front of the house.

ZONING / BACKGROUND

The property is zoned R-6 – Medium Density Residential. The properties to the immediate north and south are also zoned R-6. The properties directly across the street are zoned R-3 – Single Family Residential. The other properties to the west are part of the White Bear Lake High School North Campus and are zoned P – Public.

Section 1302.120 of the Zoning Code states that certain types of home occupations are considered Special Home Occupations and require Conditional Use Permit approval. Barber and beauty services, which are akin to the services Ms. Voosen will be providing to her canine clientele, are one such home occupation that requires a SHOP.

ANALYSIS

The surrounding neighbors within 350 feet of the subject site have been notified of the request. As of this date, staff has not received any comments from residents.

In 1972, a Special Use Permit (72-11-S) was granted to a previous owner to build a dog kennel in the home, and the back portion of the house was remodeled to provide kenneling and animal care services. Already having the general setup required to run the dog grooming business means Ms. Voosen will have to do little remodeling to start her business. Clients will drop their dogs off at the back entrance, who will then be led into the grooming room for their appointments. There will be no boarding of the dogs.

Ms. Voosen will be the only employee. She is proposing to work between the hours of nine a.m. and four p.m. during the week, with one extended evening, and two Saturdays a month. The appointments will be set so not to overlap. This ensures that the number of dogs and vehicles visiting the business will be limited, reducing the likelihood of disturbances to the neighborhood.

The applicant would like a small sign. Signs in residential districts are limited to four feet in height and eight square feet in area. A separate permit will be required prior to installation of any signage.

The first issuance of a home occupation permit is a trial period. The applicant must seek a renewal of the permit after one calendar year. If any issues arise from the proposed home occupation during the trial year, they can be addressed prior to renewal.

SUMMARY/ RECOMMENDATION

City staff does not believe that the requested home-based business will have a negative impact to the surrounding residential neighborhood. The proposed business is clearly incidental and secondary to the residential use of the property. For this reason, staff recommends approval of the Special Home Occupation extension, subject to the following conditions:

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1302.120, Subd.3, if within one (1) year after granting the Home Occupation Permit, the use as allowed by the permit is not established, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This permit is issued for a one-year period with the expiration date being **June 11, 2020**, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
4. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered de novo without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
7. The applicant shall comply with applicable building, fire and health department codes and regulations. Successful inspection by the Fire Marshal is required prior to operation of the

business.

8. A sign permit is required prior to the installation of any signs.
9. Appointments shall not overlap.
10. Boarding of dogs is not permitted.

Attachments:

1. Draft Resolution of Approval
2. Location/Zoning Map
3. Applicant's Narrative
4. Site Plan

RESOLUTION NO. _____

**RESOLUTION APPROVING
A SPECIAL HOME OCCUPATION PERMIT FOR MARYA VOOSSEN
AT 5050 DIVISION AVENUE
WITHIN THE CITY OF WHITE BEAR LAKE, MINNESOTA**

WHEREAS, a proposal (19-1-SHOP) has been submitted by Marya Voosen to the City Council requesting a Special Home Occupation Permit of the City of White Bear Lake for the following location:

LOCATION: 5050 Division Avenue

LEGAL DESCRIPTION: South 10 feet of Lot 2 and all of Lot 3, Block 1, Nobles Subdivision, Ramsey Co. Minn. (PID # 113022440032)

WHEREAS, THE APPLICANT SEEKS THE FOLLOWING RELIEF: A Special Home Occupation Permit to allow a dog grooming business out of a single-family residence, per Code Section 1302.120, Subd.4;

WHEREAS, the Planning Commission has held a public hearing as required by the city Zoning Code on May 20, 2019; and

WHEREAS, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variance upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concerns related to compatibility of uses, traffic, property values, light, air, danger of fire, and risk to public safety in the surrounding areas;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of White Bear Lake that the City Council accepts and adopts the following findings of the Planning Commission:

1. The proposal is consistent with the city's Comprehensive Plan.
2. The proposal is consistent with existing and future land uses in the area.
3. The proposal conforms to the Zoning Code requirements.
4. The proposal will not depreciate values in the area.
5. The proposal will not overburden the existing public services nor the capacity of the City to service the area.
6. Traffic generation will be within the capabilities of the streets serving the site.
7. That the special conditions attached in the form of a conditional use permit are hereby approved.

FUTHER, BE IT RESOLVED, that the City Council of the City of White Bear Lake hereby approved the request, subject to the following conditions.

1. All application materials, maps, drawings, and descriptive information submitted with this application shall become part of the permit.
2. Per Section 1302.120, Subd.3, if within one (1) year after granting the Home Occupation Permit, the use as allowed by the permit is not established, the permit shall become null and void unless a petition for an extension of time in which to complete or utilize the use has been granted by the City Council. Such petition shall be requested in writing and shall be submitted at least 30 days prior to expiration.
3. This permit is issued for a one-year period with the expiration date being **June 11, 2020**, before which the permit may be renewed, in accordance with the procedural requirement of the initial home occupation.
4. The applicant shall not have the vested right to a permit by reason of having obtained a previous permit. In applying for and accepting a permit, the permit holder agrees that her monetary investment in the home occupation will be fully amortized over the life of the permit and that a permit renewal will not be needed to amortize the investment. Each application for the renewal of a permit will be considered de novo without taking into consideration that a previous permit has been granted. The previous granting of renewal of a permit shall not constitute a precedent or basis for the renewal of a permit.
5. Permits shall not run with the land and shall not be transferable.
6. The business shall comply with all provisions of the Home Occupation Section of the Zoning Code (Section 1302.125).
7. The applicant shall comply with applicable building, fire and health department codes and regulations. Successful inspection by the Fire Marshal is required prior to operation of the business.
8. A sign permit is required prior to the installation of any signs.
9. Appointments shall not overlap.
10. Boarding of dogs is not permitted.

The foregoing resolution, offered by Councilmember _____ and supported by Councilmember _____, was declared carried on the following vote:

Ayes:
Nays:
Passed:

Jo Emerson, Mayor

ATTEST:

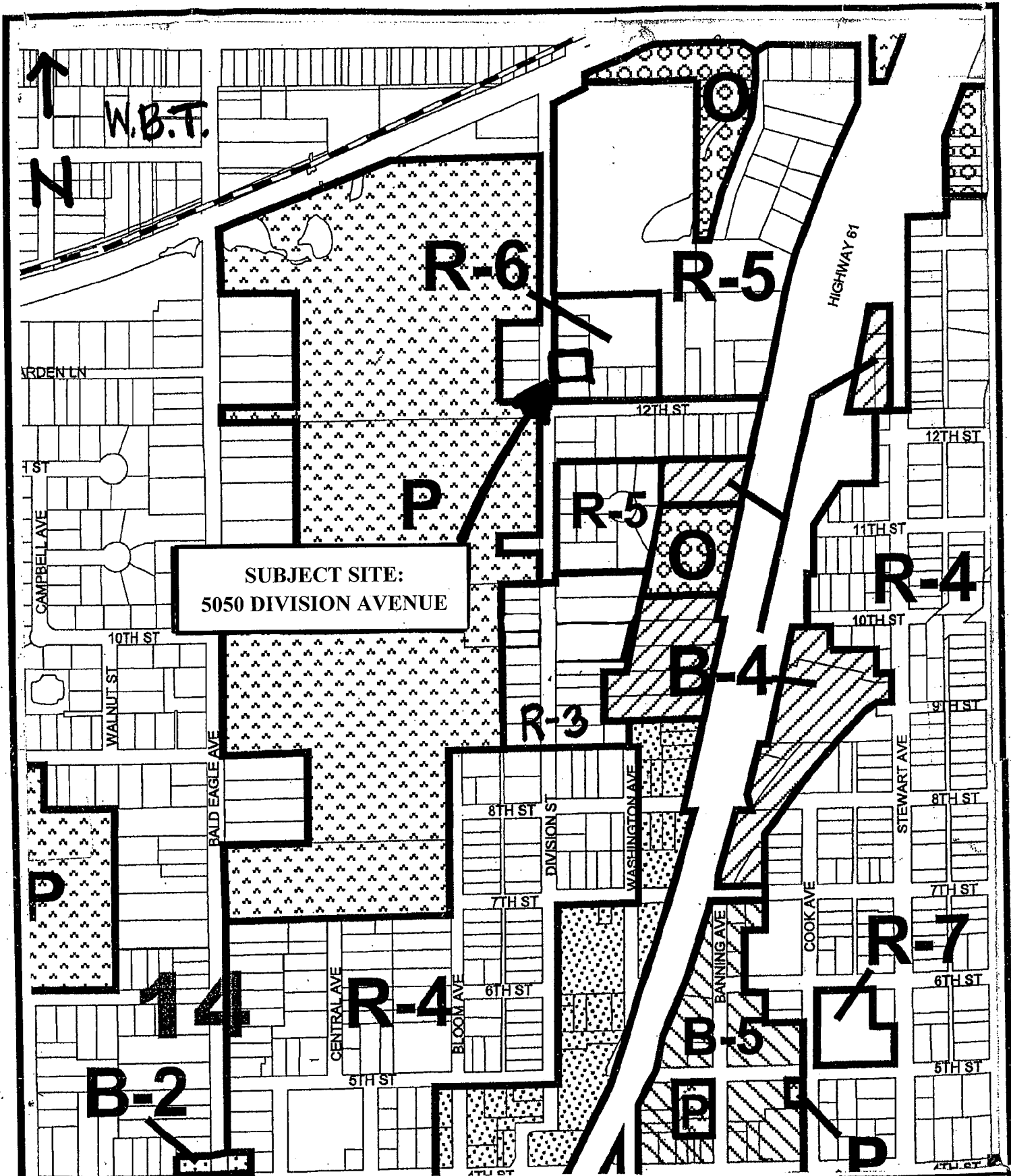
Kara Coustry, City Clerk

Approval is contingent upon execution and return of this document to the City Planning Office.

I have read and agree to the conditions of this resolution as outlined above.

Marya Voosen

Date



SUBJECT SITE:
5050 DIVISION AVENUE

City of
White Bear Lake
Planning and Zoning Office
(612)-429-8561

CASE NO. : 19-1-SHOP
CASE NAME : Voosen
DATE : MAY 20, 2019

To Whom It May Concern,

I would like to start a dog grooming business from my home in White Bear Lake at 5050 Division Street. The home in question was previously owned by a dog breeder and is perfectly designed for this purpose for a number of reasons. The first is that the house is set about 25 feet back from the road. The driveway is two and a half cars wide with a two-car-width turn around. What was once the kennel for the dogs is the back 1/3 of the house, which has an entrance that makes the perfect lobby. The back room of the kennel area has its own water heater and heating/air conditioning.

Clients coming to my home would pull all the way back to the garage and bring their dogs to this back entrance. This would not be visible to most of my neighbors. The slight increase in traffic would not be noticeable with the high school right across the street. The next door neighbors to the south would not see clients, as my house is in between them and the driveway.

I plan to do about six dogs a day, starting at 9 am and ending about 3-4 most days. I do want one later day (probably Wednesday) where the last client would leave about 7:30 pm at the latest. I would like to groom two Saturdays a month for folks who can't do weekday appointments.

I groom one dog at a time, which is important for two reasons pertaining to this request. One is that there would be little chance of multiple cars coming or going at the same time. In the case where this happens, our driveway easily accommodates up to four vehicles because of the turnaround. Appointments won't be scheduled this way, but owners sometimes run late or come early. The other reason that one dog at a time is significant is that there won't be multiple dogs at the house and I will be focused on the one that is, which eliminates barking. The barking at salons happen because dogs are upset at being kenneled while they wait for their turn to be groomed or their owners to return. I will require my clients to pick their dogs up immediately after their service is completed and before the next appointment begins.

The dryers I use are not as loud as my shop vac, which will be the other noise I create. Dryers will run about 15 minutes per dog. The vacuum about 40 seconds after each haircut.

I believe this business would be beneficial to the community because I can provide a less stressful grooming experience for dogs in an environment where I am also comfortable and able to share my 24 years of experience as a groomer, owner and lover of dogs in a way that isn't possible in a hectic salon.

I do not intend to have employees.

I would like a small sign across the top of my back door, which is also the entrance to the salon. This would only be visible from my own driveway.

Thank you for your consideration.

A handwritten signature in black ink that reads "Marya Voosen". The signature is written in a cursive, flowing style with a long horizontal flourish extending to the right.

Marya Voosen

E chain link fence

2 1/2 car garage

shed
kennel room
now misused
grooming room

door

Driveway
2 1/2 car width

walk way

lobby/entrance

bath room

bedroom

master bedroom

kitchen

sun room

deck

turn around

privacy fence

S

N

W
Division St

CITY COUNCIL MEETING SUMMARY

May 14, 2019

APPROVAL OF MINUTES – Approved

APPROVAL OF AGENDA – Approved

VISITORS AND PRESENTATIONS – Audit presentation by Brad Falteysek of Adbo, Eick & Meyers. Clean audit report.

PUBLIC HEARINGS – Approved

- A. Resolution approving multifamily housing Revenue Note (Century Hills Project), Series 2019 conduit debt

LAND USE – Approved

A. Consent

1. Consideration of a Planning Commission recommendation for approval of a request by Keith Hisdahl for a Planned Unit Development located at 1966 & 1978 Highway 96. (Case No. 19-3-PUD). **Resolution No. 12391**
2. Consideration of a Planning Commission recommendation for approval of a request by Grant Raykowski variances to demolish the existing detached garage and reconstruct with a larger structure at 2503 Manitou Island. (Case No. 19-2-V). **Resolution No. 12392**
3. Consideration of a Planning Commission recommendation for approval of a request by Joe Braman for setback variances to install an above ground pool at 1860 Clarence Street. (Case No. 19-3-V). **Resolution No. 12393**

B. Non-Consent

1. Consideration of a Planning Commission recommendation for approval of a request by Mark and Nancy Moe for a Conditional Use Permit for a home accessory apartment at 2524 Crestline Drive. (Case No. 19-2-CUP). **Resolution No. 12394**

UNFINISHED BUSINESS – Nothing scheduled

ORDINANCES – First Reading

- A. Ordinance Amendment for Schafer Richardson Project Rezoning

NEW BUSINESS – Approved

- A. Resolution denying massage therapy establishment license. **Resolution No 12399**
- B. Resolution authorizing 4th and Otter Lake Road property acquisition. **Resolution No. 12395**

- C. Resolution authorizing 2018 budgeted expenditures to be carried over to 2019.
Resolution No. 12396
- D. Resolution Authorizing Re-Conveyance of Property to the State of Minnesota.
Resolution No. 12397
- E. Resolution appointing Jim Rathburn as Administrative Hearing Officer. **Resolution No. 12398**

HOUSING AND REDEVELOPMENT AUTHORITY – Approved

- A. Call to Order/Roll Call/Approval of the Agenda
- B. Approval of the Minutes of the January 8, 2019 HRA Meeting
- C. Resolution authorizing a Request for Proposals to solicit proposals for a Comprehensive Housing Needs Assessment. **HRA Resolution No. 19-02**
- D. Adjournment

CONSENT – Approved

- A. Acceptance of Planning Commission meeting minutes from April 29, 2019
- B. Acceptance of Park Commission meeting minutes from March 21, 2019

DISCUSSION

- A. Emerald Ash Borer Management program

The Water Gremlin settlement may provide tree replacement costs for the trees near and the area of concern. This may help mitigate the cost of dealing with Emerald Ash Borer. More to come when numbers are more clear.

COMMUNICATIONS FROM THE CITY MANAGER

- Lions Club contributed \$3,200 from gambling to the Fire Department for equipment at the south Fire Department.
- Lions Club will be hosting a Public Safety Appreciation grill-out at the south Fire Station at 5:30 p.m. on May 23.
- Law Enforcement Memorial is Thursday, May 16 in Mounds View mid-day.
- Work Session next Tuesday, May 21 to review the long-range capital improvement plan at 6:00 p.m. The October work session will revisit the CIP
- Councilmember Jones mentioned Thursday, May 16 is Touch-a-Truck Day (5:00 p.m.)
- Updates from the City Engineer/Public Works Director Kauppi
 - Thank you to volunteers and staff who supported Arbor Day, Sat. May 4 and the City's designation as Tree City USA.
 - The Water Treatment Plant is down for annual maintenance. The auger and gearbox

components need to be replaced, but the plant is expected to be back online by the end of this week.

- Annual spring hydrant flushing is tentatively planned for Monday, May 20.

- Update from the Community Development Director Kane
 - Please RSVP for the Metropolitan Council Chair representative who will be hosting a meet and greet at Boatworks Commons on Wednesday, May 29 at noon. Others in attendance will be members from the Economic Development Corporation, the Chamber of Commerce, School District, Ramsey County and other Metropolitan Council staff.

ADJOURNMENT – 9:17 p.m.

Park Advisory Commission Meeting Minutes

MARCH 21, 2019

6:30 P.M.

CITY HALL

MEMBERS PRESENT	Bryan Belisle, Victoria Biehn, Mark Cermak, Anastacia Davis, Ginny Mae Davis, Bill Ganzlin, Mike Shepard
MEMBERS ABSENT	
STAFF PRESENT	Mark Meyer, Paul Kauppi and Andy Wietecki
VISITORS	
NOTE TAKER	Mark Meyer

AGENDA TOPICS

1. CALL TO ORDER

The meeting was called to order at 6:30 pm at City Hall.

2. APPROVAL OF MINUTES

Approval of the minutes from February 21, 2019 was moved by Mike Shepard and seconded by Mark Cermak. Motion carried.

3. APPROVAL OF AGENDA

Approval of the March 21, 2019 agenda was moved by Bryan Belisle and seconded by Ginny Mae Davis. Motion carried.

4. UNFINISHED BUSINESS

a) Tree Ordinance

The City's tree ordinance was reviewed and discussed by the Park Advisory Commission. Bill Ganzlin suggested that native trees should be identified in the ordinance as the preference.

Andy Wietecki provided an update to the Parks Advisory Commission about EAB. At this time, the City is putting together a formal plan for boulevard trees and the City's tree infrastructure.

5. NEW BUSINESS

a) Arbor Day – May 4, 2019

Bryan Belisle suggested incorporating pollinator plants into Arbor Day plans this year. There is additional prep work that needs to be done prior to planting pollinator plants so they will incorporate that idea into the 2020 Arbor Day celebration.

Bill Ganzlin provided the relatively new commission with the history of how the City started celebrating Arbor Day.

Andy Wietcki reported to the Commission that there are some ash trees in Yost and Podvin Park that need to be removed for future Arbor Day project sites. The Parks Department is considering switching to bare root trees as a more affordable and less maintenance option.

This year the parks identified for Arbor Day activities will be Rotary Nature Preserve and Lakewood Hills Park.

b) Adopt A Park Program

Mark Meyer provided an overview of the City's updated Adopt A Park Program. The Park Advisory Commission brainstormed ideas on how to promote the program to the public. They also discussed which parks were in greater need of adoption.

c) Park Memorials

The Park Advisory Commission reviewed the Memorial Application. The Parks Department staff will come up with a master list of possible bench sites that would be available. The Commission brainstormed additional types of memorials that would be appropriate for City parks – including picnic tables, drinking fountains, bike repair stations or brick pathways.

6. OTHER STAFF REPORTS

Andy Wietcki reported the Boardwalk tables were lowered by cutting about one inch off the legs for a better height for the chairs.

In response to Bill Ganzlin's question regarding launch tag enforcement at Matoska Park boat launch, the Police Department CSO's will patrol depending on resources.

7. COMMISSION REPORTS

None.

8. OTHER BUSINESS

Mike Shepard advised the Commission that the White Bear Lake Lions Club is looking to help fund and volunteer for another project. Some preliminary ideas include Lions Park which is in need of updating or Lakewood Hills Park.

Bill Ganzlin suggested that the Commission come up with a list of parks for their monthly summer meetings. The Park Advisory Commission historically walks through parks during their summer meetings to ensure each selected park is meeting resident's needs.

9. ADJOURNMENT

The next meeting will be held on April 18, 2019 at 6:30 p.m.

There being no further business to come before the Park Commission, the meeting was adjourned. Moved by Mike Shepard and seconded by Bryan Belisle.